

TENTATIVE TRACT MAP SPRING VIEW

MORGAN HILL, SANTA CLARA COUNTY, CALIFORNIA

CONTACT INFORMATION:

APPLICANT/OWNER: Joe & Sheila Giancola
2290-A Cochrane Road
Morgan Hill, CA 95037

CIVIL ENGINEER: MH ENGINEERING
16075 VINEYARD BLVD.
MORGAN HILL, CA 95037
(408) 779-7381
BILL@MHENGINEERING.COM

PLANNER: DEVELOPMENT PROCESS CONSULTANTS
220 LIVE OAK DRIVE
DANVILLE, CA 94506
(408) 421-2695
VRBURGOSICLOUD@ICLOUD.COM

LANDSCAPE ARCHITECT: RIPLEY DESIGN GROUP, INC.
1615 BONANZA ST., SUITE 314
WALNUT CREEK, CA 94596
(925) 938-9377

SITE DATA

SUBJECT PARCELS: APN: 767-11-030
CURRENT LAND USE: RESIDENTIAL
ZONING: RAL
GENERAL PLAN: RAL (6-16 DU/AC)
PROPOSED LAND USE: RESIDENTIAL
BUILDOUT TABULATION: 2.686 AC
GROSS AREA: 0.555 AC
PRIVATE RIGHT OF WAY: 0 AC
PUBLIC RIGHT-OF-WAY DEDICATION: 2.131 AC
NET AREA: 1.600 CY
UTILITIES: CITY OF MORGAN HILL
WATER CITY OF MORGAN HILL
SANITARY SEWER CITY OF MORGAN HILL
STORM DRAIN PG&E
GAS & ELECTRIC VERIZON
TELEPHONE
PRELIMINARY EARTHWORK SUMMARY (APPROX.):
CUT 3,836 CY
FILL 2,336 CY (IMPORT)
NET 2,336 CY (IMPORT)

PROJECT DATA

THIS IS A RESIDENTIAL PROJECT CONSISTING OF 23 NEW HOMES OF TWO OWNERSHIP HOUSING TYPES:

- 18 DUETS
- 5 SINGLE FAMILY DETACHED

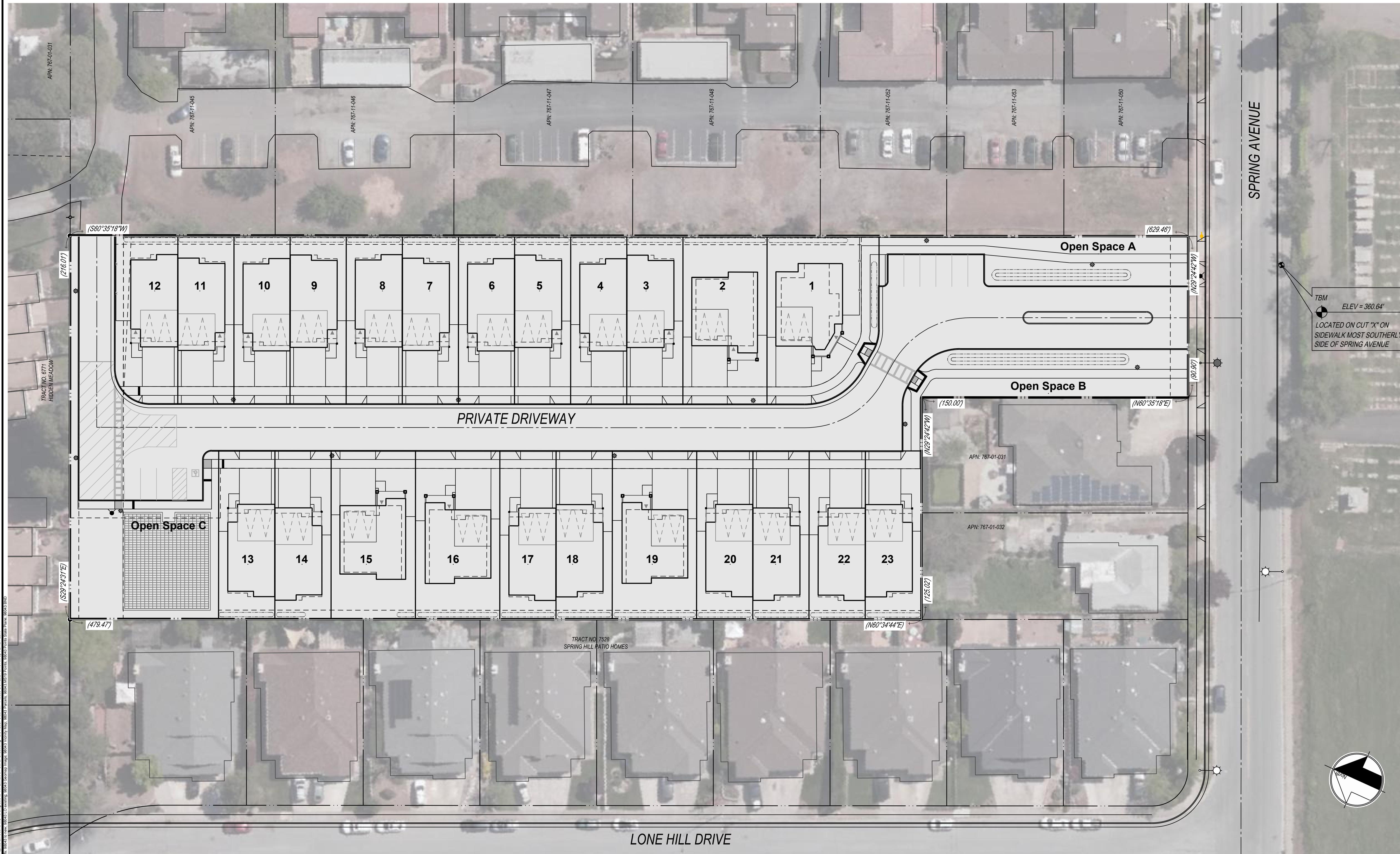
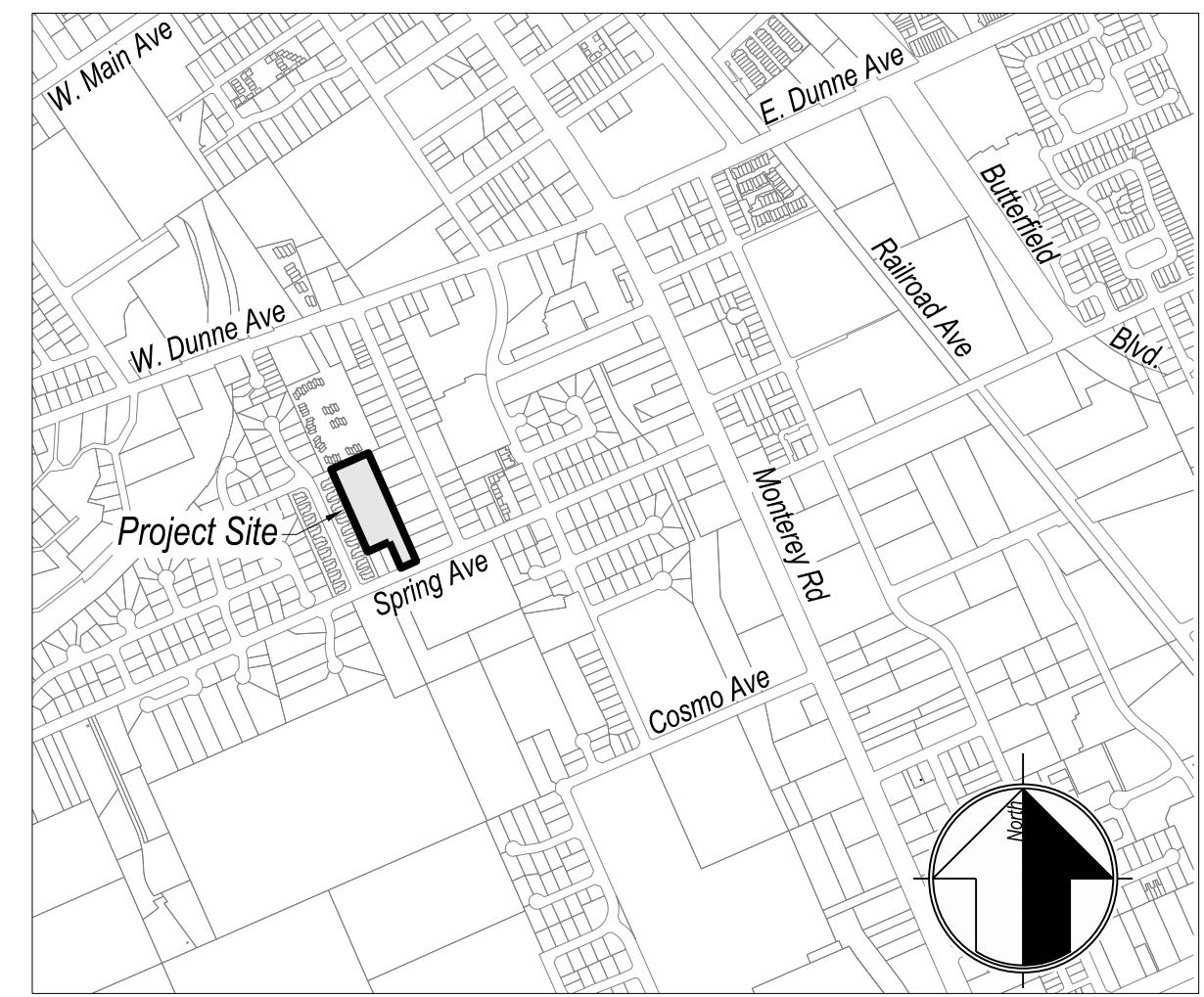
IN-TRACT IMPROVEMENTS CONSIST OF THE FOLLOWING ELEMENTS:

- PRIVATE CIRCULATION NETWORK INCLUDING STREETS AND EVAE.
- ACTIVE AND PASSIVE OPEN SPACE AND AMENITIES, AND TOT LOT. SEE COMPANION DESIGN REVIEW PERMIT PLAN SET FOR ALL AMENITIES.
- CURB-SIDE AND BAY SHARED PARKING.
- OFF-SITE IMPROVEMENTS CONSIST OF THE FOLLOWING: SPRING AVENUE HALF STREET IMPROVEMENTS INCLUDING WATER MAIN, CURB, GUTTER, SIDEWALK AND RESURFACING, CURB/GUTTER/SIDEWALK IMPROVEMENT ON THE WESTERLY (PROJECT) SIDE OF THE STREET.
- SEE TENTATIVE MAP PLANS FOR LIMITS OF PROPOSED STREET IMPROVEMENTS.

GENERAL INFORMATION

1. 5 PROPOSED CONTOURS, GRADES, AND PAD ELEVATIONS IN THIS PLAN SET ARE PRELIMINARY AND SUBJECT TO CHANGE DURING FINAL DESIGN.
2. BOUNDARY SHOWN HEREIN IS BASED ON RECORD DATA. ADDITIONAL SURVEY IS RECOMMENDED.
3. LOT NUMBERS ARE FOR IDENTIFICATION PURPOSES ONLY AND ARE NOT INTENDED AS FINAL.
4. ALL GRADING WILL BE DONE IN CONFORMANCE WITH THE RECOMMENDATIONS AND CONDITIONS OF THE GEOTECHNICAL ENGINEER, THE CITY OF MORGAN HILL STANDARDS AND SPECIFICATIONS, AND APPLICABLE REPORTS REGARDING THIS PROJECT.
5. PROJECT LIES ENTIRELY WITHIN FLOOD X, AREA X DEFINED AS, "AREAS OF 0.2% CHANCE OF FLOOD; AREAS OF 1% CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD." (FIRM MAP NUMBER 06085C0444H, EFFECTIVE DATE MAY 18, 2009).
6. PROPOSED CONTOURS, GRADES, AND PAD ELEVATIONS IN THIS PLAN SET ARE PRELIMINARY AND SUBJECT TO CHANGE DURING FINAL DESIGN.
7. THE UTILITY PIPE SIZES AND CONNECTIONS SHOWN ON THIS MAP ARE PRELIMINARY AND ARE SUBJECT TO CHANGE.
8. PROPOSED STORM DRAIN AND RETENTION SYSTEM IS PRELIMINARILY DESIGNED TO ACCOMMODATE STORAGE FOR RUNOFF RETENTION AS REQUIRED BY THE CENTRAL COAST RWQCB.
9. EXISTING TOPOGRAPHY IS BASED ON GROUND TOPOGRAPHIC SURVEY BY MH ENGINEERING CO., DATED MAY 20, 2020.
10. EXISTING MONITORING WELL TO BE CAPPED PER SANTA CLARA VALLEY WATER DISTRICT REQUIREMENTS.
11. CONDOMINIUMS IMPLEMENT TOWN HOME STANDARDS SHOWN IN CODE SECTION 18.40, TABLE 18.40-2. LOTTING SCHEME SHOWN IS PRELIMINARY AND MAY BE REFINED IN THE FUTURE.
12. ALL ABOVE-GROUND ON-SITE DRY UTILITIES TO REMAIN SHALL BE PLACED UNDERGROUND.
13. INDIVIDUAL RESIDENTIAL UNITS IN THIS PLAN SET ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

vicinity map:





**CITY OF MORGAN HILL
PLAN APPROVED**
THIS PLAN WAS APPROVED BY
THE PLANNING COMMISSION
ON 10/12/2021
SD2020-0010
FILE NUMBER
TJF
PLANNING OFFICIAL

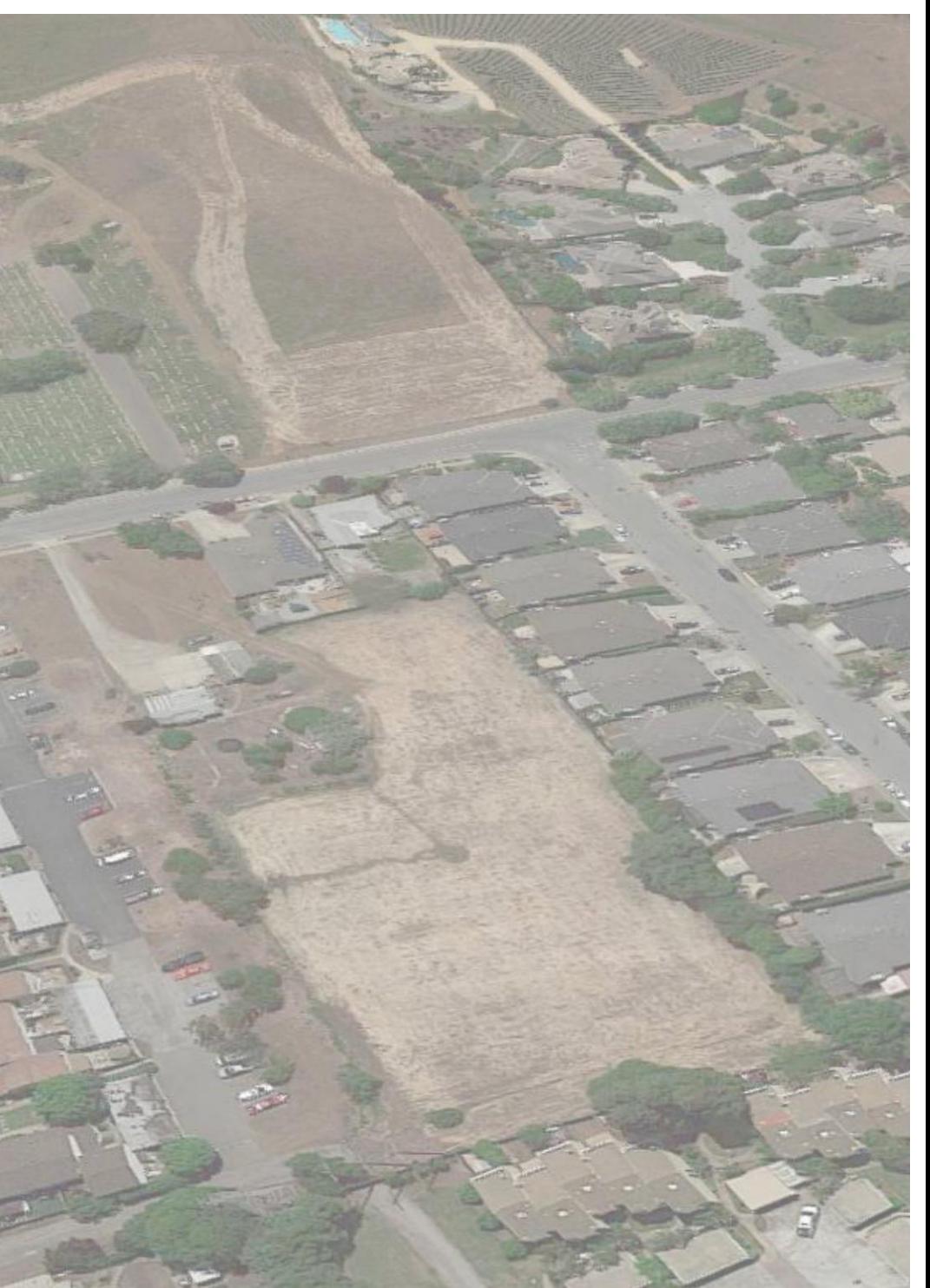


Photo 1: Property View-Looking South

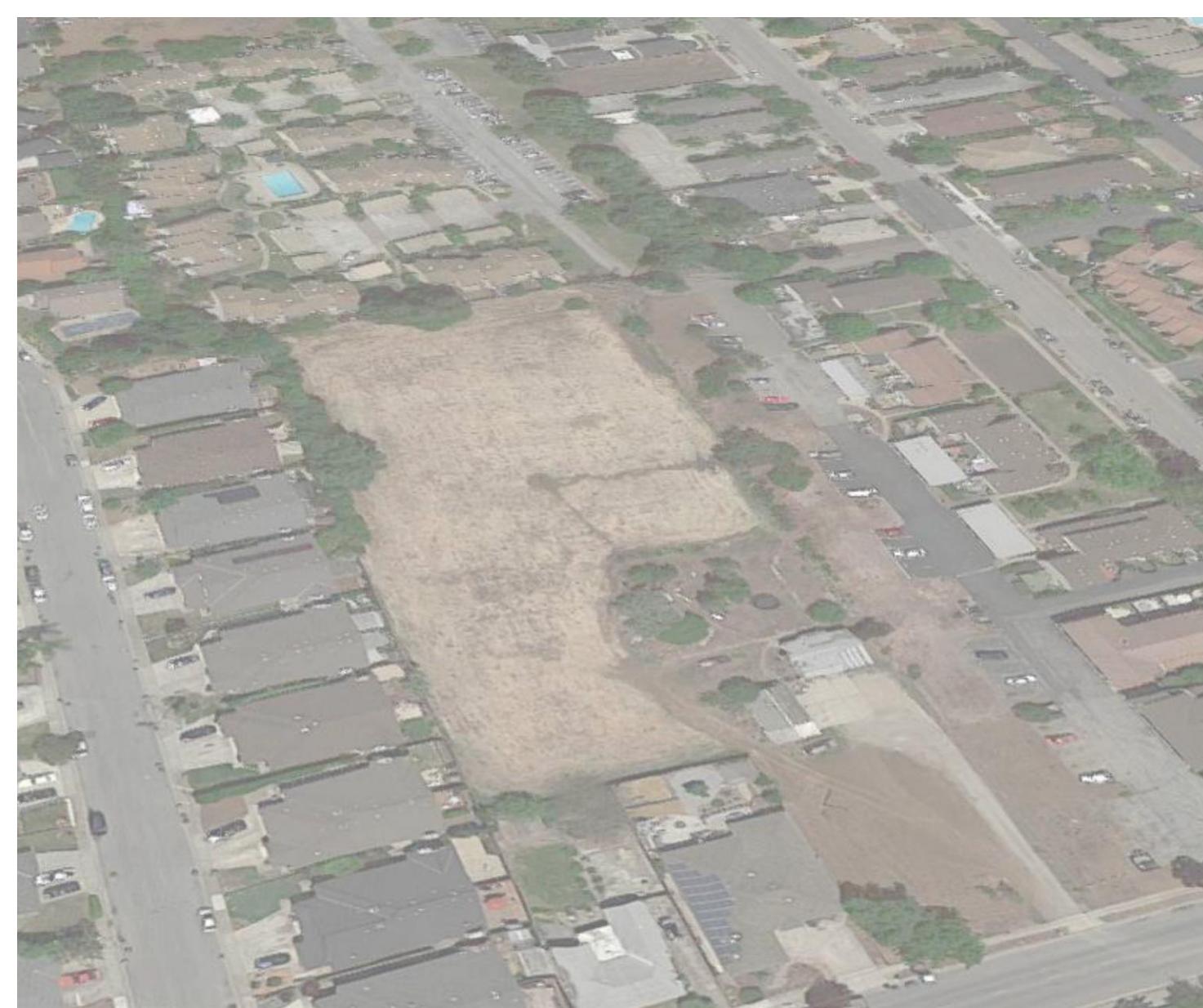


Photo 1: Property View-Looking North



Photo 1: Property View-Looking East

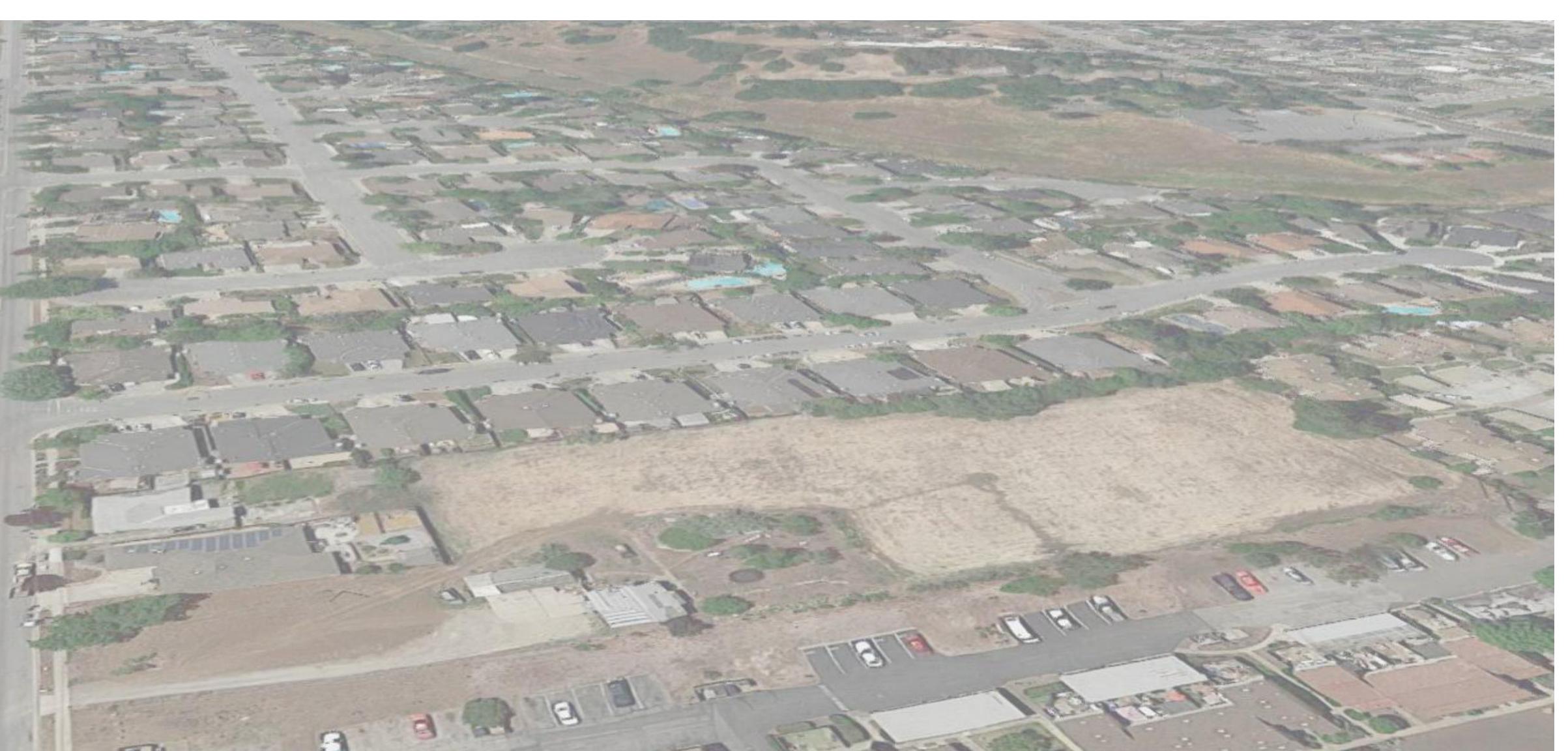


Photo 1: Property View-Looking West

TENTATIVE MAP

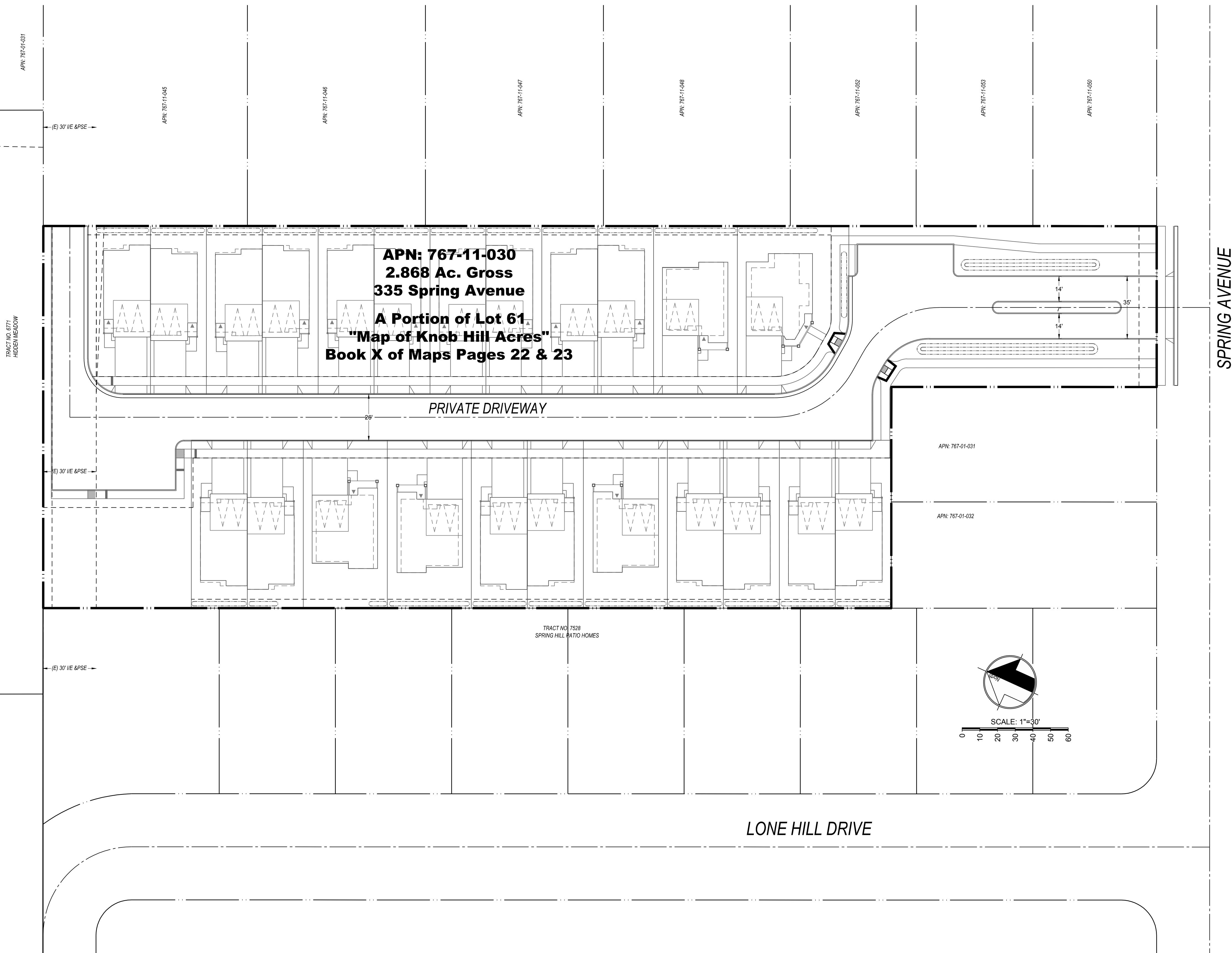
SPRING VIEW

EXISTING CONDITIONS

MH engineering Co.
16075 Vineyard Boulevard
Morgan Hill, CA 95037

DATE: 05/21
SCALE: 1"=30'
DRAWN BY: RS
CHECKED BY: WJM
JOB NO: 98043
SHEET TM-02
OF 11

**CITY OF MORGAN HILL
PLAN APPROVED**
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FILE NUMBER
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MH engineering Co.
16075 Vineyard Boulevard
Morgan Hill, CA 95037

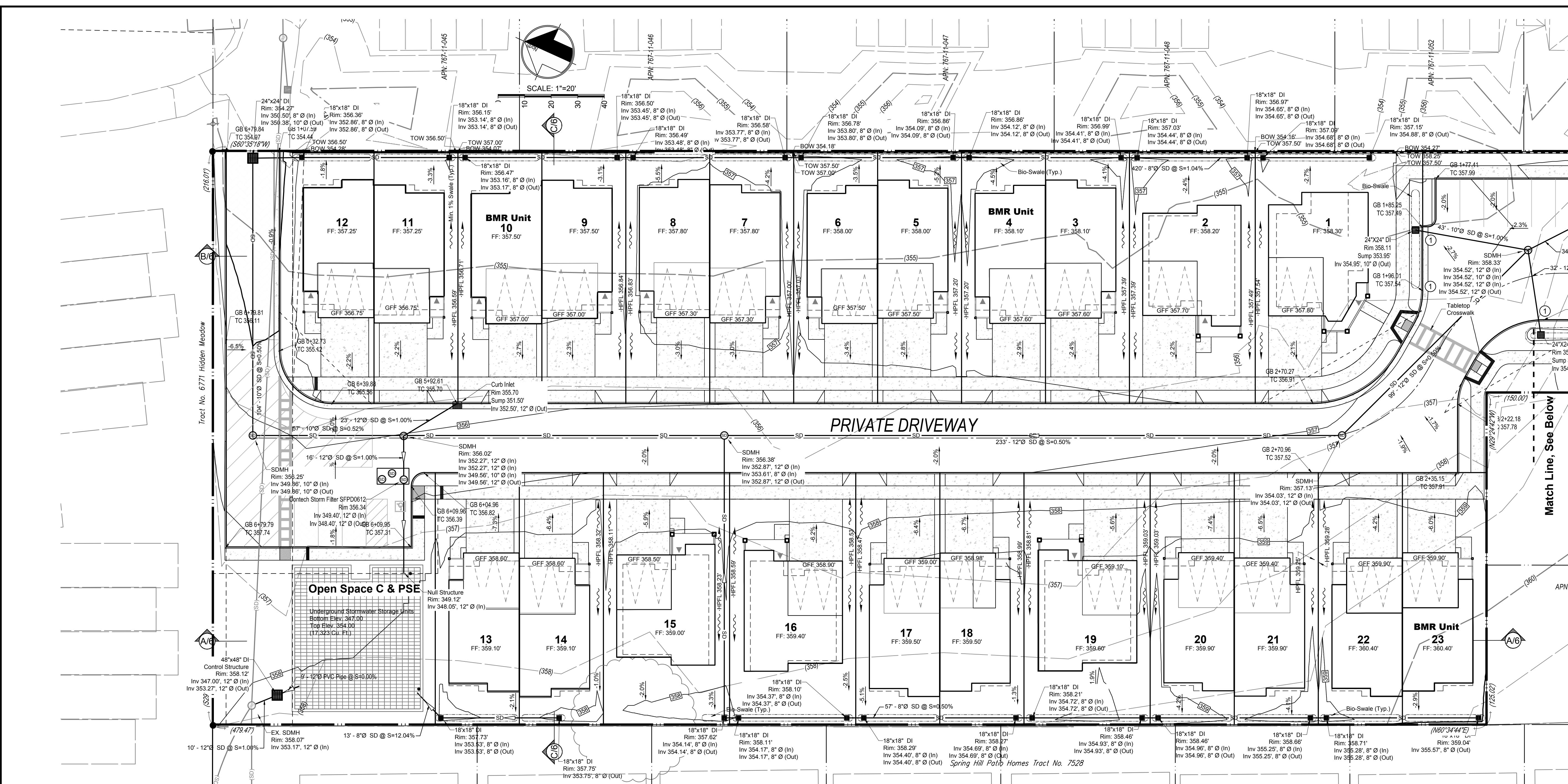
TENTATIVE MAP

SPRING VIEW

TITLE DISPOSITION

JOB NO. 98043
DATE: 05/21
SCALE: 1"=30'
DRAWN BY: RS
CHECKED BY: WJM

TM-03
OF 11



TENTATIVE MAP

TENTATIVE MAP

TENTATIVE MAP

LEGEND

Paved Medians

Turf Blocks

Provide 1' curb openings @ 20' o/c for drainage release to bio-swales

CITY OF MORGAN HILL PLAN APPROVED

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ON 10/12/2021

SD2020-0010

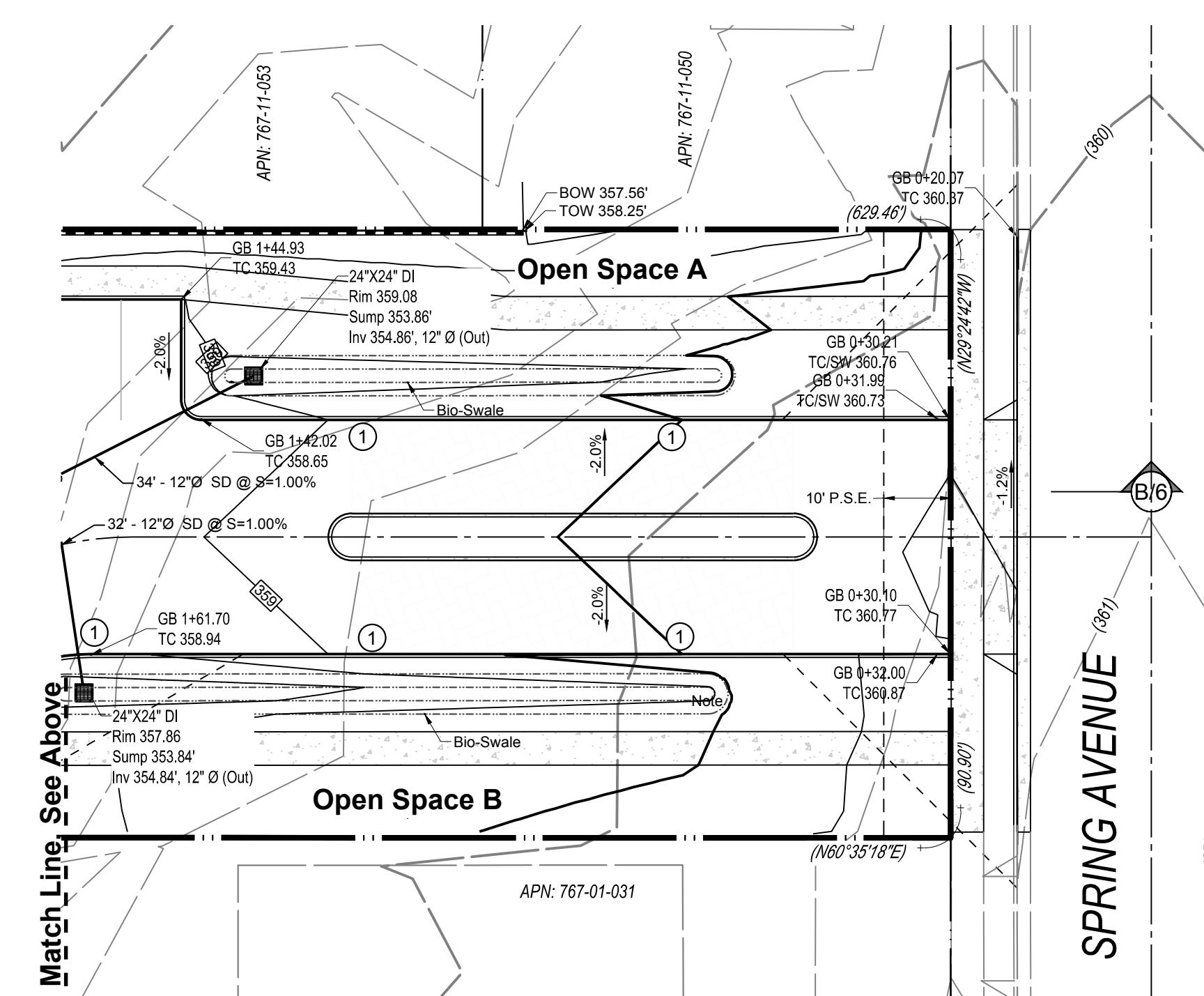
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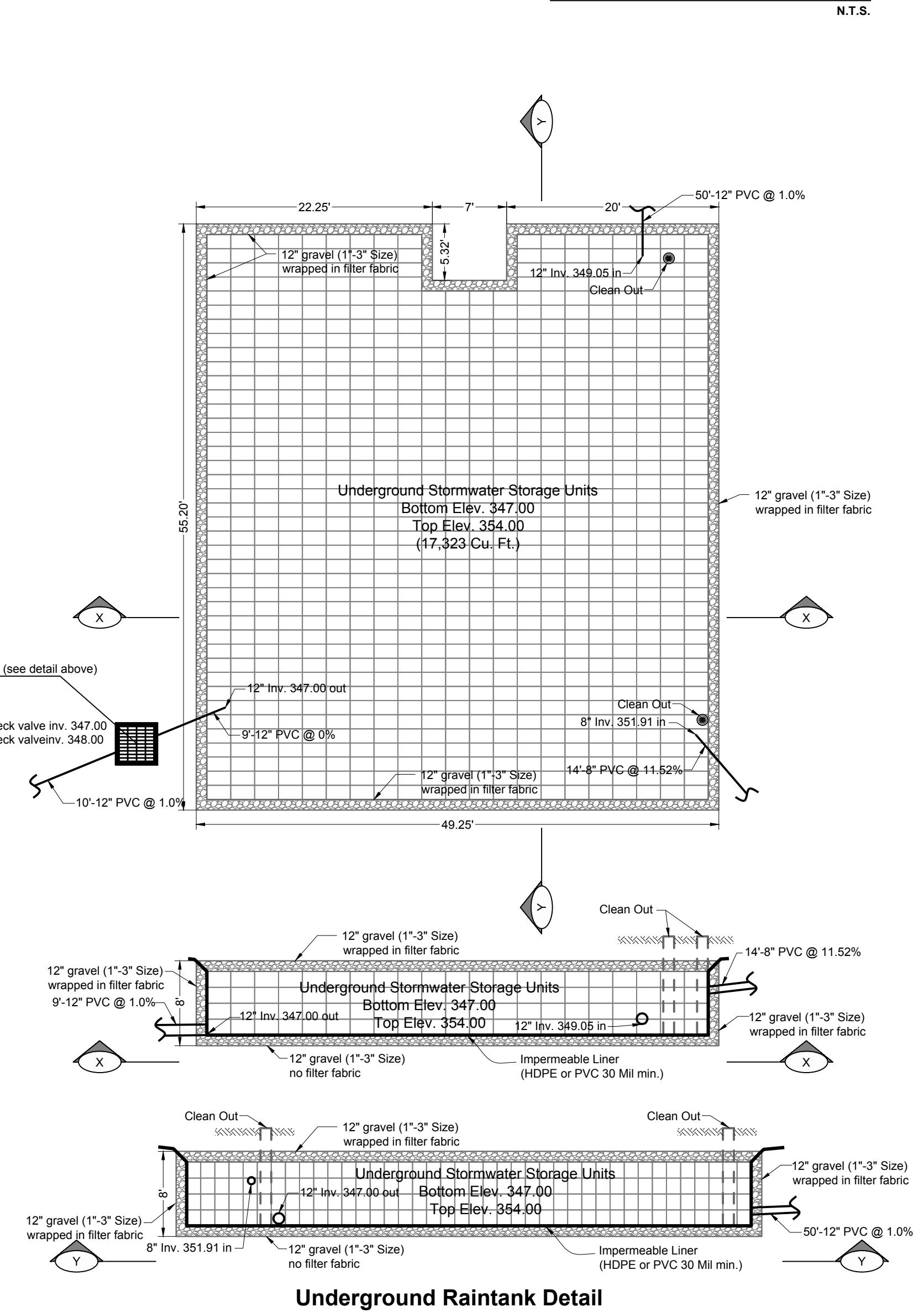
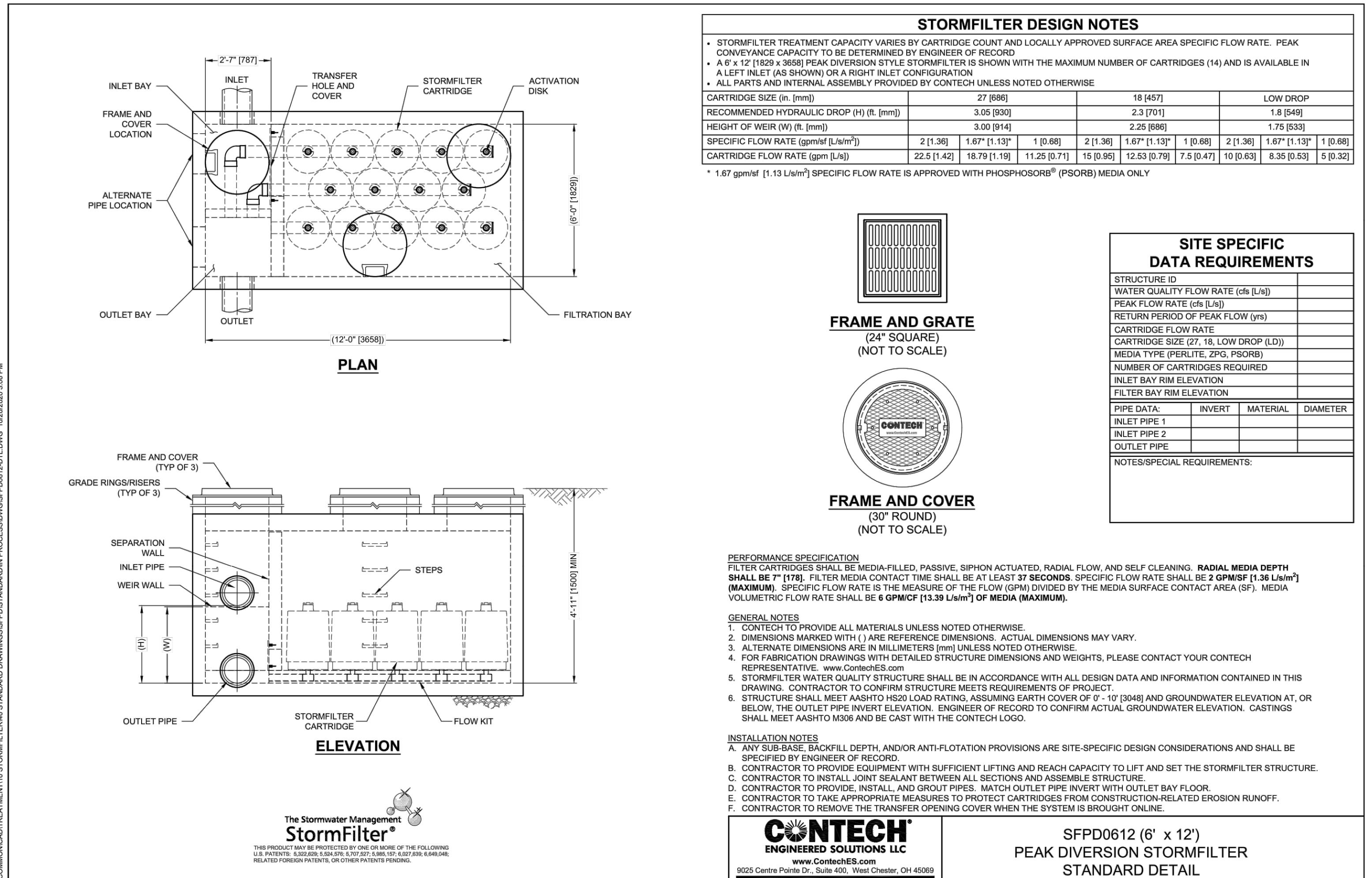
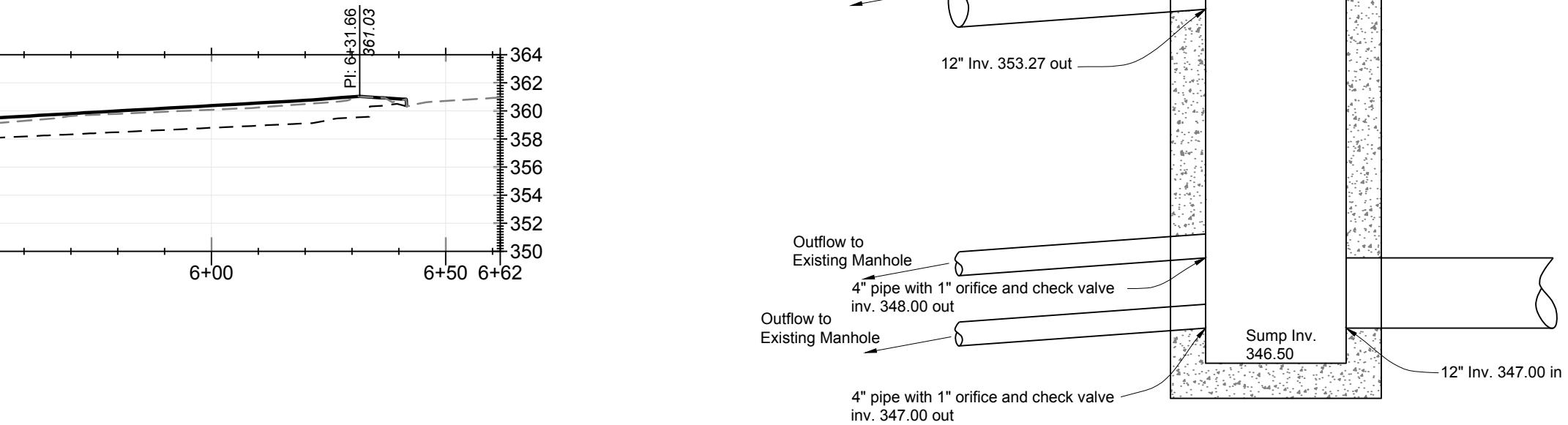
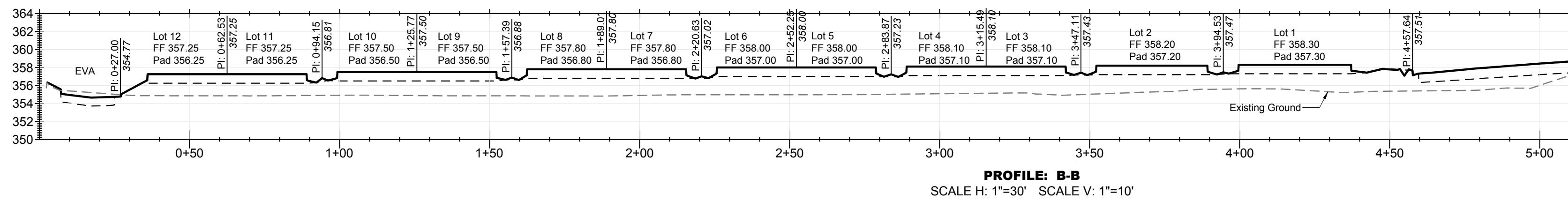
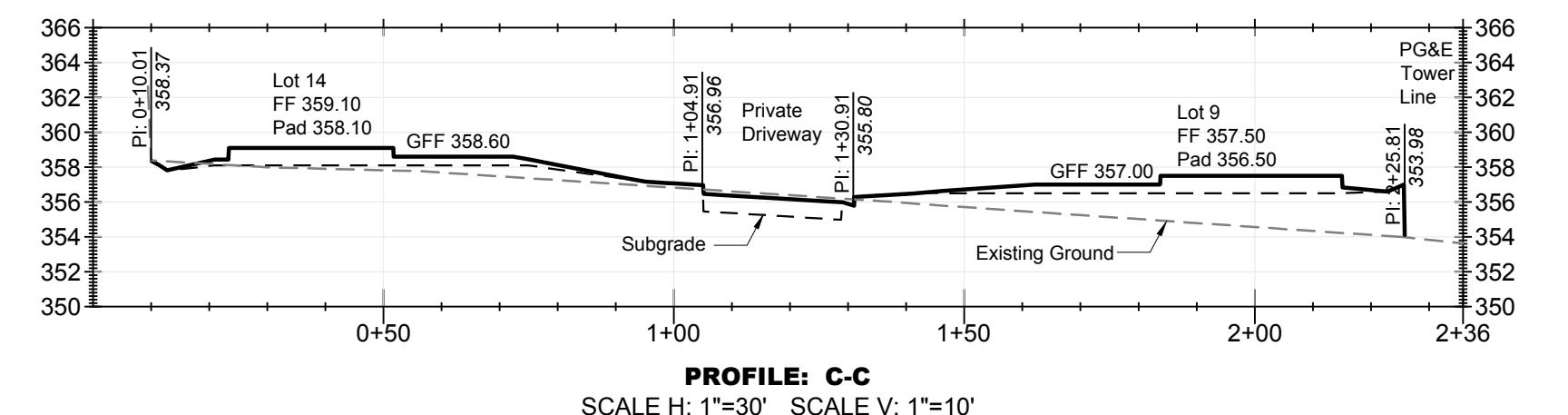
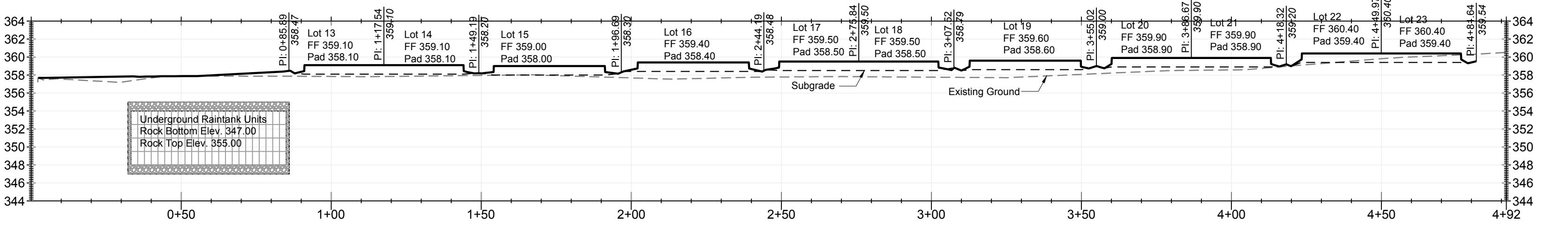
Franklin D. Roosevelt

PLANNING OFFICIAL

Preliminary Grading Quantities

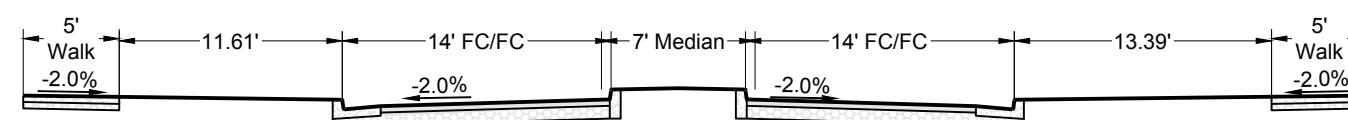
	Cut (CY)	Fill (CY)
Rough Grading	859	3836
Underground Storage	641	0
Total	1500	3836





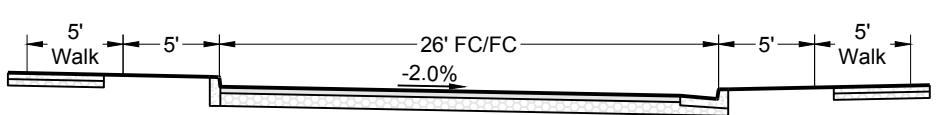
Project Entrance with Median Typical Section

Scale: 1" = 10'



26' Private Driveway Typical Section

Scale: 1" = 10'



TENTATIVE MAP



MH engineering Co.

Morgan Hill, CA 95037

SPRING VIEW

STREET SECTIONS

JOB NO. **98043**

OF **TM-07**
11

CITY OF MORGAN HILL
PLAN APPROVED

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ON 10/12/2021

SD2020-0010

FILE NUMBER

T. H. H.
PLANNING OFFICIAL

MH engineering Co.

Morgan Hill, CA 95037

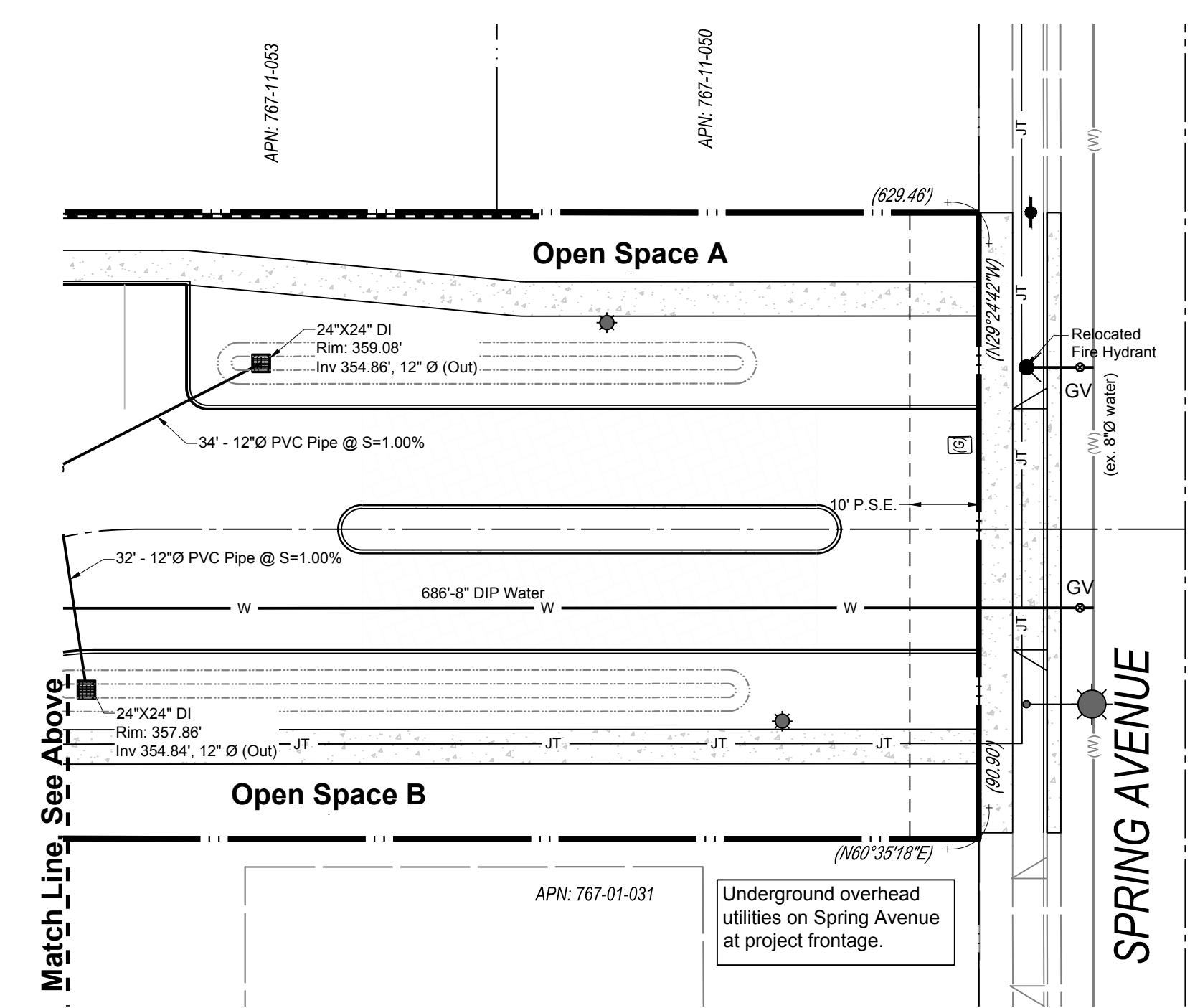
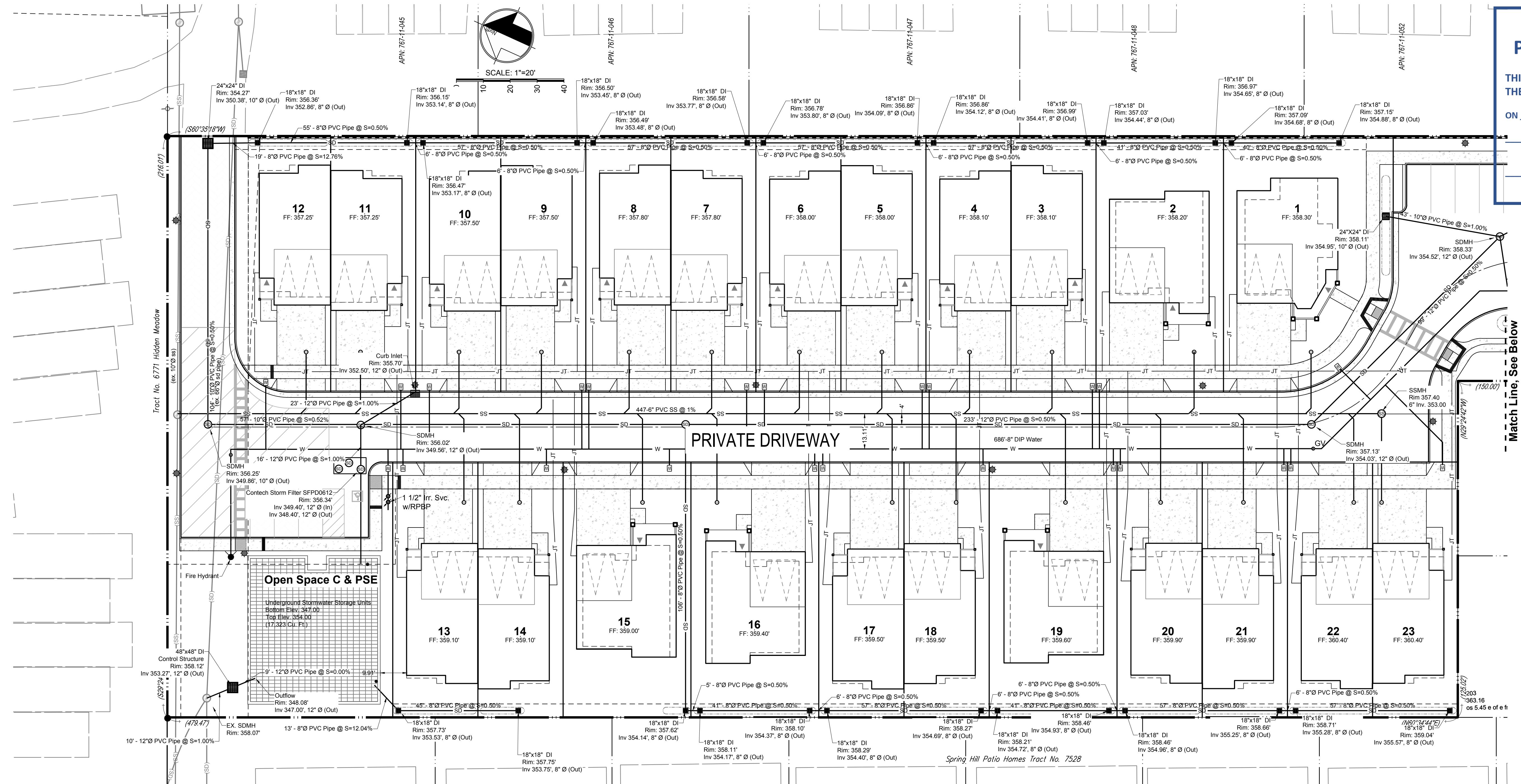
TENTATIVE MAP

SPRING VIEW

PRELIMINARY UTILITY PLAN

JOB NO. 98043
DATE: 05/21
SCALE: 1"=20'
DRAWN BY: RS
CHECKED BY: WJM

SHEET
TM-08
OF
11



MH engineering Co.

Morgan Hill, CA 95037

TENTATIVE MAP

SPRING VIEW

STORMWATER CONTROL PLAN

CITY OF MORGAN HILL PLAN APPROVED

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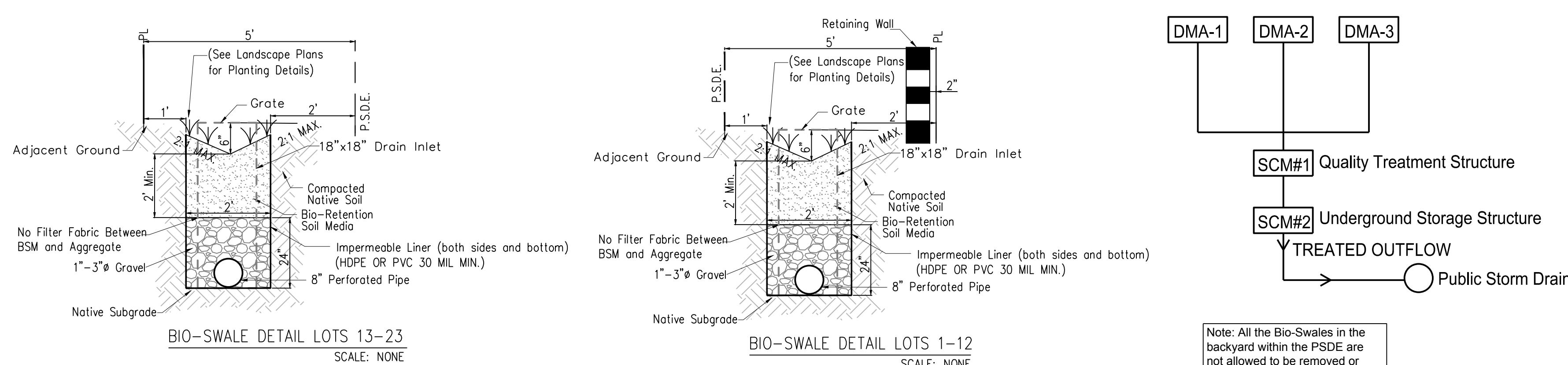
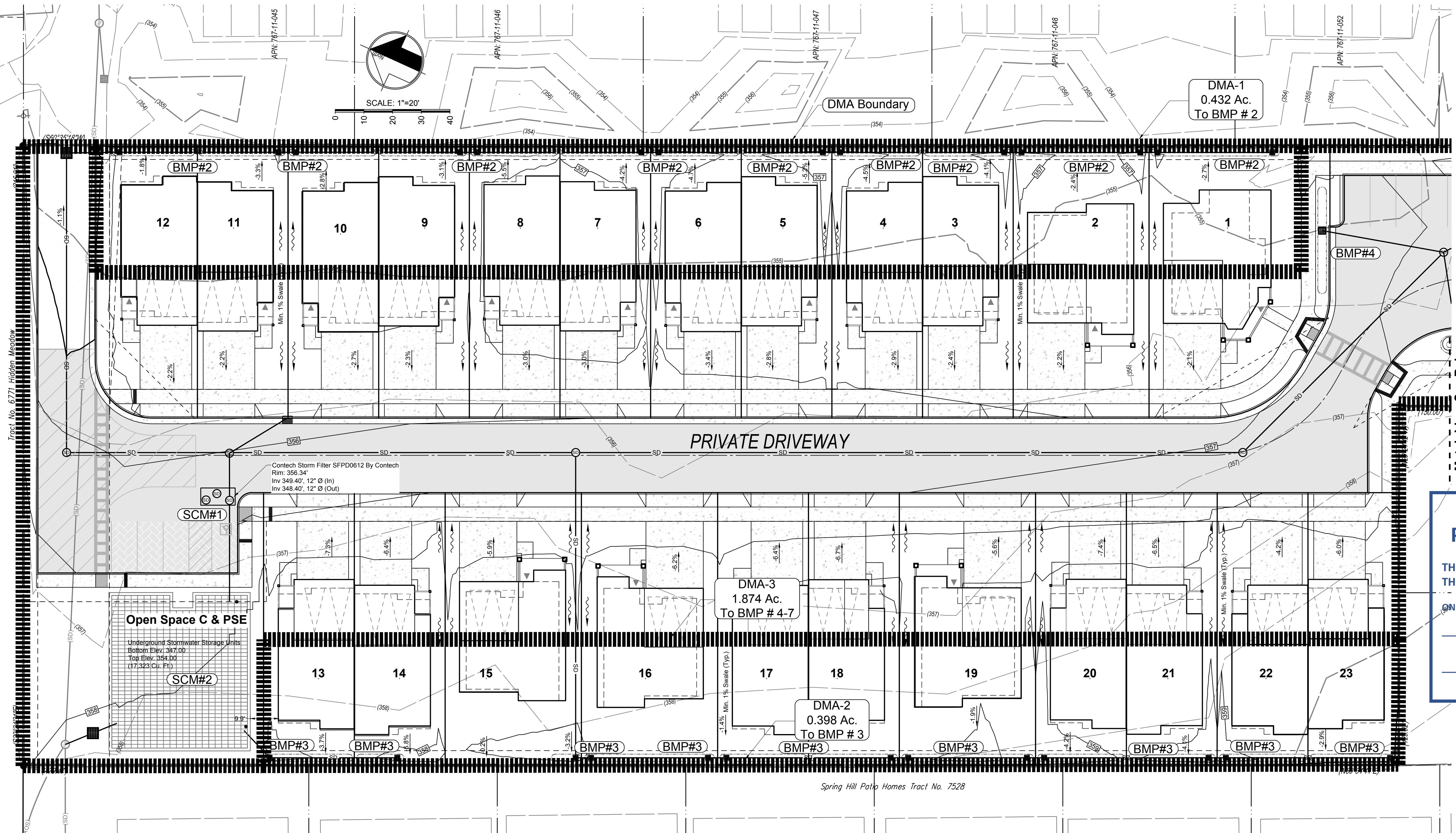
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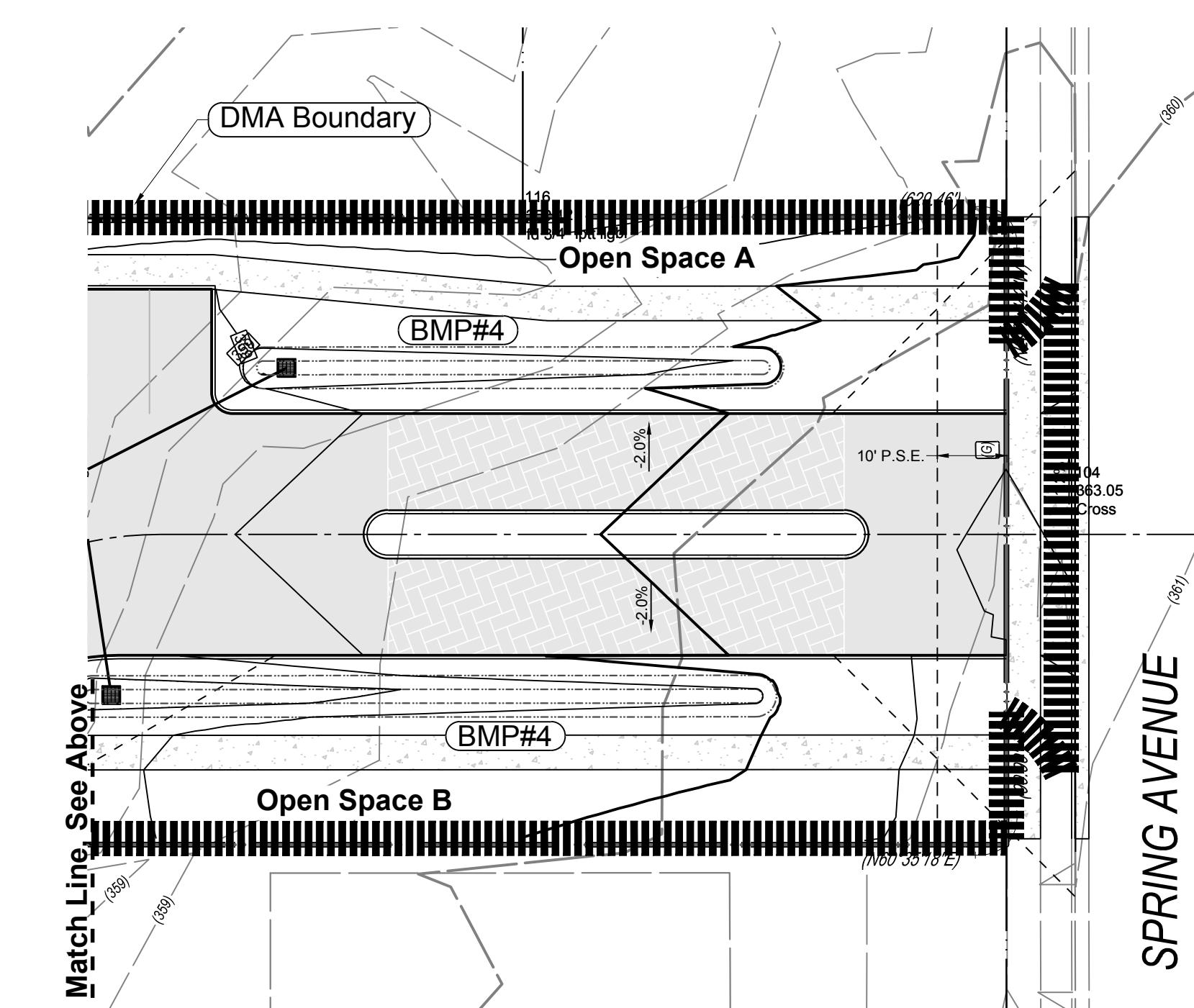
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Legend:

- (BMP#1) Site Housekeeping (Applies to whole site)
- (BMP#2) Bio-swales in the back yards Lot 1-12
- (BMP#3) Bio-swales in the back yards Lot 13-23
- (BMP#4) Bio-Swales along driveway at project entrance
- (SCM#1) Storm Filter SFMH72 By Contech
- (SCM#2) Underground Stormwater Storage (Raintank Units)

"Spring View" LID - BMP Sizing Calcs							
Proposed BMP No.	BMP Impervious Area Public Hardscape (S.F.)	Private Hardscape (S.F.)	Impervious area /total area	C=0.8581 ^{0.7812} +0.7 741.04	95th Percentile (1.8") Rain First Flush Volume to Treat (Cu. Ft.)	Proposed BMP Volume (Cu. Ft.)	(2) 1" outlet orifice pipes
2 Thru 7	478	76,662	0.66	0.463	7,624	20,424	0.14
						65	41



DATE: 05/21
SCALE: 1"=20'
DRAWN BY: RS
CHECKED BY: WJM

JOB NO. 98043
SHEET TM-09
OF 11

