

TENTATIVE TRACT MAP
SPRING VIEW

MORGAN HILL, SANTA CLARA COUNTY, CALIFORNIA

CONTACT INFORMATION:

APPLICANT/OWNER: Joe & Sheila Giancola
2290-A Cochran Road
Morgan Hill, CA 95037

CIVIL ENGINEER: MH ENGINEERING
16075 VINEYARD BLVD.
MORGAN HILL, CA 95037
(408) 779-7381
BILLM@MHENGINEERING.COM

PLANNER: DEVELOPMENT PROCESS CONSULTANTS
220 LIVE OAK DRIVE
DANVILLE, CA 94506
(408) 421-2695
VRBURGOSICLOUD@ICLOUD.COM

LANDSCAPE ARCHITECT: RIPLEY DESIGN GROUP, INC.
1615 BONANZA ST., SUITE 314
WALNUT CREEK, CA 94596
(925) 938-9377

SITE DATA

SUBJECT PARCELS:
CURRENT LAND USE:
ZONING:
GENERAL PLAN:
PROPOSED LAND USE:
BUILDOUT TABULATION:
GROSS AREA
PRIVATE RIGHT OF WAY
PUBLIC RIGHT-OF-WAY DEDICATION
NET AREA
UTILITIES:
WATER
SANITARY SEWER
STORM DRAIN
GAS & ELECTRIC
TELEPHONE
PRELIMINARY EARTHWORK
SUMMARY (APPROX.):
CUT
FILL
NET

APN: 767-11-030
RESIDENTIAL
RAL
RAL (6-16 DU/AC)
RESIDENTIAL

2.686 AC
0.555 AC
0 AC
2.131 AC

CITY OF MORGAN HILL
CITY OF MORGAN HILL
CITY OF MORGAN HILL
PG&E
VERIZON

1,500 CY
3,836 CY
2,336 CY (IMPORT)

PROJECT DATA

THIS IS A RESIDENTIAL PROJECT CONSISTING OF
23 NEW HOMES OF TWO OWNERSHIP HOUSING
TYPES:

- 18 DUETS
- 5 SINGLE FAMILY DETACHED

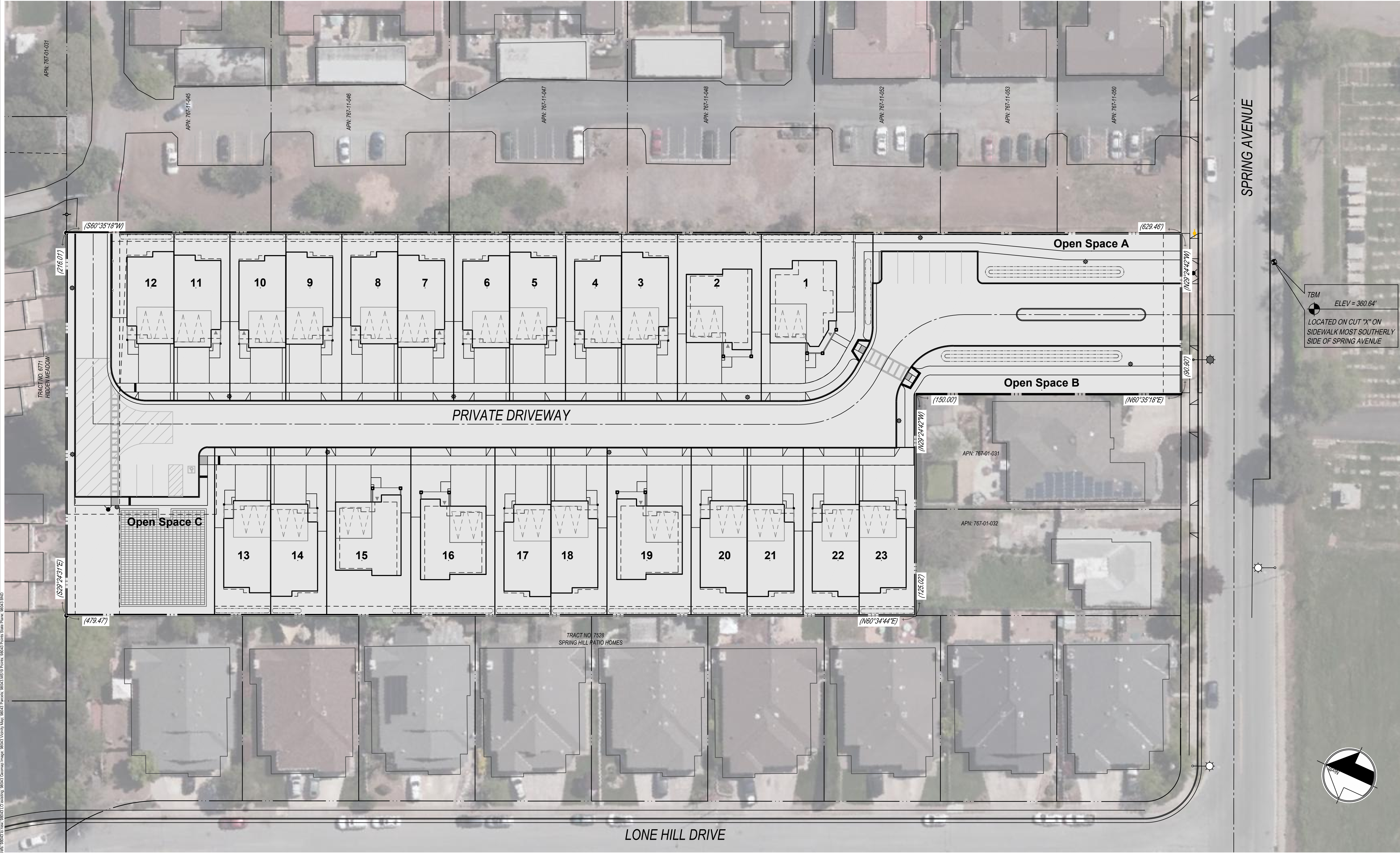
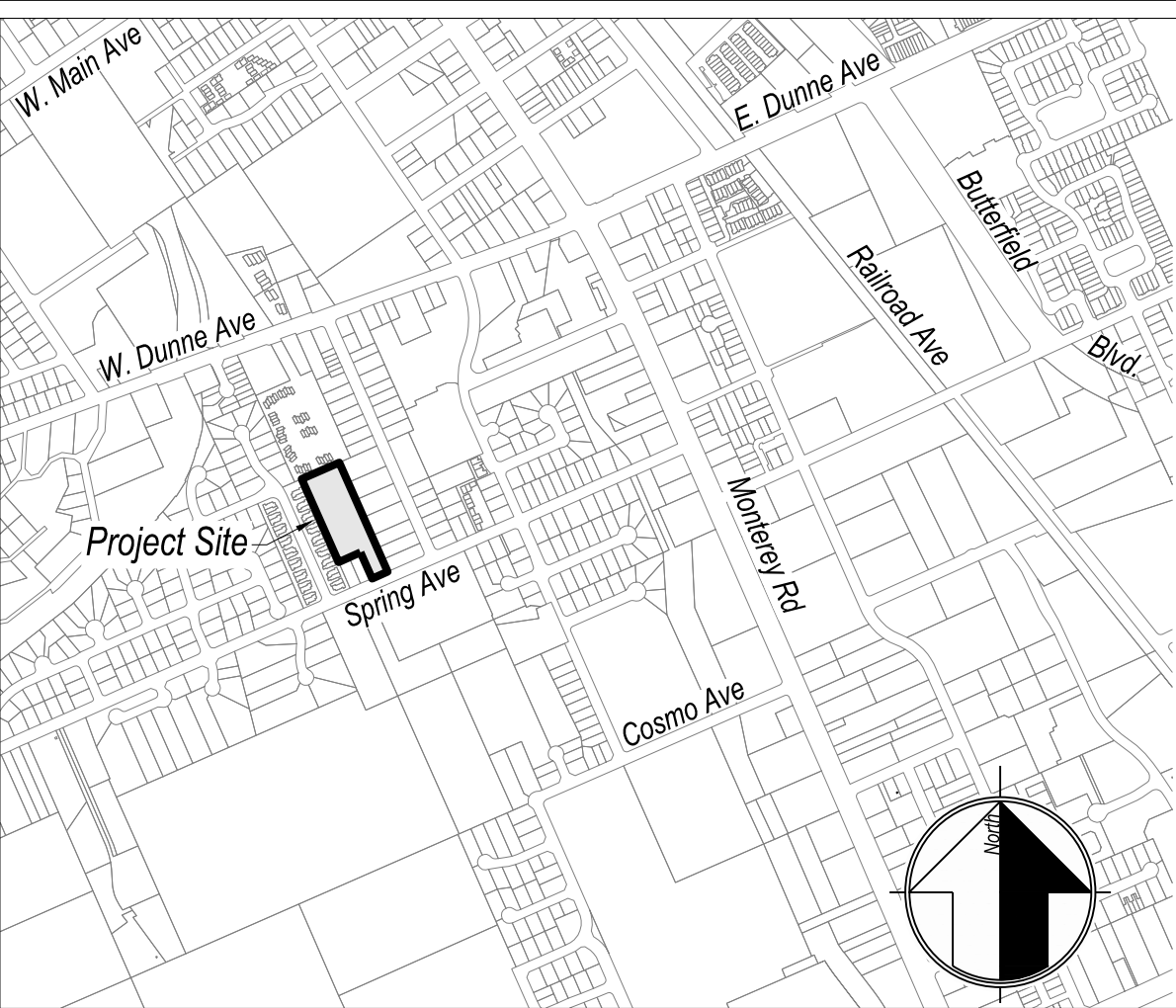
IN-TRACT IMPROVEMENTS CONSIST OF THE FOLLOWING
ELEMENTS:

- PRIVATE CIRCULATION NETWORK INCLUDING STREETS
AND EVA.
- ACTIVE AND PASSIVE OPEN SPACE AND AMENITIES,
AND TOT LOT. SEE COMPANION DESIGN REVIEW PERMIT
PLAN SET FOR ALL AMENITIES.
- CURB-SIDE AND BAY SHARED PARKING.
- OFF-SITE IMPROVEMENTS CONSIST OF THE FOLLOWING:
SPRING AVENUE HALF STREET IMPROVEMENTS INCLUDING
WATER MAIN, CURB, GUTTER, SIDEWALK AND RESURFACING.
CURB/GUTTER/SIDEWALK IMPROVEMENT ON THE
WESTERLY (PROJECT) SIDE OF THE STREET
- SEE TENTATIVE MAP PLANS FOR LIMITS OF PROPOSED
STREET IMPROVEMENTS.

GENERAL INFORMATION

5. PROPOSED CONTOURS, GRADES, AND PAD ELEVATIONS IN THIS PLAN SET ARE PRELIMINARY AND SUBJECT TO CHANGE DURING FINAL DESIGN.
- BOUNDARY SHOWN HEREIN IS BASED ON RECORD DATA. ADDITIONAL SURVEY IS RECOMMENDED.
- LOT NUMBERS ARE FOR IDENTIFICATION PURPOSES ONLY AND ARE NOT INTENDED AS FINAL.
- ALL GRADING WILL BE DONE IN CONFORMANCE WITH THE RECOMMENDATIONS AND CONDITIONS OF THE GEOTECHNICAL ENGINEER, THE CITY OF MORGAN HILL STANDARDS AND SPECIFICATIONS, AND APPLICABLE REPORTS REGARDING THIS PROJECT.
- PROJECT LIES ENTIRELY WITHIN FLOOD X, AREA X DEFINED AS: "AREAS OF 0.2% CHANCE OF FLOOD; AREAS OF 1% CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD"; (FIRM MAP NUMBER 06085C0444H, EFFECTIVE DATE MAY 18, 2009).
- PROPOSED CONTOURS, GRADES, AND PAD ELEVATIONS IN THIS PLAN SET ARE PRELIMINARY AND SUBJECT TO CHANGE DURING FINAL DESIGN.
- THE UTILITY PIPE SIZES AND CONNECTIONS SHOWN ON THIS MAP ARE PRELIMINARY AND ARE SUBJECT TO CHANGE.
- PROPOSED STORM DRAIN AND RETENTION SYSTEM IS PRELIMINARILY DESIGNED TO ACCOMMODATE STORAGE FOR RUNOFF RETENTION AS REQUIRED BY THE CENTRAL COAST RWQCB.
- EXISTING TOPOGRAPHY IS BASED ON GROUND TOPOGRAPHIC SURVEY BY MH ENGINEERING CO., DATED MAY 20, 2020.
- EXISTING MONITORING WELL TO BE CAPPED PER SANTA CLARA VALLEY WATER DISTRICT REQUIREMENTS.
- CONDOMINIUMS IMPLEMENT TOWN HOME STANDARDS SHOWN IN CODE SECTION 18.40, TABLE 18.40-2. LOTTING SCHEME SHOWN IS PRELIMINARY AND MAY BE REFINED IN THE FUTURE.
- ALL ABOVE-GROUND ON-SITE DRY UTILITIES TO REMAIN SHALL BE PLACED UNDERGROUND.
- INDIVIDUAL RESIDENTIAL UNITS IN THIS PLAN SET ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

vicinity map:



LEGEND

Proposed	Description	Existing
Project Property Boundary	Project Property Boundary	Project Property Boundary
Property Line	Property Line	Property Line
Centerline	Centerline	Centerline
Curb and Gutter	Curb and Gutter	Curb and Gutter
EVAE	Emergency Vehicle Access Easement	EVAE
IEE	Ingress/Egress Easement	IEE
PSDE	Private Storm Drainage Easement	PSDE
PSE	Public Service Easement	PSE
Underground Storm Drain Storage	Underground Storm Drain Storage	Underground Storm Drain Storage
Spot Elevation	Spot Elevation	Spot Elevation
Contours	Contours	Contours
SS lateral	SS lateral	SS lateral
Water Service	Water Service	Water Service
STORM DRAIN	STORM DRAIN	STORM DRAIN
SANITARY SEWER	SANITARY SEWER	SANITARY SEWER
WATER MAIN	WATER MAIN	WATER MAIN
GAS	GAS	GAS
ELECTRIC	ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE	TELEPHONE
JOINT TRENCH	JOINT TRENCH	JOINT TRENCH
STORM DRAIN MANHOLE	STORM DRAIN MANHOLE	STORM DRAIN MANHOLE
CURB INLET	CURB INLET	CURB INLET
GALLERY INLET	GALLERY INLET	GALLERY INLET
DROP INLET	DROP INLET	DROP INLET
SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE
FIRE HYDRANT	FIRE HYDRANT	FIRE HYDRANT
BLOW OFF VALVE	BLOW OFF VALVE	BLOW OFF VALVE
CLEAN OUT	CLEAN OUT	CLEAN OUT
AIR RELIEF VALVE	AIR RELIEF VALVE	AIR RELIEF VALVE
GATE VALVE	GATE VALVE	GATE VALVE
JOINT POWER POLE	JOINT POWER POLE	JOINT POWER POLE
ELECTROLIER	ELECTROLIER	ELECTROLIER
ELECTROLIER WITH SIGN	ELECTROLIER WITH SIGN	ELECTROLIER WITH SIGN
AC Pavement	AC Pavement	AC Pavement
Concrete Driveway/Shoulder	Concrete Driveway/Shoulder	Concrete Driveway/Shoulder
Decorative Pavers	Decorative Pavers	Decorative Pavers

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING COMMISSION

ON 10/12/2021

SD2020-0010

FILE NUMBER
PLANNING OFFICIAL

SHEET INDEX

- TITLE SHEET
- EXISTING CONDITIONS
- TITLE DISPOSITIONS
- COMPREHENSIVE LOTTING PLAN
- PRELIMINARY GRADING PLAN
- GRADING CROSS SECTIONS
- STREET SECTIONS
- PRELIMINARY UTILITY PLAN
- STORM WATER CONTROL PLAN
- EROSION CONTROL PLAN
- EROSION CONTROL DETAILS

TENTATIVE MAP

SPRING VIEW
TITLE SHEET

DATE: 05/21
SCALE: 1"=30'
DRAWN BY: RS
CHECKED BY: WJM

JOB NO.
98043

SHEET
TM-01
OF 11



CITY OF MORGAN HILL
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Photo 1: Property View-Looking South



Photo 1: Property View-Looking North



Photo 1: Property View-Looking East



Photo 1: Property View-Looking West

TENTATIVE MAP

SPRING VIEW
EXISTING CONDITIONS

DATE: 05/21
SCALE: 1"=30'
DRAWN BY: RS
CHECKED BY: WJM
JCS NO.
98043
SHEET
TM-02
OF 11

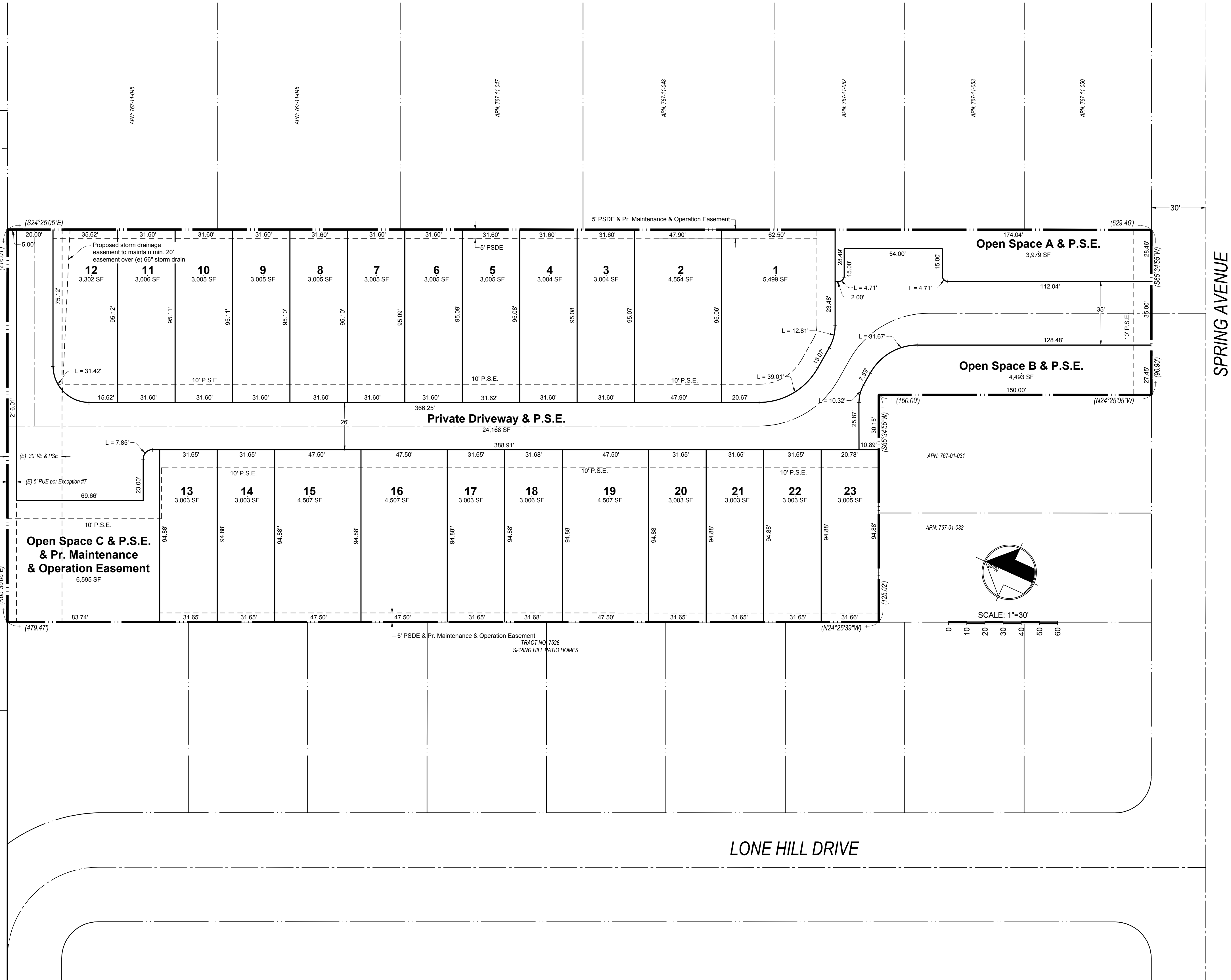
MH engineering Co.
1607 S Vineyard Boulevard
Morgan Hill, CA 95037


PLANNING OFFICIAL

DATE:	05/21
SCALE:	1"=30'
DRAWN BY:	RS
CHECKED BY:	WJM

MH engineering Co.
16075 Vineyard Boulevard
Morgan Hill, CA 95037

APN: 767-01-031
TRACT NO. 6771
HIDDEN MEADOW



CITY OF MORGAN HILL
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TENTATIVE MAP

SPRING VIEW
COMPREHENSIVE LOTTING PLAN

DATE: 09/21
SCALE: 1"=30'
DRAWN BY: RS
CHECKED BY: WJM

SHEET

98043

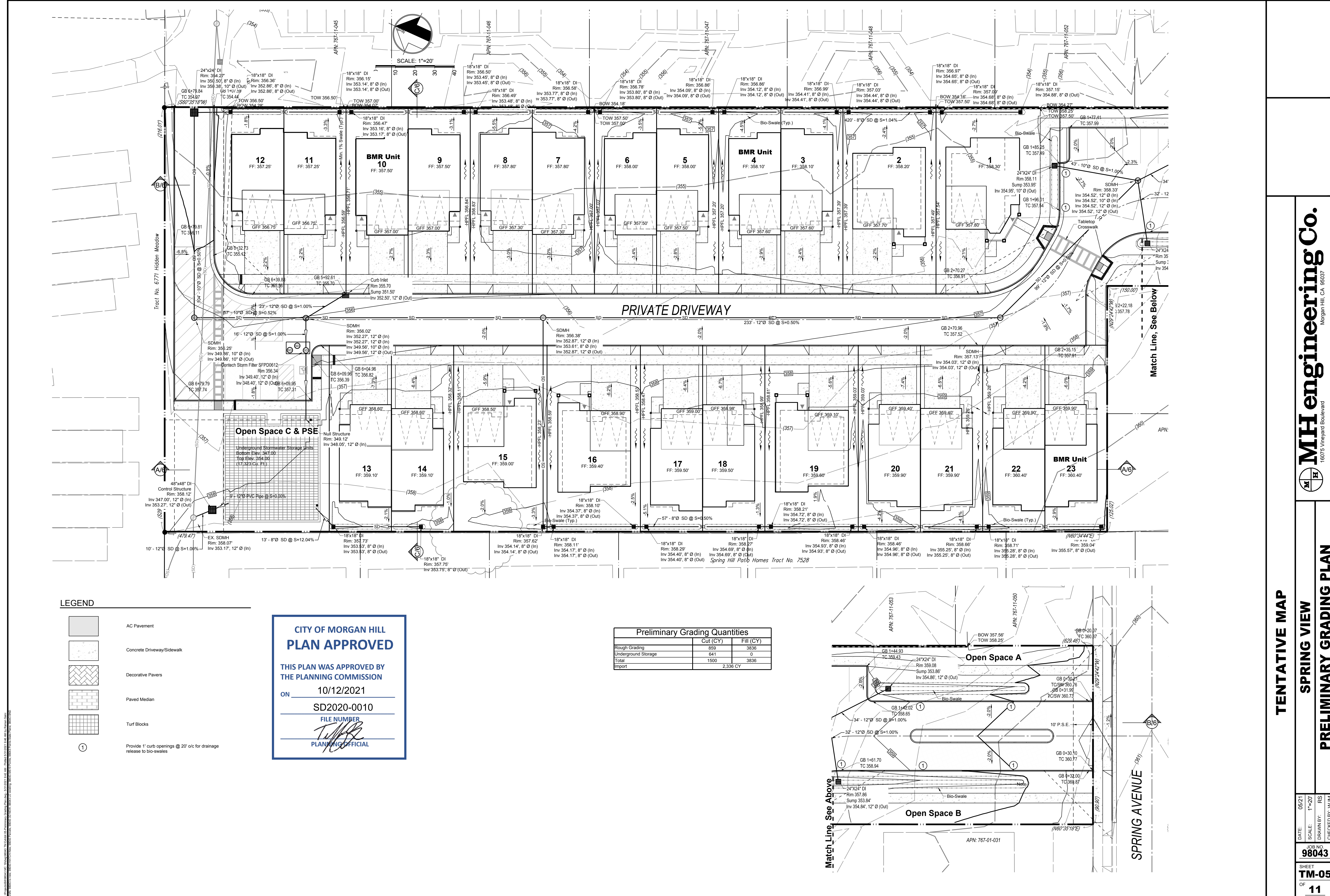
TM-04

OF 11



Morgan Hill, CA 95037

1607 S Vineyard Boulevard

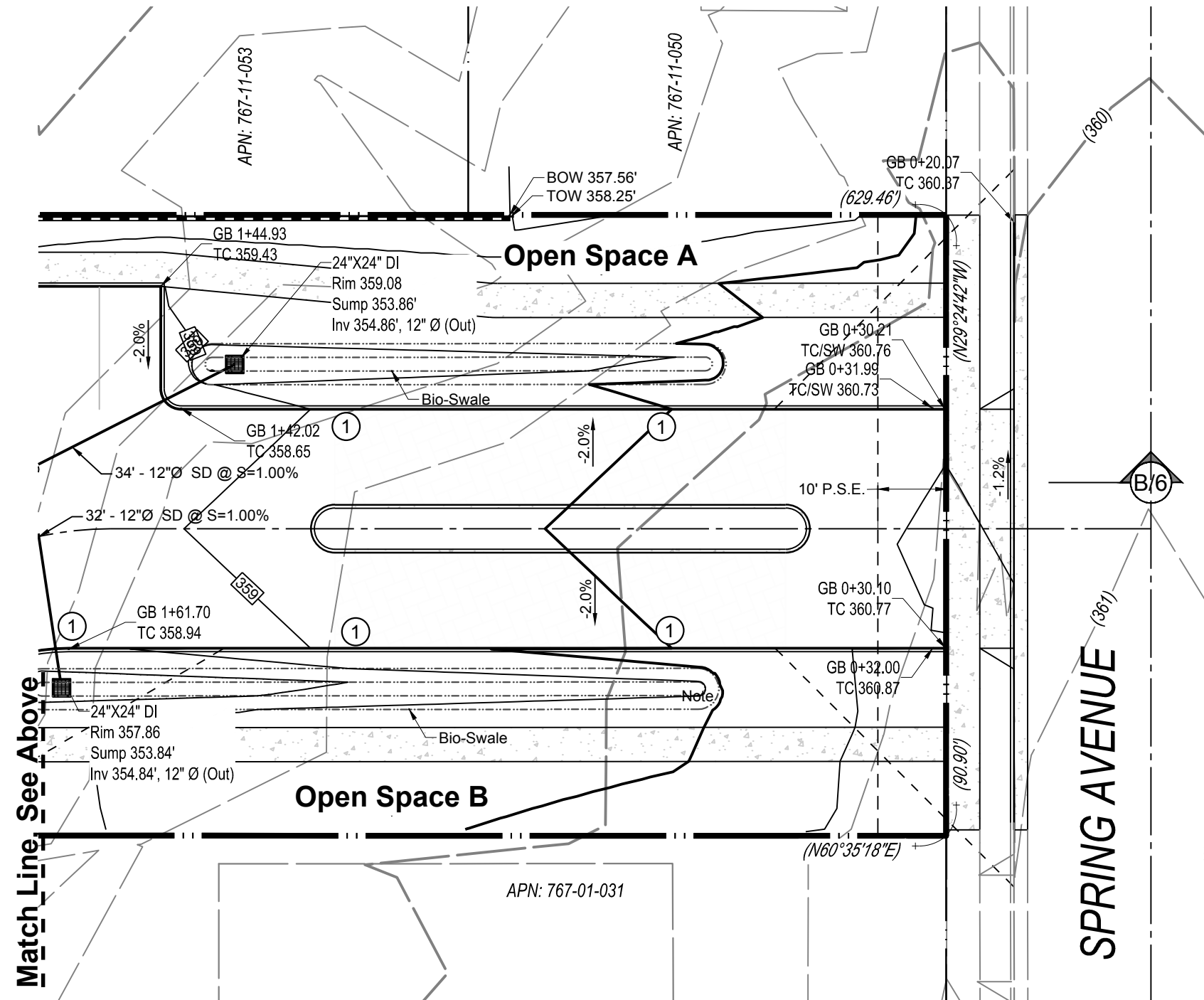


LEGEND

- AC Pavement
- Concrete Driveway/Sidewalk
- Decorative Pavers
- Paved Median
- Turf Blocks
- Provide 1' curb openings @ 20' o/c for drainage release to bio-swales

CITY OF MORGAN HILL
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SD2020-0010
FILE NUMBER
T.M.B.
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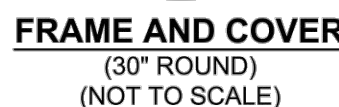
Preliminary Grading Quantities		
	Cut (CY)	Fill (CY)
Rough Grading	859	3836
Underground Storage	641	0
Total	1500	3836
Import		2,336 CY



TENTATIVE MAP
SPRING VIEW
PRELIMINARY GRADING PLAN
DATE: 05/21
SCALE: 1"=20'
SHEET
TH-05
OF 11
DRAWN BY: RS
CHECKED BY: WJM



* 1.67 gpm/sf [1.13 L/s/m²] SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHOSORB® (PSORB) MEDIA ONLY



STRUCTURE ID			
WATER QUALITY FLOW RATE (cfs [L/s])			
PEAK FLOW RATE (cfs [L/s])			
RETURN PERIOD OF PEAK FLOW (yrs)			
CARTRIDGE FLOW RATE			
CARTRIDGE SIZE (27, 18, LOW DROB (LPI))			
MEDIA TYPE (PERLITE, ZPG, PSORB)			
NUMBER OF CARTRIDGES REQUIRED			
INLET BAY RIM ELEVATION			
FILTER BAY RIM ELEVATION			
PIPE DATA:	INVERT	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			
NOTES/SPECIAL REQUIREMENTS:			

INSTALLATION NOTES

- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE.
- C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL SECTIONS AND ASSEMBLY STRUCTURE.
- D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH OUTLET PIPE INVERT WITH OUTLET BAY FLOOR.
- E. CONTRACTOR TO PROVIDE MEASURES TO PROTECT CATCHMENT AREAS FROM CONSTRUCTION-RELATED EROSION RUNOFF.
- F. CONTRACTOR TO REMOVE THE TRANSFER OPENING CURB WHEN THE SYSTEM IS BROUGHT ONLINE.

SFPD0612 (6' x 12')
PEAK DIVERSION STORMFILTER
STANDARD DETAIL


PLANNING OFFICIAL



NTS

Scale: 1" = 10'



Scale: 1" = 10'



SPRING VIEW

STREET SECTIONS

DATE: 05/21

SCALE: 1"=20'

DRAWN BY: KS

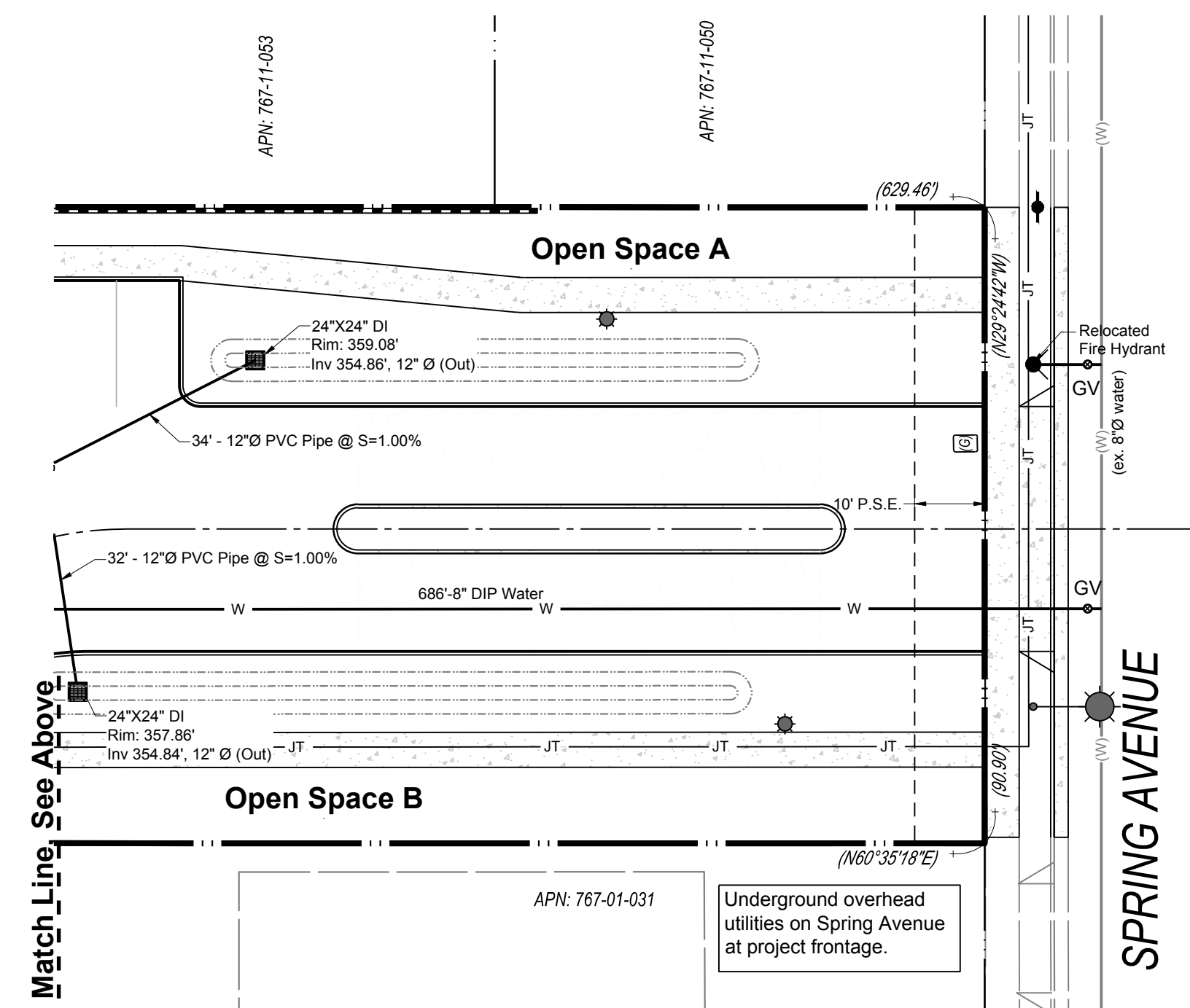
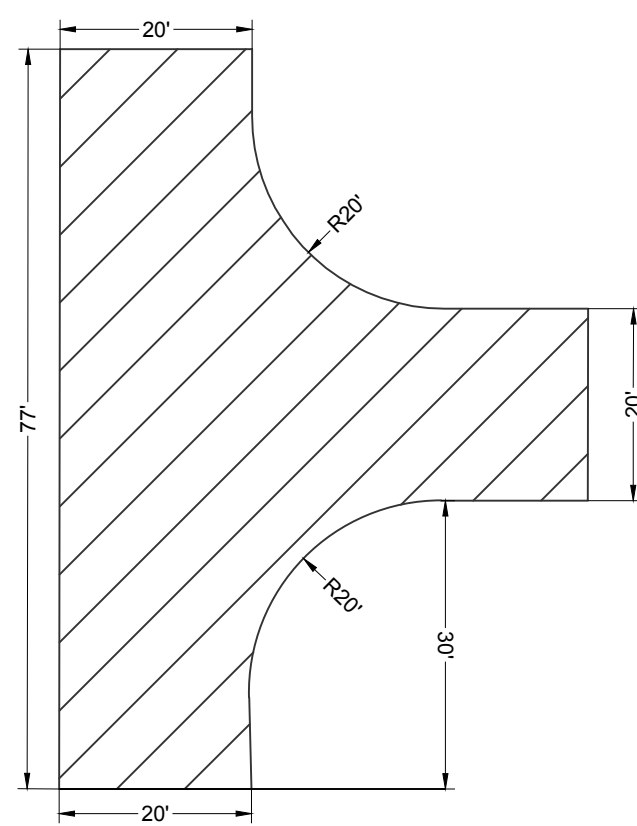
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Morgan Hill, CA 95037

16075 Vineyard Boulevard



CITY OF MORGAN HILL
PLAN APPROVED

**THIS PLAN WAS APPROVED BY
THE PLANNING COMMISSION**

ON 10/12/2021

SD2020-0010

FILE NUMBER 518


PLANNING OFFICIAL

Match Line, See Below

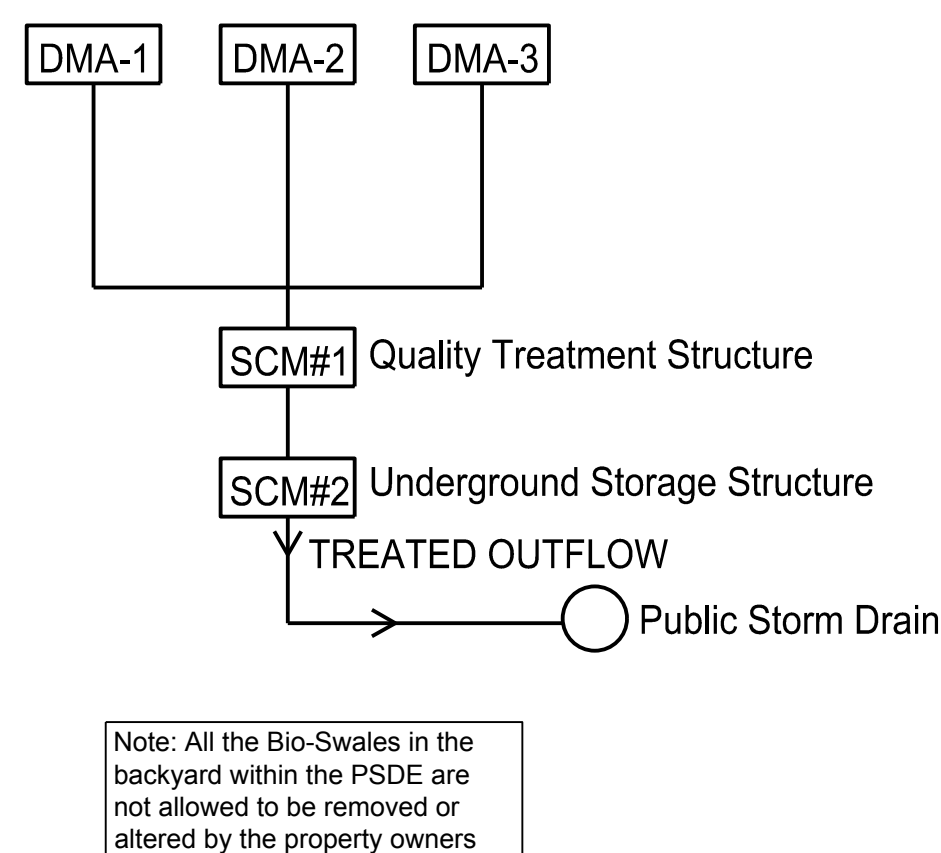
TENTATIVE MAP

SPRING VIEW

PRELIMINARY UTILITY PLAN

MH engineering Co.
16075 Vineyard Boulevard
Morgan Hill, CA 95037

DATE:	05/21
SCALE:	1"=20'
DRAWN BY:	RS
CHECKED BY:	WJM




SPRING VIEW

STORMWATER CONTROL PLAN

MH engineering Co.
16075 Vineyard Boulevard
Morgan Hill, CA 95037

Morgan Hill, CA 95037

16075 Vineyard Boulevard



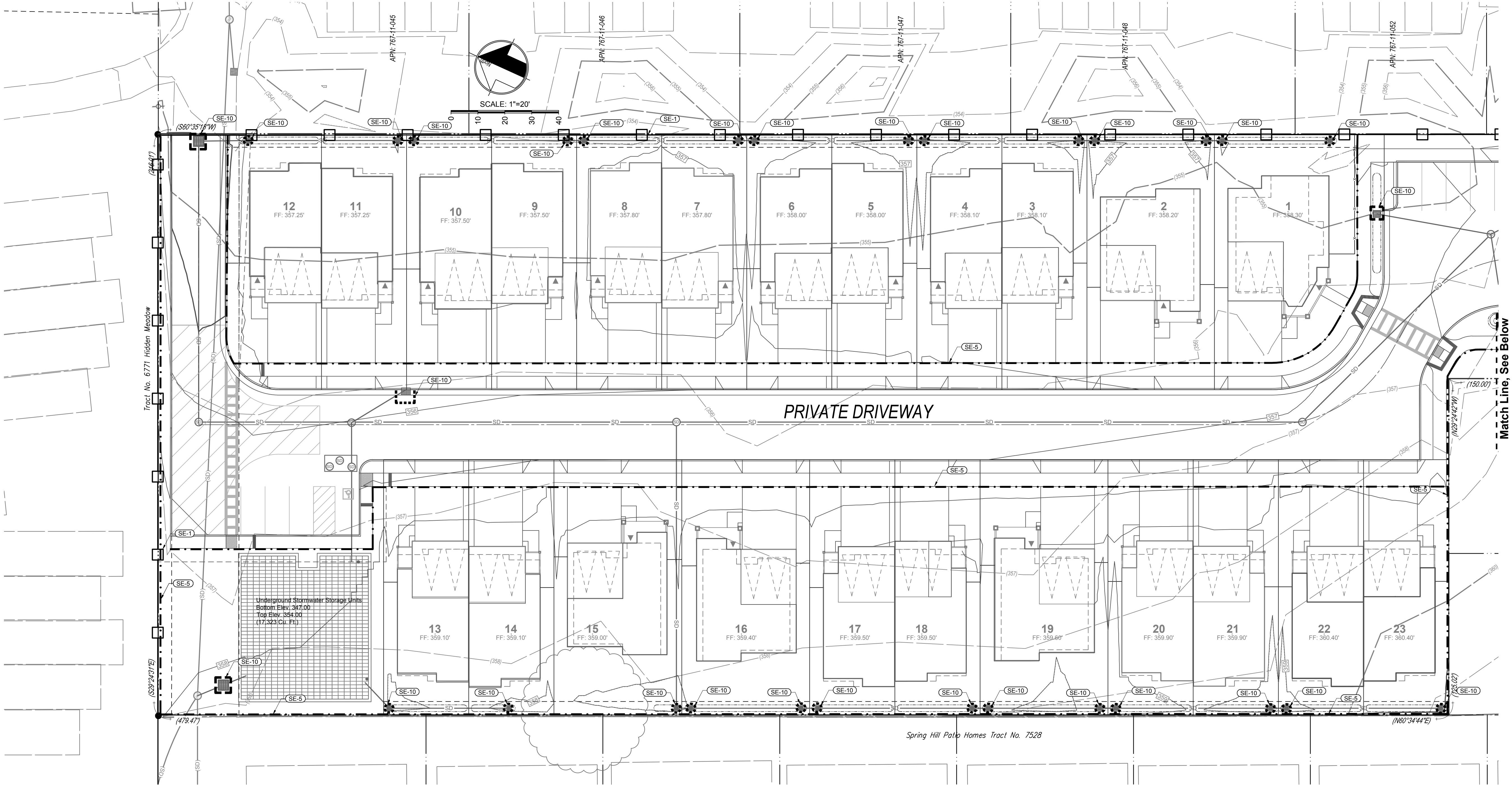
SHEET
TM-05
OF
11

"Spring View" LID - BMP Sizing Calcs									5/28/2021
Proposed BMP No.	BMP Impervious Area		i=impervious area /total area	C=0.858 ^{1/2} -0.78 ^{1/2} +0.7 74/-0.04	95th Percentile (1.8" Rain) First Flush Volume to Treat (Cu. Ft.)	Proposed BMP Volume (Cu. Ft.)	(2) 1" φ outlet orifice pipes	BMP Loading Depth (Inches)	BMP Infiltration Duration (Hrs.) ≤ 72
	Public Hardscape (S.F.)	Private Hardscape (S.F.)							
2 Thru 7	478	76 662	0.66	0.463	7.624	20.424	0.14	65	41

Legend:

- | | |
|--------------|---|
| BMP#1 | Site Housekeeping (Applies to whole site) |
| BMP#2 | Bio-swales in the back yards Lot 1-12 |
| BMP#3 | Bio-swales in the back yards Lot 13-23 |
| BMP#4 | Bio-Swales along driveway at project entrance |
| SCM#1 | Storm Filter SFMH72 By Contech |
| SCM#2 | Underground Stormwater Storage (Raintank Units) |

APR 2021 10:00 AM
C:\Users\jdoyle\OneDrive\Documents\Projects\2020\SD2020-0010\SD2020-0010.dwg
PLOT: 11 OF 11
PLOT DATE: 4/21/21 10:00 AM
PLOT BY: JDOYLE
PLOT SCALE: 1"=20'



LEGEND

- SE-5 FIBER ROLLS
- SE-10 STORM DRAIN INLET PROTECTION
- TC-1 STABILIZED CONSTRUCTION ENTRANCE
- SE-1 SILT FENCE

CITY OF MORGAN HILL
PLAN APPROVED

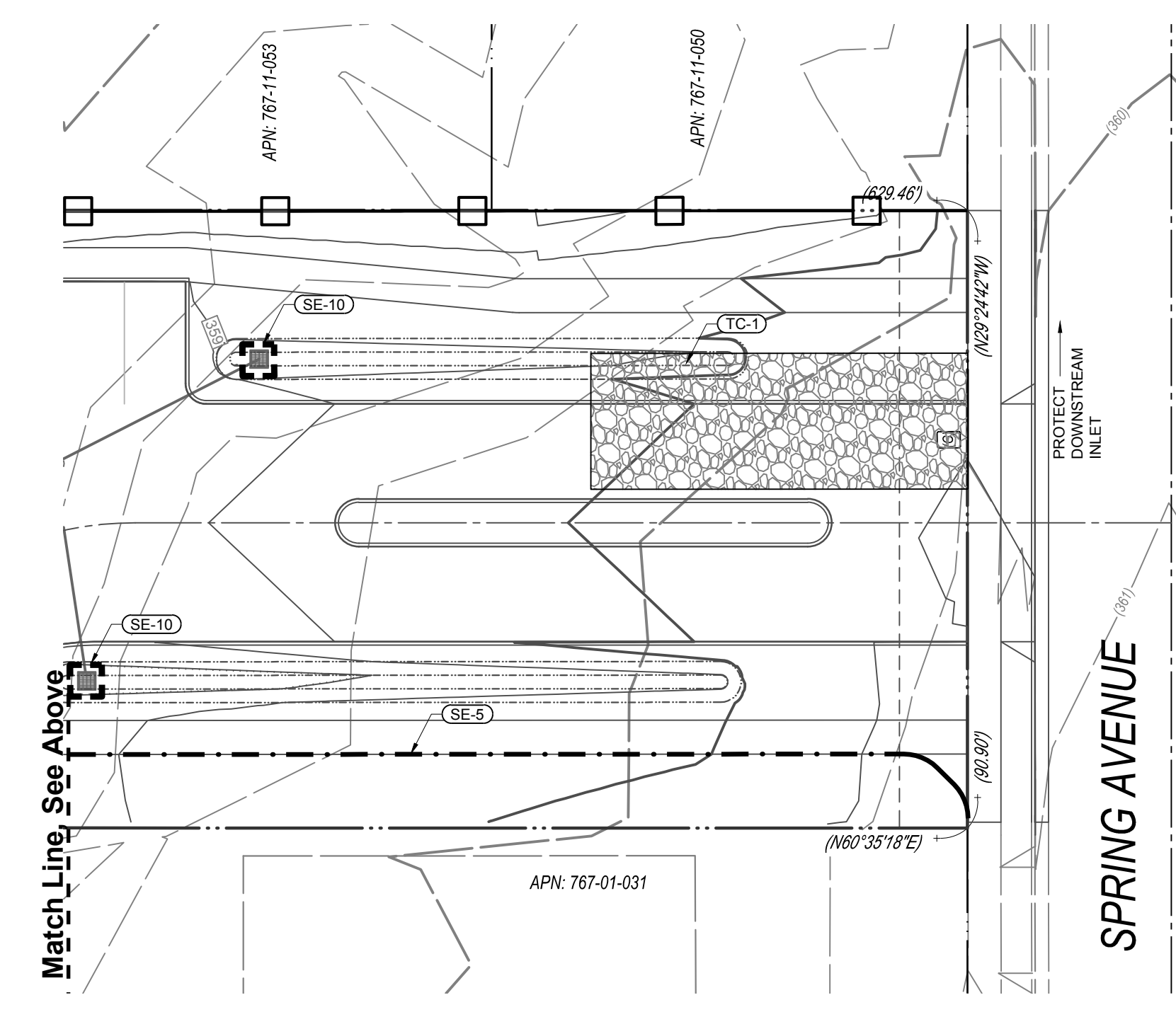
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ON 10/12/2021

SD2020-0010

FILE NUMBER

T. J. Doyle
PLANNING OFFICIAL



TENTATIVE MAP

SPRING VIEW
EROSION CONTROL PLAN

