

TENTATIVE TRACT MAP SPRING VIEW

MORGAN HILL, SANTA CLARA COUNTY, CALIFORNIA

CONTACT INFORMATION:

APPLICANT/OWNER: Joe & Sheila Giancola
2290-A Cochrane Road
Morgan Hill, CA 95037

CIVIL ENGINEER: MH ENGINEERING
16075 VINEYARD BLVD.
MORGAN HILL, CA 95037
(408) 779-7381
BILLM@MHENGINEERING.COM

PLANNER: DEVELOPMENT PROCESS CONSULTANTS
220 LIVE OAK DRIVE
DANVILLE, CA 94506
(408) 421-2695
VRBURGOSICLOUD@ICLOUD.COM

LANDSCAPE ARCHITECT: RIPLEY DESIGN GROUP, INC.
1615 BONANZA ST., SUITE 314
WALNUT CREEK, CA 94596
(925) 938-9377

SITE DATA

SUBJECT PARCELS: APN: 767-11-030
CURRENT LAND USE: RESIDENTIAL
ZONING: RAL
GENERAL PLAN: RAL (6-16 DU/AC)
PROPOSED LAND USE: RESIDENTIAL
BUILDOUT TABULATION:
GROSS AREA 2.686 AC
PRIVATE RIGHT OF WAY 0.555 AC
PUBLIC RIGHT-OF-WAY DEDICATION 0 AC
NET AREA 2.131 AC
UTILITIES:
WATER CITY OF MORGAN HILL
SANITARY SEWER CITY OF MORGAN HILL
STORM DRAIN CITY OF MORGAN HILL
GAS & ELECTRIC PG&E
TELEPHONE VERIZON
PRELIMINARY EARTHWORK SUMMARY (APPROX.):
CUT 1,600 CY
FILL 3,836 CY
NET 2,336 CY (IMPORT)

PROJECT DATA

THIS IS A RESIDENTIAL PROJECT CONSISTING OF 23 NEW HOMES OF TWO OWNERSHIP HOUSING TYPES:

- 18 DUETS
- 5 SINGLE FAMILY DETACHED

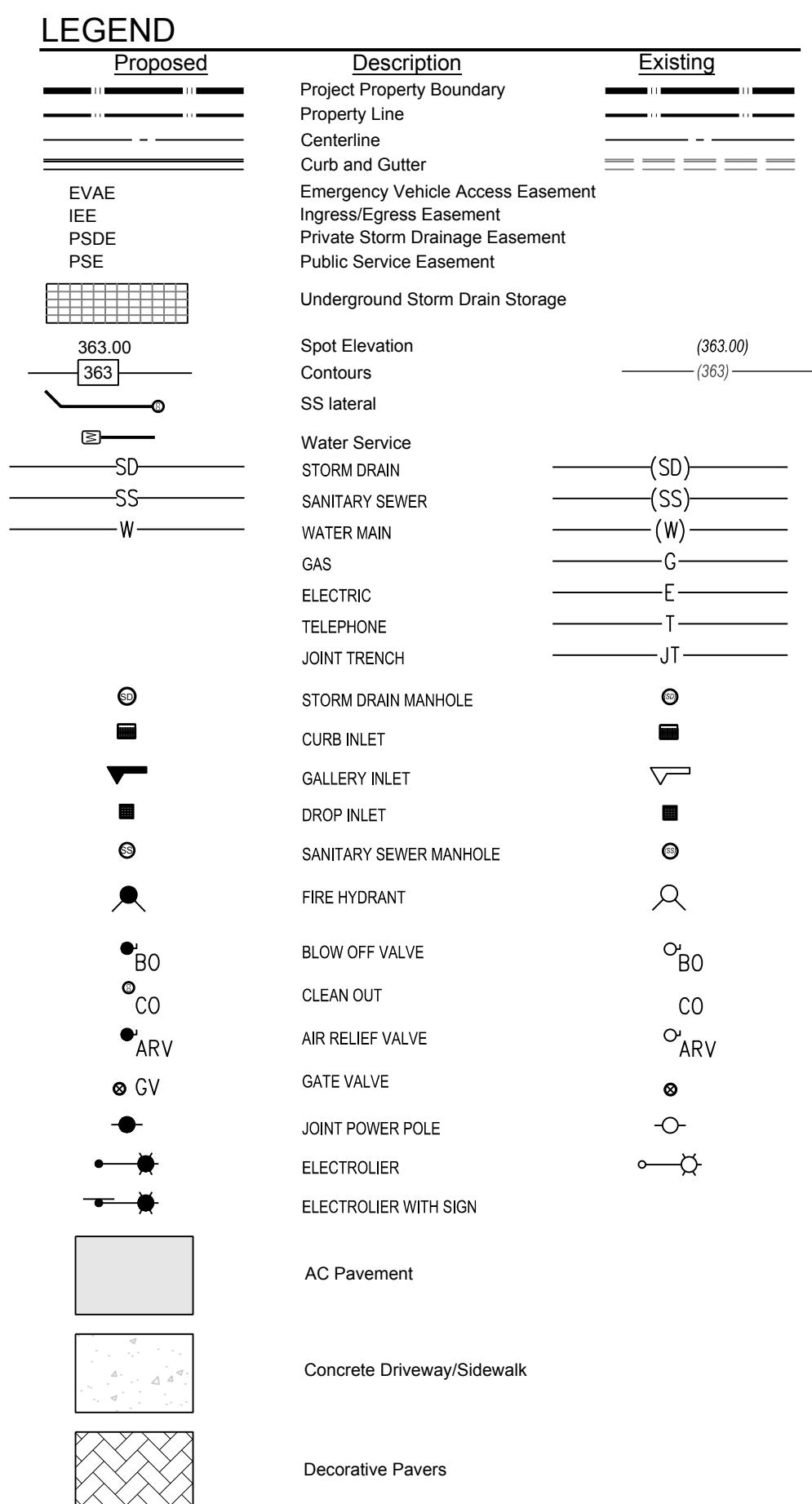
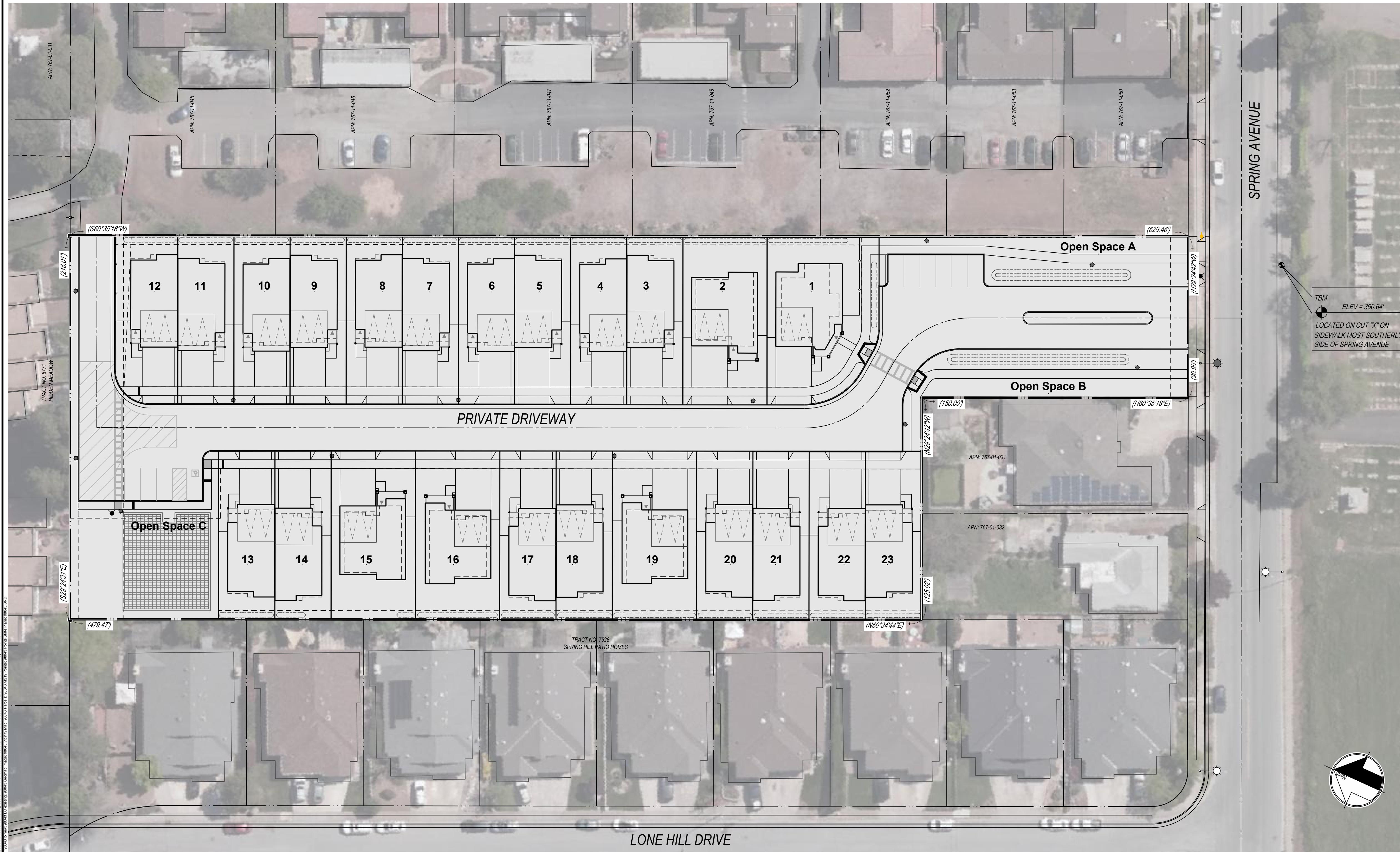
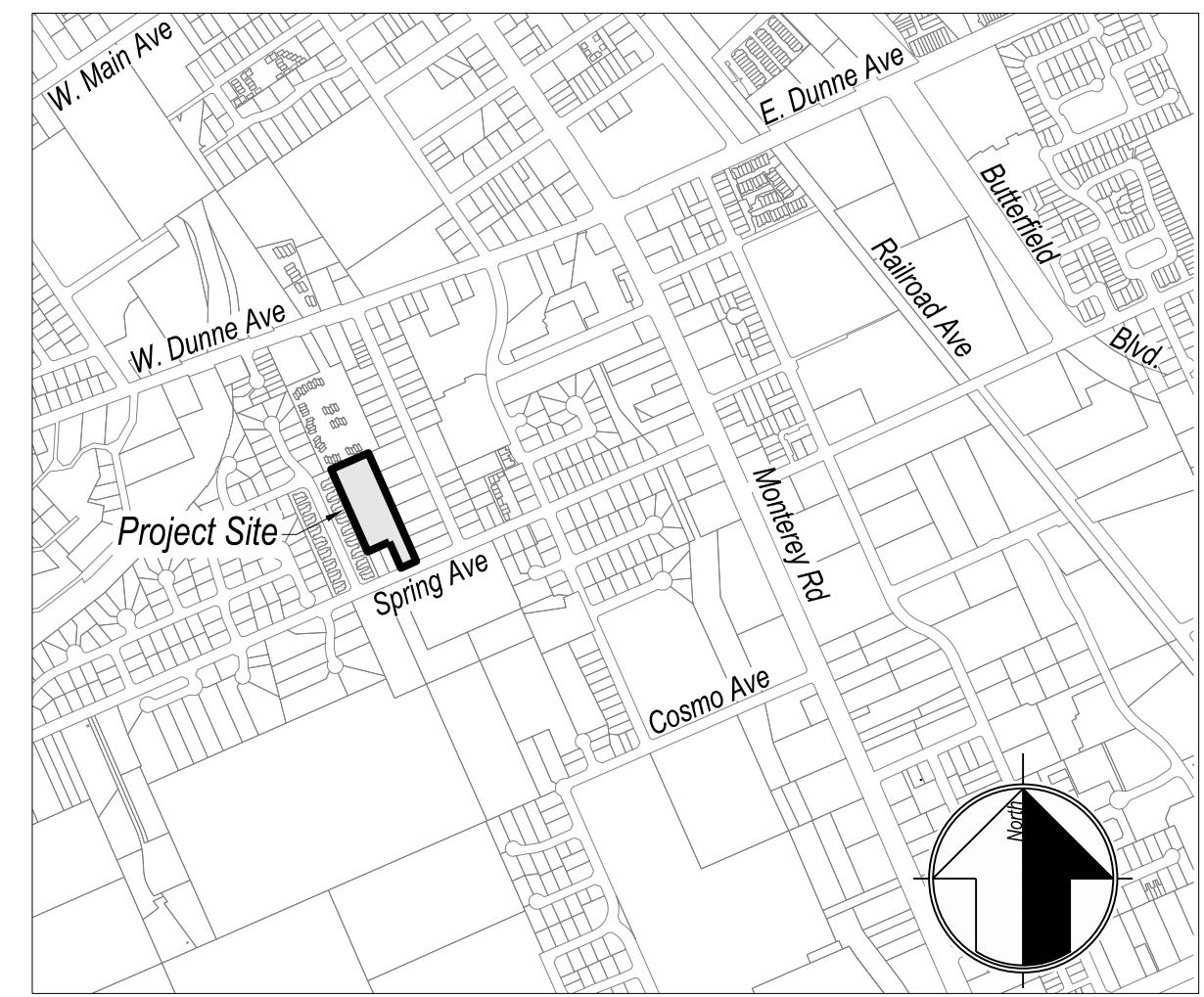
IN-TRACT IMPROVEMENTS CONSIST OF THE FOLLOWING ELEMENTS:

- PRIVATE CIRCULATION NETWORK INCLUDING STREETS AND EVA.
- ACTIVE AND PASSIVE OPEN SPACE AND AMENITIES, AND TOT LOT. SEE COMPANION DESIGN REVIEW PERMIT PLAN SET FOR ALL AMENITIES.
- CURB-SIDE AND BAY SHARED PARKING.
- OFF-SITE IMPROVEMENTS CONSIST OF THE FOLLOWING: SPRING AVENUE HALF STREET IMPROVEMENTS INCLUDING WATER MAIN, CURB, GUTTER, SIDEWALK AND RESURFACING, CURB/GUTTER/SIDEWALK IMPROVEMENT ON THE WESTERLY (PROJECT) SIDE OF THE STREET.
- SEE TENTATIVE MAP PLANS FOR LIMITS OF PROPOSED STREET IMPROVEMENTS.

GENERAL INFORMATION

1. 5 PROPOSED CONTOURS, GRADES, AND PAD ELEVATIONS IN THIS PLAN SET ARE PRELIMINARY AND SUBJECT TO CHANGE DURING FINAL DESIGN.
2. BOUNDARY SHOWN HEREIN IS BASED ON RECORD DATA. ADDITIONAL SURVEY IS RECOMMENDED.
3. LOT NUMBERS ARE FOR IDENTIFICATION PURPOSES ONLY AND ARE NOT INTENDED AS FINAL.
4. ALL GRADING WILL BE DONE IN CONFORMANCE WITH THE RECOMMENDATIONS AND CONDITIONS OF THE GEOTECHNICAL ENGINEER, THE CITY OF MORGAN HILL STANDARDS AND SPECIFICATIONS, AND APPLICABLE REPORTS REGARDING THIS PROJECT.
5. PROJECT LIES ENTIRELY WITHIN FLOOD X, AREA X DEFINED AS, "AREAS OF 0.2% CHANCE OF FLOOD; AREAS OF 1% CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD." (FIRM MAP NUMBER 06085C044H, EFFECTIVE DATE MAY 18, 2009).
6. PROPOSED CONTOURS, GRADES, AND PAD ELEVATIONS IN THIS PLAN SET ARE PRELIMINARY AND SUBJECT TO CHANGE DURING FINAL DESIGN.
7. THE UTILITY PIPE SIZES AND CONNECTIONS SHOWN ON THIS MAP ARE PRELIMINARY AND ARE SUBJECT TO CHANGE.
8. PROPOSED STORM DRAIN AND RETENTION SYSTEM IS PRELIMINARILY DESIGNED TO ACCOMMODATE STORAGE FOR RUNOFF RETENTION AS REQUIRED BY THE CENTRAL COAST RWQCB.
9. EXISTING TOPOGRAPHY IS BASED ON GROUND TOPOGRAPHIC SURVEY BY MH ENGINEERING CO., DATED MAY 20, 2020.
10. EXISTING MONITORING WELL TO BE CAPPED PER SANTA CLARA VALLEY WATER DISTRICT REQUIREMENTS.
11. CONDOMINIUMS IMPLEMENT TOWN HOME STANDARDS SHOWN IN CODE SECTION 18.40, TABLE 18.40-2. LOTTING SCHEME SHOWN IS PRELIMINARY AND MAY BE REFINED IN THE FUTURE.
12. ALL ABOVE-GROUND ON-SITE DRY UTILITIES TO REMAIN SHALL BE PLACED UNDERGROUND.
13. INDIVIDUAL RESIDENTIAL UNITS IN THIS PLAN SET ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

vicinity map:



SHEET INDEX

1. TITLE SHEET
2. EXISTING CONDITIONS
3. TITLE DISPOSITIONS
4. COMPREHENSIVE LOTTING PLAN
5. PRELIMINARY GRADING PLAN
6. GRADING CROSS SECTIONS
7. STREET SECTIONS
8. PRELIMINARY UTILITY PLAN
9. STORM WATER CONTROL PLAN
10. EROSION CONTROL PLAN
11. EROSION CONTROL DETAILS

MH engineering Co.
16075 Vinyard Boulevard
Morgan Hill, CA 95037

TENTATIVE MAP
SPRING VIEW
TITLE SHEET

DATE: 05/21
SCALE: 1"=30'
DRAWN BY: RS
CHECKED BY: WJM
JOB NO: 98043
SHEET
TM-01
OF
11

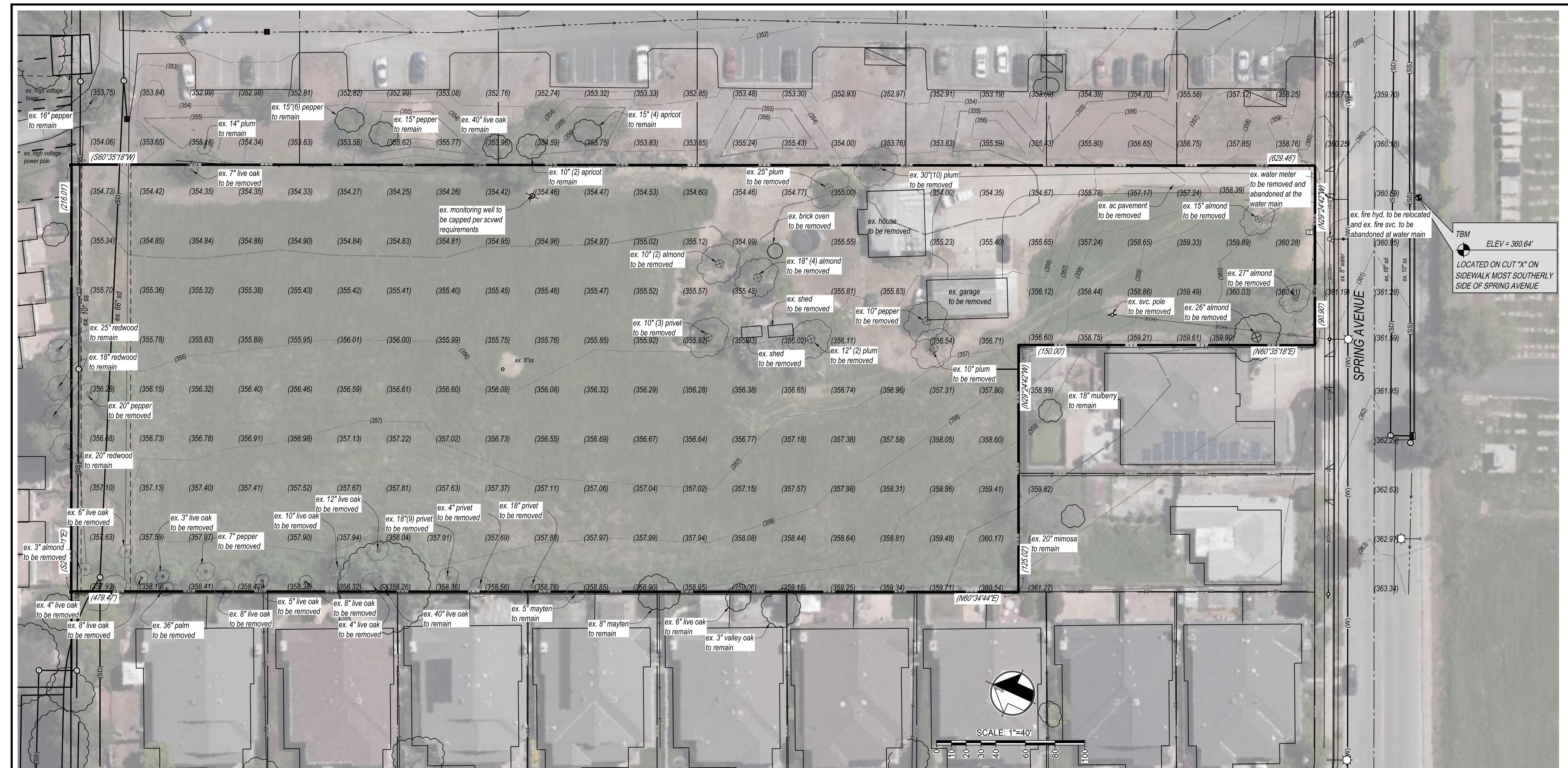
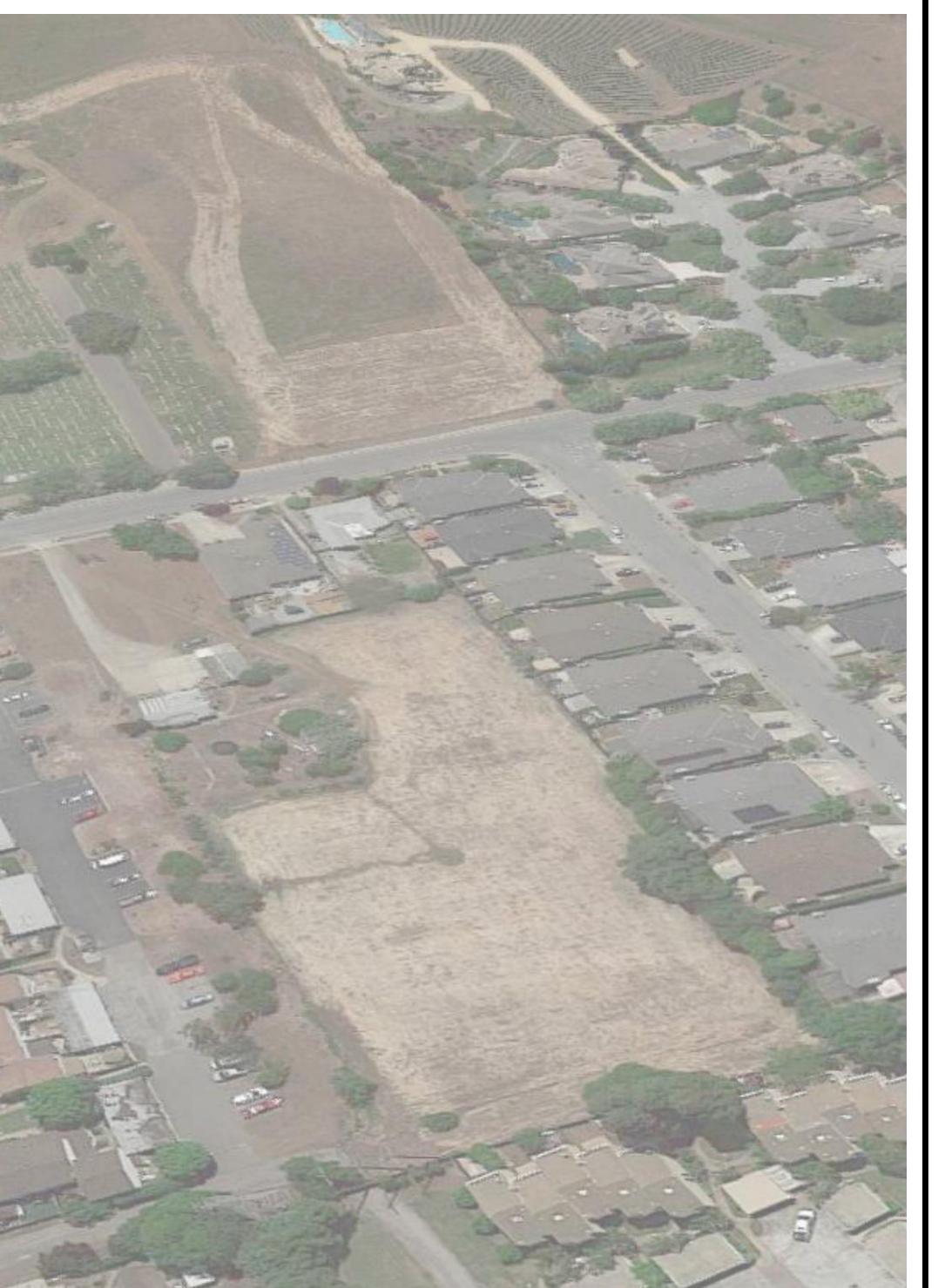


Photo 1: Property View-Looking South



This aerial photograph captures a large, open industrial or agricultural complex situated in a suburban environment. The central feature is a massive, mostly empty, light-brown field with some sparse vegetation and a few small, isolated buildings. To the left, a dense cluster of industrial buildings with grey roofs is visible, along with several parking lots and a road. To the right, a mix of residential houses with dark roofs and larger commercial or industrial buildings are scattered across the landscape. A network of roads and streets is visible, connecting the different parts of the area. The overall scene suggests a transition from a developed urban or industrial zone to a more rural or agricultural setting.

An aerial photograph of a residential area. The scene is dominated by a large, dry, brown field in the center, which appears to be a former construction site or a large empty lot. To the left of this field, there is a row of houses with brown roofs and some green lawns. To the right, there is another row of houses with similar characteristics. A paved road runs horizontally across the middle of the image, separating the two main groups of houses. The surrounding area is a mix of green lawns and trees, with some other buildings and structures visible in the background. The overall impression is of a suburban neighborhood that is currently undergoing some kind of development or renovation.

This aerial photograph captures a coastal town from a high vantage point. The town is characterized by a grid of streets and numerous houses with dark roofs. A prominent feature is a large, light-colored industrial or agricultural complex situated along the coastline. This complex includes several large buildings, a large parking lot filled with vehicles, and a network of roads and green spaces. To the right of the complex, a large, flat, light-colored area, possibly a salt flat or a large industrial facility, stretches towards the horizon. The town extends further into the distance, with more residential areas and industrial buildings visible. The overall scene suggests a mix of urban development and industrial activity in a coastal region.

TENTATIVE MAP

SPRING VIEW

MHI engineering Co.

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MH engineering Co.

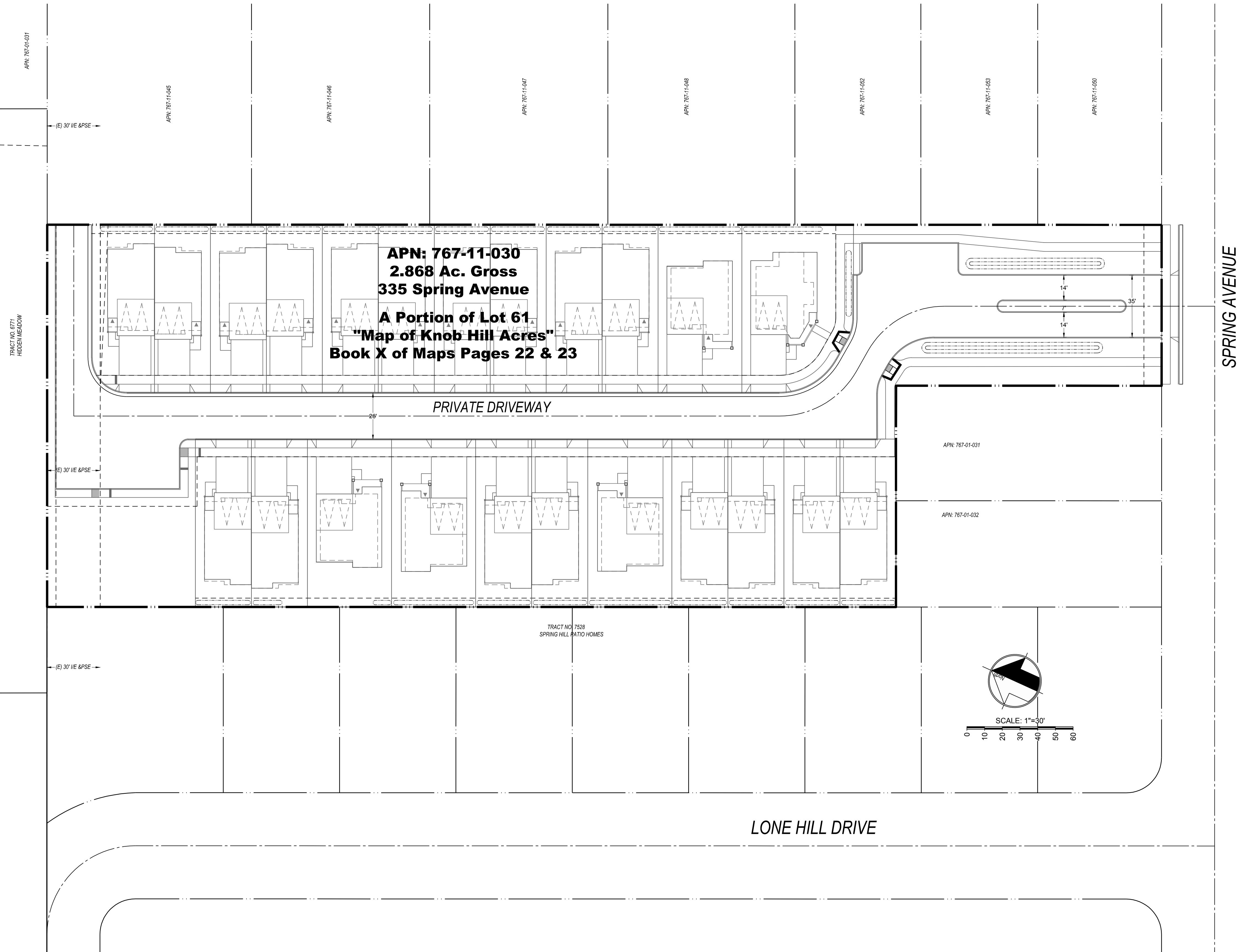
16075 Vineyard Boulevard
Morgan Hill, CA 95037

SHEET
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11

Photo 1: Property View-Looking North

Photo 1: Property View-Looking East

Photo 1: Property View-Looking West

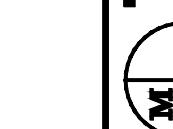


TENTATIVE MAP

SPRING VIEW

TITLE DISPOSITION

MH engineering Co.

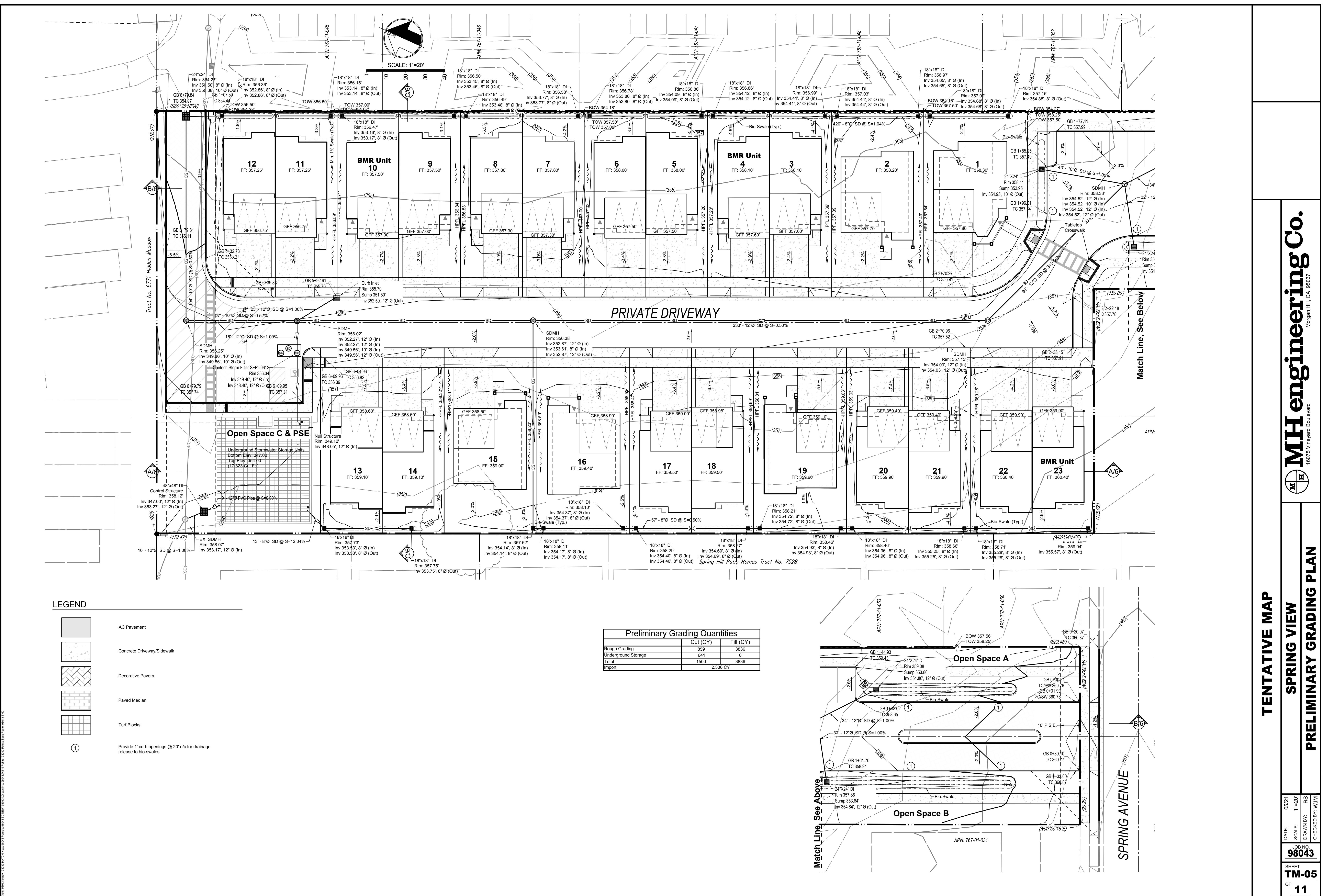


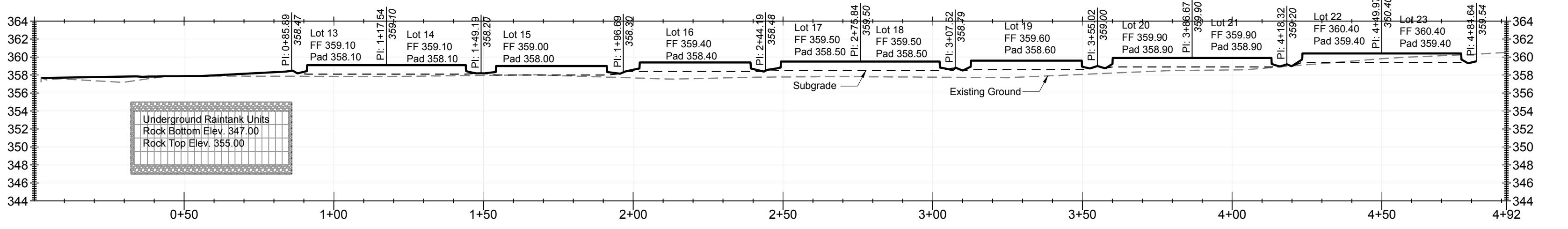
Morgan Hill, CA 95037

16075 Vineyard Boulevard

SHEET
TM-03
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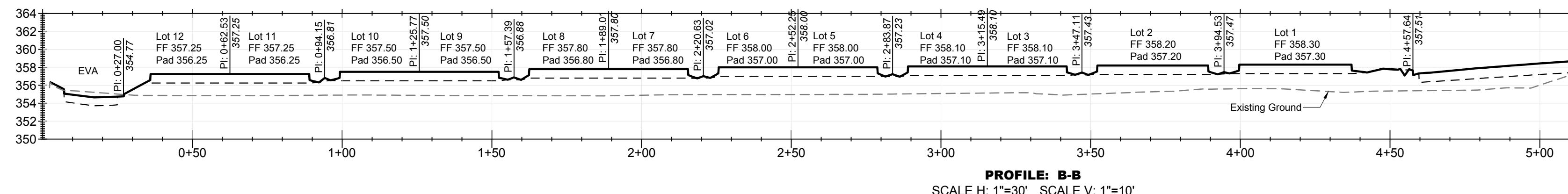
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CHECKED BY: WJM





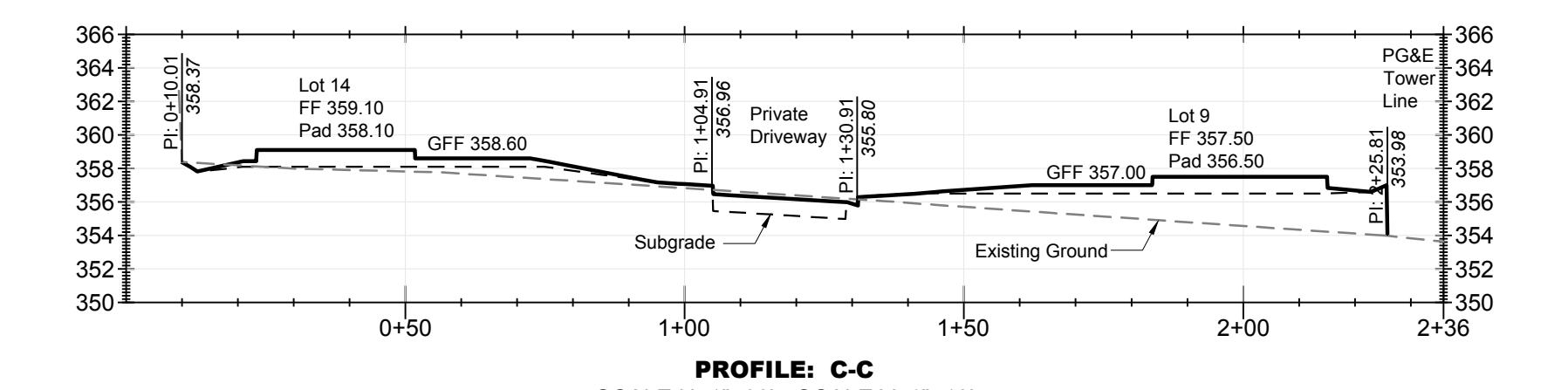
PROFILE: A-A

SCALE H: 1"=30' SCALE V: 1"=10'



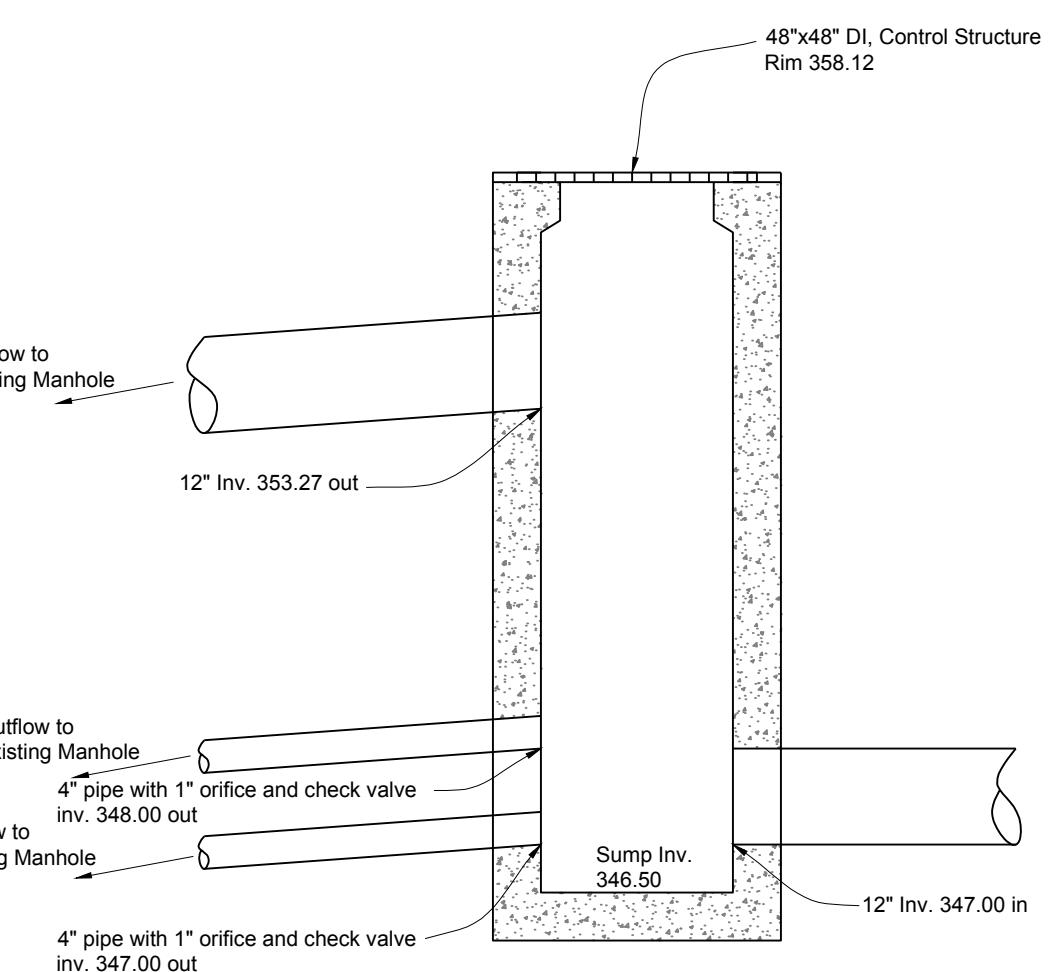
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SCALE H. 1 =30 SCALE V. 1 =10



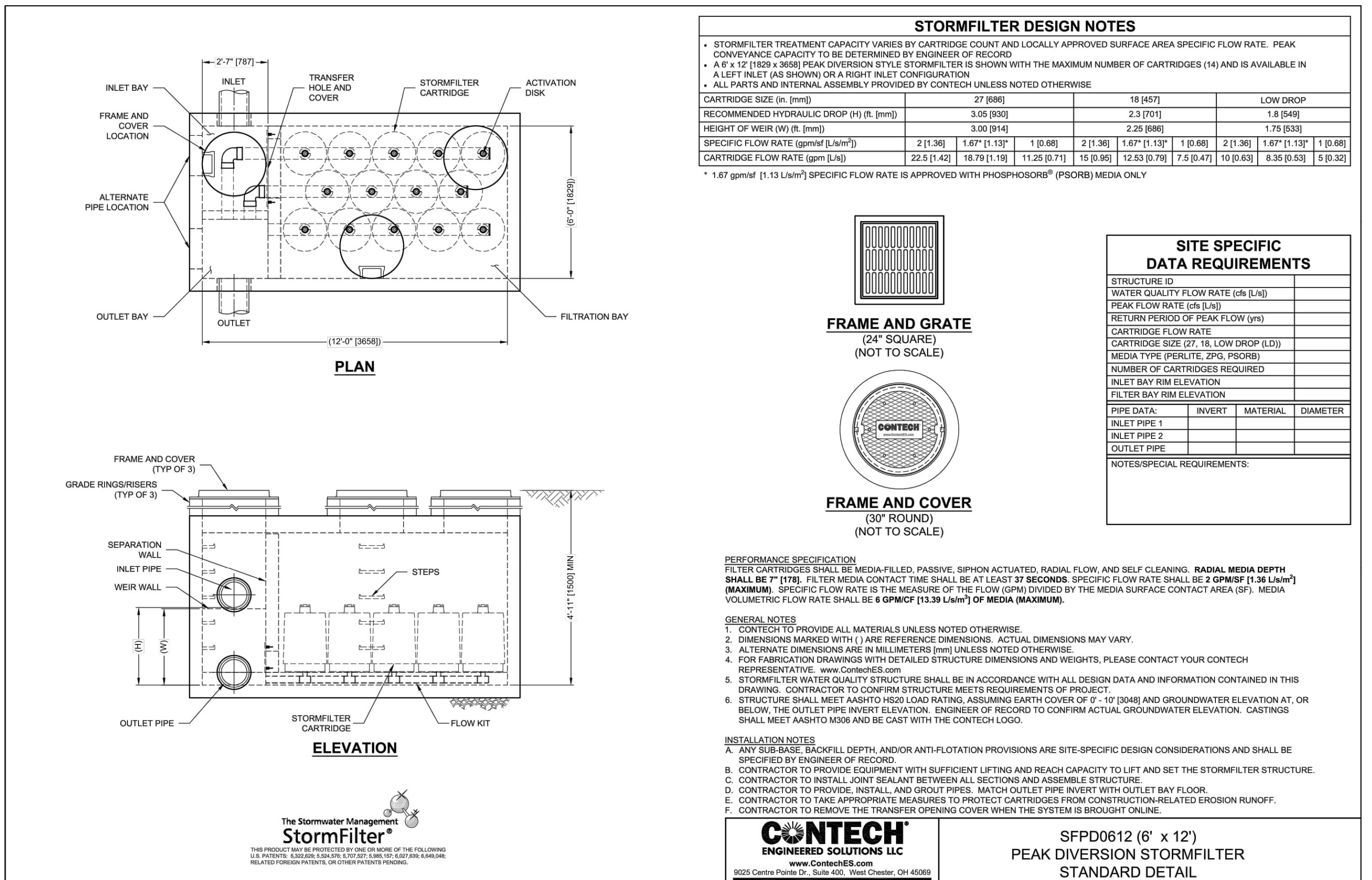
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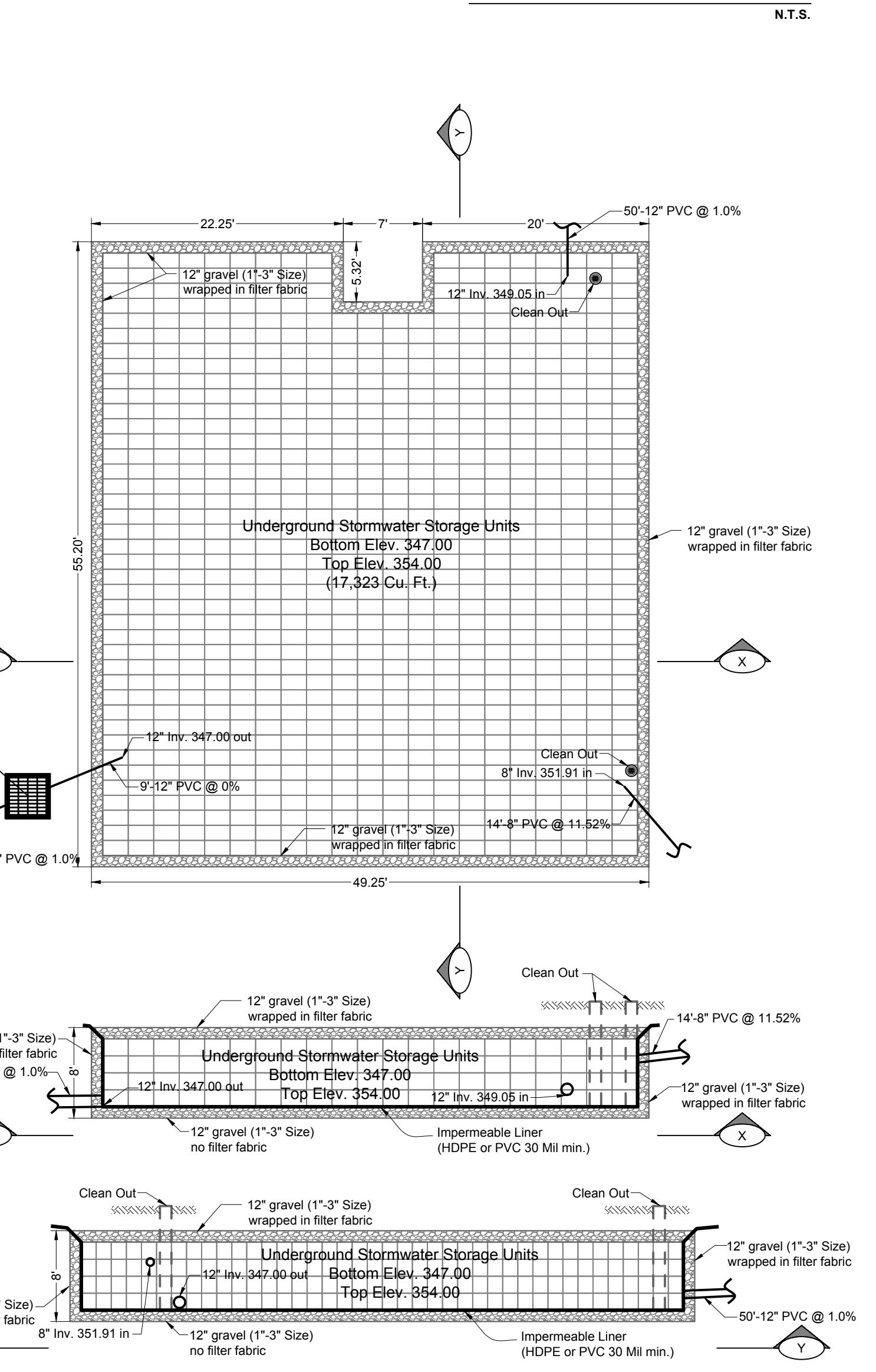


Outlet Control Structure Detail

N.T.S.



SFPD0612 (6' x 12')
PEAK DIVERSION STORMFILTER
STANDARD DETAIL



Underground Raintank Detail

Underground Rainbank Details

TENTATIVE MAP

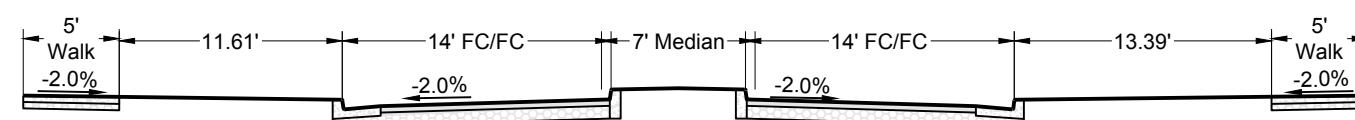
SPRING VIEW

W.H. engineering Co.

Morgan Hill, CA 95037

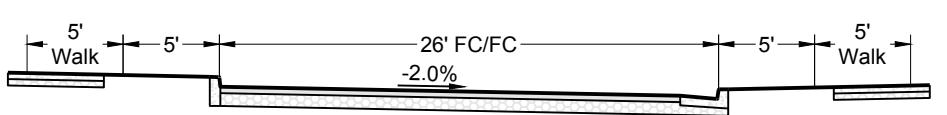
Project Entrance with Median Typical Section

Scale: 1" = 10'



26' Private Driveway Typical Section

Scale: 1" = 10'



TENTATIVE MAP



MH engineering Co.

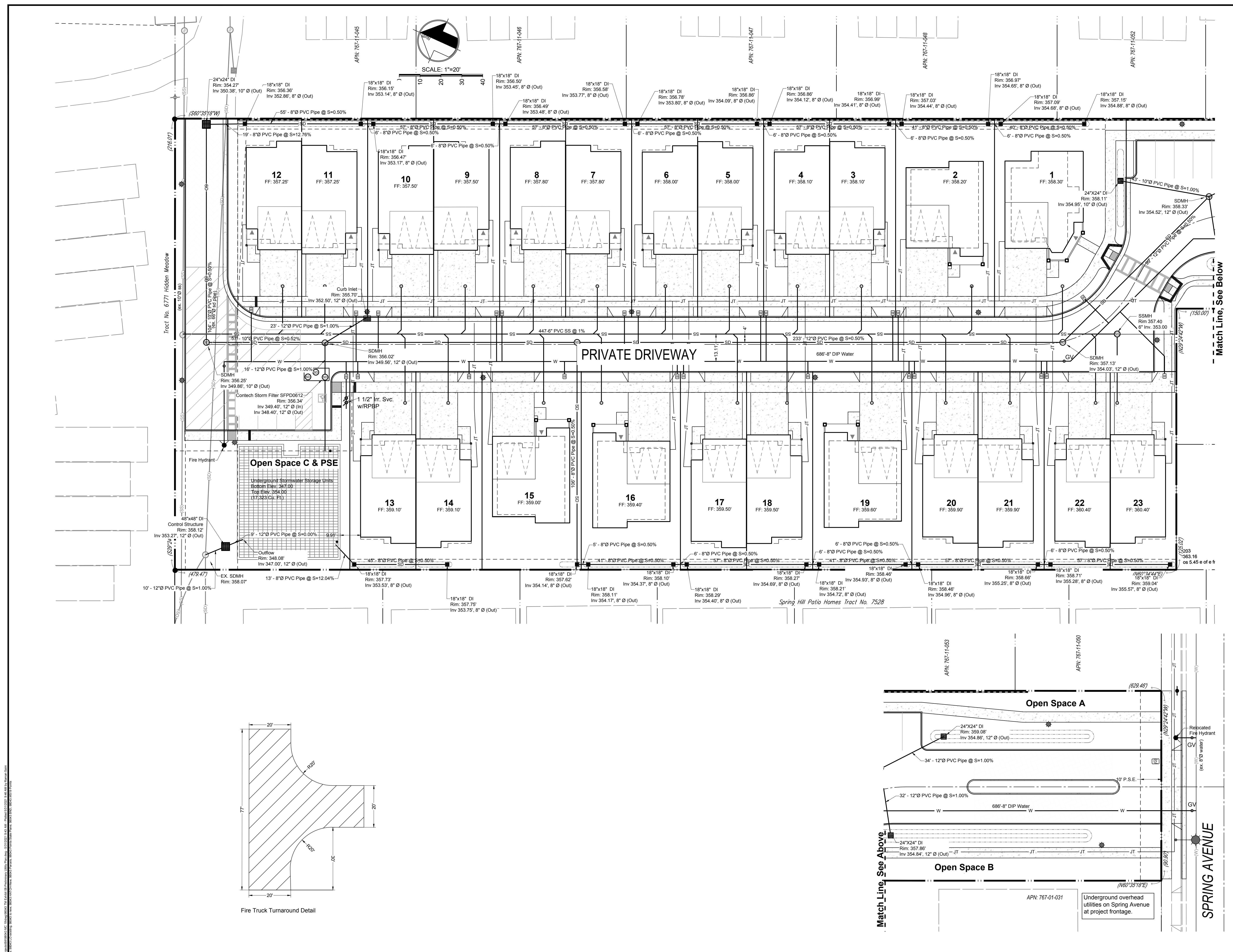
Morgan Hill, CA 95037

SPRING VIEW

STREET SECTIONS

TM-07
OF
11

DATE: 05/21
SCALE: 1"=20'
DRAWN BY: RS
CHECKED BY: WJM
JOB NO: 98043



TENTATIVE MAP

MIH Engineering Co.

Morgan Hill, CA 95037

Morgan Hill, CA 95037

TENTATIVE MAP

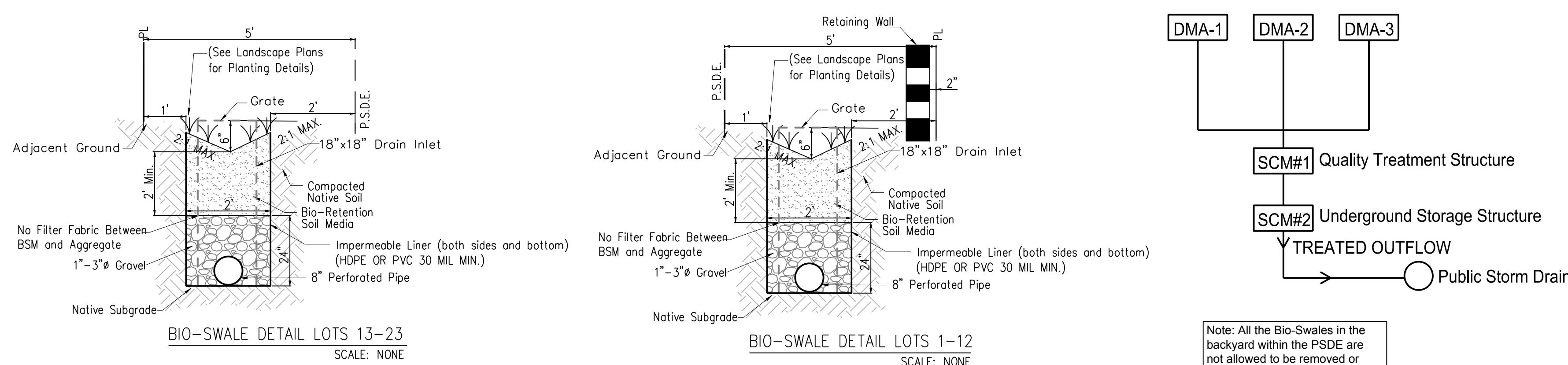
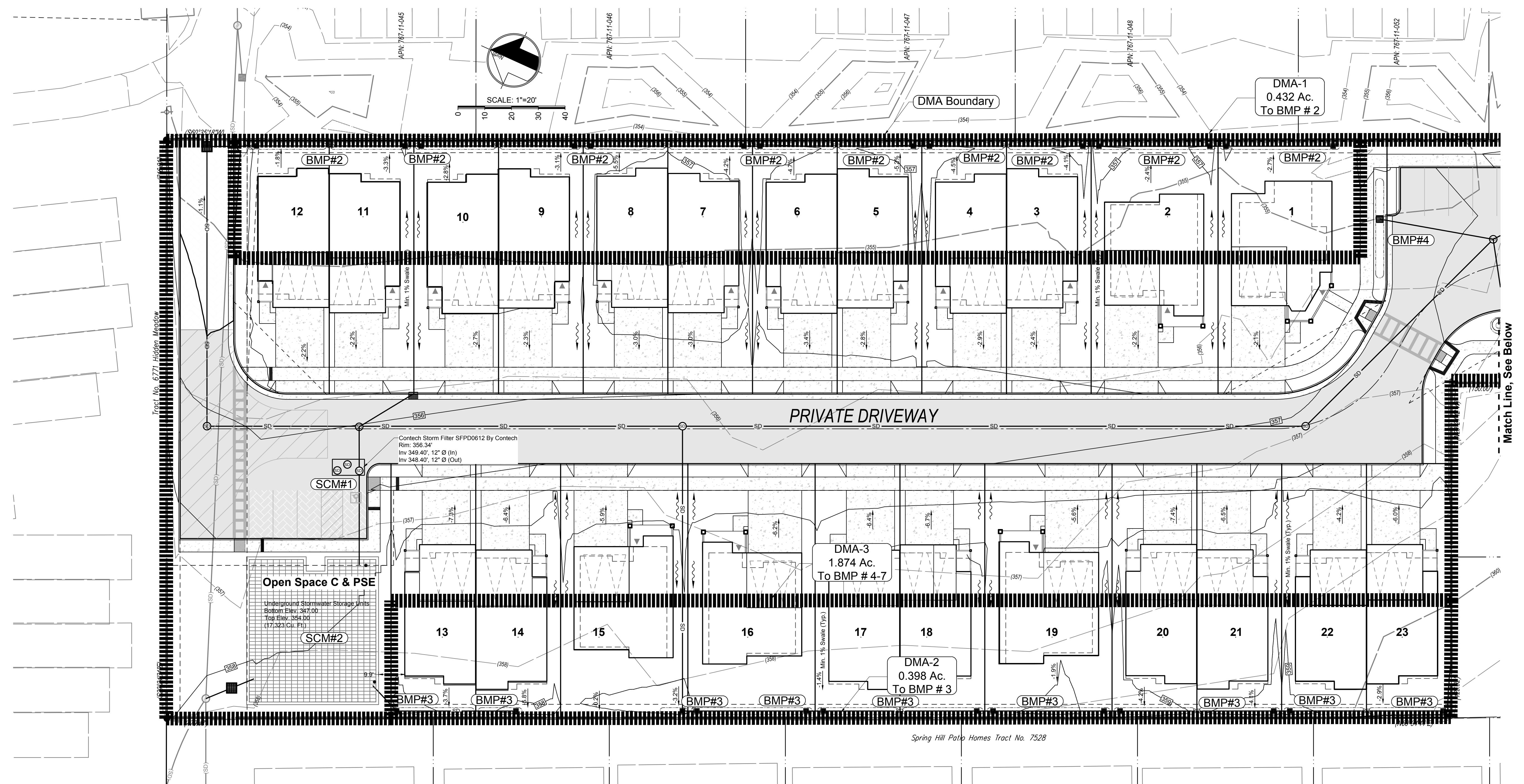
SPRING VIEW PRESCHOOL

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JOB NO. 98043	
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OF 11	

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SIGNED BY: W.W.
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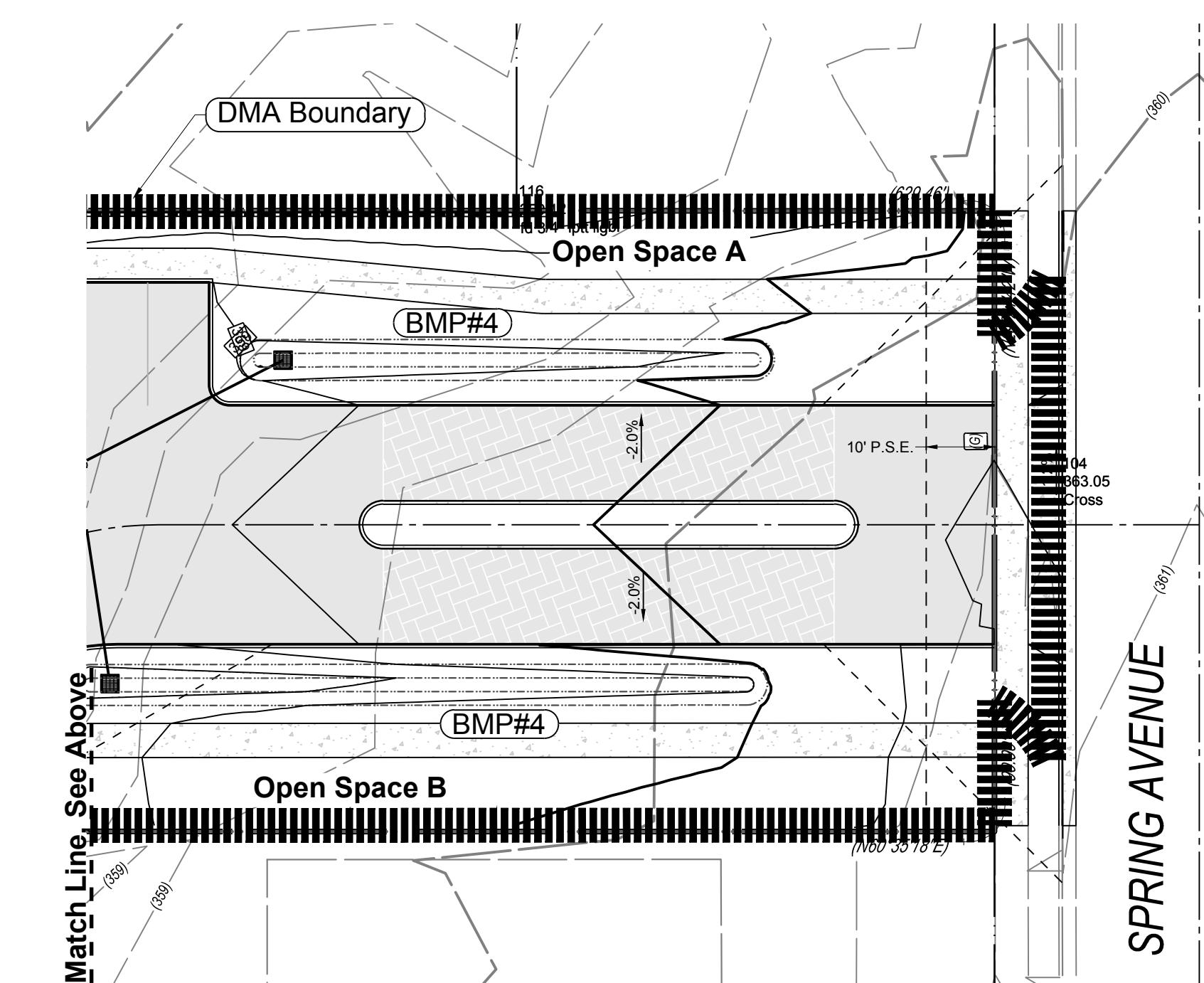


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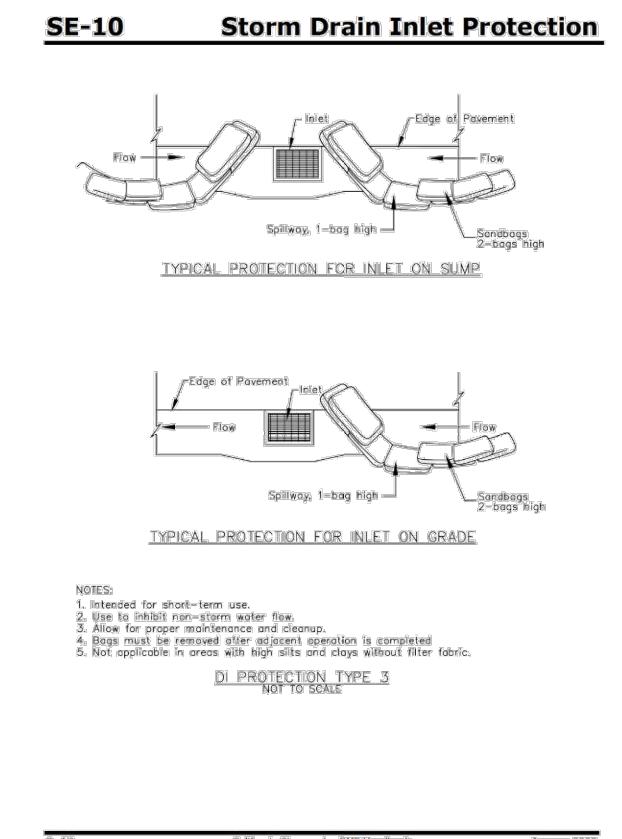
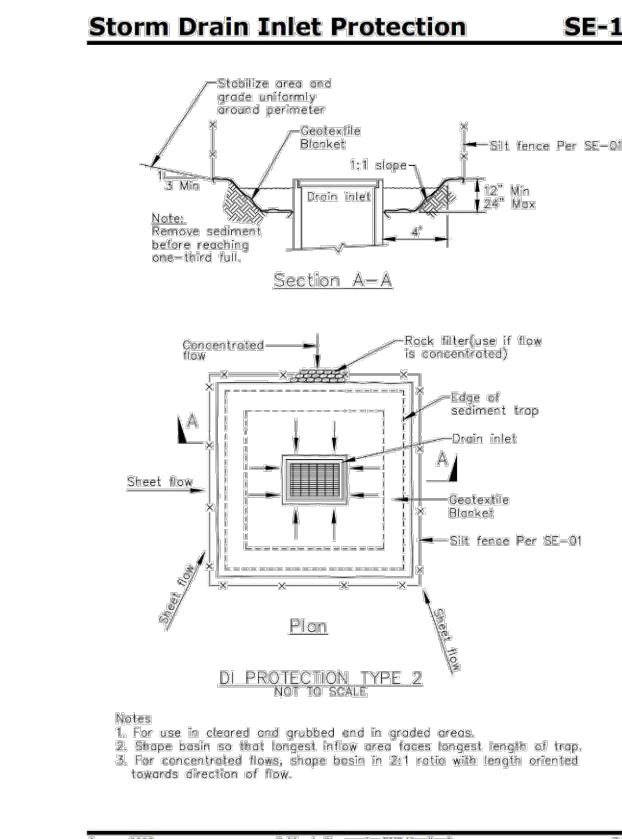
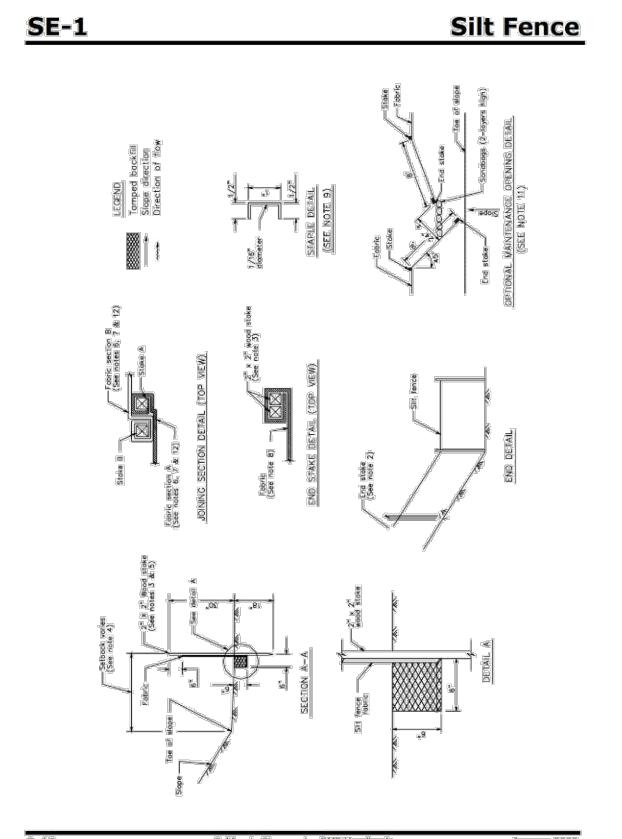
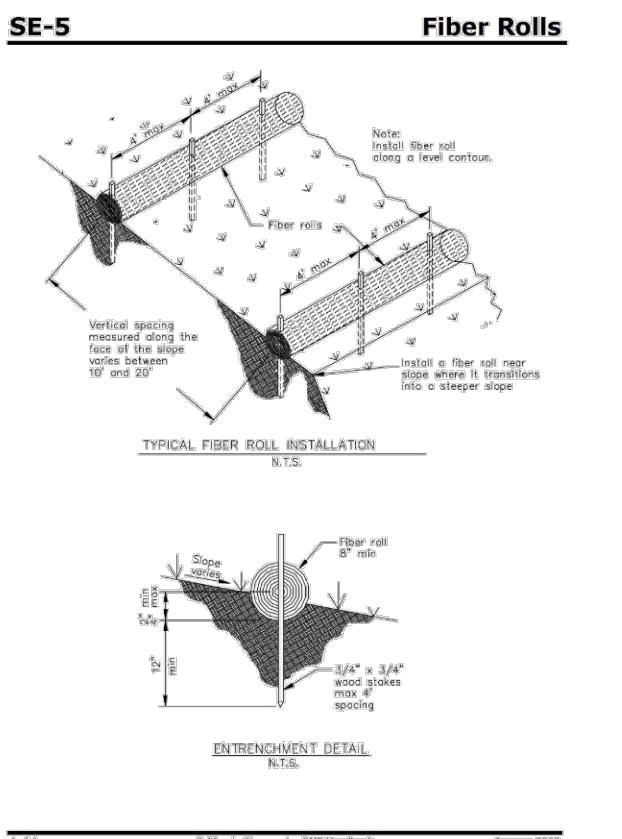
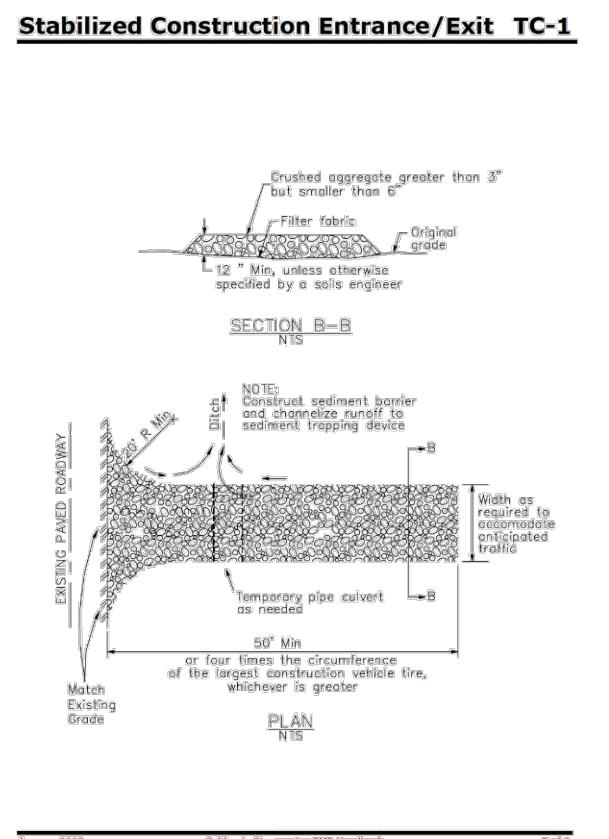
SPRING VIEW STORMWATER CONTROL PLAN

Legend:

- BMP#1** Site Housekeeping (Applies to whole site)
- BMP#2** Bio-swales in the back yards Lot 1-12
- BMP#3** Bio-swales in the back yards Lot 13-23
- BMP#4** Bio-Swales along driveway at project entrance
- SCM#1** Storm Filter SFMH72 By Contech
- SCM#2** Underground Stormwater Storage (Raintank Units)



"Spring View" LID - BMP Sizing Calcs								5/28/2021	
Proposed BMP No.	BMP Impervious Area		I=impervious area /total area	C=0.858i ³ -0.78i ² +0.774i-0.04	95th Percentile (1.8" Rain) First Flush Volume to Treat (Cu. Ft.)	Proposed BMP Volume (Cu. Ft.)	(2) 1" φ outlet orifice pipes	BMP Loading Depth (Inches)	BMP Infiltration Duration (Hrs. ≤ 72)
	Public Hardscape (S.F.)	Private Hardscape (S.F.)							
2 Thru 7	478	76,662	0.66	0.463	7,624	20,424	0.14	65	41



BMPs required by construction phase

Mass Grading / Cleaning & Gubbing phase

- SE-1 Silt fence around perimeter of disturbed areas
- TC-1 Stabilized construction entrance @ entry/exit points to paved roads
- SE-5 Fiber Rolls around temporary stockpiles
- SE-6 Gravel bags at ends of paths at project limits
- SE-10 Storm drain inlet protection at inlets in project vicinity
- EC-4 Hydroseeded disturbed areas upon completion of grading in areas that are not subject to further disturbance

Underground Utilities phase

- SE-1 Silt fence around perimeter of project site
- SE-5 Fiber Rolls around stockpiles and back of sidewalks once installed
- SE-6 Gravel bags at ends of gutters at project limits
- SE-10 Storm drain inlet protection at inlets in project vicinity and installed inlets
- TC-1 Stabilized construction entrance @ entry/exit points to paved roads

Vertical Construction phase

- SE-1 Silt fence around perimeter of project site
- SE-5 Fiber Rolls around stockpiles and back of sidewalks once installed
- SE-6 Gravel bags at ends of gutters at project limits
- SE-10 Storm drain inlet protection at inlets in project vicinity and at installed inlets
- TC-1 Stabilized construction entrance @ entry/exit points to paved roads

Stabilization phase

- SE-1 Silt fence around perimeter to remain in place until final landscaping is established
- SE-5 Fiber Rolls to remain in place until final landscaping is complete
- SE-6 Gravel bags to remain in place until final landscaping is established
- SE-10 Storm drain inlet protection to remain in place until final landscaping is established
- EC-4 Hydroseeded all non-landscaped disturbed areas in project vicinity

Construction Site - Tree Preservation Requirements (per San Jose Services Inc Report dated 07/07/07)

- Locate structures, grade changes, etc. as far as feasible from the "drip line" area of the tree.
- Avoid root damage through grading, trenching, compaction, etc., at least within an area 1.5 times the "drip line" area of trees. Where root damage cannot be avoided, roots encroaching on 1" or greater diameter roots should be cut back to 12" beyond the area to be disturbed (downward to stem), by hand excavation or with specialized hydraulic or pneumatic equipment, cut cleanly with hand pruners or power saw, and immediately back-filled with soil. Avoid tearing, or otherwise disturbing that portion of the root(s) to remain.
- Consider a tree fence around trees that have shrubs as possible, completely surrounding the tree area 4 feet in diameter. Post or earthing or storage signs outside of fencing. Do not attach posting to the main trunk of the tree.
- Do not allow vehicles, equipment, pedestrian traffic, building materials or debris storage, or disposal of toxic or other materials inside of the fenced off area.**
- Avoid pruning immediately before, during, or immediately after construction completion. Pruning only that pruning which is unavoidable due to conflicts with construction development. As such, pruning should not be performed for at least 1-2 years following completion of construction.
- Trees that will be impacted by construction may benefit from fertilization, ideally performed in the fall, and preferably prior to any construction activities, with no more than 6 lbs. of actual nitrogen per 1,000 square feet of "accessible" drip line area or beyond.
- Move any tree that is on an active organic control or treatment.
- Arrange for periodic (Biannual/Quarterly) inspection of tree's condition, and treatment of damaging conditions (insects, diseases, nutrient deficiencies, etc.) as they occur, or as appropriate.
- Individual trees likely to suffer significant impacts may require specific, more extensive efforts and/or a more detailed specification than those contained within these general guidelines.

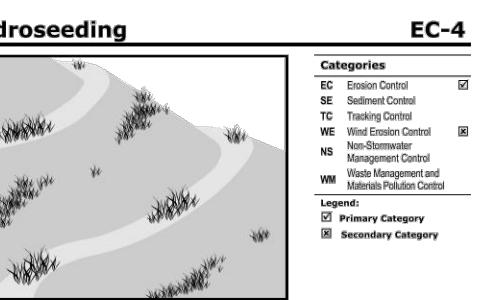
General Notes:

- Best management practices (BMPs) for this project shall be in substantial compliance at all times with the storm water pollution prevention plan (SWPPP) prepared for the project in accordance with the state water resources control board (SWRCB) order no. 2009-0000-DW National Pollutant Discharge Elimination System (NPDES) General Permit No. CA900002. This permit requires that the SWPPP be kept up to date to reflect the changing site conditions and the SWPPP shall be kept up to date to reflect the changing site conditions and the SWPPP is to be available for review by the City and the State.
- The erosion control measures to be installed during the rainy season, September 15th to May 1st. By September 15th, grading, installation of storm drain and erosion control facilities will need to be completed 1st unless authorized by the City Engineer.
- Standby drop inlet, underground drainage pipe and appurtenances shall be constructed prior to winterization and will remain as permanent track improvements.
- Change of this erosion and sediment control plan shall be made to meet field conditions only with the approval of the City Engineer. During the rainy season, all paved areas shall be kept clear of earth material and debris, the site shall be maintained so as to minimize sediment laden runoff to any storm drainage system.
- This plan covers only the first year following grading. Plans are to be resubmitted for City approval prior to September 1st each subsequent year until the track improvements are accepted by the City.
- Seed and mulch are to be placed on all disturbed slopes steeper than 2% and higher than 3 feet, or all cut and fill slopes within or adjacent to all public rights of way and as directed by the City. Seed placed between May and September shall be irrigated as necessary to establish growth by October 1.
- Drain inlets shall be protected per details SE-10 of SWPPP manual prior to grading activities or as soon as practical.
- Sediment control BMPs shall be installed prior to grading activities or as soon as practical, and maintained year round.

City of Morgan Hill Construction Stormwater Control Plan (CSCP)

Notes:

- The contractor shall comply with all City of Morgan Hill Standards, and is advised that the City has adopted the California Storm Water Quality Association (CASQA) Handbook for Construction as its Storm Water best management practices (BMPs) standards. The BMPs contained within the City standards are minimum requirements. The contractor shall comply with all BMPs as directed by the City of Morgan Hill, including but not limited to BMPs for sediment control, tracking control, waste management and materials pollution control, non-storm water management control, and erosion control. Examples of BMPs that are required include but are not limited to:
 - SE-10 storm drain inlet protection
 - SE-7 Street sweeping and vacuuming
 - WM-5 solid waste management
 - WM-9 sanitary/septic waste management
 - WM-10 concrete waste management
- Portable sanitary facilities shall have secondary containment, and be located on relatively level ground away from traffic areas and storm drain inlets.
- The contractor shall notify the City 48 hours in advance of the start of construction to request inspection of storm water BMPs. All storm water BMPs shall be in place prior to the start of construction, and maintained throughout the duration of the project.
- The interim CSCP is considered a "living document" which may be subject to change from time to time in order to facilitate construction. All requested changes must be approved by the City of Morgan Hill prior to installation.
- The contractor shall inspect all storm water BMPs regularly to assure they are functioning properly. If a BMP fails, the contractor shall make repairs immediately and clean all portions of storm drain systems that may have been contaminated by failure of BMP to the satisfaction of the City of Morgan Hill.



Hydroseeding

EC-4

Categories

- EC Erosion Control
- TC Tracking Control
- SC Sediment Control
- NS Non-Storm
- WM Waste Management
- EC-1 Erosion Control
- EC-2 Tracking Control
- EC-3 Sediment Control
- EC-4 Hydroseeding
- EC-5 Non-Storm
- EC-6 Sediment Control
- EC-7 Secondary Containment

Description and Purpose

Hydroseeding typically consists of applying a mixture of a hydrophilic media, seed, fertilizer, and/or stabilizing materials with a liquid carrier (such as water or a carrier solution) onto a disturbed area to facilitate rapid re-vegetation and reduce hydroerosion. It is typically used by the method by which temperature or precipitation are the primary factors.

Suitable Applications

Hydroseeding is suitable for disturbed areas requiring temporary stabilization until permanent vegetation is established, the disturbed areas that have been treated with hydroseeding should be protected from erosion until the vegetation has become established. It is not suitable for areas that are subject to heavy rain or flooding, or areas that are subject to heavy snow or ice accumulation.

Potential Alternatives

- EC-1 Erosion Control
- EC-2 Tracking Control
- EC-3 Sediment Control
- EC-5 Non-Storm
- EC-6 Sediment Control
- EC-7 Secondary Containment

Targeted Constituents

- Sediment
- Soil
- Topsoil
- Soil mix
- Soil blend
- Soil mix or blend
- Organic

Inspection and Maintenance

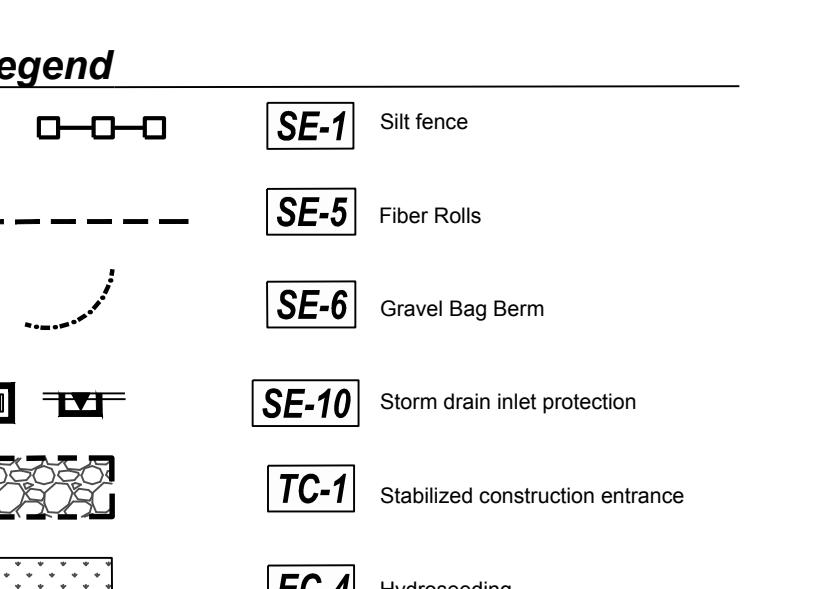
Hydroseeding is typically applied to disturbed areas that are subject to heavy rain or flooding, or areas that are subject to heavy snow or ice accumulation.

Notes:

- 1. Hydroseeding for plant use.
- 2. Use 15' length hydroseeding hose.
- 3. Use 15' length hydroseeding hose.
- 4. Use 15' length hydroseeding hose.

DI-PROTECTION TYPE 2

DI-PROTECTION TYPE 3



Hydroseeding

EC-4

Inspection and Maintenance

Hydroseeding should be inspected in accordance with General Permit requirements for the associated tracking control BMPs. Hydroseeding should be re-applied after each rain event, daily during extended rain events, and after two-week intervals during the non-rainy season.

Notes:

- Areas where erosion is evident should be resodded and BMPs applied as soon as possible. On disturbed areas that are subject to heavy rain or flooding, or areas that are subject to heavy snow or ice accumulation, any area damaged will require re-application of BMPs.
- When areas are subject to heavy snow or ice accumulation, the areas must be resodded, fertilized, and mulched within the planting season, using not less than the original application rate.
- Irrigation systems, if applicable, should be inspected daily to make sure they identify system malfunctions and line breaks. When line breaks are detected, the system must be shut down immediately to prevent further damage to the hydroseeding.
- Irrigation systems should be inspected for complete coverage and adjusted as needed to maintain hydroseeding coverage.

References

- Soil Stabilization BMP Research for Erosion and Sediment Control (California Technical Memorandum, State Water Resources Control Board Department of Transportation California, May 2007).
- Stormwater Quality Handbooks Construction Best Management Practices (BMP) Manual, State Water Resources Control Board (California), March 1999.
- Guidance Document: Soil Stabilization for Temporary Slopes, State of California Department of Transportation (California), November 1999.

Notes: TC-1 Stabilized Construction Entrance/Exit Inspection and Maintenance

- Inspect and verify that activity-based BMPs are in place prior to the commencement of associated activities. While activities associated with the BMPs are under way, inspect weekly during the rainy season and at two-week intervals in the non-rainy season to verify continued BMP implementation.
- Inspect local roads adjacent to the site daily. Sweep or vacuum to remove visible accumulated sediment.
- Remove aggregate, separate and dispose of sediment if construction activities require.
- Keep all temporary roadway ditches clear.
- Check for damage and repair as needed.
- Replace gravel material when surface voids are visible.
- Remove all sediment deposited on paved roadways within 24 hours.
- Remove gravel and filter fabric at completion of construction

Notes: SE-5 Fiber Rolls Installation

- Locate fiber rolls on level contours spaced as follows:
 - Slope inclination of 4:1 and flatter: Fiber rolls should be placed at a maximum interval of 20 ft.
 - Slope inclination of 4:1 and 2:1 (H:V): Fiber rolls should be placed at a maximum interval of 6 in. wide and 6 in. deep along the line the proposed silt fence.
 - Slope inclination of 2:1 (H:V) or greater: Fiber rolls should be placed at a maximum interval of 10 ft. (a closer spacing is more effective).
- Turn ends of the fiber roll up slope to prevent runoff from going around the roll.
- Stack fiber rolls into a 2 to 4 in. deep trench with an equal width to the diameter of the fiber roll.
- Drive stakes at the end of each fiber roll and spaced 4 ft maximum on center.
- Use wood stakes with a nominal classification of 0.75 by 0.75 in. and minimum length of 24 in.
- If more than one fiber roll is placed in a row, the rolls should be overlapped, not abutted.

Inspection and Maintenance

Inspect BMPs prior to forecast rain, daily during extended rain events, after rain events, weekly during the rainy season, and at two-week intervals during the non-rainy season.

Inspection and Maintenance

Inspect and repair as needed.

Repair or replace torn, slumping, or weathered fabric.

If the fiber roll is used as a sediment capture device, or as an erosion control device, inspect for sediment accumulation and activate as needed.

Inspect and repair as needed.

Notes: SE-1 Silt Fence Installation Guidelines

• Silt fences are to be constructed on a level contour. Sufficient area should exist below the fence for ponding to occur without flooding or overtopping of the fence.

• A trench should be excavated approximately 6 in. wide and 6 in. deep along the line the proposed silt fence.

• Bottom of the silt fence should be keylined in a minimum of 12 in.

• Turn ends of the silt fence up slope to prevent runoff from going around the fence.

• Stake fiber fence to a 2 to 4 in. deep trench with an equal width to the diameter of the fiber fence.

• When standard strength filter fabric is used, a plastic or wire mesh support fence should be fastened securely to the upstream side of posts with heavy-duty wire staples at least 3 in. long. The mesh should extend into the trench. When extra-strength filter fabric and closer post spacing is used, the fiber fence may be fastened directly to the filter fabric.

• Sediment that accumulates in the BMP must be periodically removed in order to maintain BMP effectiveness. Sediment should be removed when the sediment accumulation reaches one-third of the barrier height. Sediment removed during maintenance may be incorporated into earthwork on the site or disposed at an appropriate location.

• Remove storm drain inlet protection once the drainage area is stabilized.

• Clean and regrade area around the inlet and clean the inside of the storm drain inlet as it must be free of sediment and debris at the time of final inspection.

Notes: SE-10 Storm Drain Inlet Protection Installation

Installation

• **DI Protection Type 2 - Excavated Drop Inlet Sediment Trap** - The excavated drop inlet sediment trap (Type 2) is shown in the attached figures. Install filter fabric fence in accordance with DI Protection Type 1. Size excavated trap to provide a minimum storage capacity calculated at the rate 67 cubic feet per inch of depth.

• **Inspection and Maintenance**

Inspect BMPs prior to forecast rain, daily during extended rain events, after rain events, weekly during the rainy season, and at two-week intervals during the non-rainy season.

Inspect and repair as needed.

Repair or replace torn, slumping, or weathered fabric.

If the filter fabric is used as a sediment capture device, or as an erosion control device, inspect for sediment accumulation and activate as needed.

Inspect and repair as needed.

Inspect and repair as needed.

Inspect and repair as needed.

Notes: SE-6 Gravel Bag Berm Installation

Design and Layout

• Locate gravel bags on level contours.

• Slopes between 20:1 and 2:1 (H:V): Gravel bags should be placed at a maximum interval of 50 ft (a closer spacing is more effective), with the first row near the slope toe.

• Slopes 2:1 (H:V) or steeper: Gravel bags should be placed at a maximum interval of 25 ft (a closer spacing is more effective), with the first row placed the slope toe.

• Turn the ends of the gravel bag barriers up slope to prevent runoff from going around the barrier.

• Allow sufficient room to provide room for sediment storage.

• For installation near the toe of the slope, consider moving the gravel bag barriers away from the slope toe to facilitate cleaning. To prevent flow behind the barrier, bags can be placed perpendicular to a berm to serve as cross barriers.

• Damage areas should not exceed 5 acres.

• In Non-Rainy Areas:

• Height = 18 in. maximum

• Top width = 24 in. minimum for three or more layer construction

• Top width = 12 in. minimum for one or two layer construction

• Slope: 2:1 or flatter

• In Construction Areas:

• Height = 18 in. maximum

• Top width = 24 in. minimum for three or more layer construction

• Top width = 12 in. minimum for one or two layer construction

• Side slopes: 2:1 or flatter.

• Butt ends of bags tightly

Materials

• Bag Material: Bags should be woven polypropylene, polyethylene or polyamide fabric or burlap, minimum unit weight of 4 ounces/sq ft, Mullein burst strength exceeding 300 lb/in² in conformance with the requirements in ASTM designation D4329-78, and a minimum tensile strength of 70% in conformance with the requirements in ASTM designation D4329-78.

• Bag Size: Each gravel-filled bag should have a length of 18 in., width of 12 in., thickness of 3 in., and mass of approximately 33 lbs. Bag dimensions are nominal, and may vary based on locally available materials.

• Fill Material: Fill material should be 0.5 to 1 in. Class 2 aggregate base, clean and free of clay, organic matter, and other deleterious material, or other suitable open graded, non-cohesive, porous gravel.

Inspection and Maintenance

Inspect BMPs prior to forecast rain, daily during extended rain events, after rain events, weekly during the rainy season, and at two-week intervals during the non-rainy season.

Gravel bags exposed to sunlight will need to be replaced every two to three months due to degrading of the bags.

Reshape or replace gravel bags as needed.

Repair walls or other damage as needed.

Soil that accumulates in the BMP must be periodically removed in order to maintain BMP effectiveness. Sediment should be removed when the sediment accumulation reaches one-third of the barrier height. Sediment removed during maintenance may be incorporated into earthwork on the site or disposed at an appropriate location.

Remove gravel bag berms when no longer needed. Remove sediment accumulation and clean