

TENTATIVE TRACT MAP  
SPRING VIEW

MORGAN HILL, SANTA CLARA COUNTY, CALIFORNIA

CONTACT INFORMATION:

APPLICANT/OWNER: Joe & Sheila Giancola  
2290-A Cochran Road  
Morgan Hill, CA 95037

CIVIL ENGINEER: MH ENGINEERING  
16075 VINEYARD BLVD.  
MORGAN HILL, CA 95037  
(408) 779-7381  
BILLM@MHENGINEERING.COM

PLANNER: DEVELOPMENT PROCESS CONSULTANTS  
220 LIVE OAK DRIVE  
DANVILLE, CA 94506  
(408) 421-2695  
VRBURGOSICLOUD@ICLOUD.COM

LANDSCAPE ARCHITECT: RIPLEY DESIGN GROUP, INC.  
1615 BONANZA ST., SUITE 314  
WALNUT CREEK, CA 94596  
(925) 938-9377

SITE DATA

SUBJECT PARCELS:  
CURRENT LAND USE:  
ZONING:  
GENERAL PLAN:  
PROPOSED LAND USE:  
BUILDOUT TABULATION:  
GROSS AREA  
PRIVATE RIGHT OF WAY  
PUBLIC RIGHT-OF-WAY DEDICATION  
NET AREA  
UTILITIES:  
WATER  
SANITARY SEWER  
STORM DRAIN  
GAS & ELECTRIC  
TELEPHONE  
PRELIMINARY EARTHWORK  
SUMMARY (APPROX.):  
CUT  
FILL  
NET

APN: 767-11-030  
RESIDENTIAL  
RAL  
RAL (6-16 DU/AC)  
RESIDENTIAL

2,686 AC  
0,555 AC  
0 AC  
2,131 AC

CITY OF MORGAN HILL  
CITY OF MORGAN HILL  
CITY OF MORGAN HILL  
PG&E  
VERIZON

1,500 CY  
3,836 CY  
2,336 CY (IMPORT)

PROJECT DATA

THIS IS A RESIDENTIAL PROJECT CONSISTING OF  
23 NEW HOMES OF TWO OWNERSHIP HOUSING  
TYPES:

- 18 DUETS
- 5 SINGLE FAMILY DETACHED

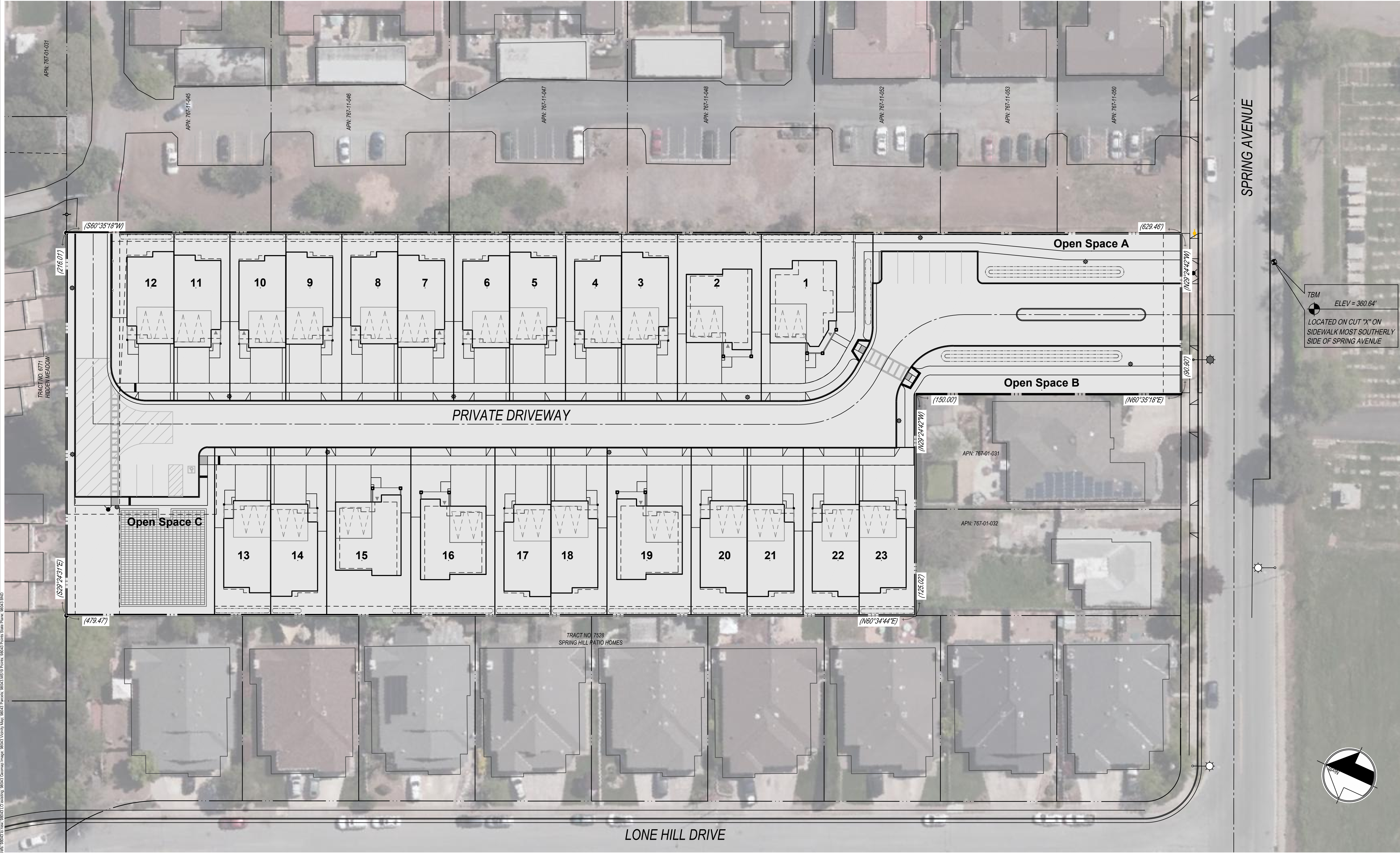
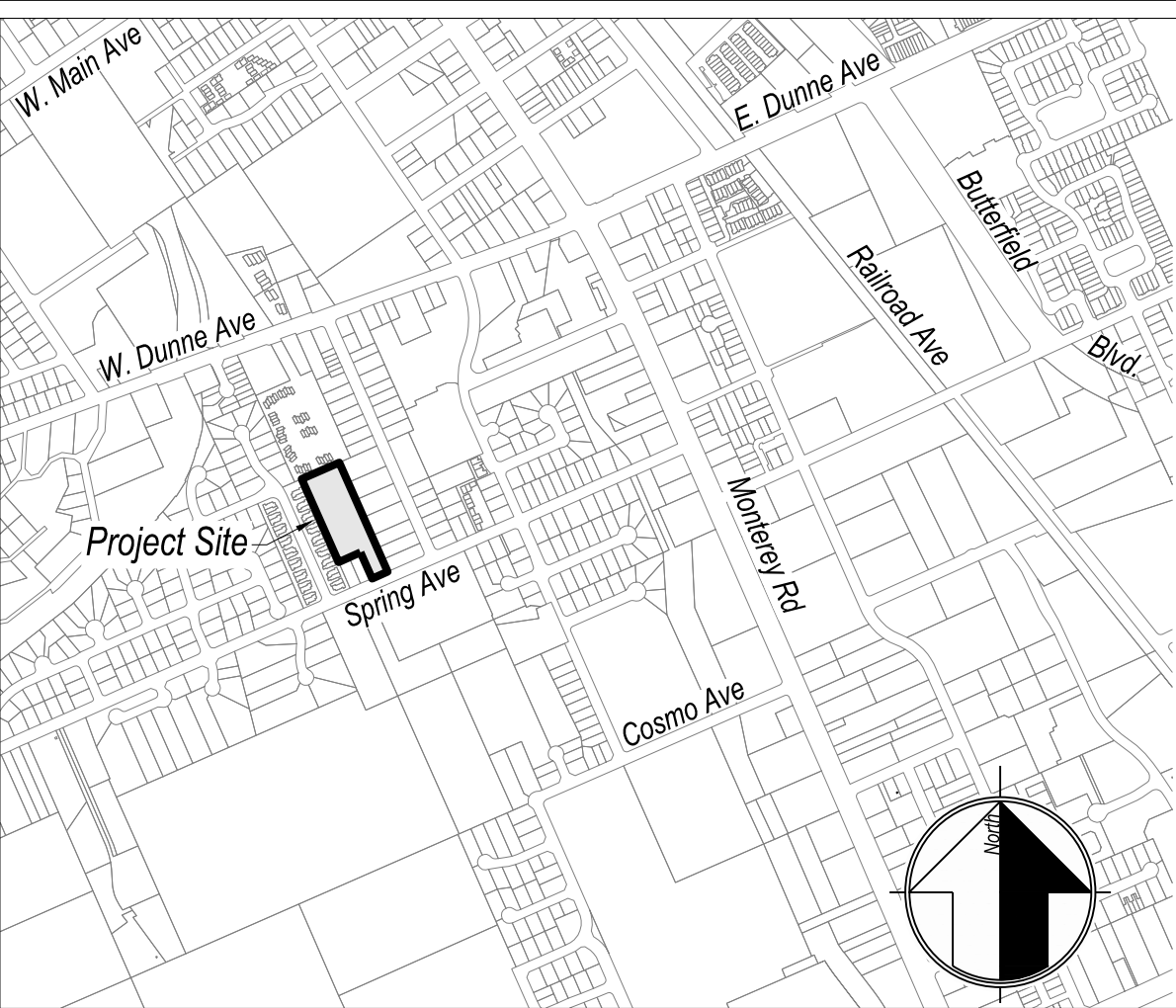
IN-TRACT IMPROVEMENTS CONSIST OF THE FOLLOWING  
ELEMENTS:

- PRIVATE CIRCULATION NETWORK INCLUDING STREETS  
AND EVA
- ACTIVE AND PASSIVE OPEN SPACE AND AMENITIES,  
AND TOT LOT. SEE COMPANION DESIGN REVIEW PERMIT  
PLAN SET FOR ALL AMENITIES.
- CURB-SIDE AND BAY SHARED PARKING.
- OFF-SITE IMPROVEMENTS CONSIST OF THE FOLLOWING:  
SPRING AVENUE HALF STREET IMPROVEMENTS INCLUDING  
WATER MAIN, CURB, GUTTER, SIDEWALK AND RESURFACING.  
CURB/GUTTER/SIDEWALK IMPROVEMENT ON THE  
WESTERLY (PROJECT) SIDE OF THE STREET
- SEE TENTATIVE MAP PLANS FOR LIMITS OF PROPOSED  
STREET IMPROVEMENTS.

GENERAL INFORMATION

5. PROPOSED CONTOURS, GRADES, AND PAD ELEVATIONS IN THIS PLAN SET ARE PRELIMINARY AND SUBJECT TO CHANGE DURING FINAL DESIGN.
- BOUNDARY SHOWN HEREIN IS BASED ON RECORD DATA. ADDITIONAL SURVEY IS RECOMMENDED.
- LOT NUMBERS ARE FOR IDENTIFICATION PURPOSES ONLY AND ARE NOT INTENDED AS FINAL.
- ALL GRADING WILL BE DONE IN CONFORMANCE WITH THE RECOMMENDATIONS AND CONDITIONS OF THE GEOTECHNICAL ENGINEER, THE CITY OF MORGAN HILL STANDARDS AND SPECIFICATIONS, AND APPLICABLE REPORTS REGARDING THIS PROJECT.
- PROJECT LIES ENTIRELY WITHIN FLOOD X, AREA X DEFINED AS, "AREAS OF 0.2% CHANCE OF FLOOD; AREAS OF 1% CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD"; \* (FIRM MAP NUMBER 06085C0444H, EFFECTIVE DATE MAY 18, 2009).
- PROPOSED CONTOURS, GRADES, AND PAD ELEVATIONS IN THIS PLAN SET ARE PRELIMINARY AND SUBJECT TO CHANGE DURING FINAL DESIGN.
- THE UTILITY PIPE SIZES AND CONNECTIONS SHOWN ON THIS MAP ARE PRELIMINARY AND ARE SUBJECT TO CHANGE.
- PROPOSED STORM DRAIN AND RETENTION SYSTEM IS PRELIMINARILY DESIGNED TO ACCOMMODATE STORAGE FOR RUNOFF RETENTION AS REQUIRED BY THE CENTRAL COAST RWQCB.
- EXISTING TOPOGRAPHY IS BASED ON GROUND TOPOGRAPHIC SURVEY BY MH ENGINEERING CO., DATED MAY 20, 2020.
- EXISTING MONITORING WELL TO BE CAPPED PER SANTA CLARA VALLEY WATER DISTRICT REQUIREMENTS.
- CONDOMINIUMS IMPLEMENT TOWN HOME STANDARDS SHOWN IN CODE SECTION 18.40, TABLE 18.40-2. LOTTING SCHEME SHOWN IS PRELIMINARY AND MAY BE REFINED IN THE FUTURE.
- ALL ABOVE-GROUND ON-SITE DRY UTILITIES TO REMAIN SHALL BE PLACED UNDERGROUND.
- INDIVIDUAL RESIDENTIAL UNITS IN THIS PLAN SET ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

vicinity map:



LEGEND

Proposed	Description	Existing
Project Property Boundary	Project Property Boundary	Project Property Boundary
Property Line	Property Line	Property Line
Centerline	Centerline	Centerline
Curb and Gutter	Curb and Gutter	Curb and Gutter
EVAE	Emergency Vehicle Access Easement	EVAE
IEE	Ingress/Egress Easement	IEE
PSDE	Private Storm Drainage Easement	PSDE
PSE	Public Service Easement	PSE
Underground Storm Drain Storage	Underground Storm Drain Storage	Underground Storm Drain Storage
Spot Elevation	Spot Elevation	Spot Elevation
Contours	Contours	Contours
SS lateral	SS lateral	SS lateral
Water Service	Water Service	Water Service
STORM DRAIN	STORM DRAIN	STORM DRAIN
SANITARY SEWER	SANITARY SEWER	SANITARY SEWER
WATER MAIN	WATER MAIN	WATER MAIN
GAS	GAS	GAS
ELECTRIC	ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE	TELEPHONE
JOINT TRENCH	JOINT TRENCH	JOINT TRENCH
STORM DRAIN MANHOLE	STORM DRAIN MANHOLE	STORM DRAIN MANHOLE
CURB INLET	CURB INLET	CURB INLET
GALLERY INLET	GALLERY INLET	GALLERY INLET
DROP INLET	DROP INLET	DROP INLET
SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE
FIRE HYDRANT	FIRE HYDRANT	FIRE HYDRANT
BLOW OFF VALVE	BLOW OFF VALVE	BLOW OFF VALVE
CLEAN OUT	CLEAN OUT	CLEAN OUT
AIR RELIEF VALVE	AIR RELIEF VALVE	AIR RELIEF VALVE
GATE VALVE	GATE VALVE	GATE VALVE
JOINT POWER POLE	JOINT POWER POLE	JOINT POWER POLE
ELECTROLIER	ELECTROLIER	ELECTROLIER
ELECTROLIER WITH SIGN	ELECTROLIER WITH SIGN	ELECTROLIER WITH SIGN
AC Pavement	AC Pavement	AC Pavement
Concrete Driveway/Sidewalk	Concrete Driveway/Sidewalk	Concrete Driveway/Sidewalk
Decorative Pavers	Decorative Pavers	Decorative Pavers

SHEET INDEX

- TITLE SHEET
- EXISTING CONDITIONS
- TITLE DISPOSITIONS
- COMPREHENSIVE LOTTING PLAN
- PRELIMINARY GRADING PLAN
- GRADING CROSS SECTIONS
- STREET SECTIONS
- PRELIMINARY UTILITY PLAN
- STORM WATER CONTROL PLAN
- EROSION CONTROL PLAN
- EROSION CONTROL DETAILS

TENTATIVE MAP

SPRING VIEW  
TITLE SHEET

MH engineering Co.  
Morgan Hill, CA 95037  
16075 Vineyard Boulevard

DATE: 05/21  
SCALE: 1"=30'  
DRAWN BY: RS  
CHECKED BY: WJM  
JOB NO: 98043  
SHEET: TM-01  
OF: 11





Photo 1: Property View-Looking South



Photo 1: Property View-Looking North



Photo 1: Property View-Looking East



Photo 1: Property View-Looking West

TENTATIVE MAP

SPRING VIEW  
EXISTING CONDITIONS

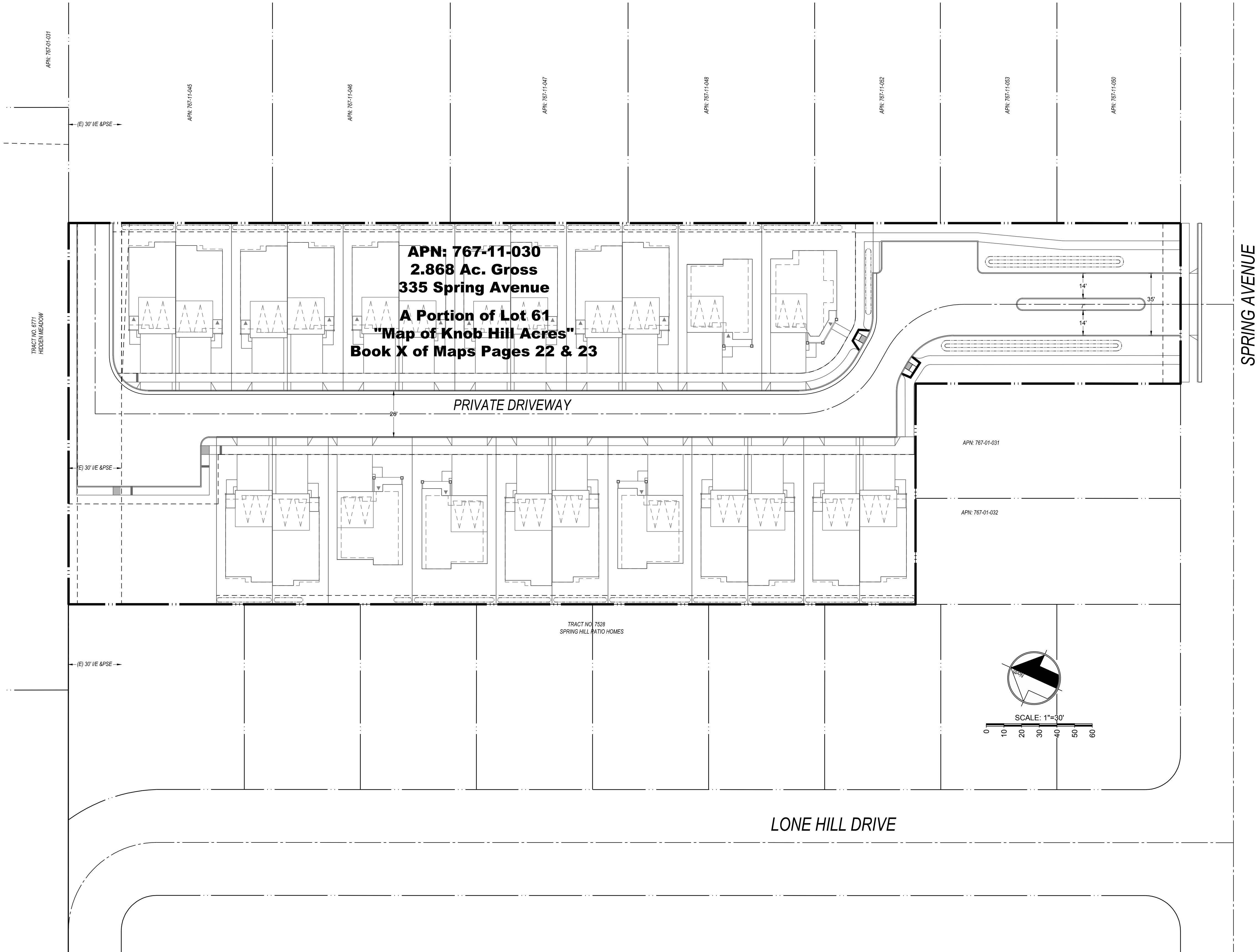
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SHEET  
TM-02  
OF 11

MH engineering Co.

1607'S Vineyard Boulevard  
Morgan Hill, CA 95037



APR 2021 10:00 AM  
PROJECT: 98043  
SHEET: 11 OF 11  
DATE: 05/21/2021  
TIME: 10:00 AM  
DRAWN BY: RS  
CHECKED BY: WJM  
SCALE: 1"=30'  
DATE: 05/21/2021  
TIME: 10:00 AM  
PROJECT: 98043  
SHEET: 11 OF 11  
DATE: 05/21/2021  
TIME: 10:00 AM  
DRAWN BY: RS  
CHECKED BY: WJM  
SCALE: 1"=30'



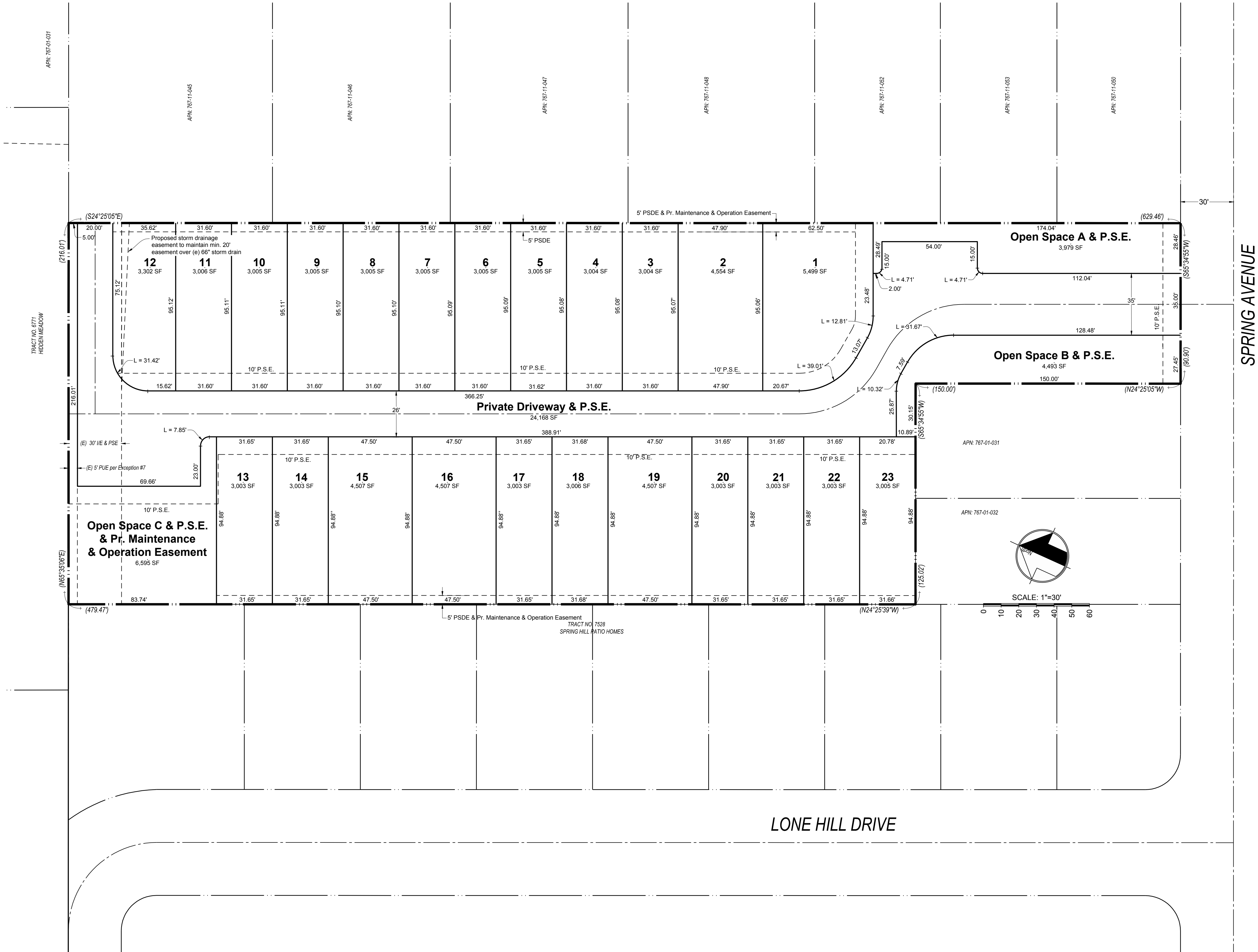
TENTATIVE MAP

SPRING VIEW  
TITLE DISPOSITION

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SCALE: 1"=30'  
DRAWN BY: RS  
CHECKED BY: WJM  
JOB NO:  
98043  
SHEET  
TM-03  
OF  
11

MH engineering Co.  
1607 S Vineyard Boulevard  
Morgan Hill, CA 95037

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TENTATIVE MAP

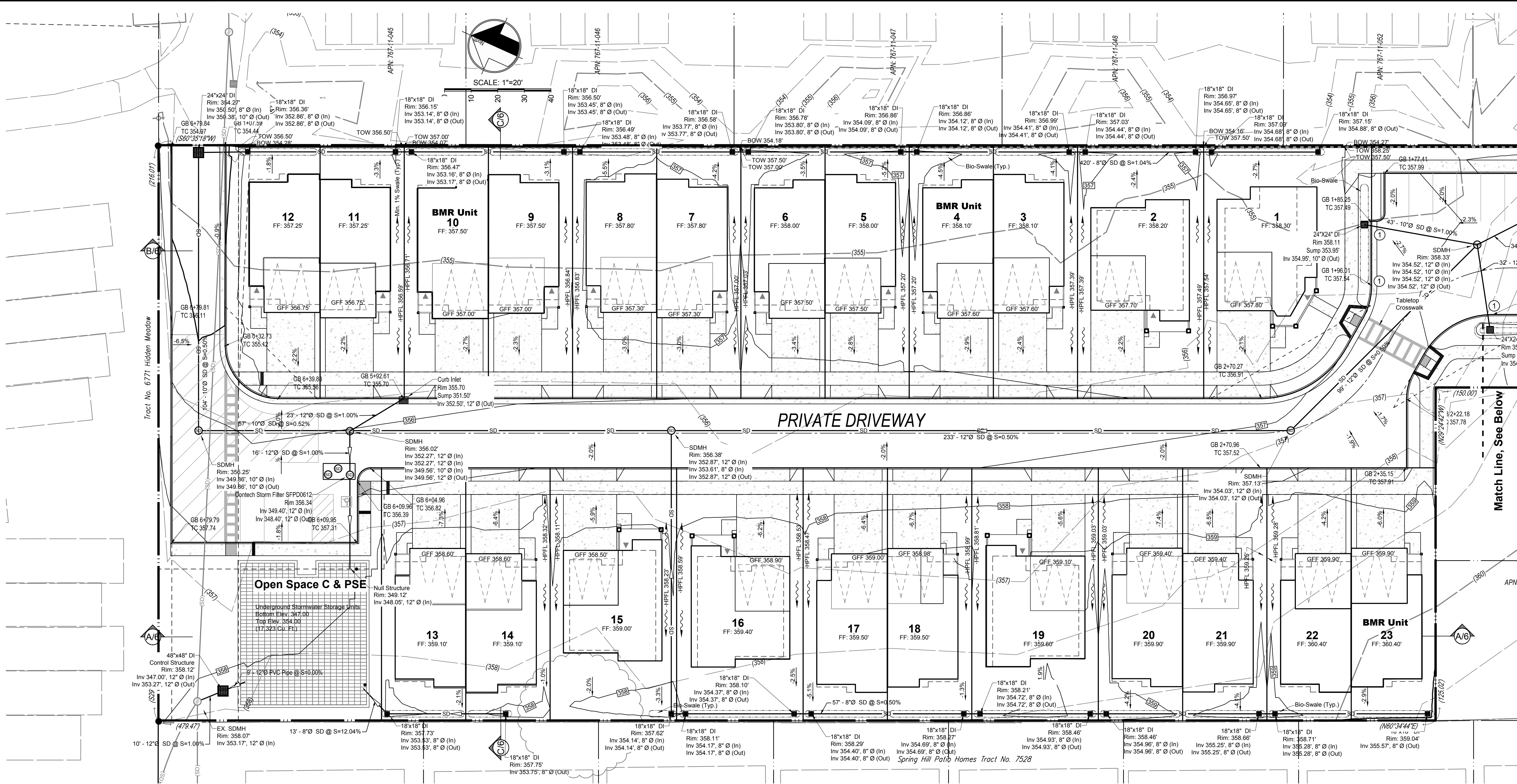
SPRING VIEW  
COMPREHENSIVE LOTTING PLAN

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SHEET  
TM-04  
OF  
11

MH engineering Co.  
1607 S Vineyard Boulevard  
Morgan Hill, CA 95037



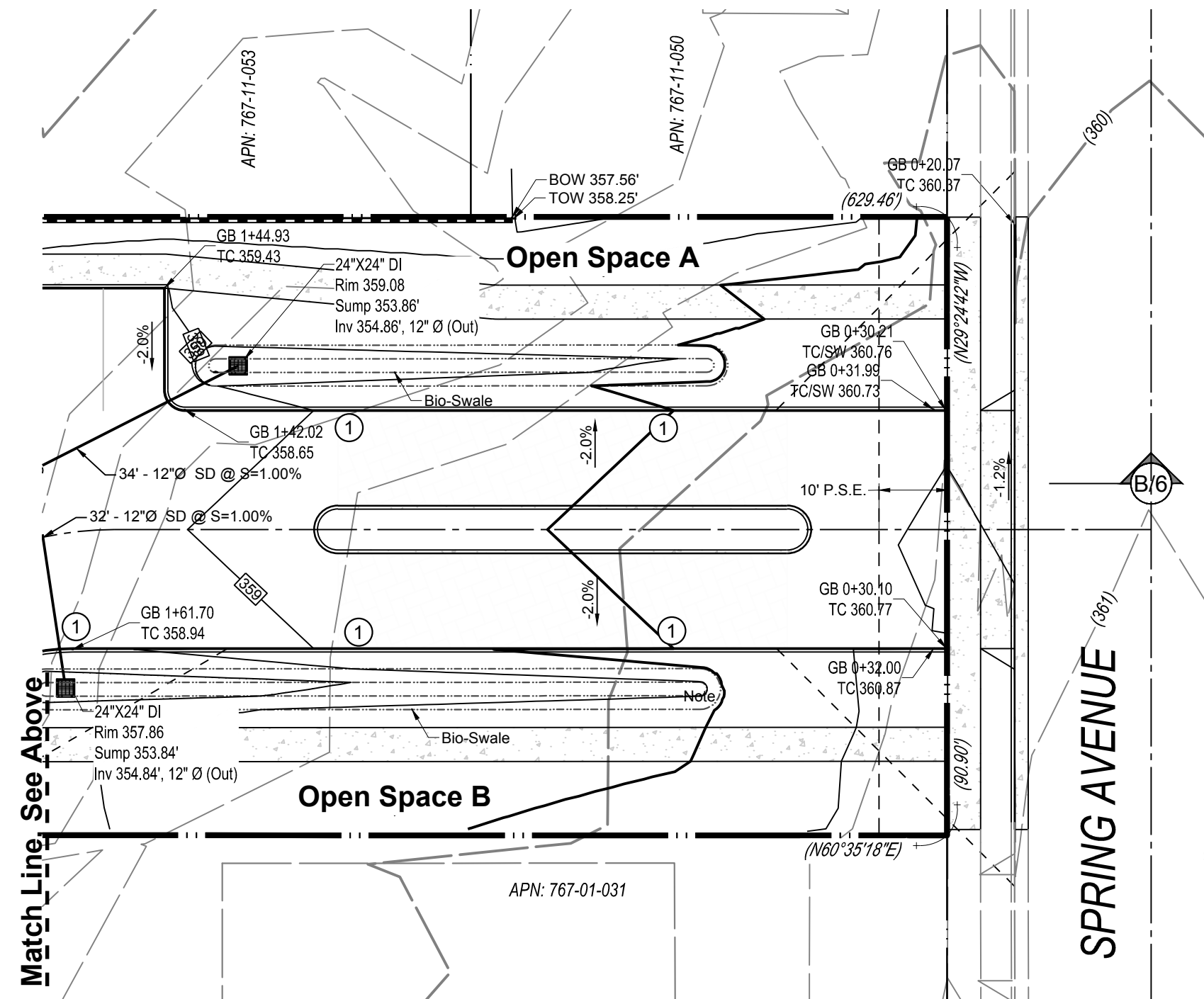
APR 2021 10:00 AM  
C:\Users\jason\OneDrive\Documents\Projects\Spring View\Spring View.dwg  
JASON  
10/10/2021 10:00 AM



LEGEND

- AC Pavement
- Concrete Driveway/Sidewalk
- Decorative Pavers
- Paved Median
- Turf Blocks
- Provide 1' curb openings @ 20' o/c for drainage release to bio-swales

Preliminary Grading Quantities		
	Cut (CY)	Fill (CY)
Rough Grading	859	3836
Underground Storage	641	0
Total	1500	3836
Import		2,336 CY



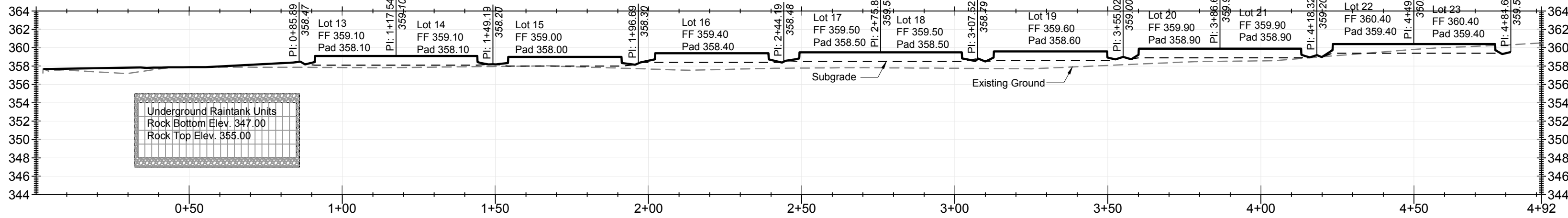
TENTATIVE MAP

SPRING VIEW  
PRELIMINARY GRADING PLAN

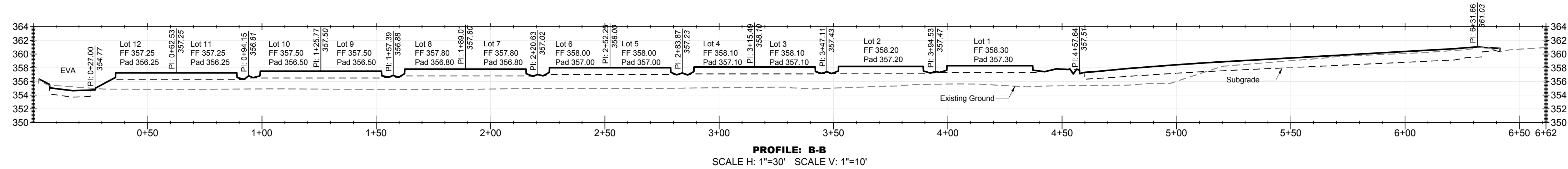
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TH-05  
OF 11

MH engineering Co.  
1607 S Vineyard Boulevard  
Morgan Hill, CA 95037

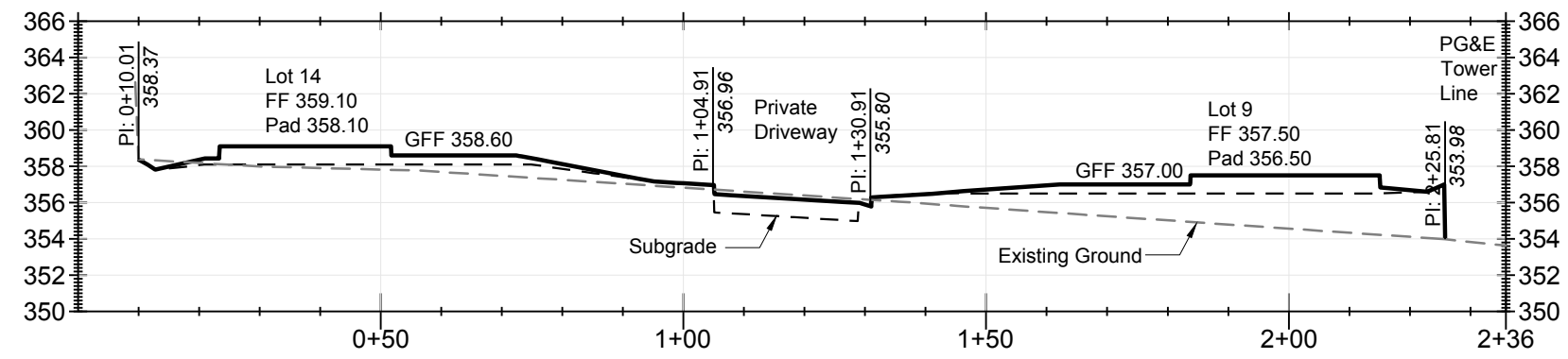




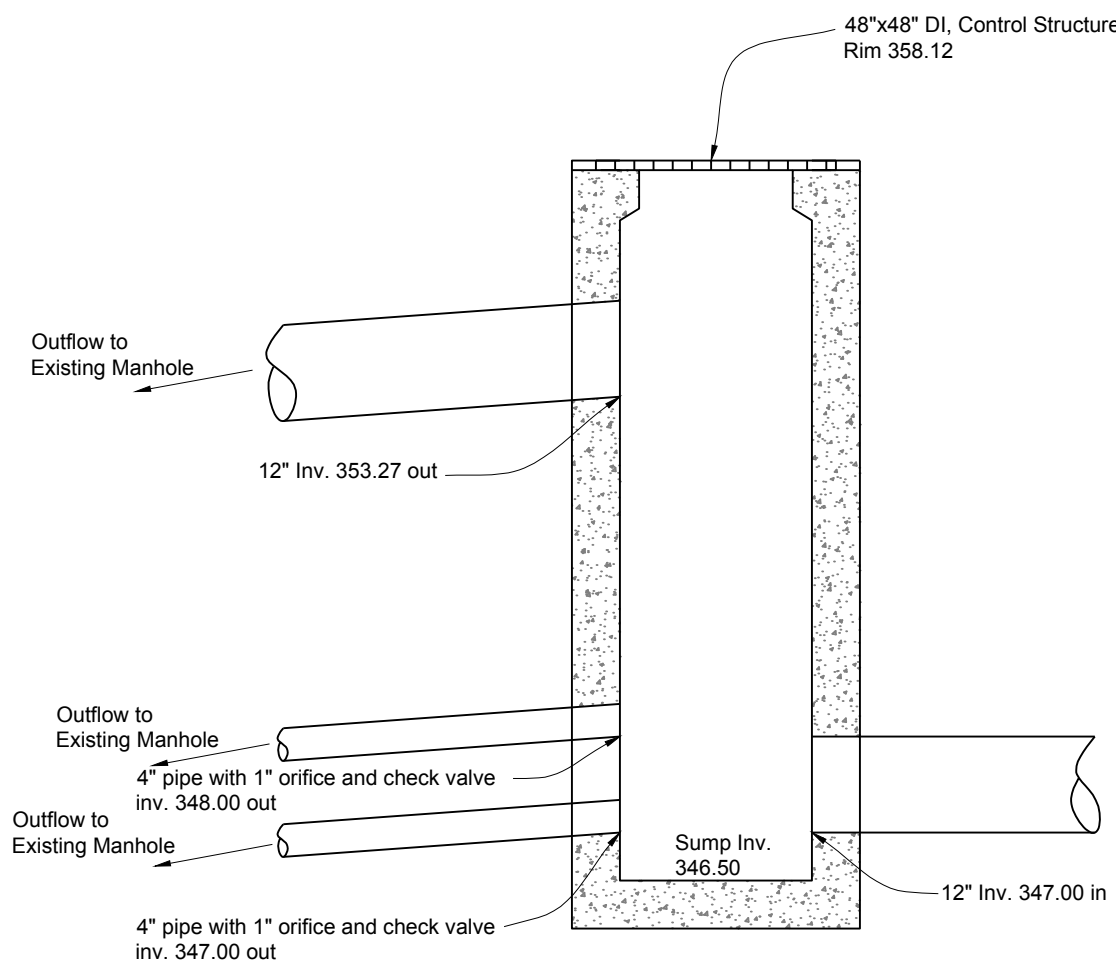
PROFILE: A-A  
SCALE H: 1"=30' SCALE V: 1"=10'



PROFILE: B-B  
SCALE H: 1"=30' SCALE V: 1"=10'



PROFILE: C-C  
SCALE H: 1"=30' SCALE V: 1"=10'



Outlet Control Structure Detail  
N.T.S.

#### STORMFILTER DESIGN NOTES

STORMFILTER TREATMENT CAPACITY VARIES BY CARTRIDGE COUNT AND LOCALLY APPROVED SURFACE AREA SPECIFIC FLOW RATE. PEAK CONVEYANCE CAPACITY TO BE DETERMINED BY ENGINEER OF RECORD.

A 6' x 12' (1829 x 3658) PEAK DIVERSION STYLE STORMFILTER IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (14) AND IS AVAILABLE IN A LEFT INLET (AS SHOWN) OR A RIGHT INLET CONFIGURATION.

ALL PARTS AND INTERNAL ASSEMBLY PROVIDED BY CONTECH UNLESS NOTED OTHERWISE.

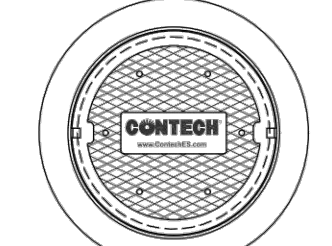
CARTRIDGE SIZE (in. [mm])	27 [686]	18 [457]	LOW DROP
RECOMMENDED HYDRAULIC DROP (H) (ft. [mm])	3.05 [930]	2.3 [701]	1.8 [549]
HEIGHT OF WEIR (W) (ft. [mm])	3.00 [914]	2.25 [686]	1.75 [533]
SPECIFIC FLOW RATE (gpm/sf [L/s/m <sup>2</sup> ])	2 [1.36]	1.67* [1.13]*	1 [0.68]
CARTRIDGE FLOW RATE (gpm [L/s])	22.5 [1.42]	18.79 [1.19]	15 [0.95]

\* 1.67 gpm/sf [1.13 L/s/m<sup>2</sup>] SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHOSORB® (PSORB) MEDIA ONLY.

#### SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	
WATER QUALITY FLOW RATE (cfs [L/s])	
PEAK FLOW RATE (cfs [L/s])	
RETURN PERIOD OF PEAK FLOW (yrs)	
CARTRIDGE FLOW RATE	
CARTRIDGE SIZE (27, 18, LOW DROP [LD])	
MEDIA TYPE (PERLITE, ZPG, PSORB)	
NUMBER OF CARTRIDGES REQUIRED	
INLET BAY RIM ELEVATION	
FILTER BAY RIM ELEVATION	
PIPE DATA:	
INLET PIPE 1	
INLET PIPE 2	
OUTLET PIPE	
NOTES/SPECIAL REQUIREMENTS:	

#### FRAME AND GRATE (24" SQUARE) (NOT TO SCALE)



#### FRAME AND COVER (30" ROUND) (NOT TO SCALE)

#### PERFORMANCE SPECIFICATION

FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE 7" [178]. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 37 SECONDS. SPECIFIC FLOW RATE SHALL BE 2 GPM/SF [1.36 L/s/m<sup>2</sup>] (MAXIMUM). SPECIFIC FLOW RATE IS THE MEASURE OF THE FLOW (GPM) DIVIDED BY THE MEDIA SURFACE CONTACT AREA (SF). MEDIA VOLUMETRIC FLOW RATE SHALL BE 6 GPM/CF [13.39 L/s/m<sup>3</sup>] OF MEDIA (MAXIMUM).

#### GENERAL NOTES

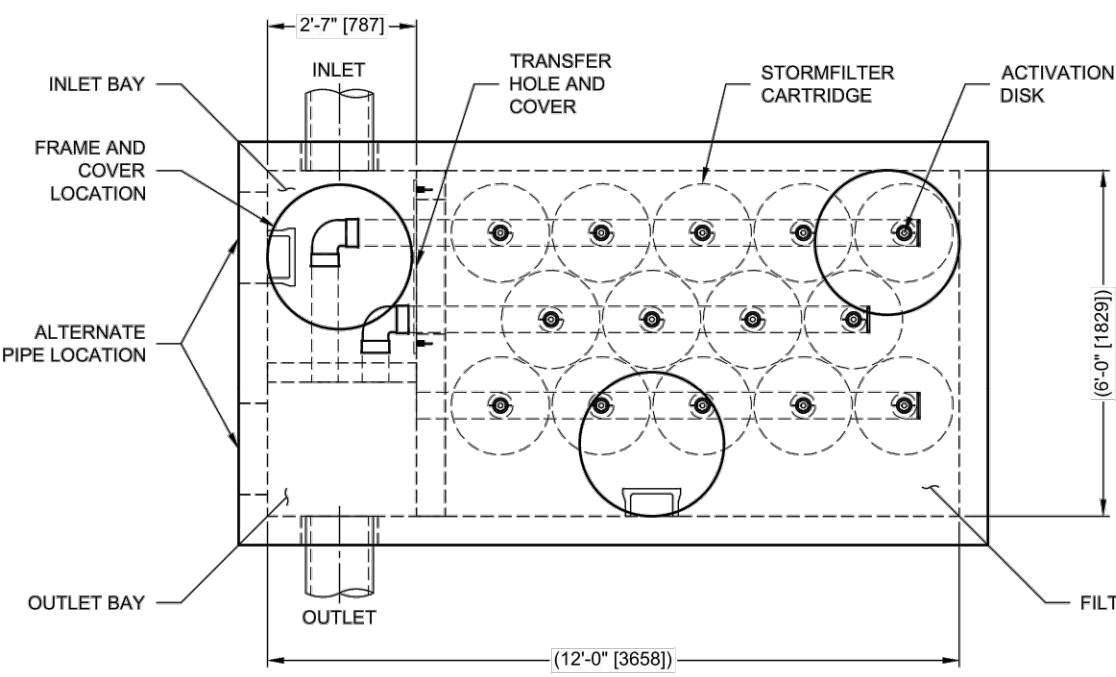
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- ALTERNATE DIMENSIONS ARE IN MILLIMETERS (mm) UNLESS NOTED OTHERWISE.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH REPRESENTATIVE. [www.contechES.com](http://www.contechES.com)
- STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- STRUCTURE SHALL MEET AASHTO H20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 10' [3048] AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.

#### INSTALLATION NOTES

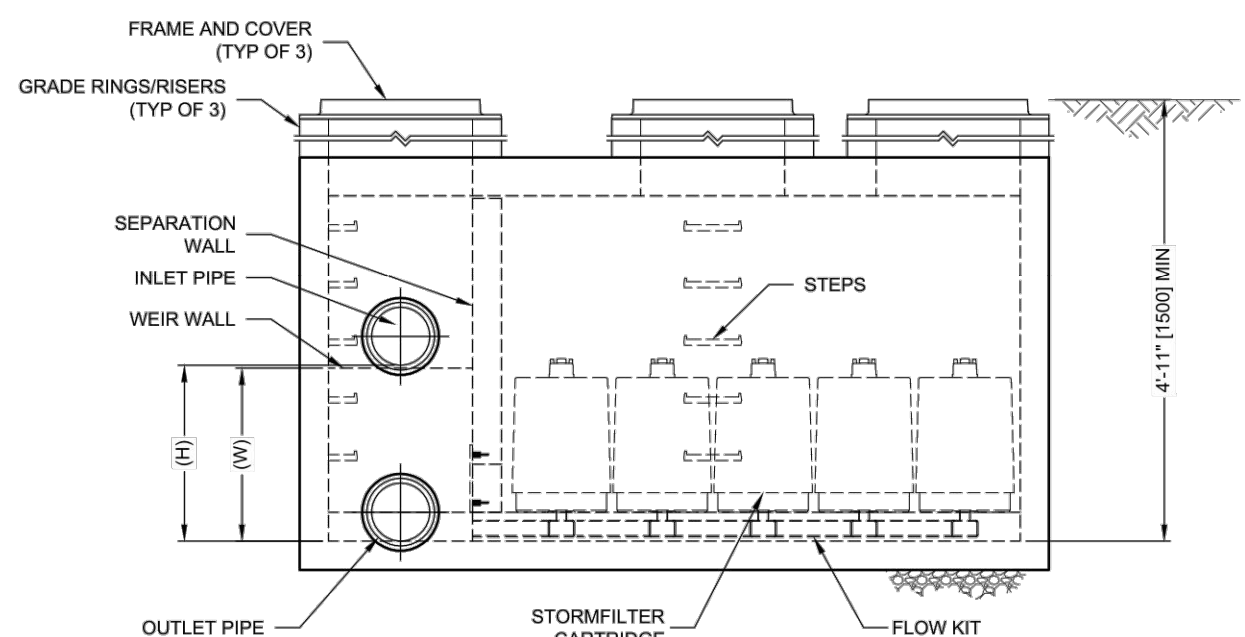
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH OUTLET PIPE INVERT WITH OUTLET BAY FLOOR.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.
- CONTRACTOR TO REMOVE THE TRANSFER OPENING COVER WHEN THE SYSTEM IS BROUGHT ONLINE.

**CONTECH**  
ENGINEERED SOLUTIONS LLC  
[www.contechES.com](http://www.contechES.com)  
9025 Centre Pointe Dr., Suite 400, West Chester, OH 43081  
800-528-5999 613-645-7000 613-645-7993 FAX

SFPD0612 (6' x 12')  
PEAK DIVERSION STORMFILTER  
STANDARD DETAIL



PLAN



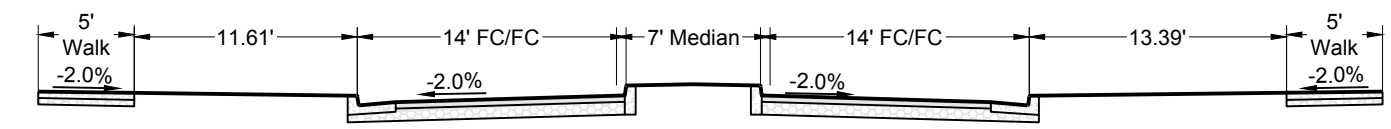
ELEVATION

The Stormwater Management  
**StormFilter®**  
THIS PRODUCT MAY BE PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: 6,322,495; 6,322,496; 6,322,497; 6,322,498; 6,322,499; 6,322,500; 6,322,501; 6,322,502; 6,322,503; 6,322,504; 6,322,505; 6,322,506; 6,322,507; 6,322,508; 6,322,509; 6,322,510; 6,322,511; 6,322,512; 6,322,513; 6,322,514; 6,322,515; 6,322,516; 6,322,517; 6,322,518; 6,322,519; 6,322,520; 6,322,521; 6,322,522; 6,322,523; 6,322,524; 6,322,525; 6,322,526; 6,322,527; 6,322,528; 6,322,529; 6,322,530; 6,322,531; 6,322,532; 6,322,533; 6,322,534; 6,322,535; 6,322,536; 6,322,537; 6,322,538; 6,322,539; 6,322,540; 6,322,541; 6,322,542; 6,322,543; 6,322,544; 6,322,545; 6,322,546; 6,322,547; 6,322,548; 6,322,549; 6,322,550; 6,322,551; 6,322,552; 6,322,553; 6,322,554; 6,322,555; 6,322,556; 6,322,557; 6,322,558; 6,322,559; 6,322,560; 6,322,561; 6,322,562; 6,322,563; 6,322,564; 6,322,565; 6,322,566; 6,322,567; 6,322,568; 6,322,569; 6,322,570; 6,322,571; 6,322,572; 6,322,573; 6,322,574; 6,322,575; 6,322,576; 6,322,577; 6,322,578; 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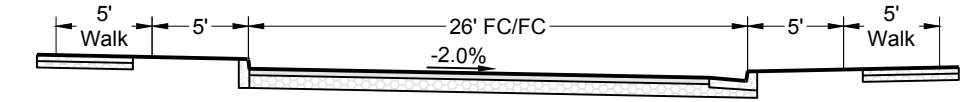
**Project Entrance with Median Typical Section**  
Scale: 1" = 10'

Scale: 1" = 10'

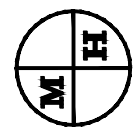


### 26' Private Driveway Typical Section

Scale: 1" = 10'



## TENTATIVE MAP



**MH engineering Co.**  
16075 Vineyard Boulevard  
Morgan Hill, CA 95037

Morgan Hill, CA 95037

**SPRING VIEW**

**STREET SECTION**

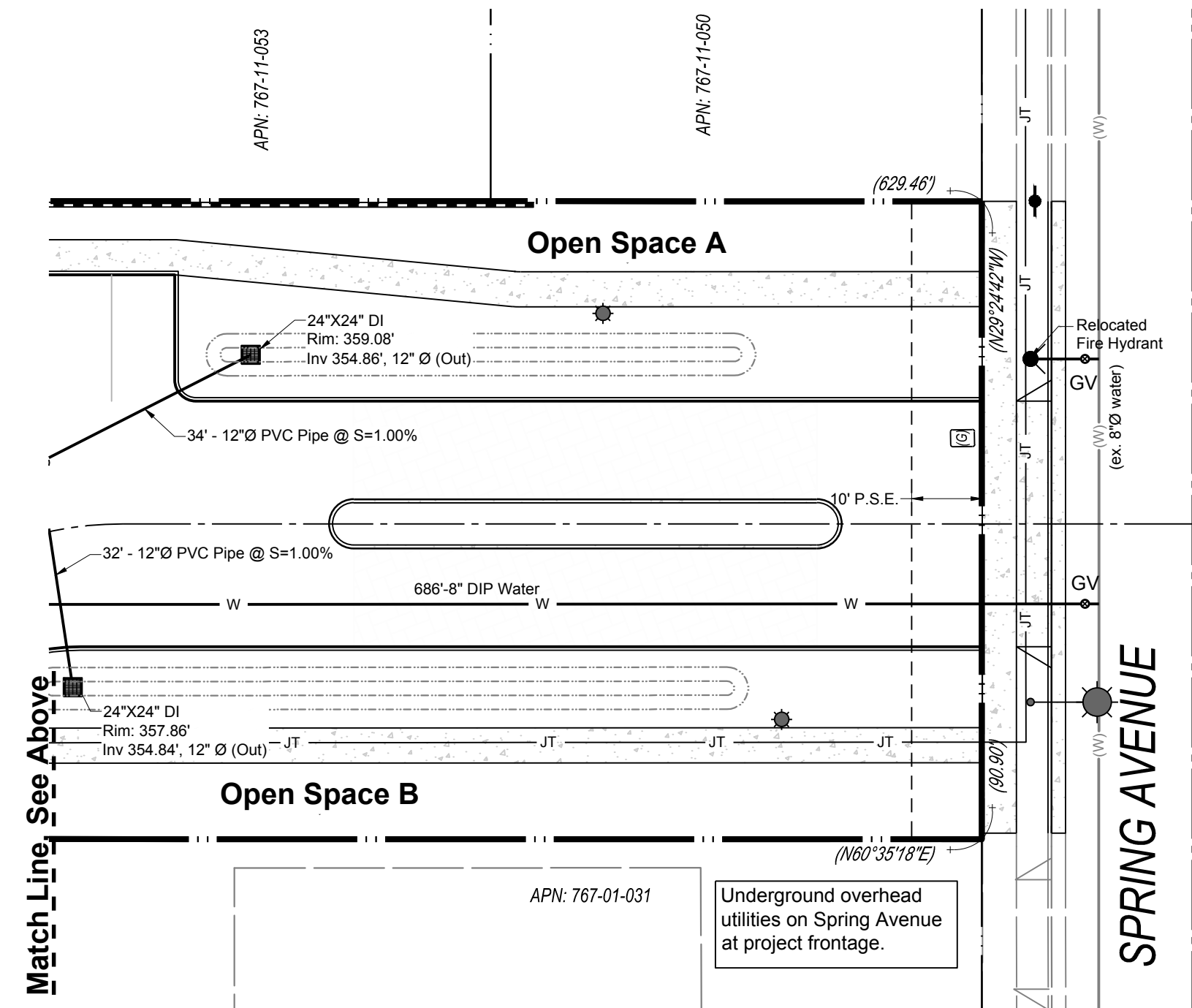
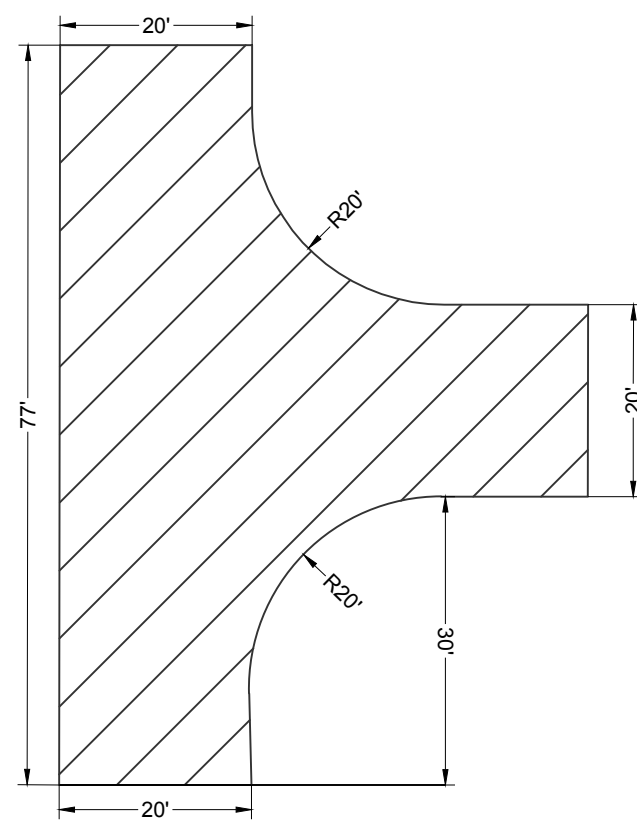
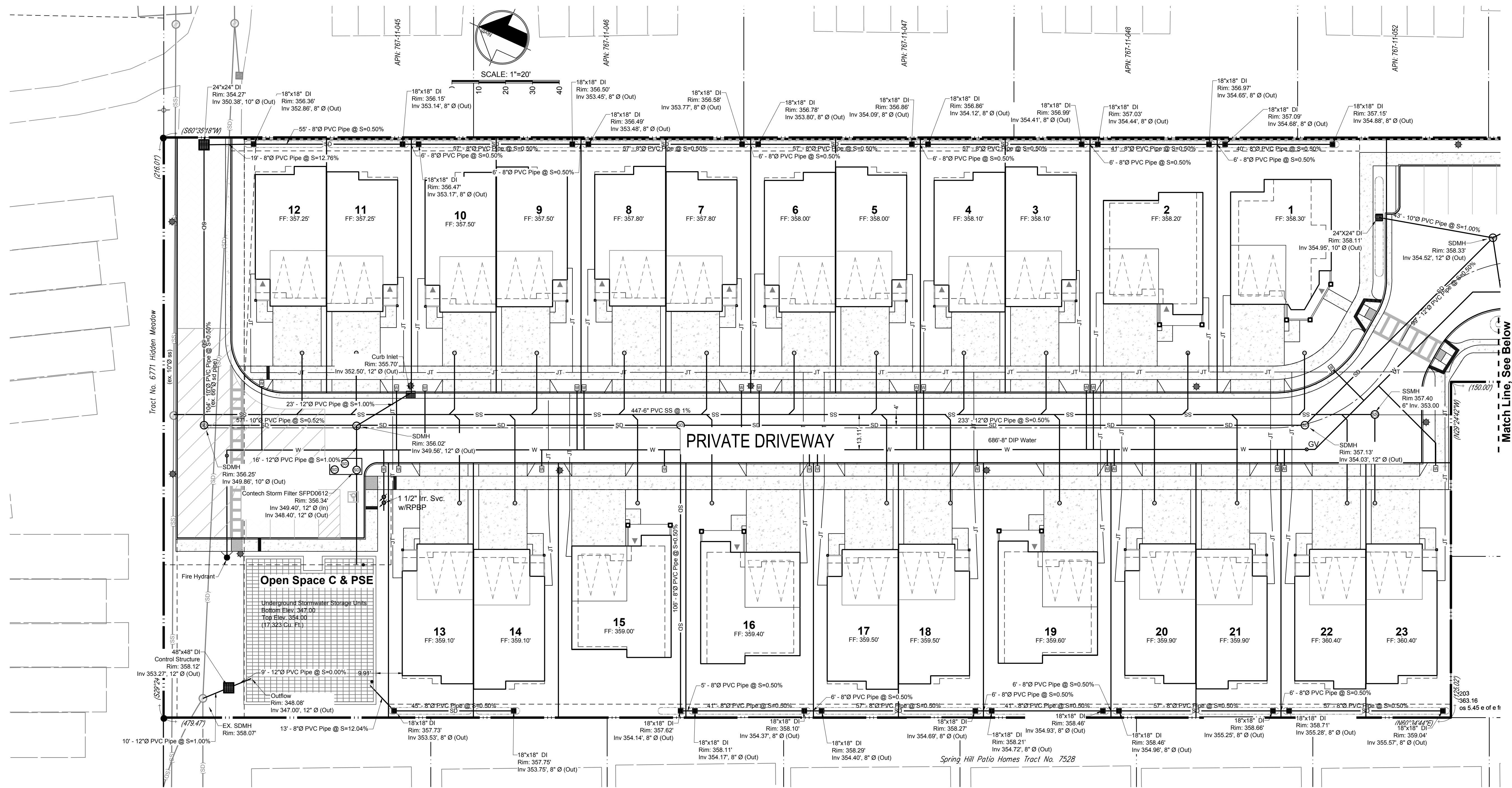
DATE:	05/21
SCALE:	1"=20'
DRAWN BY:	RS
CHECKED BY:	WJM

JOB NO.  
**98043**

SHEET  
**TM-07**  
OF  
**11**



Spring Hill Homes Tract No. 7528, 1600's Vineyard Boulevard, Morgan Hill, CA 95037. This is a preliminary utility plan. It is not to be used for construction. It is subject to change without notice. The information on this plan is based on the information provided by the client. The engineer assumes no responsibility for the accuracy or completeness of the information provided by the client. The engineer assumes no responsibility for the accuracy or completeness of the information provided by the client.



TENTATIVE MAP

SPRING VIEW  
PRELIMINARY UTILITY PLAN

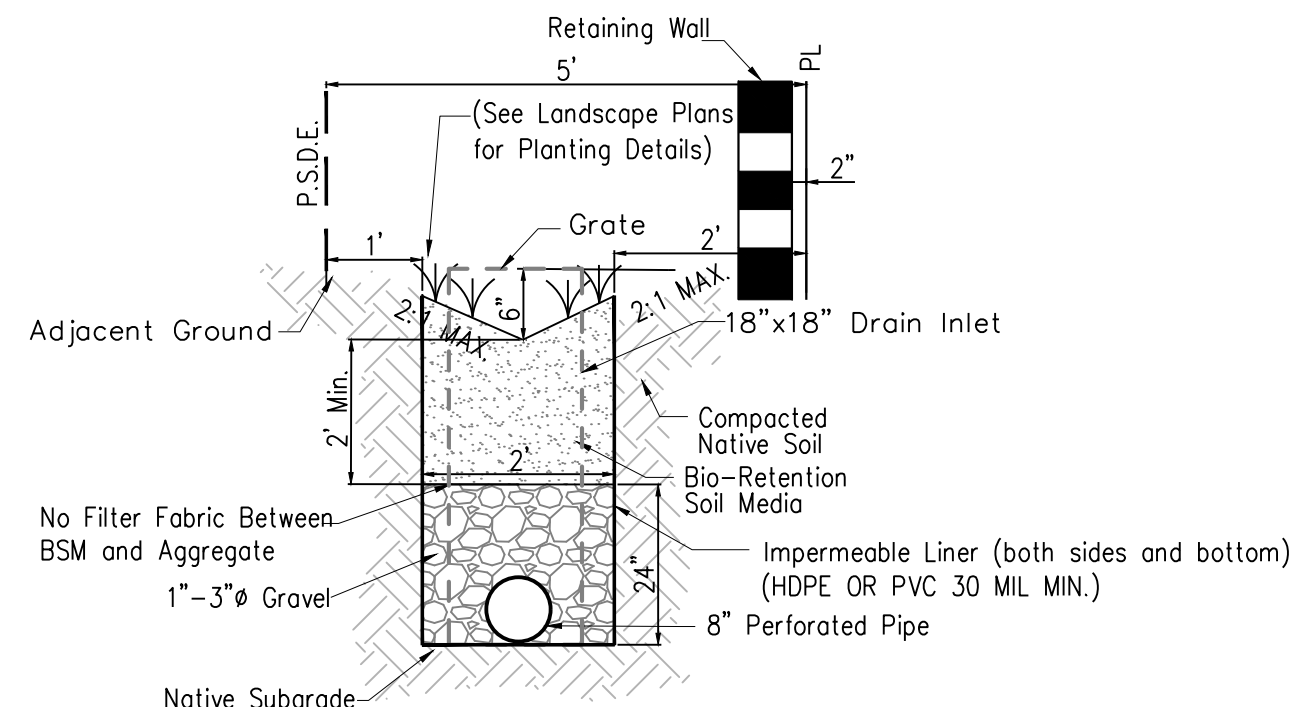
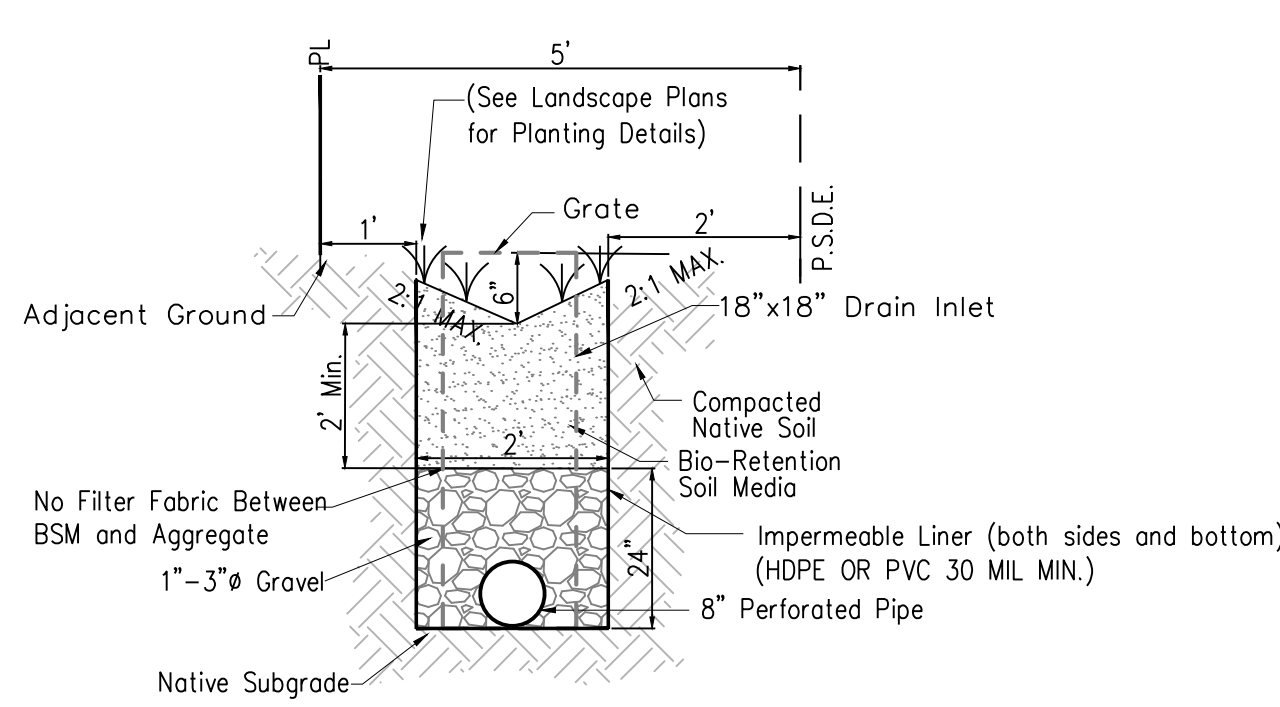
DATE: 05/21  
SCALE: 1"=20'  
DRAWN BY: RS  
CHECKED BY: WJM  
SHEET  
TH-08  
OF 11

MH engineering Co.  
1600's Vineyard Boulevard  
Morgan Hill, CA 95037



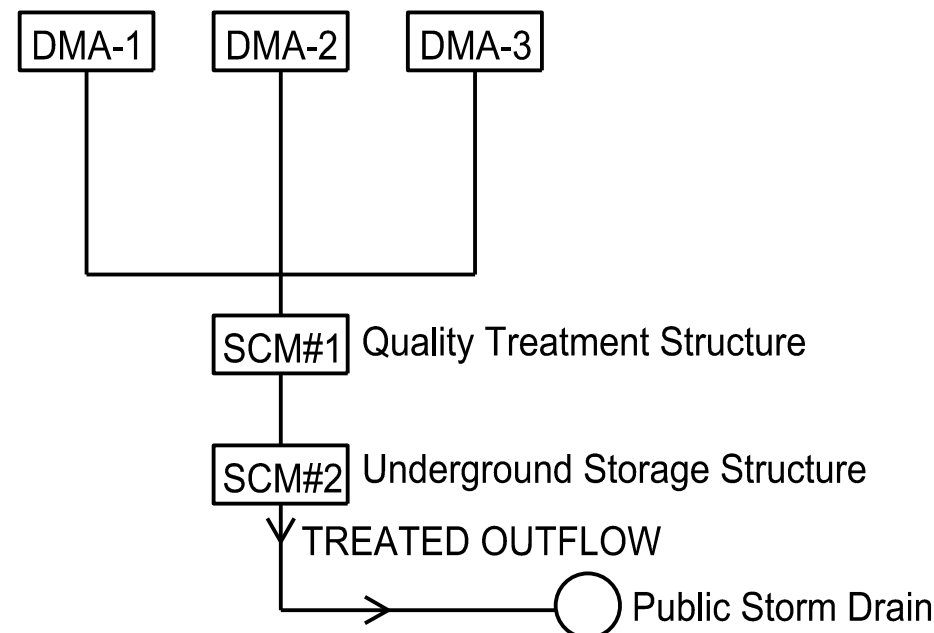
Spring Hill Palto Homes Tract No. 7528  
APN: 757-11-046  
APN: 757-11-047  
APN: 757-11-048  
APN: 757-11-052

"Spring View" LID - BMP Sizing Calcs								
Proposed BMP No.	BMP Impervious Area Public Hardscape (S.F.)	Private Hardscape (S.F.)	Impervious area /total area	C=0.858(1-0.78)*+0.7741-0.04	95th Percentile (1.8" Rain) First Flush Volume to Treat (Cu. Ft.)	Proposed BMP Volume (Cu. Ft.)	(2) 1" $\phi$ outlet orifice pipes	BMP Loading Depth (Inches)
2 Thru 7	478	76,662	0.66	0.463	7,624	20,424	0.14	65
								BMP Infiltration Duration (Hrs.) $\leq 72$
								41

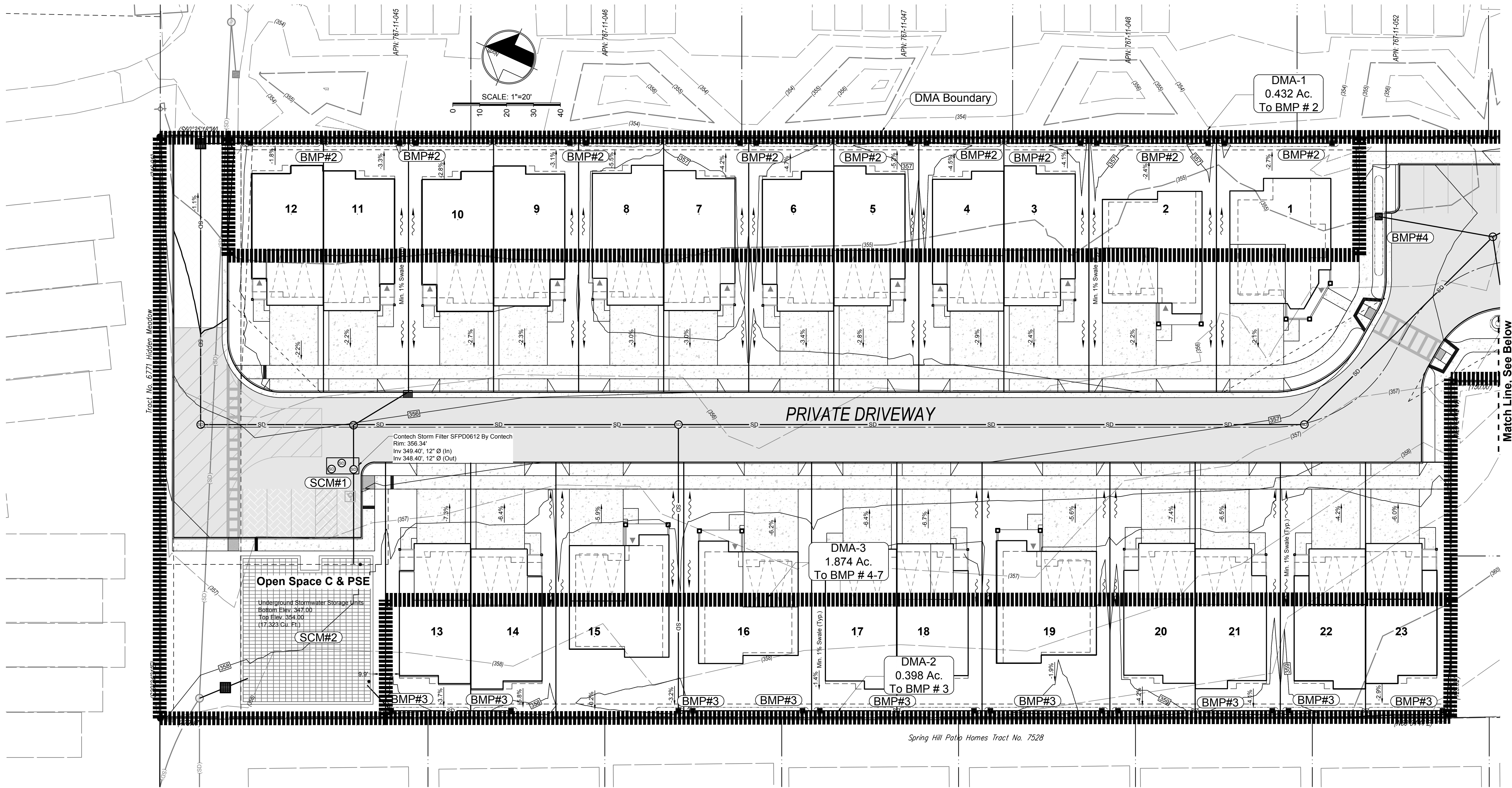
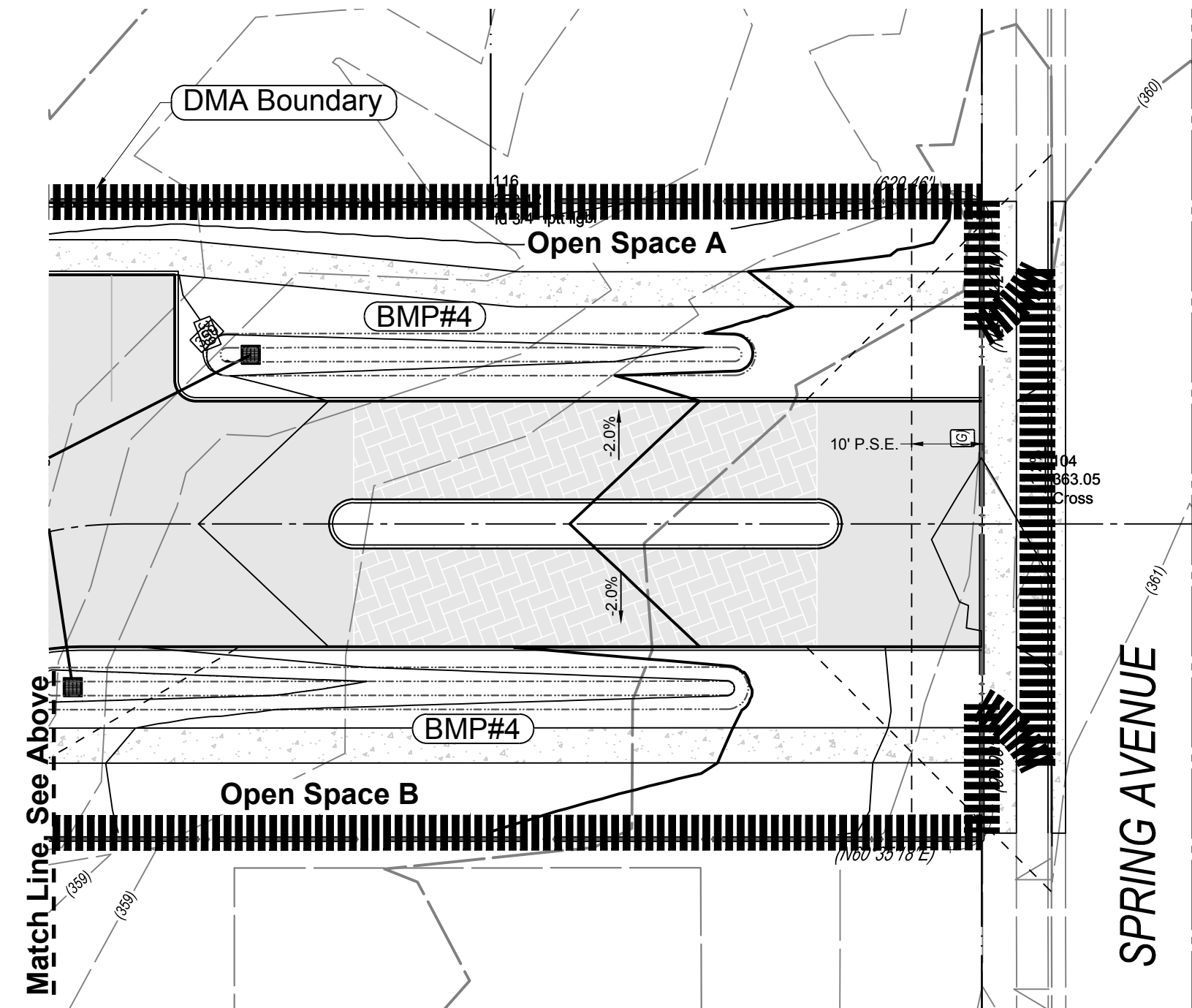


### Legend:

- BMP#1** Site Housekeeping (Applies to whole site)
- BMP#2** Bio-swales in the back yards Lot 1-12
- BMP#3** Bio-swales in the back yards Lot 13-23
- BMP#4** Bio-Swales along driveway at project entrance
- SCM#1** Storm Filter SFMH72 By Contech
- SCM#2** Underground Stormwater Storage (Raintank Units)



Note: All the Bio-Swales in the backyard within the PSDE are not allowed to be removed or altered by the property owners



### TENTATIVE MAP

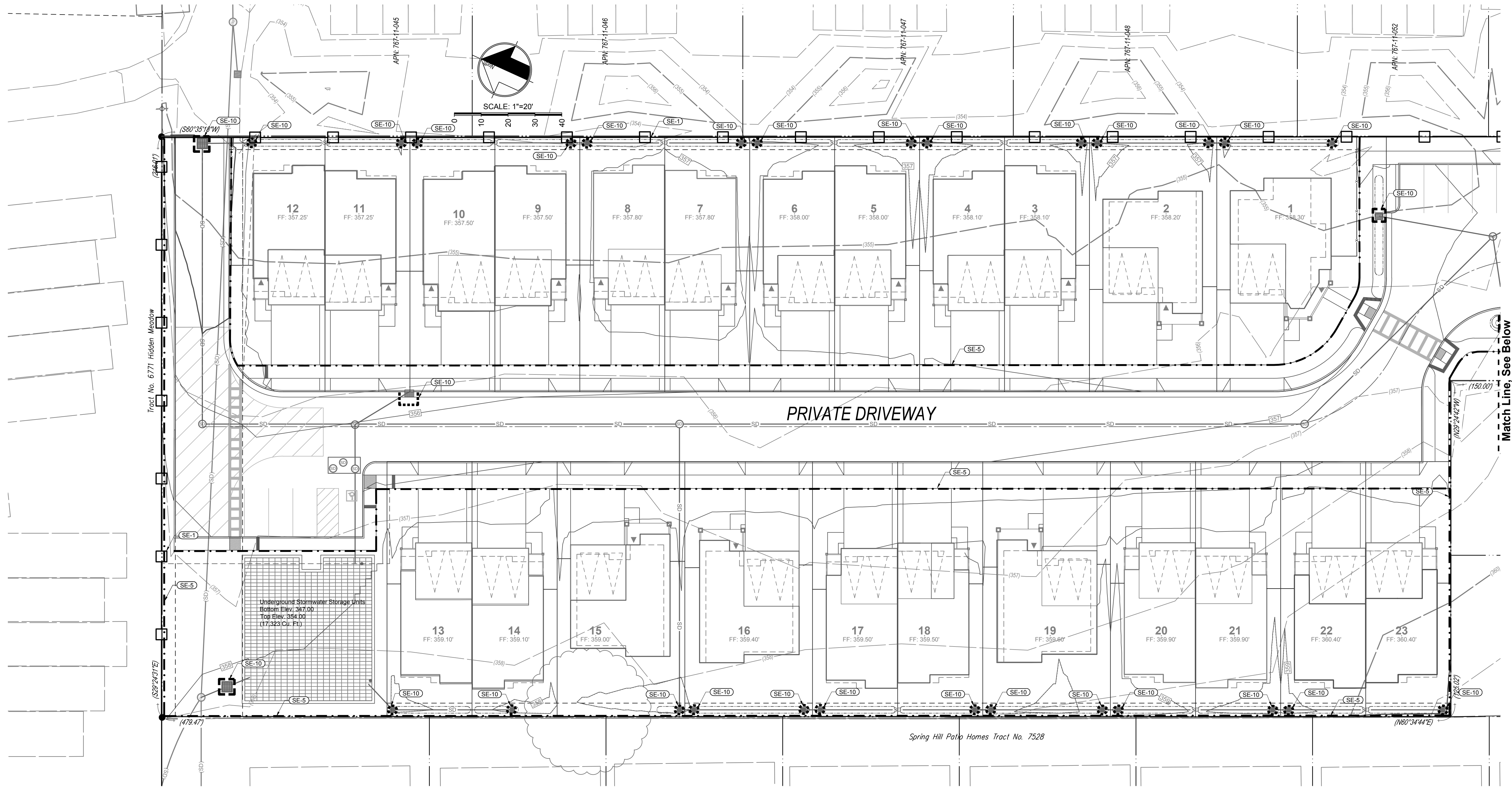
### SPRING VIEW STORMWATER CONTROL PLAN

DATE: 05/21  
SCALE: 1"=20'  
DRAWN BY: RS  
CHECKED BY: WJM  
SHEET  
TM-09  
OF 11

**MHengineeringCo.**  
1607 S Vineyard Boulevard  
Morgan Hill, CA 95037

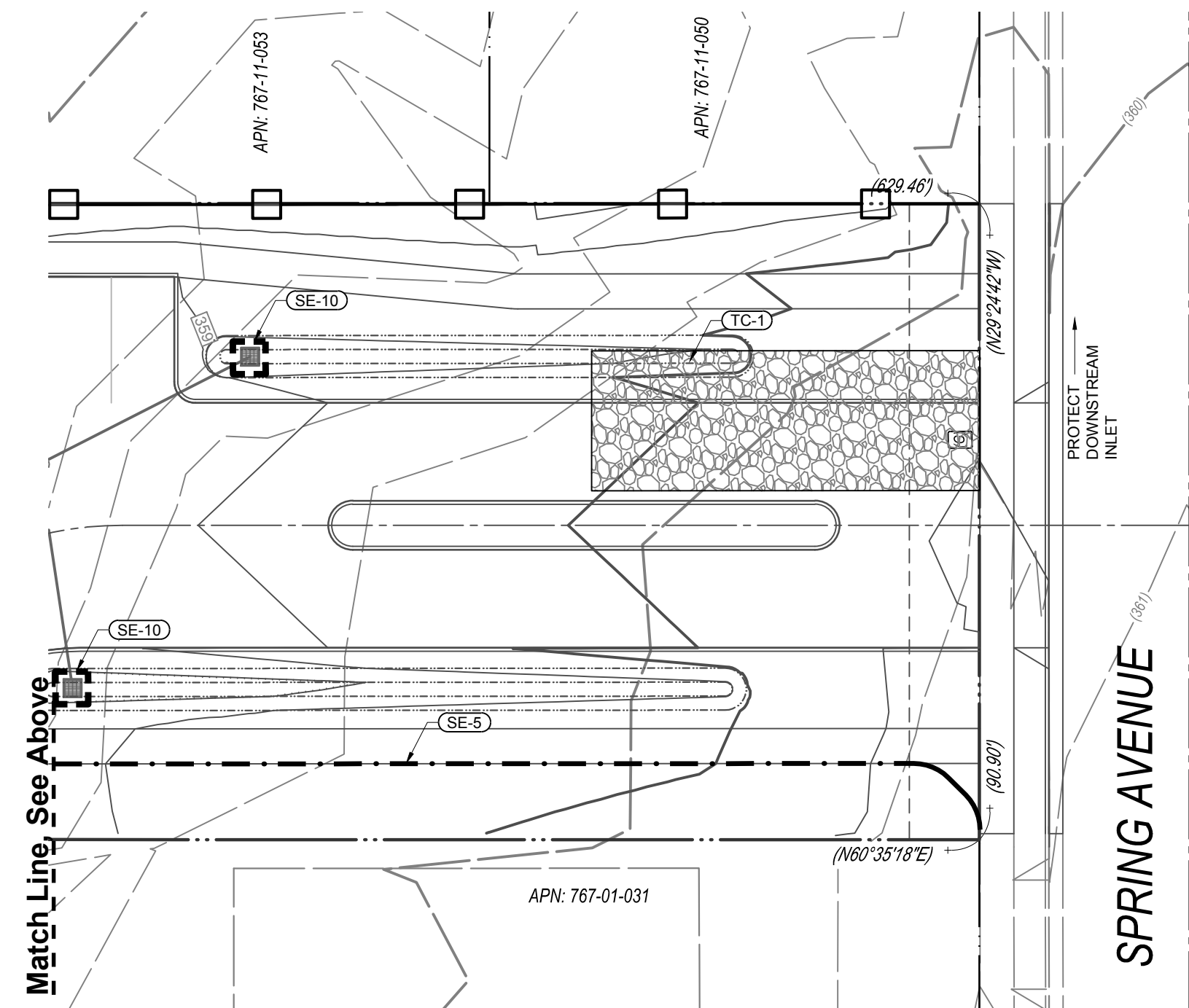


APR 2021 10:00 AM  
PROJECT: 1607'S VINEYARD BOULEVARD  
SHEET: 11  
DATE: 05/21/21  
SCALE: 1"=20'  
DRAWN BY: RS  
CHECKED BY: WJM



LEGEND

- SE-5 FIBER ROLLS
- SE-10 STORM DRAIN INLET PROTECTION
- TC-1 STABILIZED CONSTRUCTION ENTRANCE
- SE-1 SILT FENCE



TENTATIVE MAP

SPRING VIEW  
EROSION CONTROL PLAN

DATE: 05/21  
SCALE: 1"=20'  
DRAWN BY: RS  
CHECKED BY: WJM  
SHEET  
TM-10  
OF 11

MH engineering Co.  
1607'S Vineyard Boulevard  
Morgan Hill, CA 95037



