

ROSEWOOD @ Lillian Commons

DESIGN REVIEW PERMIT

MARCH 2022



LANDSCAPE

Gates + Associates
Melonie Reynolds, RLA
1655 N. Main Street Ste. 365
Walnut Creek, CA 94596
melonie@dgates.com

CIVIL ENGINEER

Ruggeri-Jensen-Azar
Will Link, PE
Ross Doyle
8055 Camino Arroyo
Gilroy, CA 95020
wlink@rja-gps.com
rdoyle@rja-gps.com

ARCHITECTURE & PLANNING

KTGY Group, Inc.
Amanda Mazzei
Franklin LaPointe
1814 Franklin Street, Ste 400
Oakland, CA 94612
amazzei@ktgy.com
flapointe@ktgy.com

APPLICANT

Brookfield Residential
Joe Guerra
Mandi Misasi
12657 Alcosta, Ste 250
San Ramon, CA 94583
Joe.Guerra@brookfieldrp.com
mandi.misasi@brookfieldpropertiesdevelopment.com

LANDSCAPE SHEET INDEX

- L0.1 COVER SHEET
- L0.2 LAYOUT LEGEND
- L0.3 PLANTING NOTES AND LEGEND
- L1.1 LAYOUT PLAN
- L1.2 LAYOUT PLAN
- L1.3 LAYOUT PLAN
- L1.4 PARK ENLARGEMENT
- L1.5 RESIDENTIAL ENLARGEMENT
- L2.1 IRRIGATION PLAN
- L2.2 IRRIGATION PLAN
- L2.3 IRRIGATION PLAN
- L2.4 IRRIGATION NOTES AND LEGEND
- L2.5 IRRIGATION DETAILS
- L2.6 IRRIGATION DETAILS
- L2.7 IRRIGATION DETAILS
- L2.8 IRRIGATION DETAILS
- L3.1 PLANTING PLAN
- L3.2 PLANTING PLAN
- L3.3 PLANTING PLAN
- L3.4 PLANTING DETAILS
- L4.1 CONSTRUCTION DETAILS
- L4.2 CONSTRUCTION DETAILS
- L4.3 CONSTRUCTION DETAILS

CIVIL SHEET INDEX

- DR-01 TITLE SHEET
- DR-02 EXISTING CONDITIONS
- DR-03 COMPLIANCE EXHIBIT
- DR-04 PRELIMINARY UTILITIES
- DR-05 DEVELOPMENT STANDARDS
- DR-06 DEVELOPMENT STANDARDS

ARCHITECTURAL SHEET INDEX

- A0.0 COVER SHEET
- A0.1 SHEET INDEX
- A1.0 ARCHITECTURAL SITE PLAN + PROJECT DATA
- A.1.0 CODE ANALYSIS
- A2.0 BUILDING ELEVATIONS - 4 PLEX _ COLOR SCHEME A
- A2.0.1 BUILDING ELEVATIONS - 4 PLEX _ COLOR SCHEME A
- A2.1.0 BUILDING ELEVATIONS - 4 PLEX _ COLOR SCHEME B
- A2.1.1 BUILDING ELEVATIONS - 4 PLEX _ COLOR SCHEME B
- A2.2.0 BUILDING ELEVATIONS - 5 PLEX _ COLOR SCHEME A
- A2.2.1 BUILDING ELEVATIONS - 5 PLEX _ COLOR SCHEME A
- A2.3.0 BUILDING ELEVATIONS - 5 PLEX _ COLOR SCHEME B
- A2.3.1 BUILDING ELEVATIONS - 5 PLEX _ COLOR SCHEME B
- A2.4.0 BUILDING ELEVATIONS - 6 PLEX _ COLOR SCHEME A
- A2.4.1 BUILDING ELEVATIONS - 6 PLEX _ COLOR SCHEME A
- A2.5.0 BUILDING PLANS - 4 PLEX
- A2.5.1 BUILDING PLANS - 4 PLEX
- A2.6.0 BUILDING PLANS - 5 PLEX
- A2.6.1 BUILDING PLANS - 5 PLEX
- A2.7.0 BUILDING PLANS - 6 PLEX
- A2.7.1 BUILDING PLANS - 6 PLEX
- A3.0.0 DUET - ELEVATIONS _ COLOR SCHEME A
- A3.0.1 DUET - ELEVATIONS _ COLOR SCHEME A
- A3.1.0 DUET - ELEVATIONS _ COLOR SCHEME B
- A3.1.1 DUET - ELEVATIONS _ COLOR SCHEME B
- A3.2.0 DUET - ELEVATIONS _ COLOR SCHEME C
- A3.2.1 DUET - ELEVATIONS _ COLOR SCHEME C
- A3.3.0 BUILDING PLANS - DUET
- A4.0.0 BUILDING SECTIONS
- A5.0.0 UNIT PLANS - PLAN 1
- A5.0.1 UNIT PLANS - PLAN 2
- A5.0.2 UNIT PLANS - PLAN 3
- A5.1.0 UNIT PLANS - DUET
- A5.1.1 UNIT PLANS - DUET
- A6.0.0 ARCHITECTURAL DETAILS-TOWNHOUSE
- A6.0.1 ARCHITECTURAL DETAILS-TOWNHOUSE
- A6.1.0 ARCHITECTURAL DETAILS-DUET A&B STYLES
- A6.1.1 ARCHITECTURAL DETAILS-DUET C STYLES
- A7.0.0 MATERIAL COLOR SCHEMES





TOWNHOUSE

4 PLEX
5 PLEX
6 PLEX

DUETS



PROJECT DATA

TOTAL UNITS: 120 du total

TOWNHOUSE

SEE A2.0.0 -A2.7.1 for elevations and building plans

CONSTRUCTION TYPE: TYPE VB
OCCUPANCY: R-2 TOWNHOUSE
FIRE SPRINKLER: NFPA 13D
BUILDING HEIGHT: +/- 38'

Townhouse	Description	Garage	NSF	Total DU	%	Total NSF
P1	4bed/3.5ba	side x side	1,840	22	26%	40,480
P2	3bed/3.5ba	side x side	2,076	28	33%	58,128
P3	4bed/3.5ba	side x side	2,098	36	42%	75,528
Sub-total			86	100%		174,136
			Avg SF			2,025

Total Livable SF

248,766

DUETS

SEE A3.0.0 -A3.3.0 for elevations and building plans

CONSTRUCTION TYPE: TYPE VB
OCCUPANCY: R-3
FIRE SPRINKLER: NFPA 13D
BUILDING HEIGHT: +/- 28'

Duets	Description	Garage	NSF	Total DU	%	Total NSF
P1	3bed+Loft/2.5ba	side x side	2,032	17	50%	34,544
P2*	4bed+Loft/3.5ba	side x side	2,355	17	50%	40,035
Sub-total			34	100%		74,579
			Avg SF			2,194

RESIDENTIAL PARKING SUMMARY

Residential Parking Summary

Required:	Space/du	Total	Sub-total
Duets-Res. (Garage)	2	68	240
Townhouse (MF) -Res. (Garage)	2	172	
Duets-Guest	1	34	63
Townhouse (MF) -Guest	0.33	28	
Total			303

Provided:

	Sub-total
Garage	240
Guest	67
Total	307

Handicap accessible spaces 2 spaces required
2 spaces provided

Electric vehicle spaces 2 spaces required
2 spaces provided

NOTES:

1. Refer to Civil sheets for all property lines, easements, site dimensions, accessible unit locations, etc.
2. Refer to Landscape Sheets for landscape design, dimensions and detailed information.

A -LOCATION OF ACCESSIBLE UNITS

R2-TOWNHOUSE CONDOMINIUMS (PER CRC): 3-STORY TOWNHOUSE

APPLICABLE CODES:

2019 CALIFORNIA RESIDENTIAL CODE (CRC)
2019 CALIFORNIA BUILDING CODE (CBC)
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA FIRE CODE
TITLE 24, PART 6, CALIFORNIA ENERGY CODE (2019 EDITION)

CHAPTER 11A AS REQUIRED PER CRC R320

DEFINITIONS: [PER CRC R202]

TOWNHOUSE: A SINGLE FAMILY DWELLING UNIT CONSTRUCTED IN A GROUP OF THREE OR MORE ATTACHED UNITS IN WHICH EACH UNIT EXTENDS FROM FOUNDATION TO ROOF AND WITH A YARD OR PUBLIC WAY ON AT LEAST TWO SIDES.

OCCUPANCY GROUP: (CRC 1.1.3.1)

R-2 (TOWNHOUSE CONDOMINIUM)
U (PRIVATE GARAGES)

FIRE SPRINKLERS: (CRC R313)

NFPA 13-D - AS ALLOWED FOR TOWNHOUSES PER CALIFORNIA FIRE CODE SECTION 903.3.1.3 AND CALIFORNIA RESIDENTIAL CODE SECTION R 313.1.1

CONSTRUCTION TYPE:

VB

ALLOWABLE HEIGHT:

40 FEET

ALLOWABLE STORIES: (CRC 1.1.3)

3 STORIES (3 STORIES PROPOSED)

ALLOWABLE FLOOR AREA:

THE CRC DOES NOT PUT AREA LIMITATIONS ON TOWNHOUSES

TOWNHOUSE UNIT SEPARATION: (CRC R302.2.2)

PER CRC R302.2 EACH TOWNHOUSE CONDOMINIUM SHALL BE SEPARATED BY A COMMON WALL CONSTRUCTED WITHOUT PLUMBING OR MECHANICAL EQUIPMENT, DUCTS OR VENTS RUNNING VERTICALLY IN THE COMMON WALL CAVITY. PER CRC R 302.2 ITEM 7 THE COMMON WALL SHALL BE NOT LESS THAN 1-HOUR FIRE RATED.

EXTERIOR WALL RATING: (CRC TABLE R302.1(2))

FIRE SEPARATION DISTANCE \geq 3' SHALL BE ZERO (0) (NON-RATED)
FIRE SEPARATION DISTANCE $<$ 3' SHALL BE ONE (1) - (1 HOUR)
REFER TO ARCHITECTURAL SITE PLAN, A1.0.0 FOR SEPARATION DISTANCES.

MAXIMUM AREA OF EXTERIOR WALL OPENINGS: (CRC TABLE R302.1.(2))

FIRE SEPARATION DISTANCE \geq 3' SHALL BE UNLIMITED (UNRATED)
FIRE SEPARATION DISTANCE $<$ 3' SHALL NOT BE ALLOWED

FIRE RESISTIVE RATING REQUIREMENTS FOR PROJECTIONS BASED ON FIRE SEPARATION DISTANCE: (PER CRC TABLE R302.1(2))

FIRE SEPARATION DISTANCE \geq 3' SHALL BE ZERO (0) (NON-RATED)
FIRE SEPARATION DISTANCE 2' $<$ 3' SHALL BE 1-HOUR ON THE UNDERSIDE
REFER TO SITE PLAN FOR FIRE SEPARATION DISTANCES

UTILITIES APPROACH/ THROUGH PENETRATIONS: (CRC R302.4.1)

ELECTRIC METERS ARE PROPOSED TO BE LOCATED IN COMMON HOA MAINTAINED CLOSETS AT THE END OF EACH BUILDING AND RUN THROUGH THE BUILDING LATERALLY IN A NON-RATED SOFFIT RACEWAY LOCATED IN THE GARAGES, BEFORE TERMINATING AT EACH UNIT. ACCESS EASEMENTS EXIST FOR USE AND MAINTENANCE OF THE UTILITY RACEWAY. THROUGH PENETRATIONS OF THE 1-HOUR RATED COMMON WALL SEPARATING UNITS BY ELECTRICAL LINES SHALL BE PROTECTED IN ACCORDANCE WITH CRC R 302.4.1 & R 302.4.1.2 BY PROVIDING A THROUGH PENETRATION FIRESTOP SYSTEM.

ACCESSIBILITY: (PER CRC R320.1)

DWELLING UNITS IN A BUILDING CONSISTING OF FOUR OR MORE CONDOMINIUM UNITS SHALL MEET THE REQUIREMENTS OF CALIFORNIA BUILDING CODE CHAPTER 11A - MULTISTORY DWELLINGS.

REFER TO SITE PLAN FOR MORE INFORMATION AND LOCATION OF ACCESSIBLE UNITS. MULTI-DWELLING BUILDINGS WITH LESS THAN 4 UNITS ARE EXEMPT FROM ACCESSIBILITY REQUIREMENTS. 10% OF THE REMAINING UNITS THAT ARE NOT EXEMPT MUST BE MADE ACCESSIBLE BASED ON CBC SECTION 1102.3.1

R3-TWO-FAMILY DWELLING UNITS (PER CRC): DUET(FEE SIMPLE)

APPLICABLE CODES:

2019 CALIFORNIA RESIDENTIAL CODE (CRC)
2019 CALIFORNIA BUILDING CODE (CBC)
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA FIRE CODE
TITLE 24, PART 6, CALIFORNIA ENERGY CODE (2019 EDITION)

DEFINITIONS: [PER CRC R202]

DWELLING: ANY BUILDING THAT CONTAINS ONE OR TWO DWELLING UNITS USED, INTENDED, OR DESIGNED TO BE BUILT, USED, RENTED, LEASED, LET OR HIRED OUT TO BE OCCUPIED, OR THAT ARE OCCUPIED FOR LIVING PURPOSES.

OCCUPANCY GROUP: (CRC 1.1.3.1)

R-3(TWO-FAMILY DWELLINGS)
U (PRIVATE GARAGES)

FIRE SPRINKLERS: (CRC R313)

NFPA 13-D

ALLOWABLE HEIGHT:

40 FEET

ALLOWABLE STORIES: (CRC 1.1.3)

3 STORIES (2 STORIES PROPOSED)

ALLOWABLE FLOOR AREA:

THE CRC DOES NOT PUT AREA LIMITATIONS ON TWO-FAMILY DWELLING UNITS

TWO-FAMILY DWELLINGS SEPARATION: (CRC R302.3)

PER CRC R302.3 EACH DWELLING UNIT SHALL BE SEPARATED FROM EACH OTHER BY WALL HAVING NOT LESS THAN A 1-HOUR FIRE-RESISTANCE RATING. FIRE-RESISTANCE-RATED WALL ASSEMBLIES SHALL EXTEND TO AND BE TIGHT AGAINST THE EXTERIOR WALL, AND WALL ASSEMBLIES SHALL EXTEND FROM THE FOUNDATION TO THE UNDERSIDE OF THE ROOF SHEATHING.

EXTERIOR WALL RATING: (CRC TABLE R302.1(2))

FIRE SEPARATION DISTANCE \geq 3' SHALL BE ZERO (0) (NON-RATED)
FIRE SEPARATION DISTANCE $<$ 3' SHALL BE ONE (1) - (1 HOUR)
REFER TO ARCHITECTURAL SITE PLAN, A1.0.0 FOR SEPARATION DISTANCES.

MAXIMUM AREA OF EXTERIOR WALL OPENINGS: (CRC TABLE R302.1.(2))

FIRE SEPARATION DISTANCE \geq 3' SHALL BE UNLIMITED (UNRATED)
FIRE SEPARATION DISTANCE $<$ 3' SHALL NOT BE ALLOWED

FIRE RESISTIVE RATING REQUIREMENTS FOR PROJECTIONS BASED ON FIRE SEPARATION DISTANCE: (PER CRC TABLE R302.1(2))

FIRE SEPARATION DISTANCE \geq 3' SHALL BE ZERO (0) (NON-RATED)
FIRE SEPARATION DISTANCE 2' $<$ 3' SHALL BE 1-HOUR ON THE UNDERSIDE
REFER TO SITE PLAN (SHEET A1.10) FOR FIRE SEPARATION DISTANCES

UTILITIES APPROACH:

UTILITY METERS WILL BE LOCATED ON EACH INDIVIDUAL LOT FOR THE DUETS AND THERE WILL BE NO THROUGH PENETRATIONS OF THE RATED WALLS SEPARATING THE TWO-FAMILY DWELLING UNITS.

DESIGN STANDARDS:

22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.
23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum of 6 feet by 4 feet.
24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.
25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and materials (GP Policy CNF-11.16)
26. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously $\frac{1}{4}$ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.
27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)
28. Height and Project Massing: Project design minimizes bulk of buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and heights; and b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)
29. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows: a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement.
30. Building Colors: The project has provided a sample color palette of complementary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.
31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least $1\frac{1}{2}$ inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.
32. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.
33. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.

COLOR SCHEME A



FRONT LEFT PERSPECTIVE



LEFT ELEVATION



FRONT ELEVATION

DESIGN STANDARDS:

22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.
23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum of 6 feet by 4 feet.
24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.
25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and materials (GP Policy CNF-11.16)
26. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously $\frac{1}{4}$ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.
27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)
28. Height and Project Massing: Project design minimizes bulk of buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and heights; and b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)
29. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows: a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement.
30. Building Colors: The project has provided a sample color palette of complementary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.
31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least $1\frac{1}{2}$ inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.
32. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.
33. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.

34. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment.
36. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee.
39. Multi Family Roof Form: The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units.
40. Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.
41. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building facade from frontage upon a street, adjacent public park or public open space.



REAR RIGHT PERSPECTIVE



RIGHT ELEVATION



REAR ELEVATION

COLOR SCHEME A



DESIGN STANDARDS:

22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.
23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum of 6 feet by 4 feet.
24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.
25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and materials (GP Policy CNF-11.16)
26. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously $\frac{1}{4}$ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.
27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)
28. Height and Project Massing: Project design minimizes bulk of buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and heights; and b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)
29. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows: a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement.
30. Building Colors: The project has provided a sample color palette of complementary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.
31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least $1\frac{1}{2}$ inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.
32. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.
33. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.

The closet placement will be defined during CD process

34. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment.
36. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee.
39. Multi Family Roof Form: The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units.
40. Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.
41. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building facade from frontage upon a street, adjacent public park or public open space.



COLOR SCHEME B



CONCRETE S-ROOF TILE



STONE VENEER



METAL RAILINGS



STUCCO BODY 1
WINDOW TRIM 1



STUCCO BODY 2
WINDOW TRIM 2



STUCCO BODY 3
WINDOW TRIM 3



TRELLIS AND COLUMNS
ENTRY DOOR
GARAGE DOOR
WINDOW TRIM 4

FRONT LEFT PERSPECTIVE



LEFT ELEVATION



FRONT ELEVATION

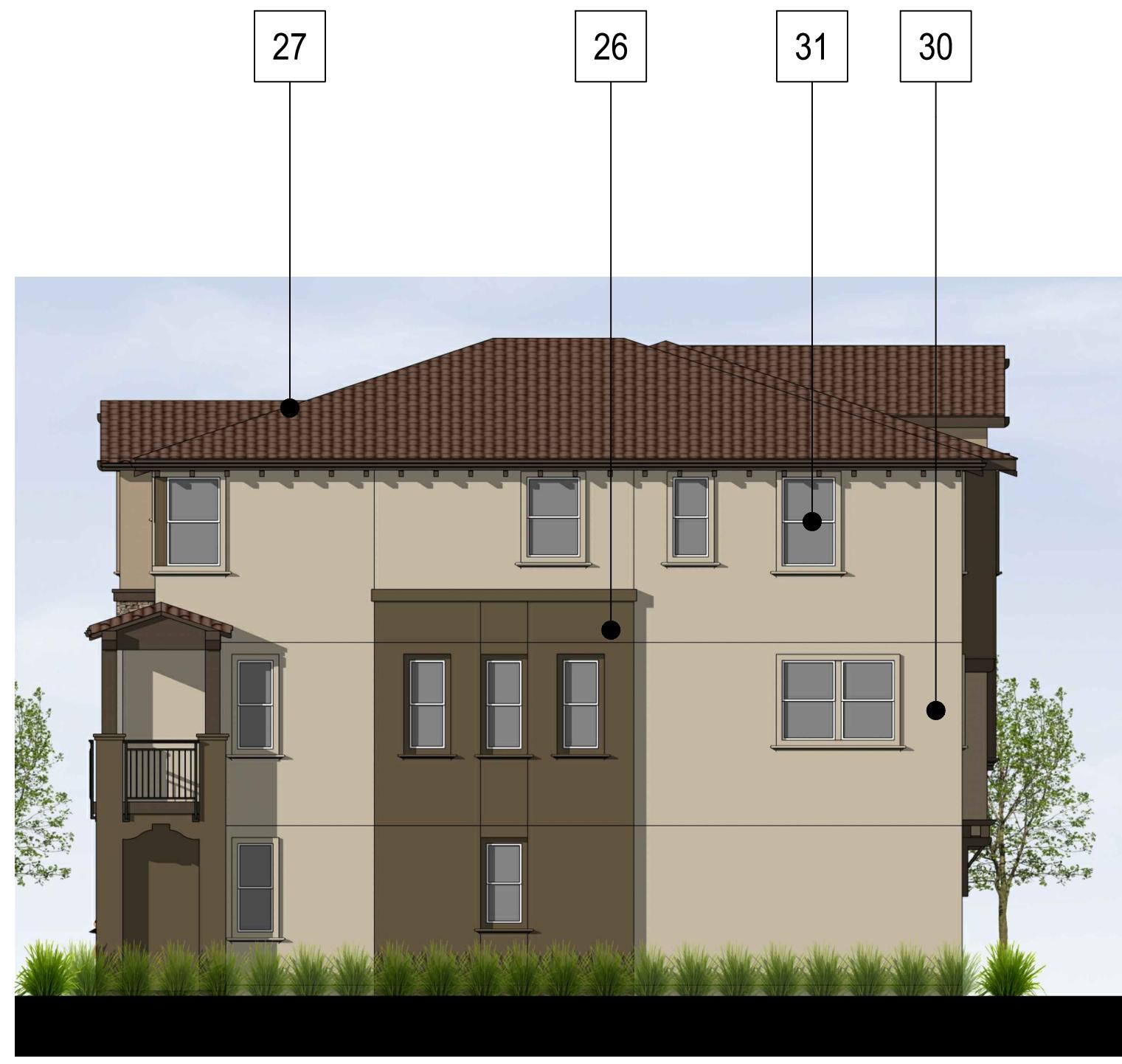
DESIGN STANDARDS:

22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.
23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum of 6 feet by 4 feet.
24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.
25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and materials (GP Policy CNF-11.16)
26. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously $\frac{1}{4}$ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.
27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)
28. Height and Project Massing: Project design minimizes bulk of buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and heights; and b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)
29. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows: a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement.
30. Building Colors: The project has provided a sample color palette of complementary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.
31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least $1\frac{1}{2}$ inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.
32. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.
33. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.

34. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment.
36. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee.
39. Multi Family Roof Form: The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units.
40. Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.
41. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building facade with frontage upon a street, adjacent public park or public open space.



REAR RIGHT PERSPECTIVE



RIGHT ELEVATION



REAR ELEVATION

COLOR SCHEME B



DESIGN STANDARDS:

22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.
23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum of 6 feet by 4 feet.
24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.
25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and materials (GP Policy CNF-11.16)
26. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously $\frac{1}{4}$ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.
27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)
28. Height and Project Massing: Project design minimizes bulk of buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and heights; and b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)
29. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows: a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement.
30. Building Colors: The project has provided a sample color palette of complementary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.
31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least $1\frac{1}{2}$ inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.
32. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.
33. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.

The closet placement will be defined during CD process

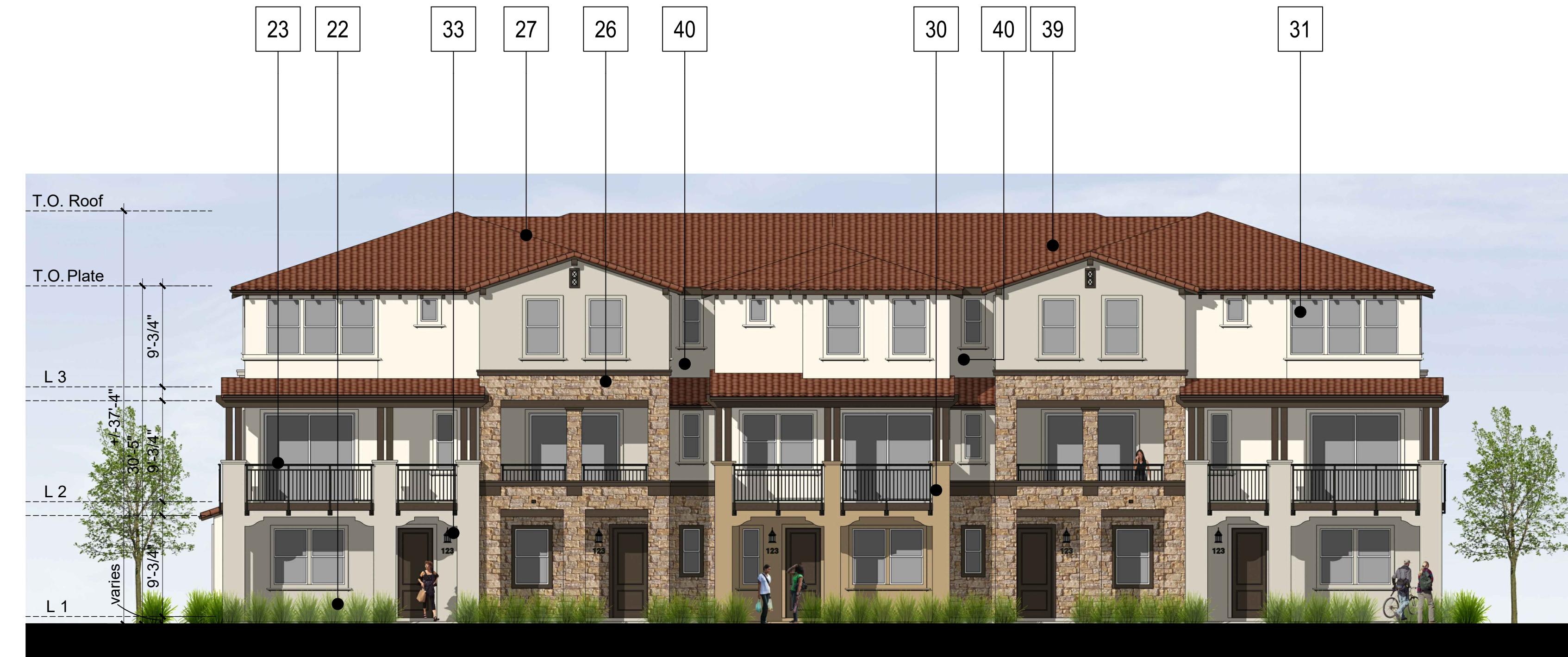
34. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment.
36. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee.
39. Multi Family Roof Form: The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units.
40. Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.
41. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building facade from frontage upon a street, adjacent public park or public open space.



FRONT LEFT PERSPECTIVE



LEFT ELEVATION



FRONT ELEVATION

COLOR SCHEME A

	CONCRETE S-ROOF TILE
	STONE VENEER
	METAL RAILINGS
	STUCCO BODY 1 WINDOW TRIM 1
	STUCCO BODY 2 WINDOW TRIM 2
	STUCCO BODY 3 WINDOW TRIM 3
	TRELLIS AND COLUMNS
	ENTRY DOOR
	GARAGE DOOR
	WINDOW TRIM 4



Architecture + Planning
888.456.5849
ktgy.com

BROOKFIELD RESIDENTIAL

ROSEWOOD
MORGAN HILL, CA # 2020-0912

CONCEPTUAL PLANNING
MARCH 25, 2022

0 4 8 16

BUILDING ELEVATIONS- 5 PLEX
COLOR SCHEME A

A2.2.0

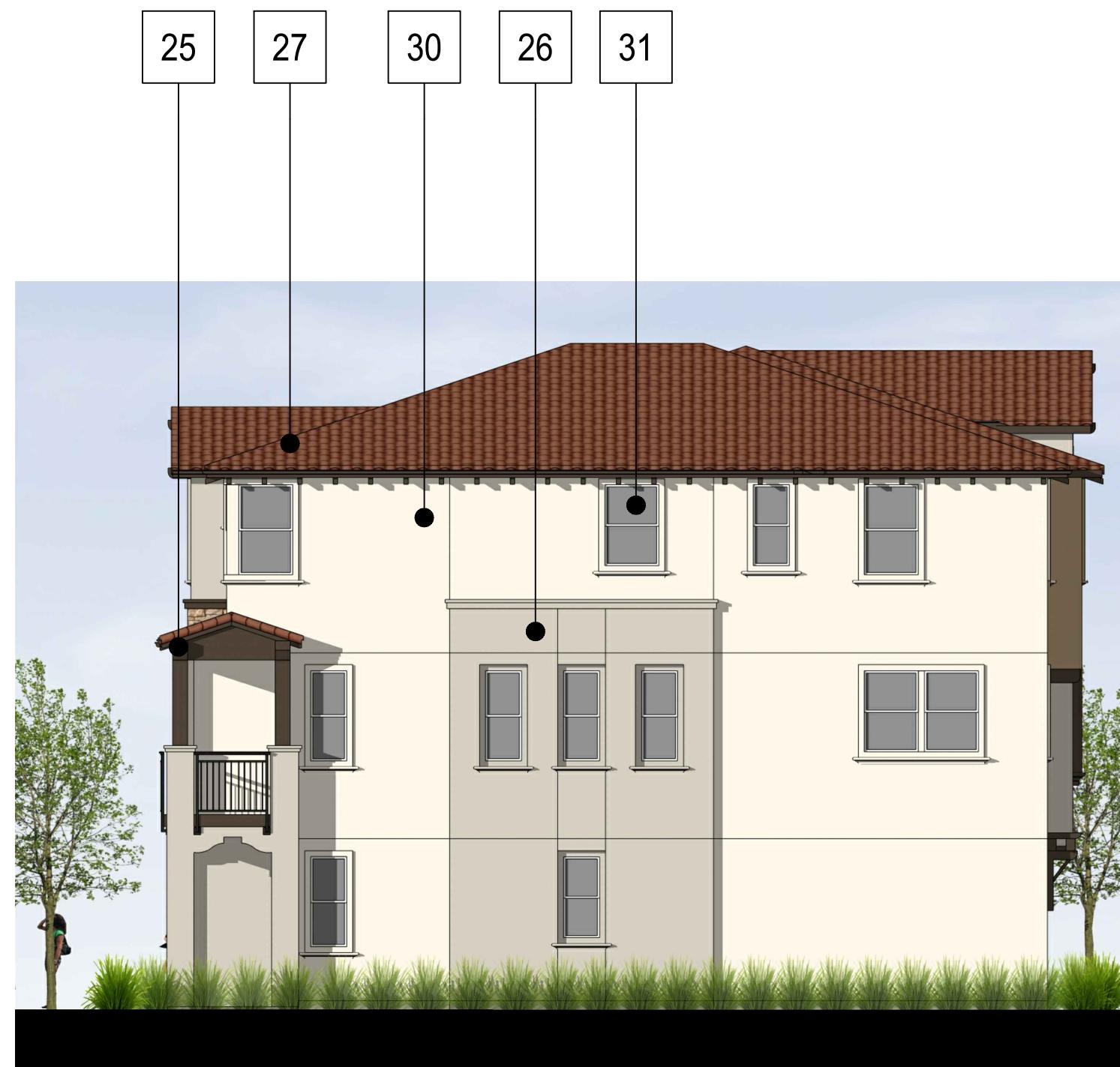
DESIGN STANDARDS:

22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.
23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum of 6 feet by 4 feet.
24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.
25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and materials (GP Policy CNF-11.16)
26. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously $\frac{1}{4}$ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.
27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)
28. Height and Project Massing: Project design minimizes bulk of buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and heights; and b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)
29. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows: a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement.
30. Building Colors: The project has provided a sample color palette of complementary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.
31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least $1\frac{1}{2}$ inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.
32. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.
33. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.

34. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment.
36. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee.
39. Multi Family Roof Form: The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units.
40. Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.
41. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building facade with frontage upon a street, adjacent public park or public open space.



REAR RIGHT PERSPECTIVE



RIGHT ELEVATION



REAR ELEVATION



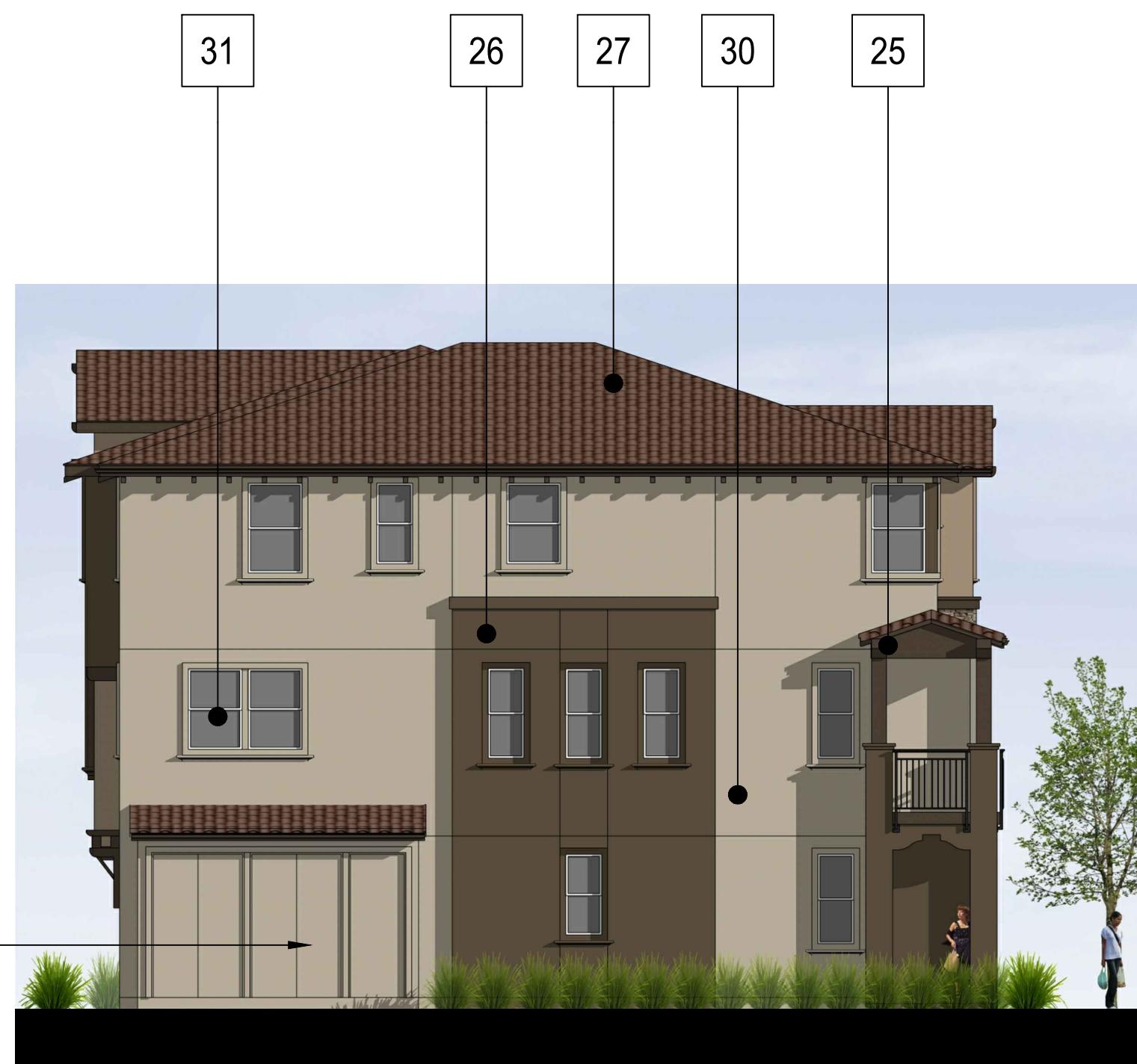
DESIGN STANDARDS:

22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.
23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum of 6 feet by 4 feet.
24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.
25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and materials (GP Policy CNF-11.16)
26. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously $\frac{1}{4}$ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.
27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)
28. Height and Project Massing: Project design minimizes bulk of buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and heights; and b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)
29. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows: a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement.
30. Building Colors: The project has provided a sample color palette of complementary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.
31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least $1\frac{1}{2}$ inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.
32. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.
33. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.

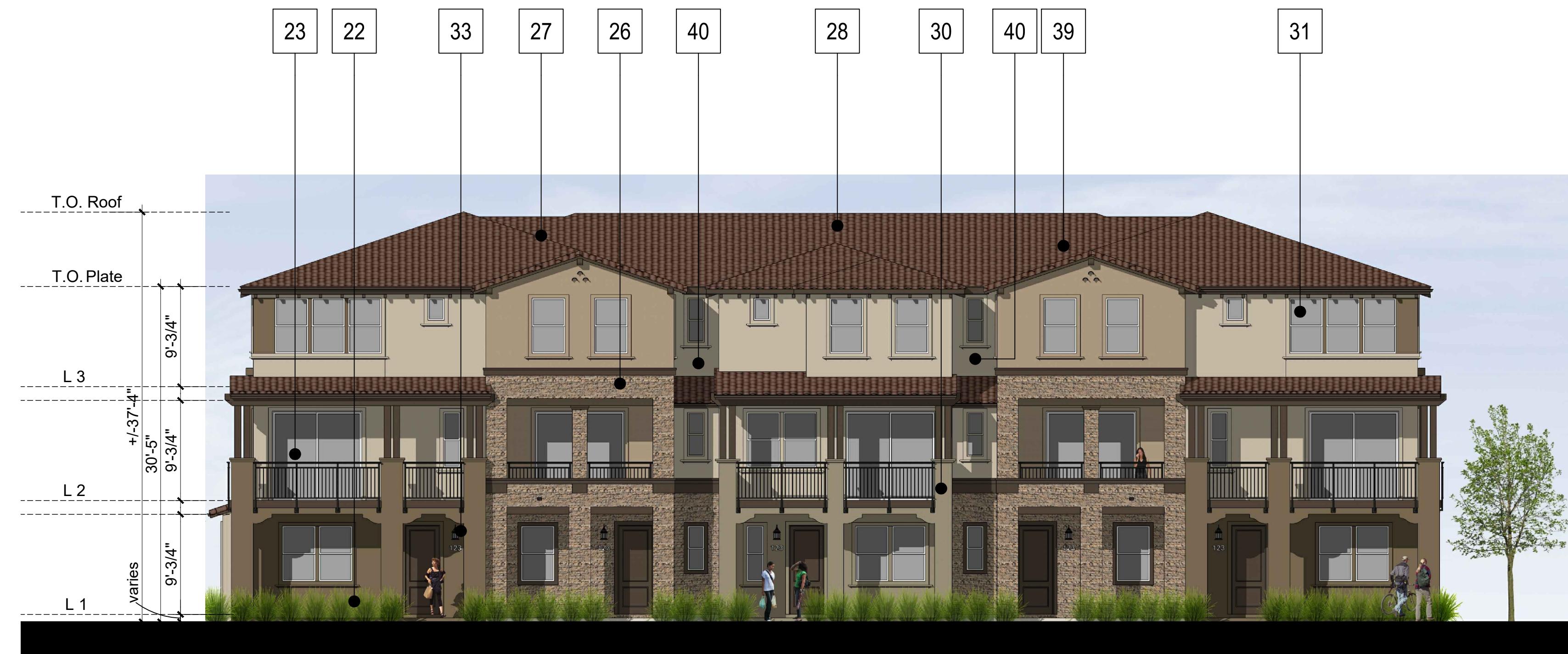
34. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment.
36. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee.
39. Multi Family Roof Form: The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units.
40. Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.
41. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building facade from frontage upon a street, adjacent public park or public open space.



FRONT LEFT PERSPECTIVE



LEFT ELEVATION



FRONT ELEVATION

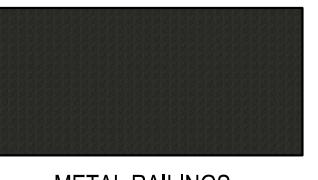
COLOR SCHEME B



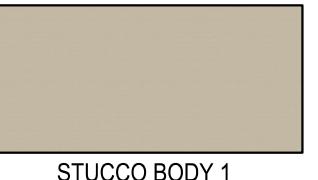
CONCRETE S-ROOF TILE



STONE VENEER



METAL RAILINGS



STUCCO BODY 1
WINDOW TRIM 1



STUCCO BODY 2
WINDOW TRIM 2



STUCCO BODY 3
WINDOW TRIM 3



TRELLIS AND COLUMNS
ENTRY DOOR
GARAGE DOOR
WINDOW TRIM 4

DESIGN STANDARDS:

22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.
23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum of 6 feet by 4 feet.
24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.
25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and materials (GP Policy CNF-11.16)
26. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously $\frac{1}{4}$ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.
27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)
28. Height and Project Massing: Project design minimizes bulk of buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and heights; and b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)
29. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows: a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement.
30. Building Colors: The project has provided a sample color palette of complementary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.
31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least $1\frac{1}{2}$ inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.
32. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.
33. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.

34. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment.
36. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee.
39. Multi Family Roof Form: The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units.
40. Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.
41. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building facade from frontage upon a street, adjacent public park or public open space.



REAR RIGHT PERSPECTIVE



RIGHT ELEVATION



REAR ELEVATION

COLOR SCHEME B



DESIGN STANDARDS:

22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.
23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum of 6 feet by 4 feet.
24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.
25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and materials (GP Policy CNF-11.16)
26. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously $\frac{1}{4}$ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.
27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)
28. Height and Project Massing: Project design minimizes bulk of buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and heights; and b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)
29. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows: a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement.
30. Building Colors: The project has provided a sample color palette of complementary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.
31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least $1\frac{1}{2}$ inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.
32. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.
33. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.

34. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment.
36. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee.
39. Multi Family Roof Form: The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units.
40. Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.
41. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building facade from frontage upon a street, adjacent public park or public open space.



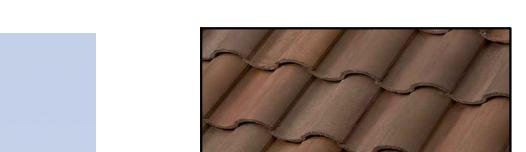
FRONT LEFT PERSPECTIVE



LEFT ELEVATION



FRONT ELEVATION



STONE VENEER

METAL RAILINGS

STUCCO BODY 1
WINDOW TRIM 1

STUCCO BODY 2
WINDOW TRIM 2

STUCCO BODY 3
WINDOW TRIM 3

TRELLIS AND COLUMNS

ENTRY DOOR

GARAGE DOOR

WINDOW TRIM 4

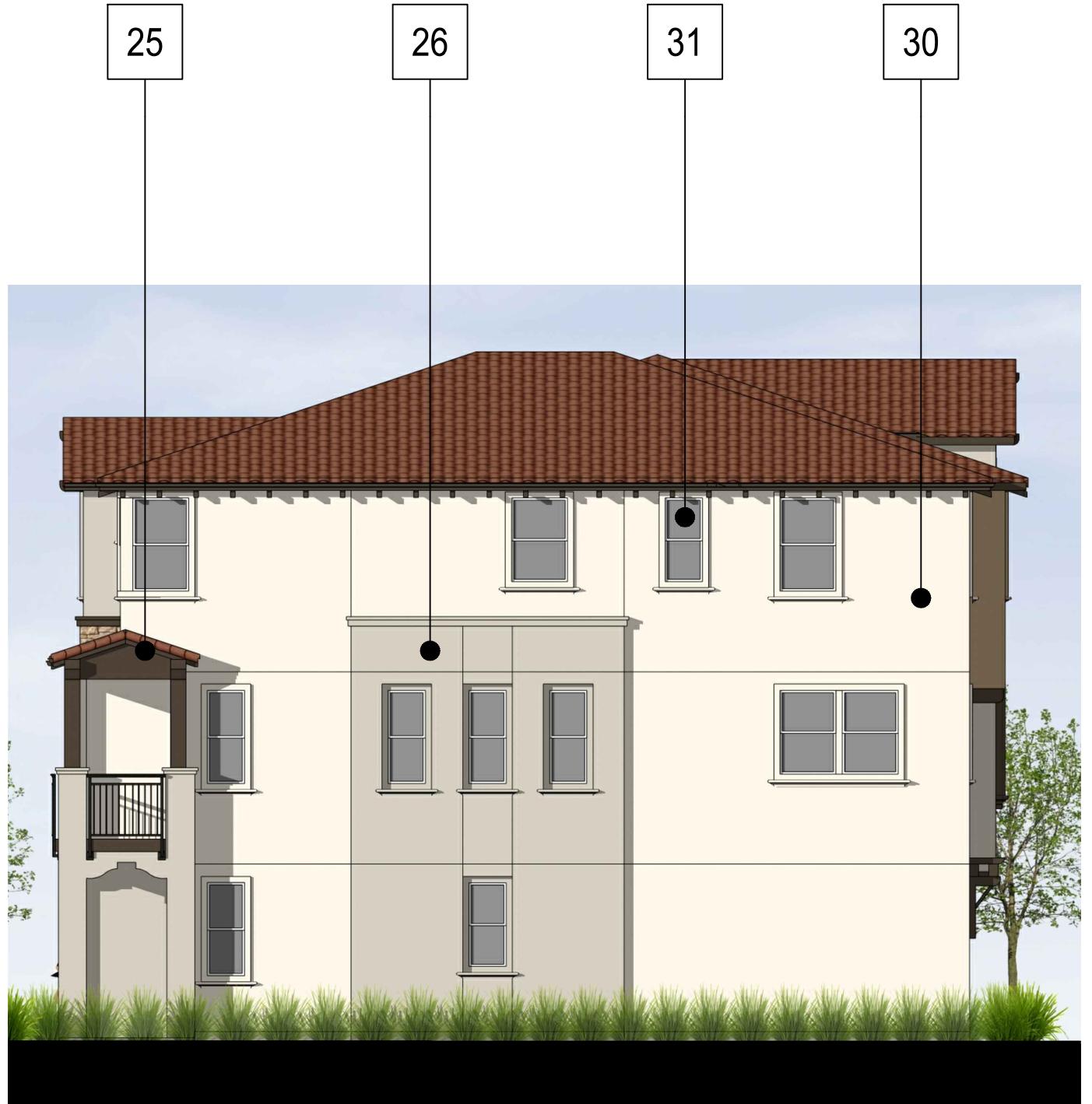
DESIGN STANDARDS:

22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.
23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum of 6 feet by 4 feet.
24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.
25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and materials (GP Policy CNF-11.16)
26. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously $\frac{1}{4}$ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.
27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)
28. Height and Project Massing: Project design minimizes bulk of buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and heights; and b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)
29. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows: a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement.
30. Building Colors: The project has provided a sample color palette of complementary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.
31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least $1\frac{1}{2}$ inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.
32. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.
33. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.

34. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment.
36. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee.
39. Multi Family Roof Form: The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units.
40. Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.
41. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building facade from frontage upon a street, adjacent public park or public open space.



REAR RIGHT PERSPECTIVE

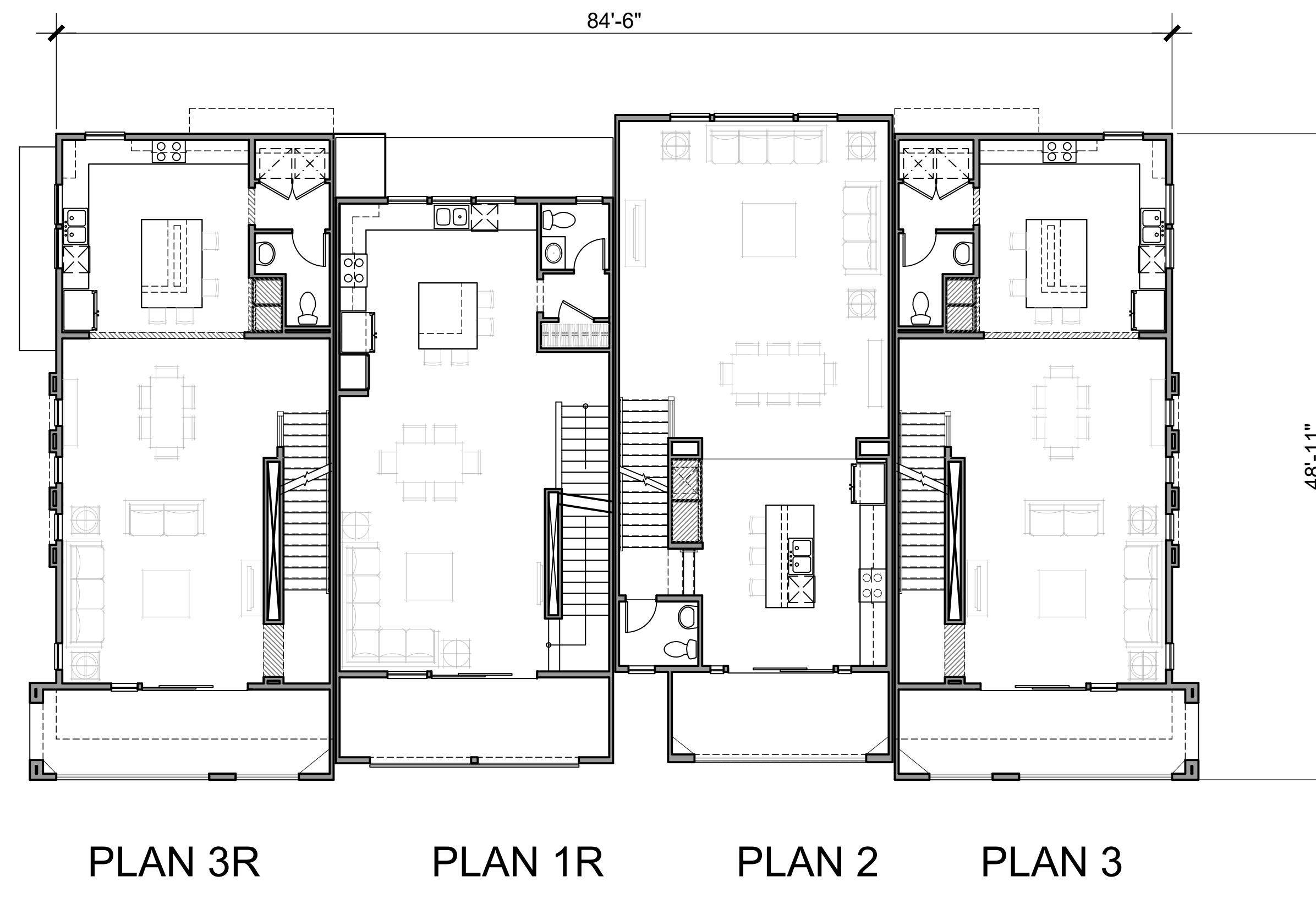


RIGHT ELEVATION

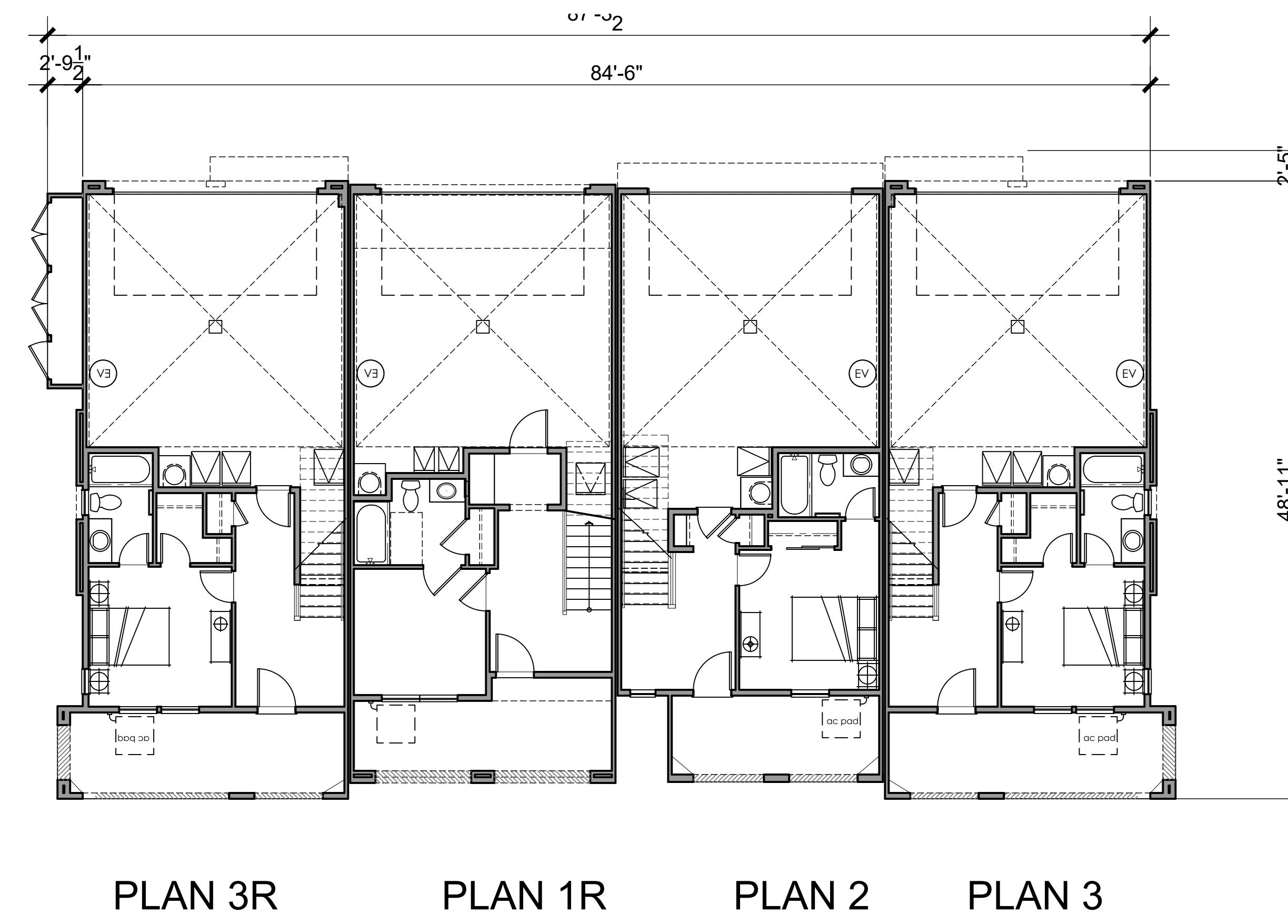


REAR ELEVATION

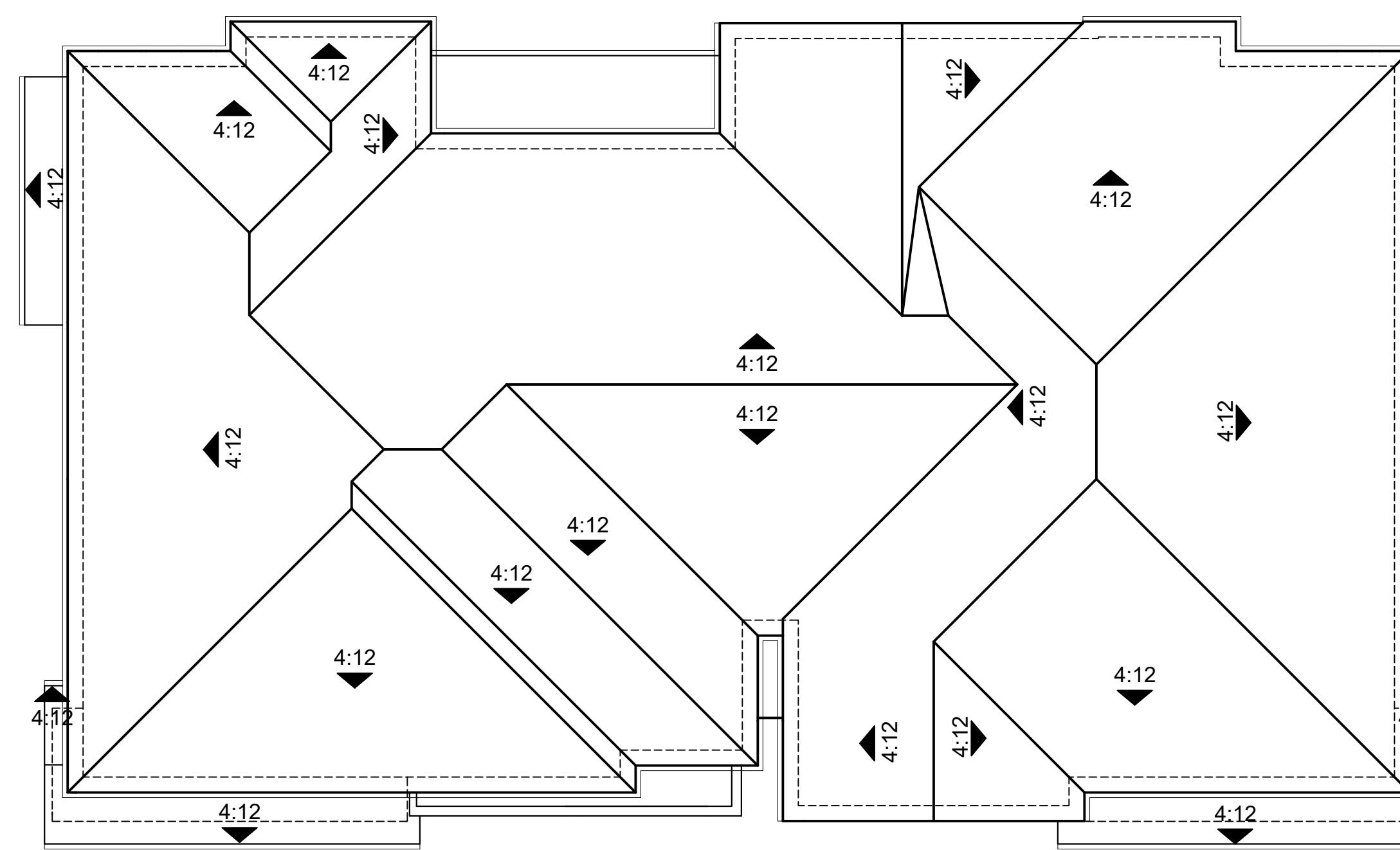




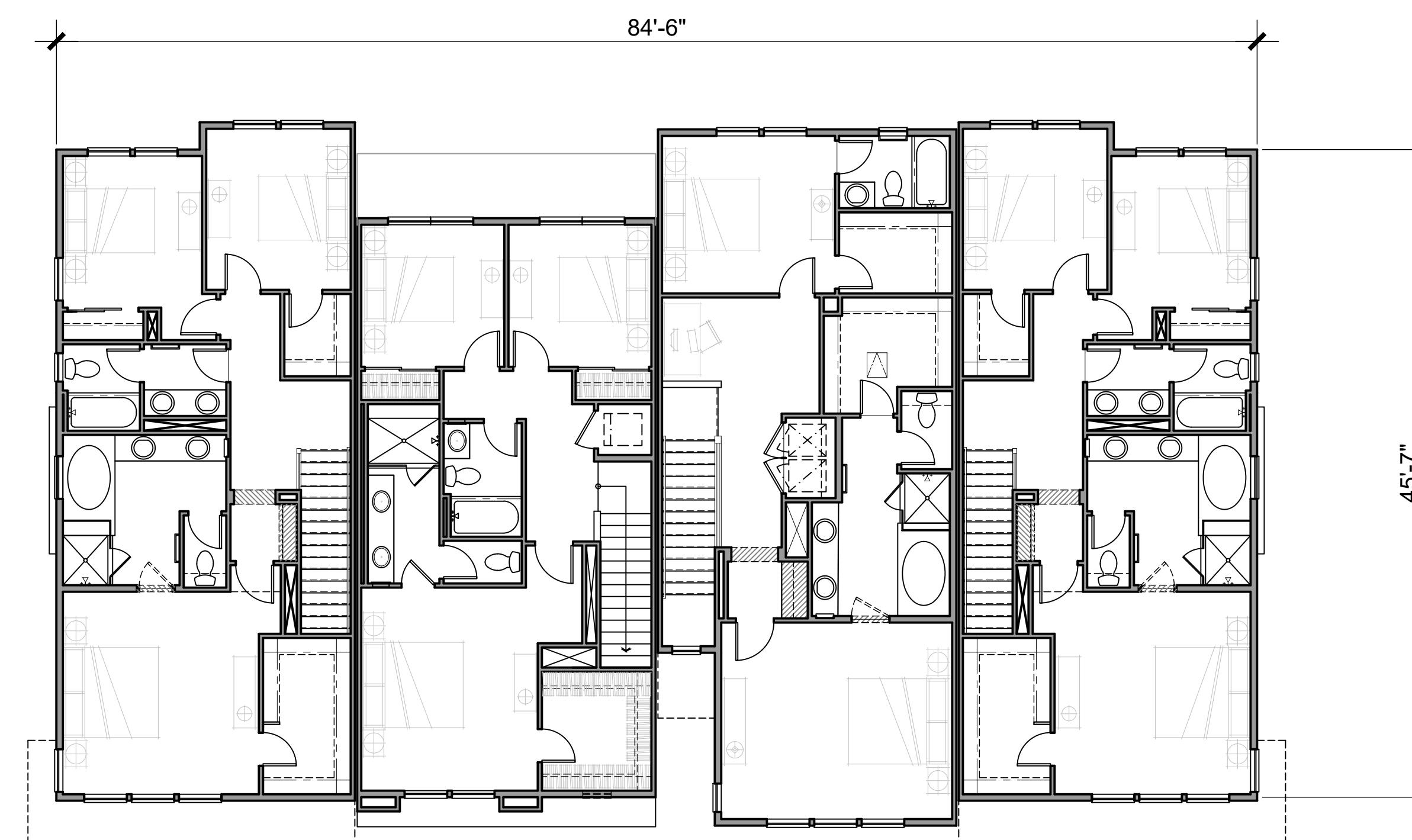
LEVEL 2
P3R-P1R-P2-P3



LEVEL 1
P3R-P1R-P2-P3



ROOF



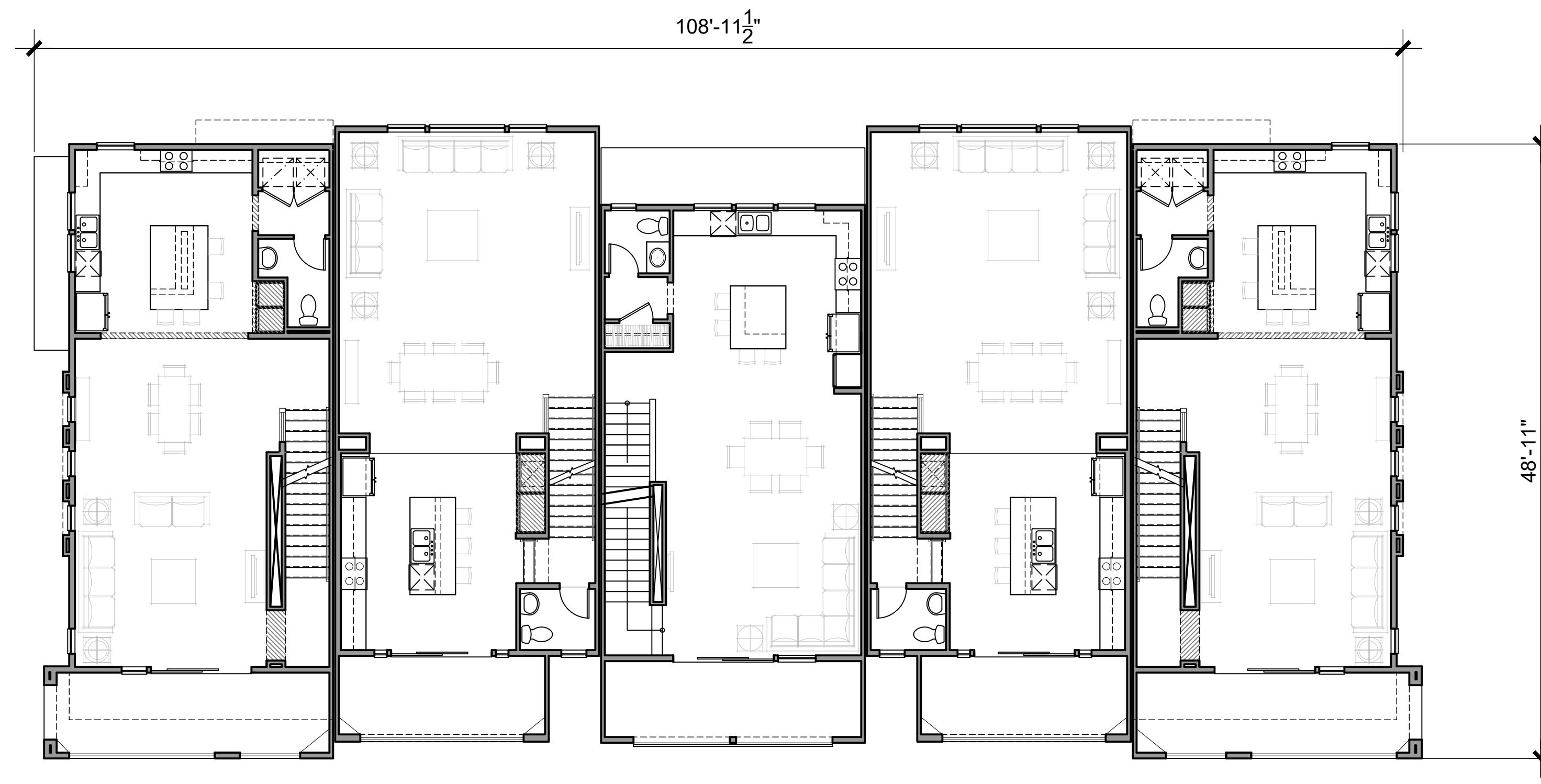
PLAN 3R

PLAN 1R

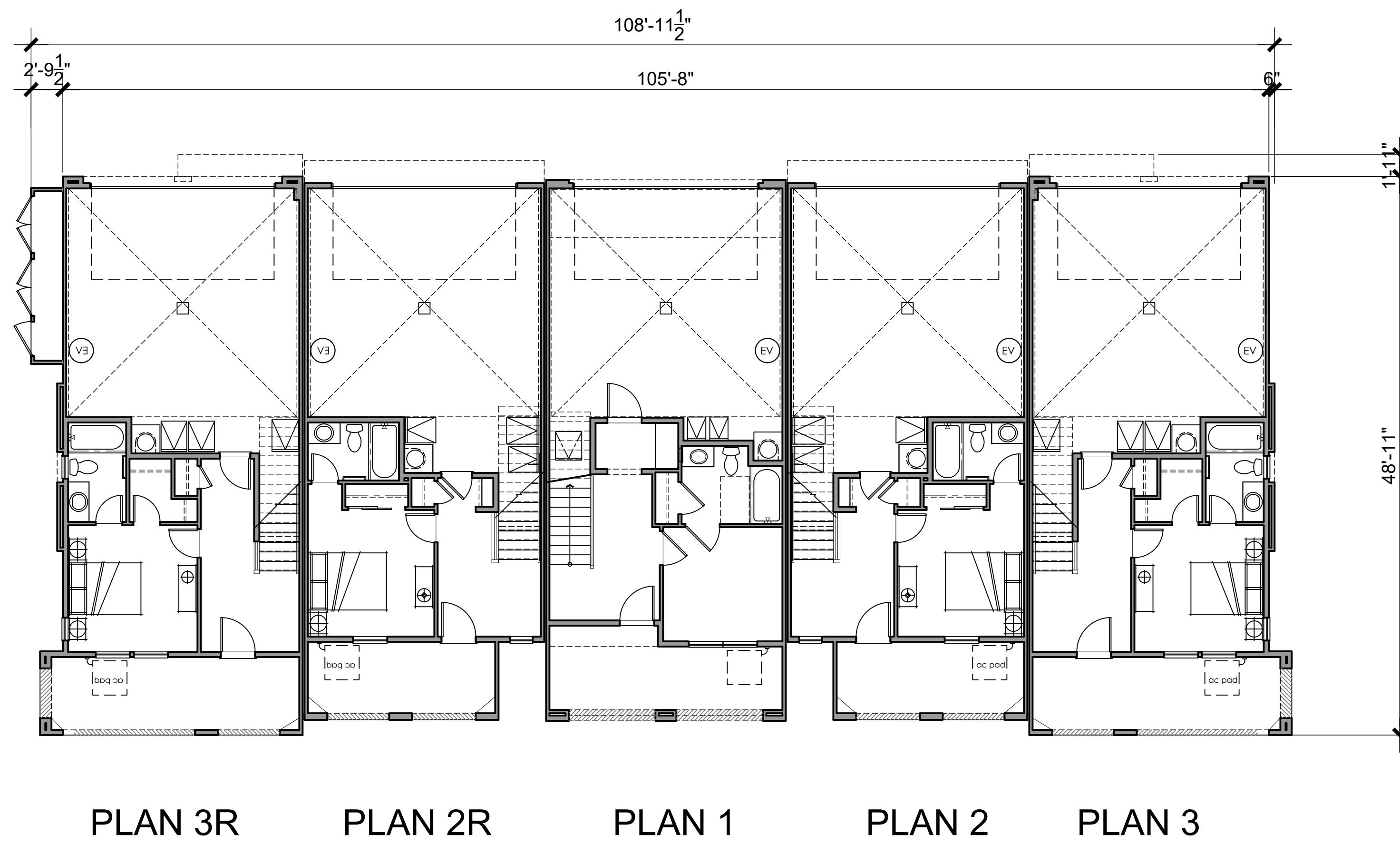
PLAN 2

PLAN 3

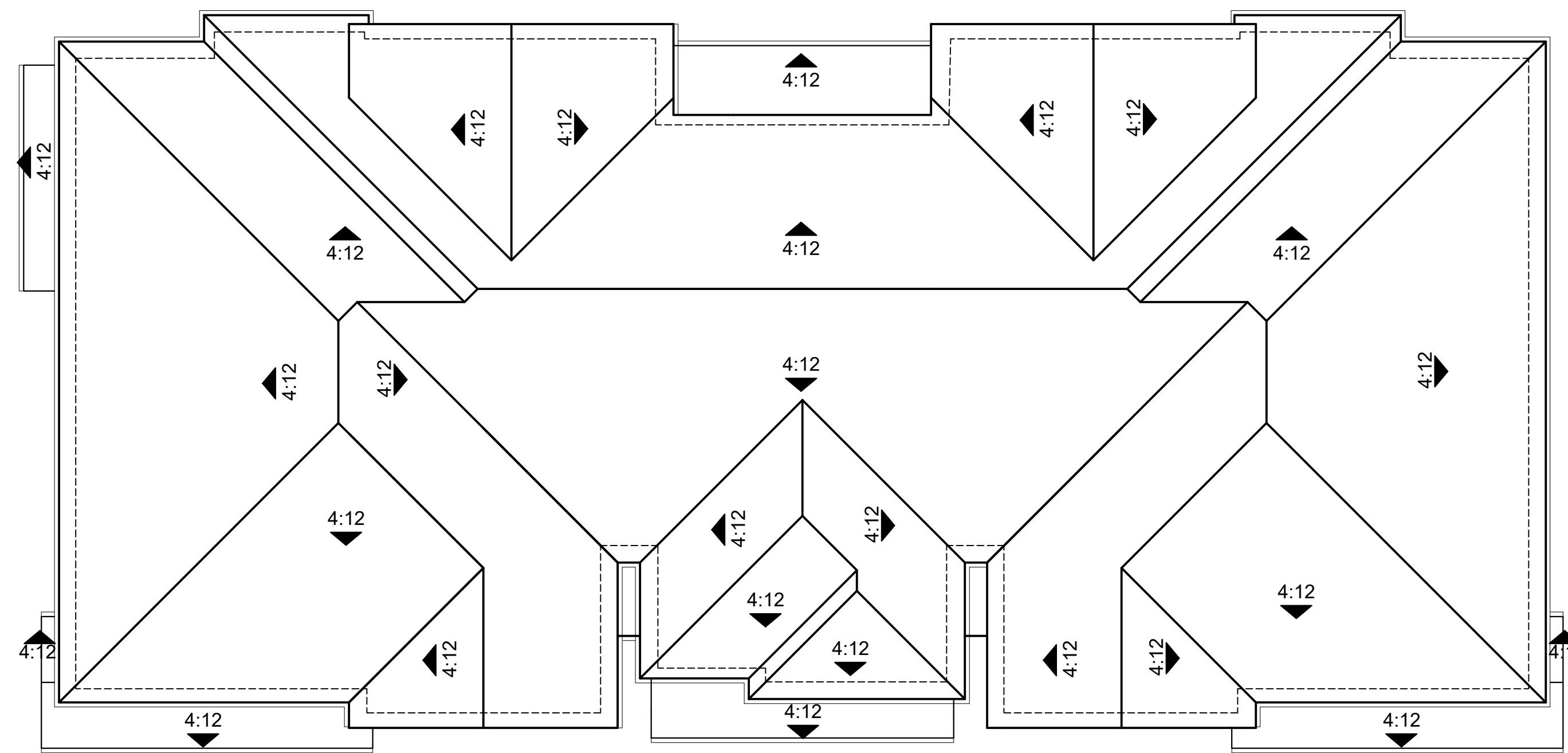
LEVEL 3
P3R-P1R-P2-P3



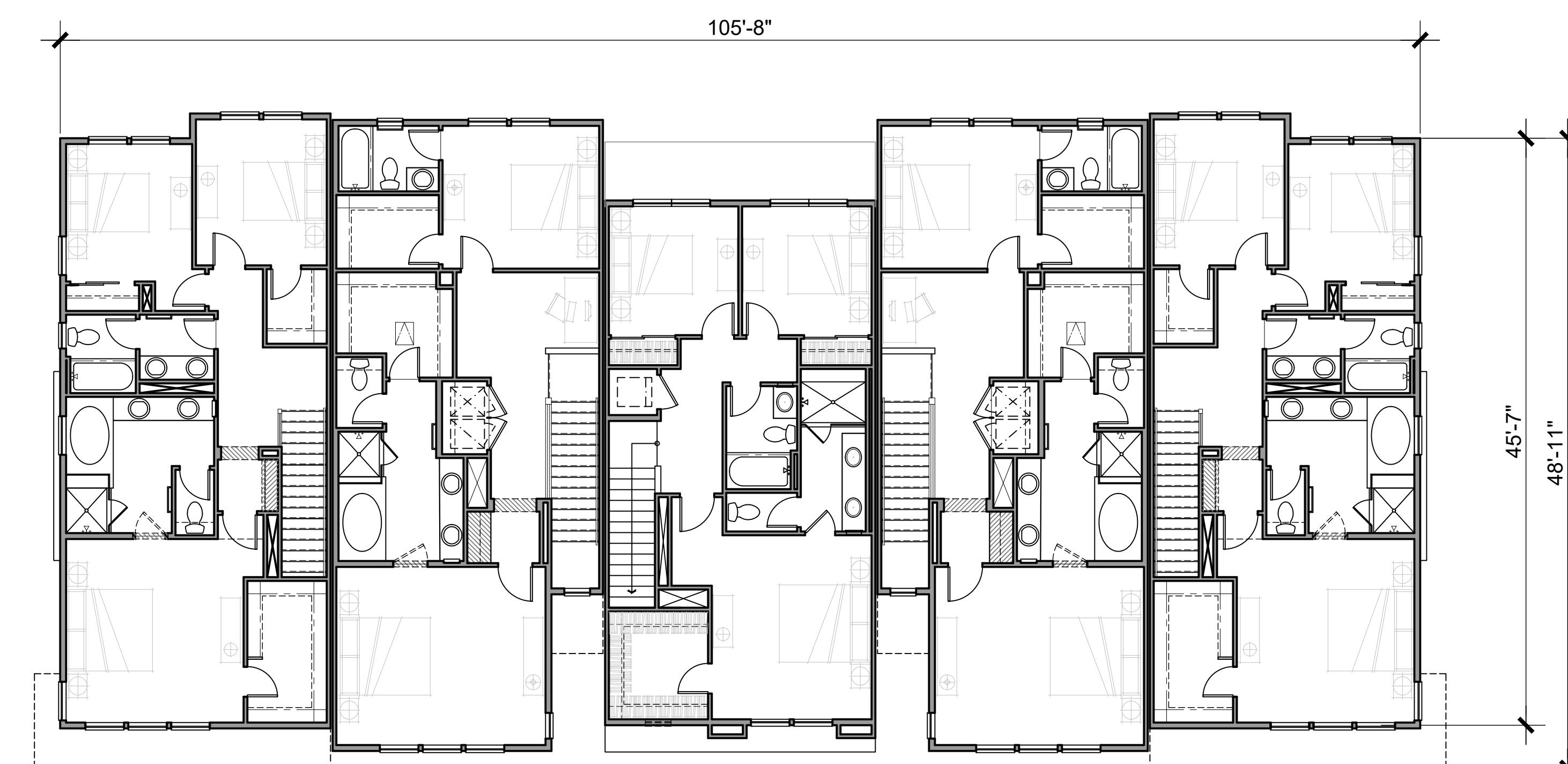
LEVEL 2
P3R-P2R-P1-P2-P3



LEVEL 1
P3R-P2R-P1-P2-P3

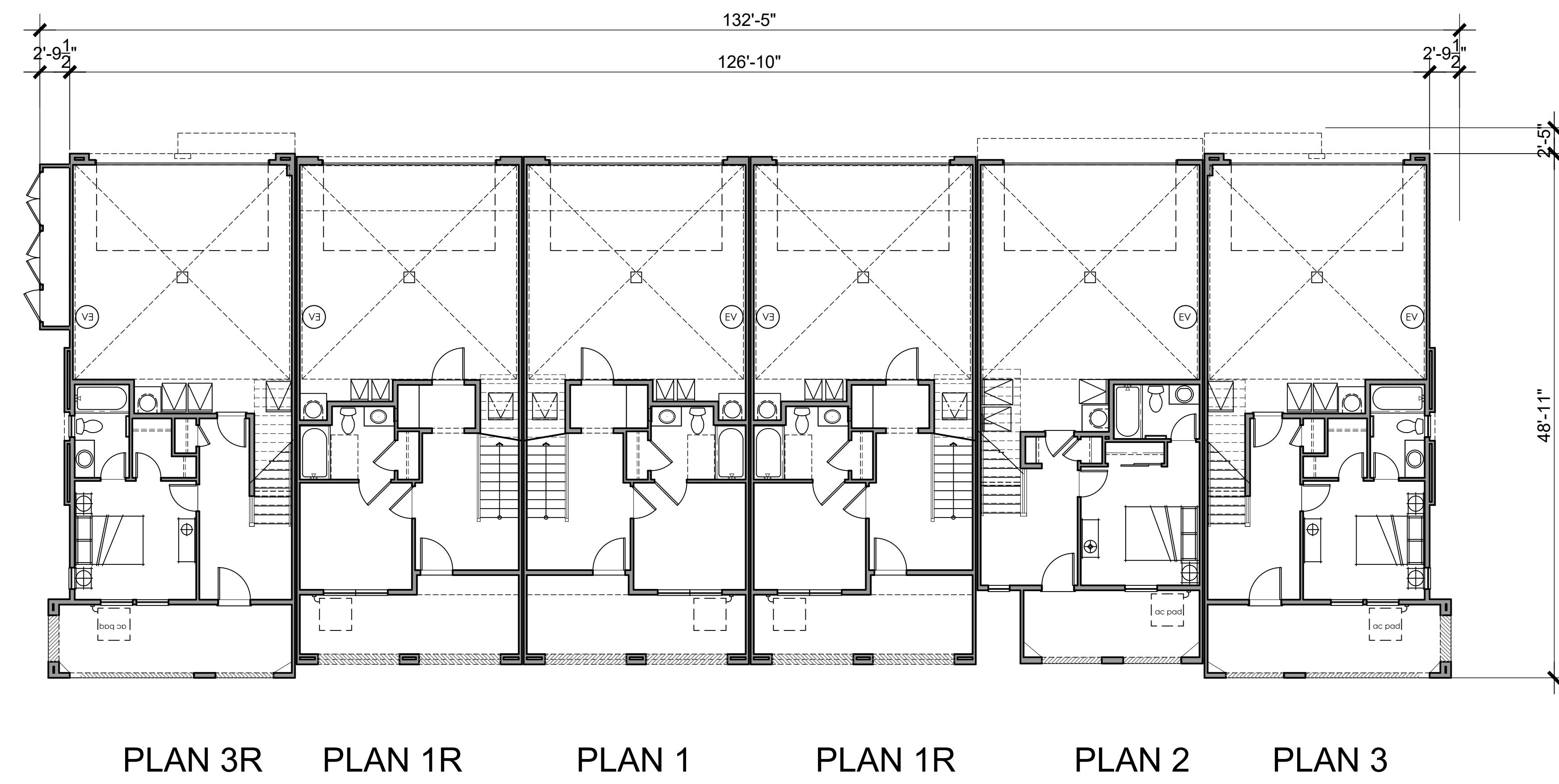
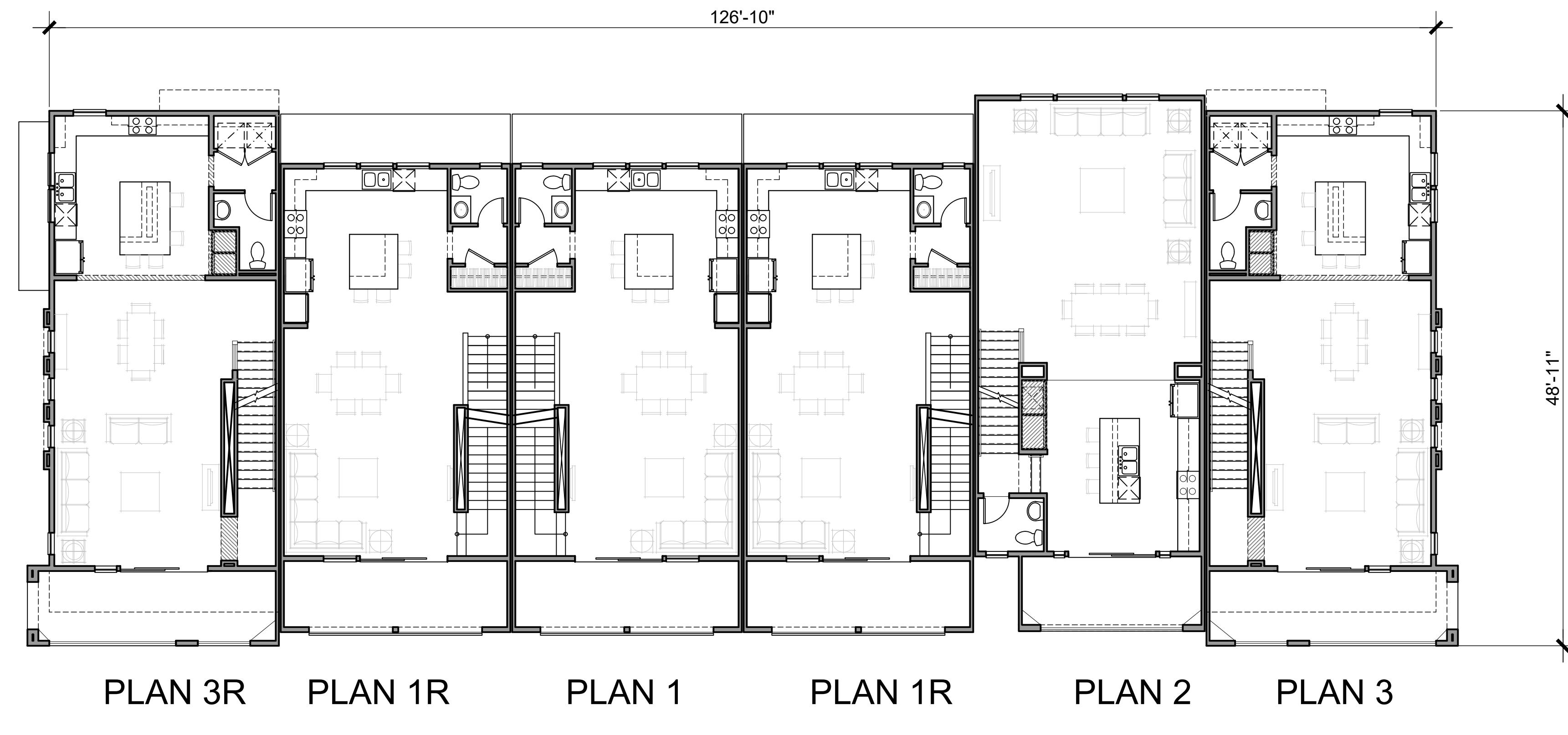


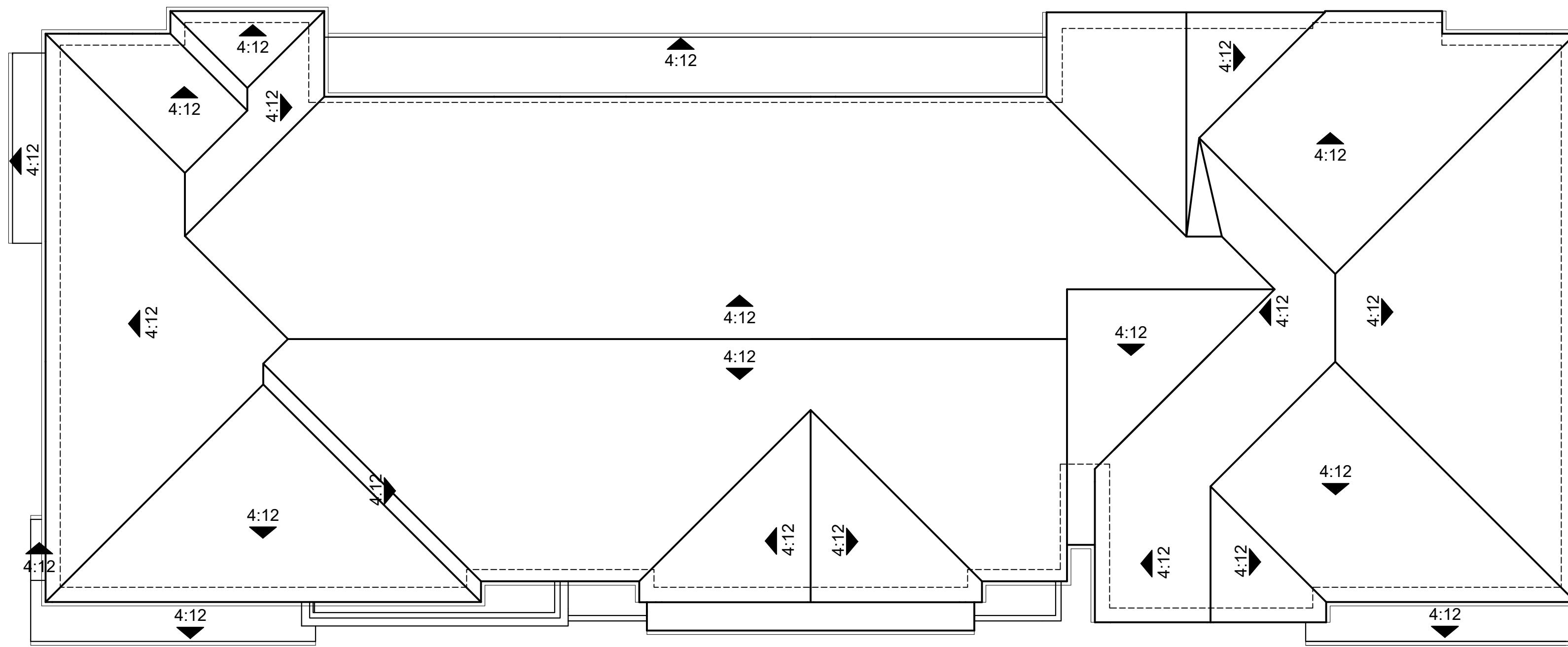
ROOF



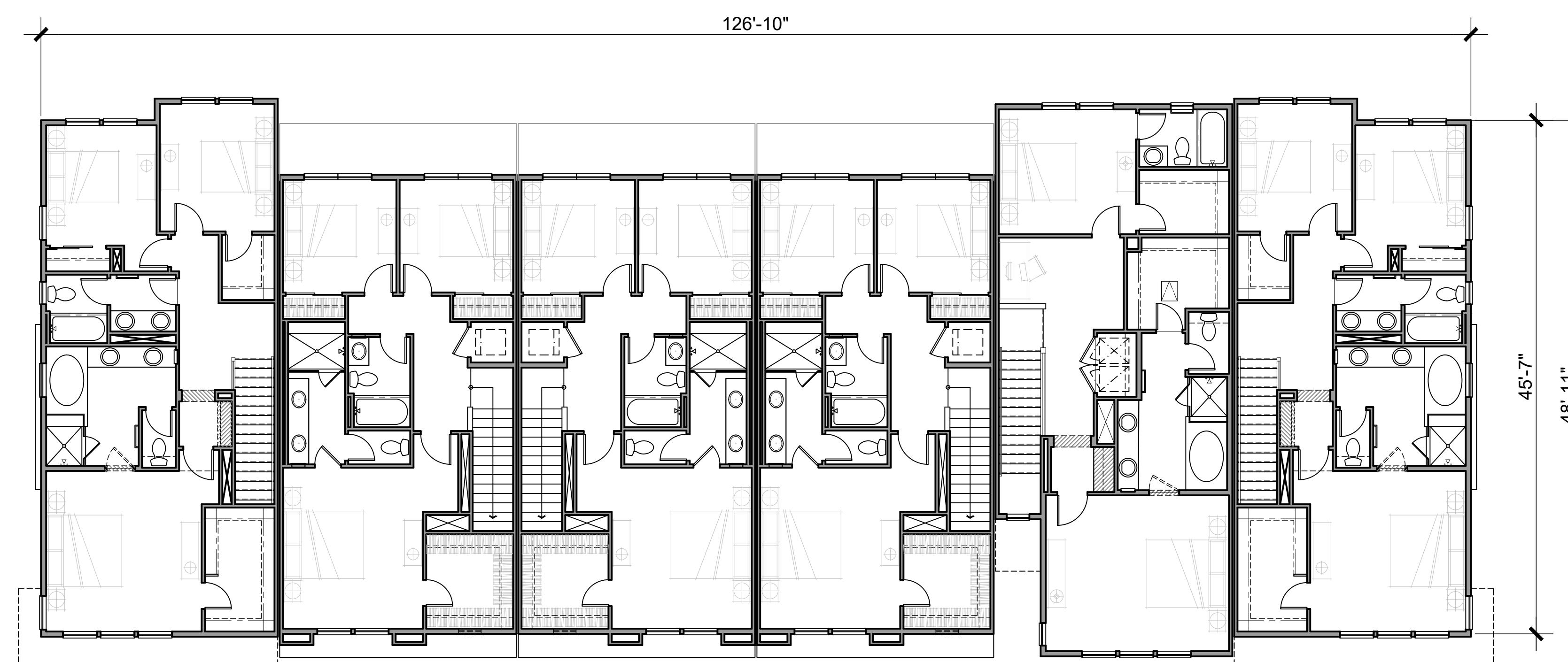
PLAN 3R PLAN 2R PLAN 1 PLAN 2 PLAN 3

LEVEL 3
P3R-P2R-P1-P2-P3





ROOF



PLAN 3R

PLAN 1R

PLAN 1

PLAN 1R

PLAN 2

PLAN 3

LEVEL 3
P3R-P1R-P1-P1R-P2-P3

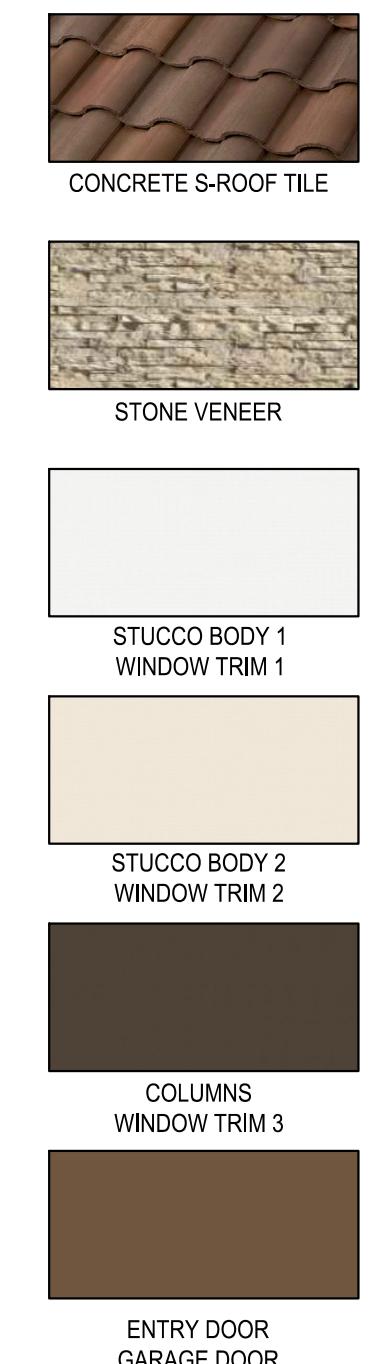
DESIGN STANDARDS:

22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.
23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum of 6 feet by 4 feet.
24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.
25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and materials (GP Policy CNF-11.16)
26. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously $\frac{1}{4}$ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.
27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)
28. Height and Project Massing: Project design minimizes bulk of buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and heights; and b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)
29. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows: a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement.
30. Building Colors: The project has provided a sample color palette of complementary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.
31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least $1\frac{1}{2}$ inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.
32. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.
33. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.

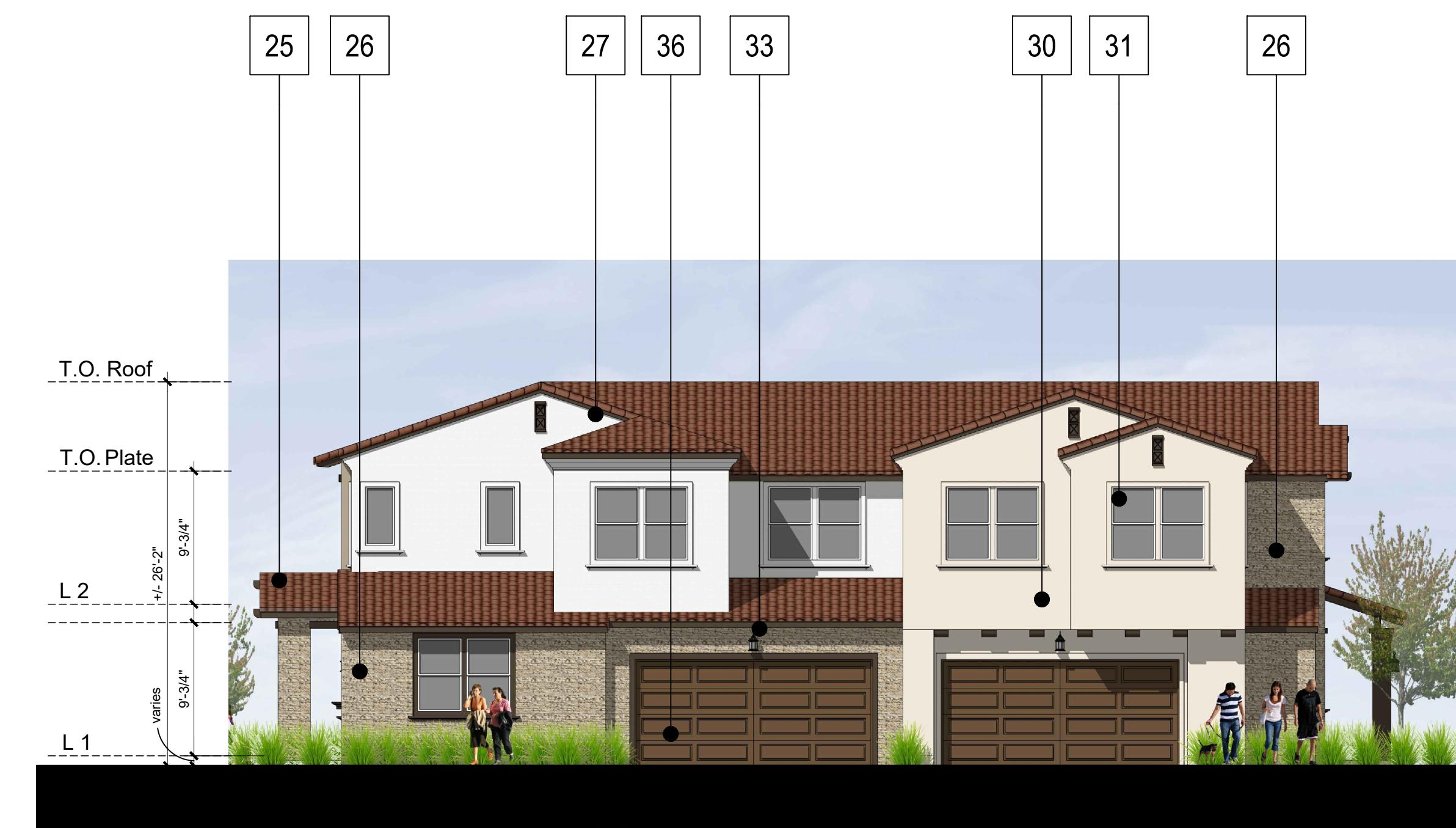
34. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment.
36. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee.
39. Multi Family Roof Form: The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units.
40. Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.
41. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building facade with frontage upon a street, adjacent public park or public open space.



FRONT LEFT PERSPECTIVE



LEFT ELEVATION



FRONT ELEVATION

DESIGN STANDARDS:

22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.
23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum of 6 feet by 4 feet.
24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.
25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and materials (GP Policy CNF-11.16)
26. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously $\frac{1}{4}$ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.
27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)
28. Height and Project Massing: Project design minimizes bulk of buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and heights; and b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)
29. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows: a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement.
30. Building Colors: The project has provided a sample color palette of complementary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.
31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least $1\frac{1}{2}$ inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.
32. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.
33. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.

34. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment.
36. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee.
39. Multi Family Roof Form: The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units. (GP Policy CNF-11.22)
40. Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.
41. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building facade with frontage upon a street, adjacent public park or public open space.



FRONT RIGHT PERSPECTIVE



RIGHT ELEVATION



REAR ELEVATION



COLOR SCHEME A



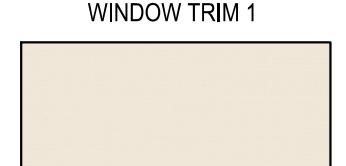
CONCRETE S-ROOF TILE



STONE VENEER



STUCCO BODY 1
WINDOW TRIM 1



STUCCO BODY 2
WINDOW TRIM 2



COLUMNS
WINDOW TRIM 3



ENTRY DOOR
GARAGE DOOR

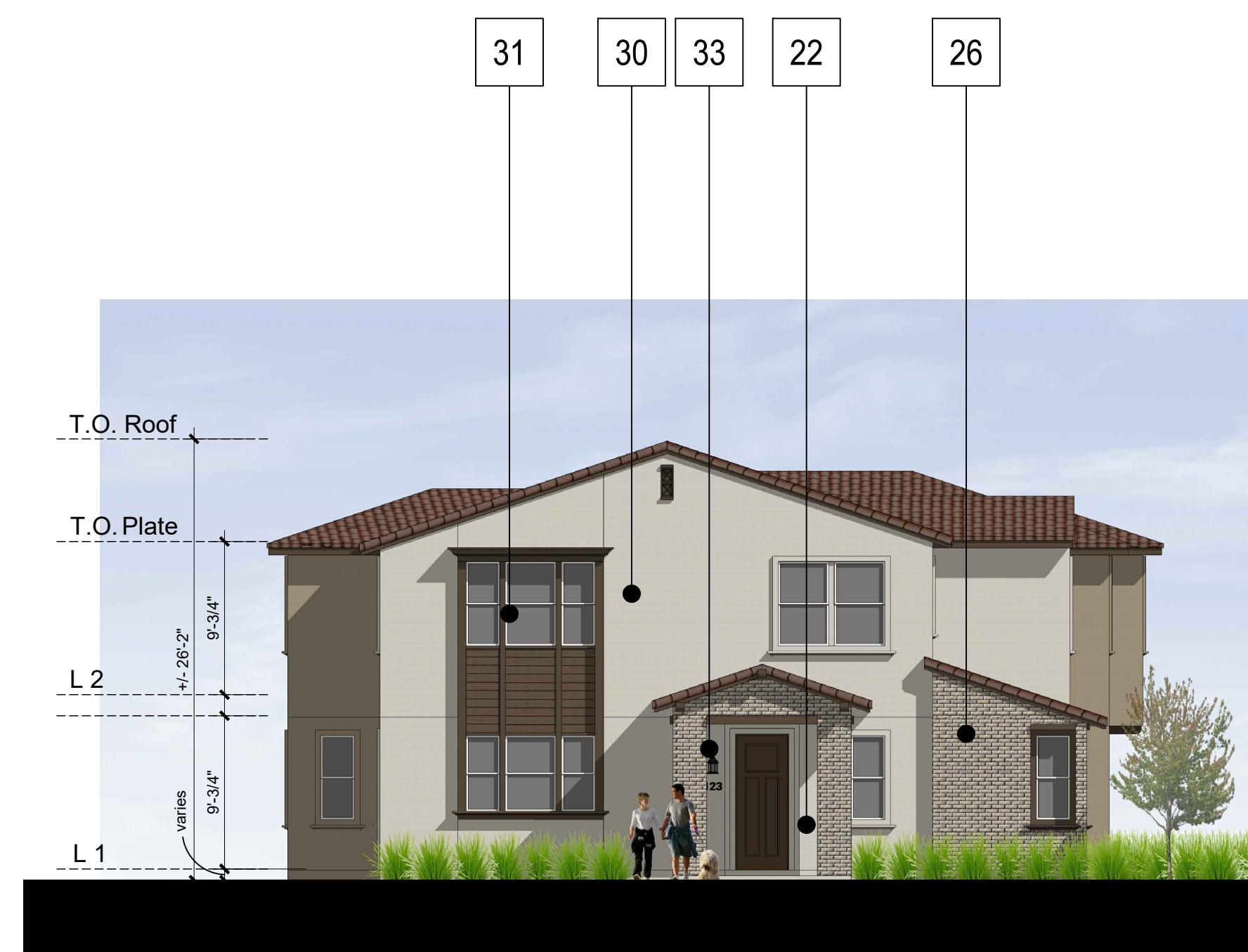
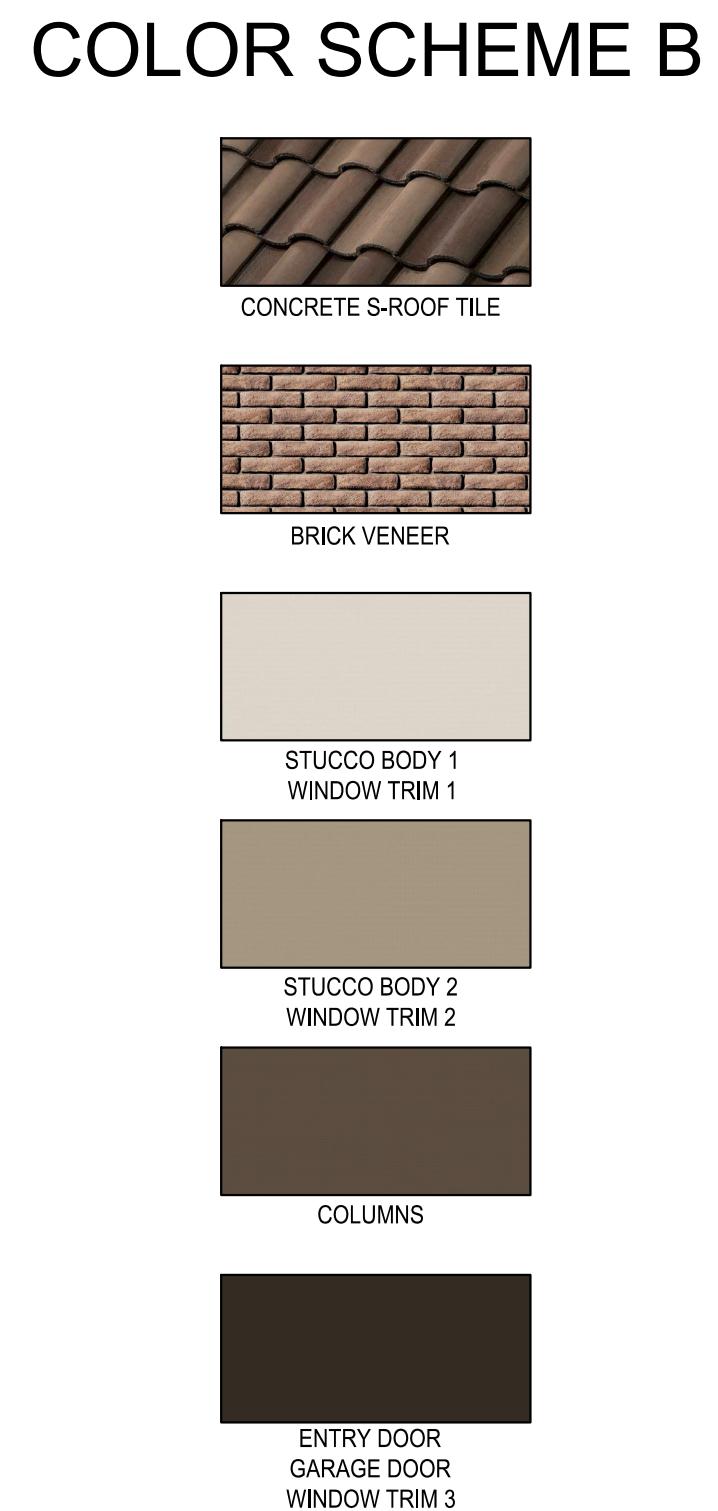
DESIGN STANDARDS:

22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.
23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum of 6 feet by 4 feet.
24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.
25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and materials (GP Policy CNF-11.16)
26. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously $\frac{1}{4}$ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.
27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)
28. Height and Project Massing: Project design minimizes bulk of buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and heights; and b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)
29. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows: a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement.
30. Building Colors: The project has provided a sample color palette of complementary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.
31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least $1\frac{1}{2}$ inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.
32. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.
33. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.

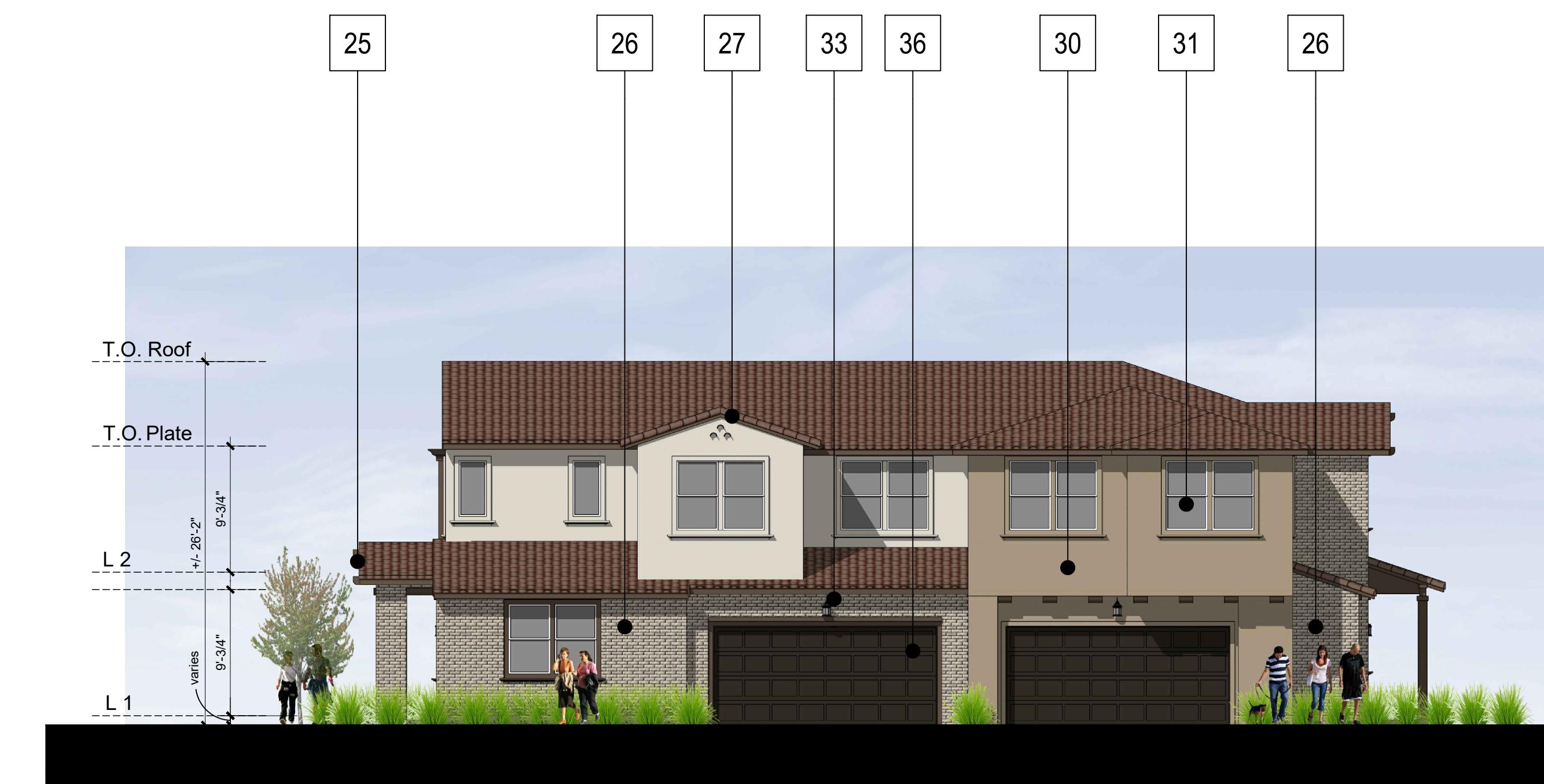
34. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment.
36. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee.
39. Multi Family Roof Form: The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units.
40. Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.
41. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building facade with frontage upon a street, adjacent public park or public open space.



FRONT LEFT PERSPECTIVE



LEFT ELEVATION



FRONT ELEVATION

DESIGN STANDARDS:

22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.
23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum of 6 feet by 4 feet.
24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.
25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and materials (GP Policy CNF-11.16)
26. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously $\frac{1}{4}$ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.
27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)
28. Height and Project Massing: Project design minimizes bulk of buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and heights; and b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)
29. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows: a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement.
30. Building Colors: The project has provided a sample color palette of complementary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.
31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least $1\frac{1}{2}$ inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.
32. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.
33. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.

34. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment.
36. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee.
39. Multi Family Roof Form: The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units. (GP Policy CNF-11.22)
40. Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.
41. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building facade with frontage upon a street, adjacent public park or public open space.



FRONT RIGHT PERSPECTIVE



RIGHT ELEVATION

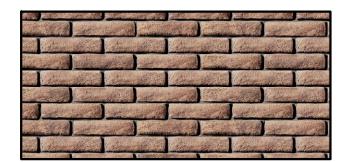


REAR ELEVATION

COLOR SCHEME B



CONCRETE S-ROOF TILE



BRICK VENEER



STUCCO BODY 1
WINDOW TRIM 1



STUCCO BODY 2
WINDOW TRIM 2



COLUMNS



ENTRY DOOR
GARAGE DOOR
WINDOW TRIM 3

DESIGN STANDARDS:

22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.
23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum of 6 feet by 4 feet.
24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.
25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and materials (GP Policy CNF-11.16)
26. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously $\frac{1}{4}$ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.
27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)
28. Height and Project Massing: Project design minimizes bulk of buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and heights; and b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)
29. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows: a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement.
30. Building Colors: The project has provided a sample color palette of complementary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.
31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least $1\frac{1}{2}$ inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.
32. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.
33. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.

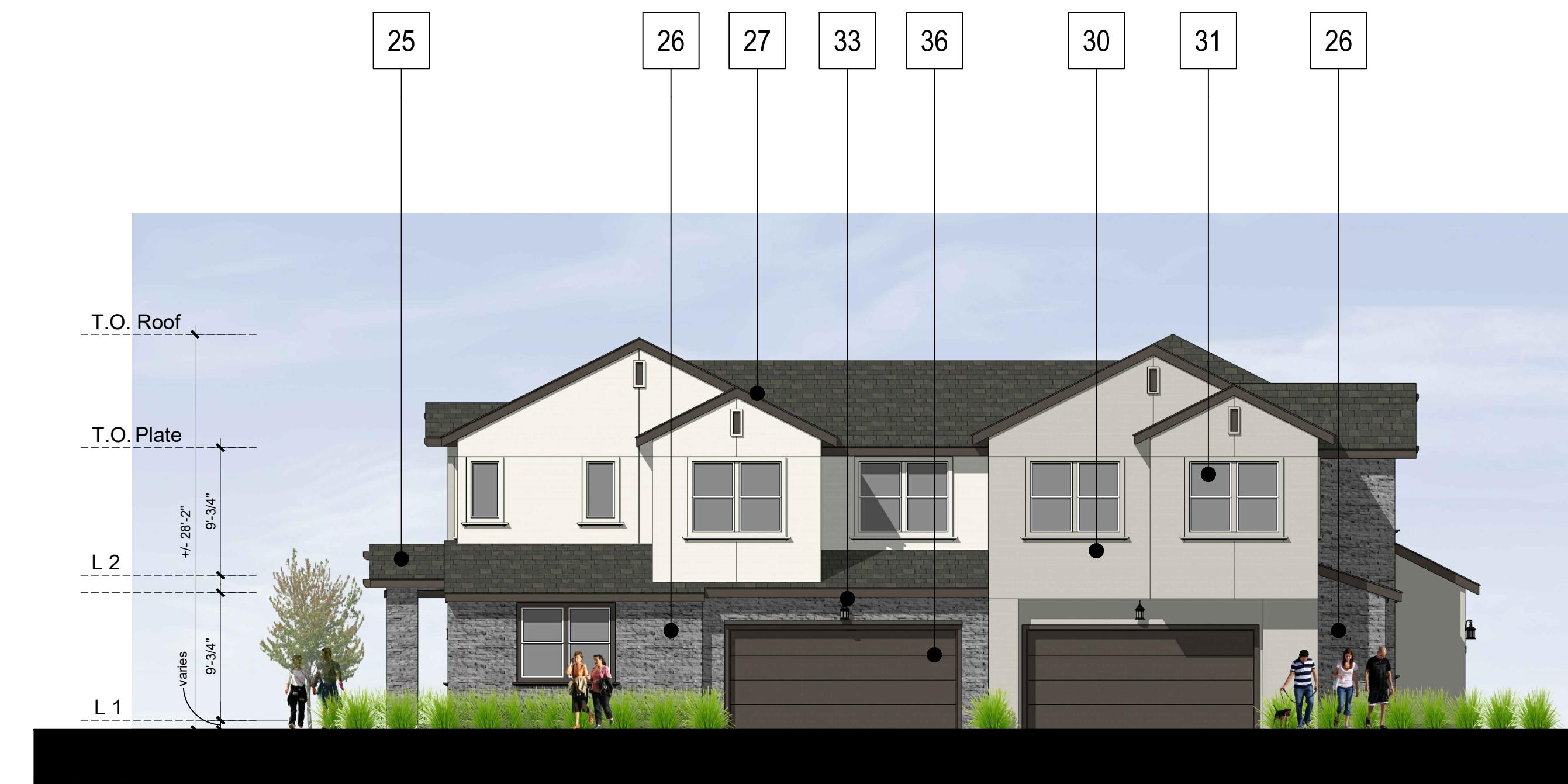
34. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment.
36. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee.
39. Multi Family Roof Form: The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units.
40. Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.
41. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building facade from frontage upon a street, adjacent public park or public open space.



FRONT LEFT PERSPECTIVE



LEFT ELEVATION



FRONT ELEVATION



DESIGN STANDARDS:

22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.
23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum of 6 feet by 4 feet.
24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.
25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and materials (GP Policy CNF-11.16)
26. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously $\frac{1}{4}$ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.
27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)
28. Height and Project Massing: Project design minimizes bulk of buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and heights; and b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)
29. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows: a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement.
30. Building Colors: The project has provided a sample color palette of complementary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.
31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least $1\frac{1}{2}$ inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.
32. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.
33. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.

34. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment.
36. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee.
39. Multi Family Roof Form: The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units.
40. Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.
41. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building facade from frontage upon a street, adjacent public park or public open space.

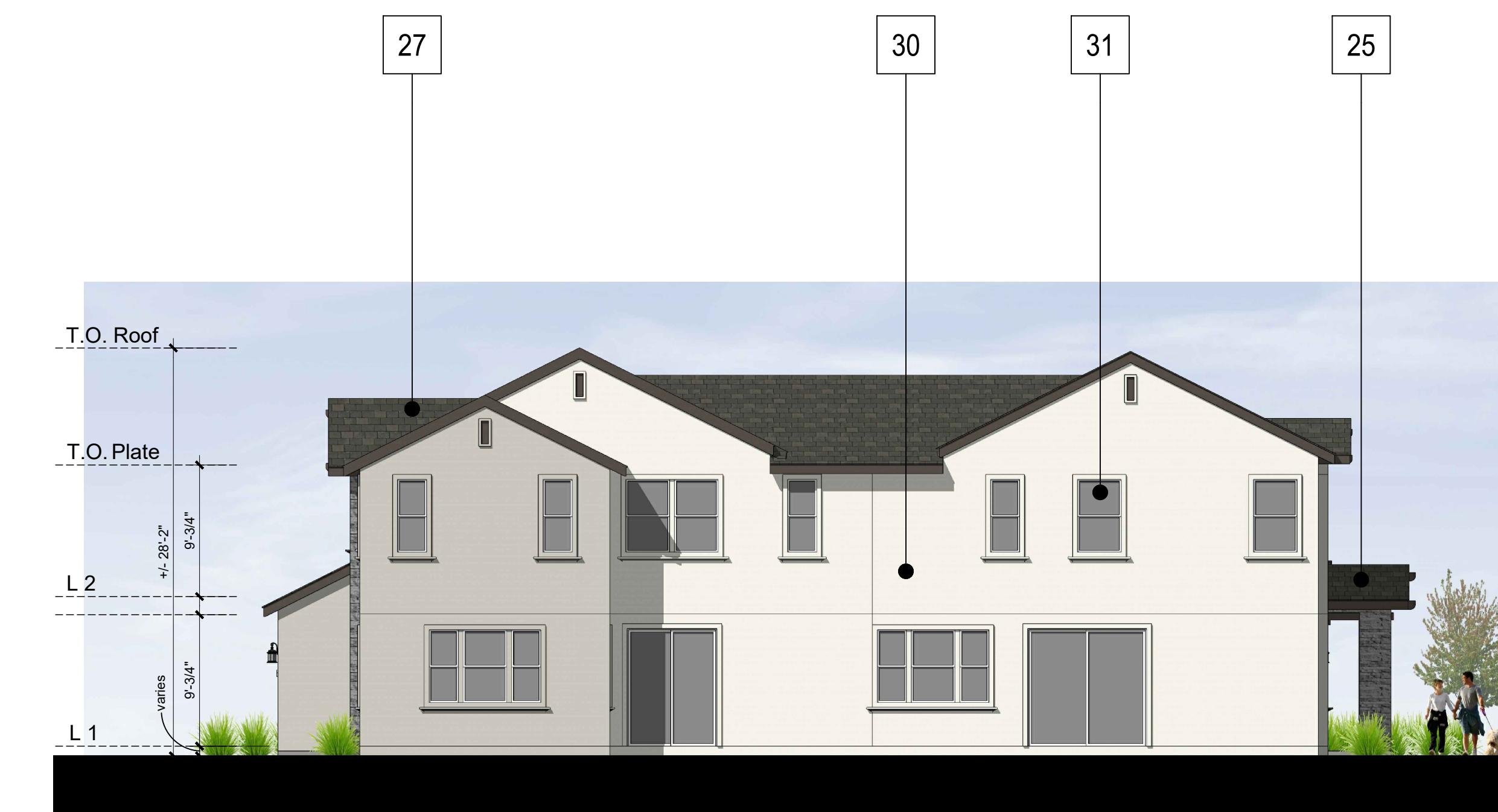


FRONT RIGHT PERSPECTIVE

	CONCRETE FLAT-ROOF TILE
	STONE VENEER
	STUCCO BODY 1 WINDOW TRIM 1
	STUCCO BODY 2 WINDOW TRIM 2
	COLUMNS
	ENTRY DOOR GARAGE DOOR WINDOW TRIM 3

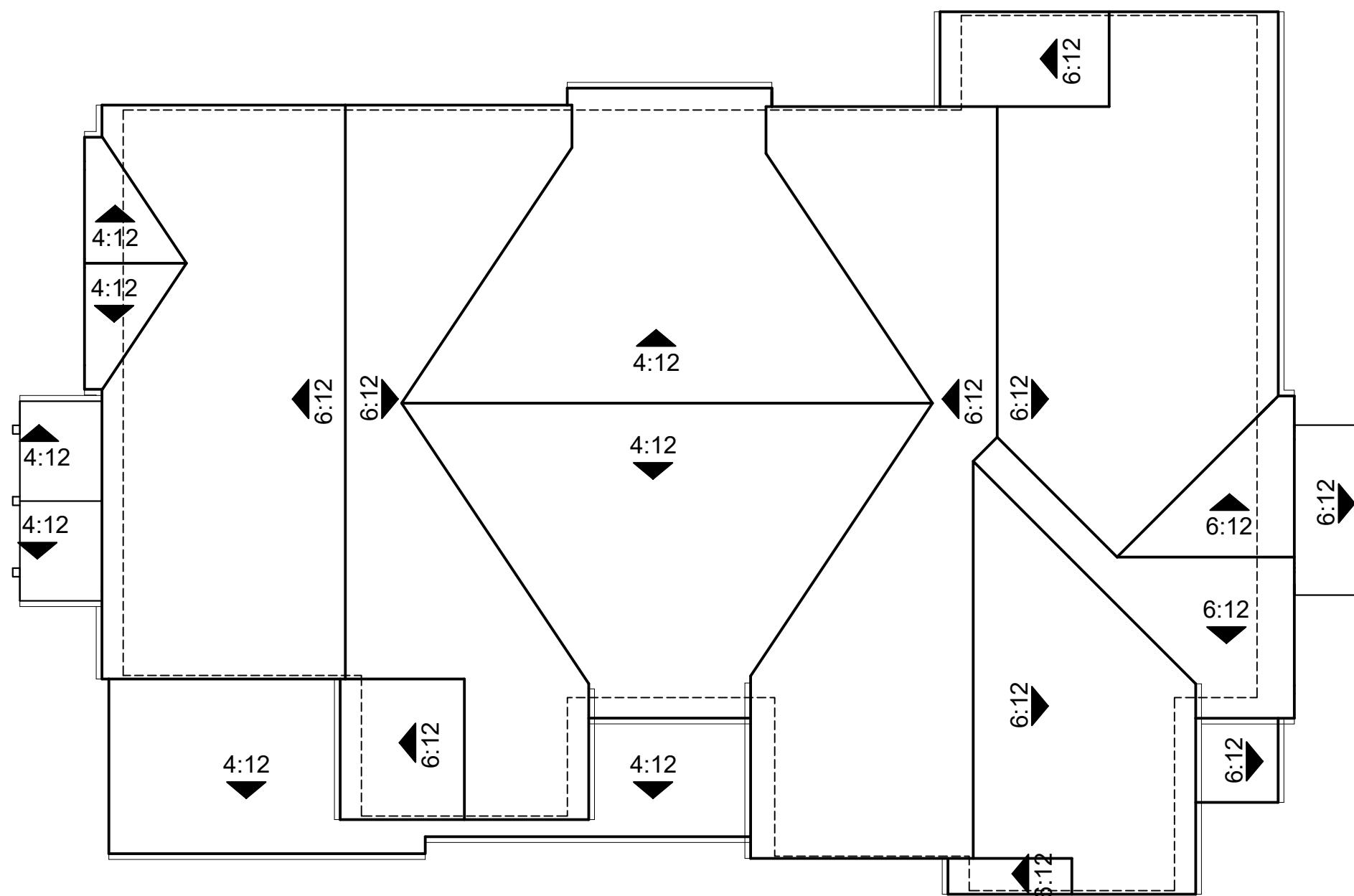


RIGHT ELEVATION

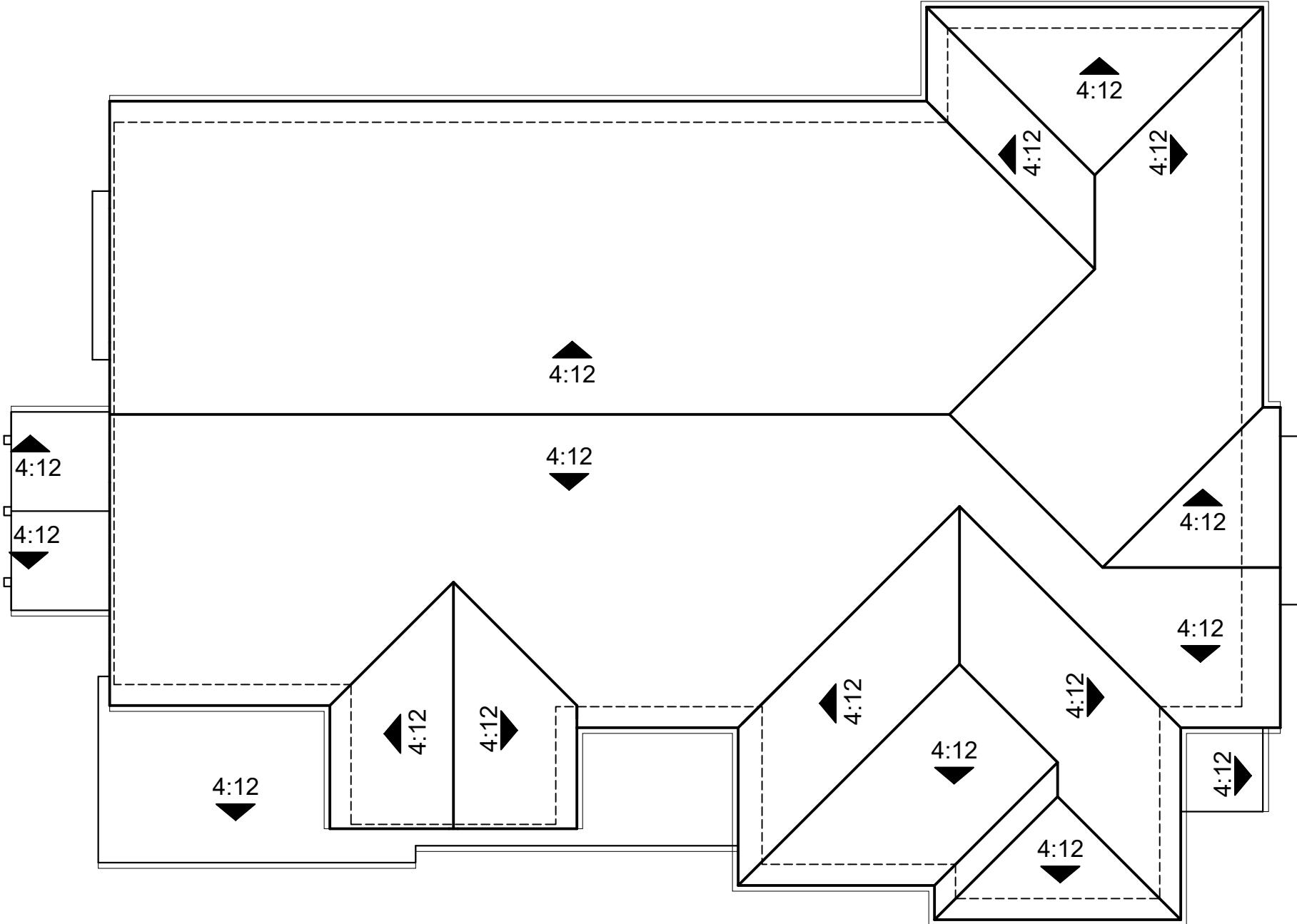


REAR ELEVATION

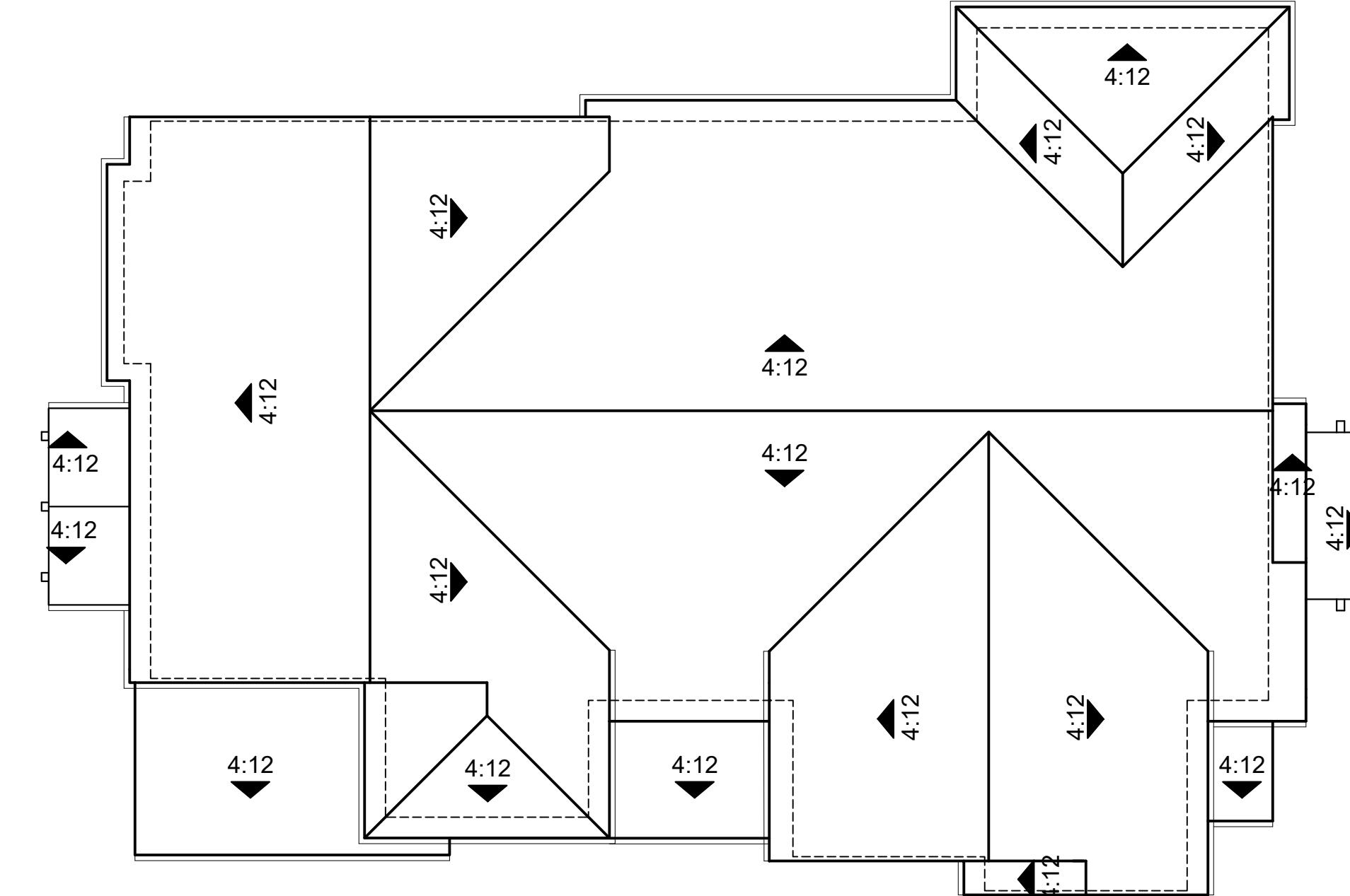




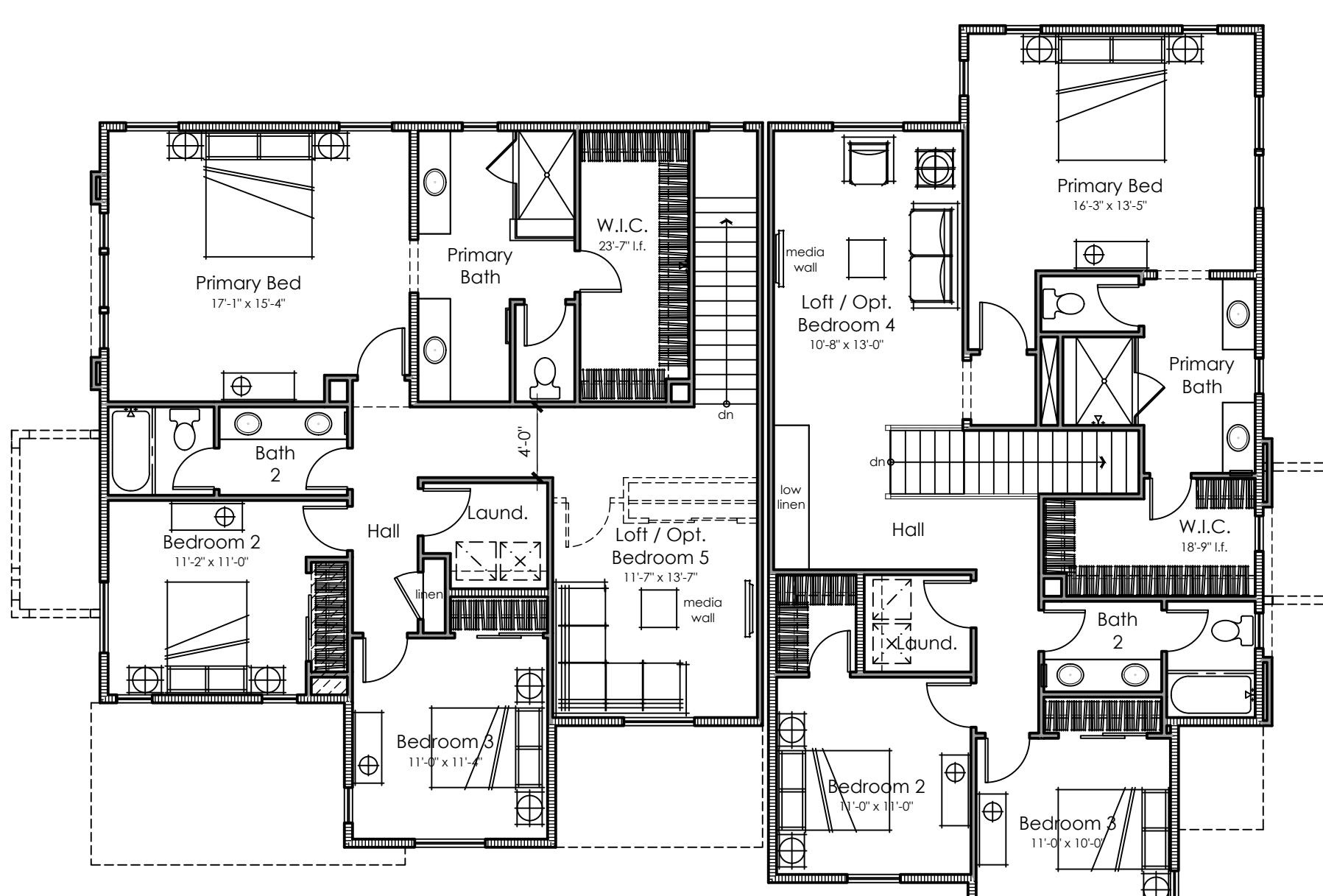
ROOF PLAN- C STYLE



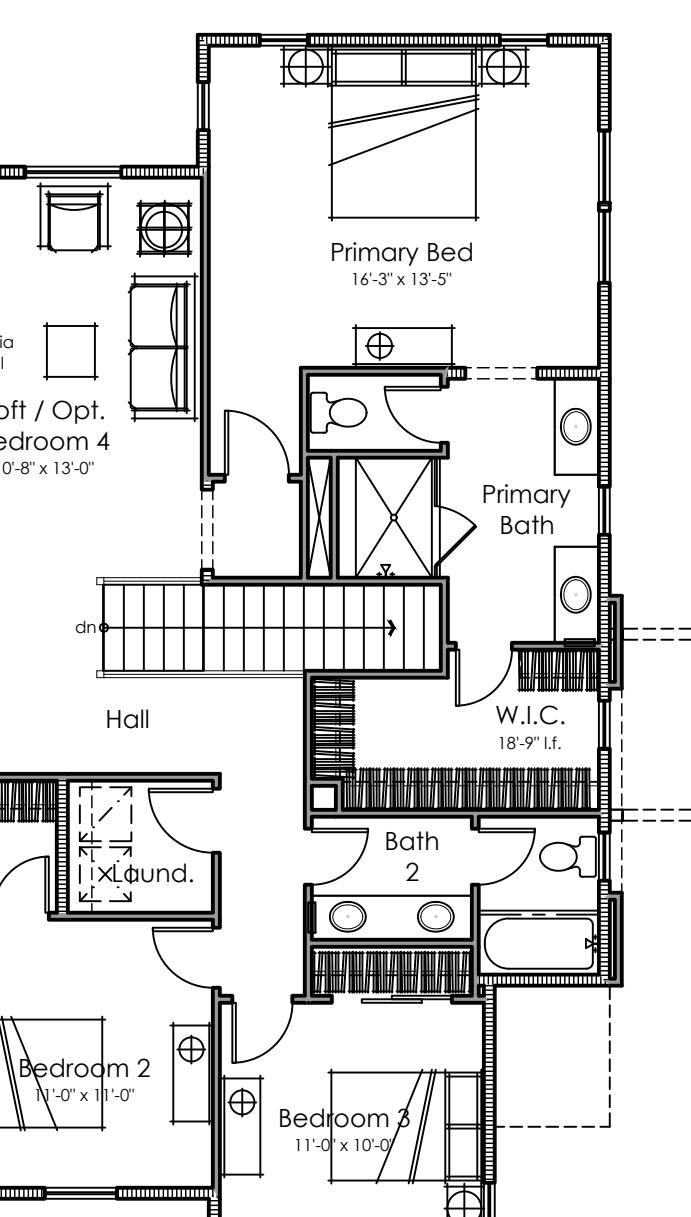
ROOF PLAN- B STYLE



ROOF PLAN- A STYLE

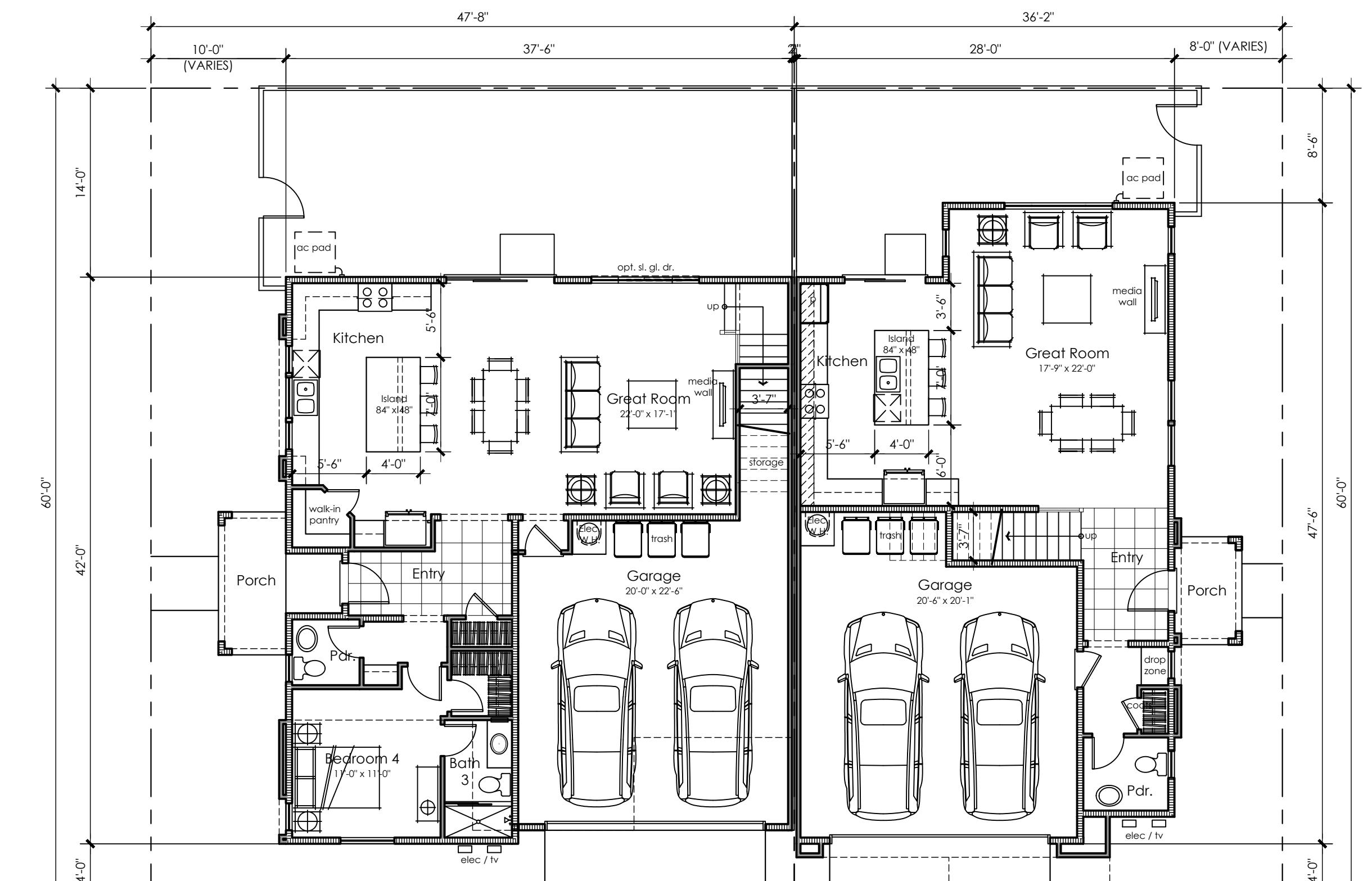


P2



P1

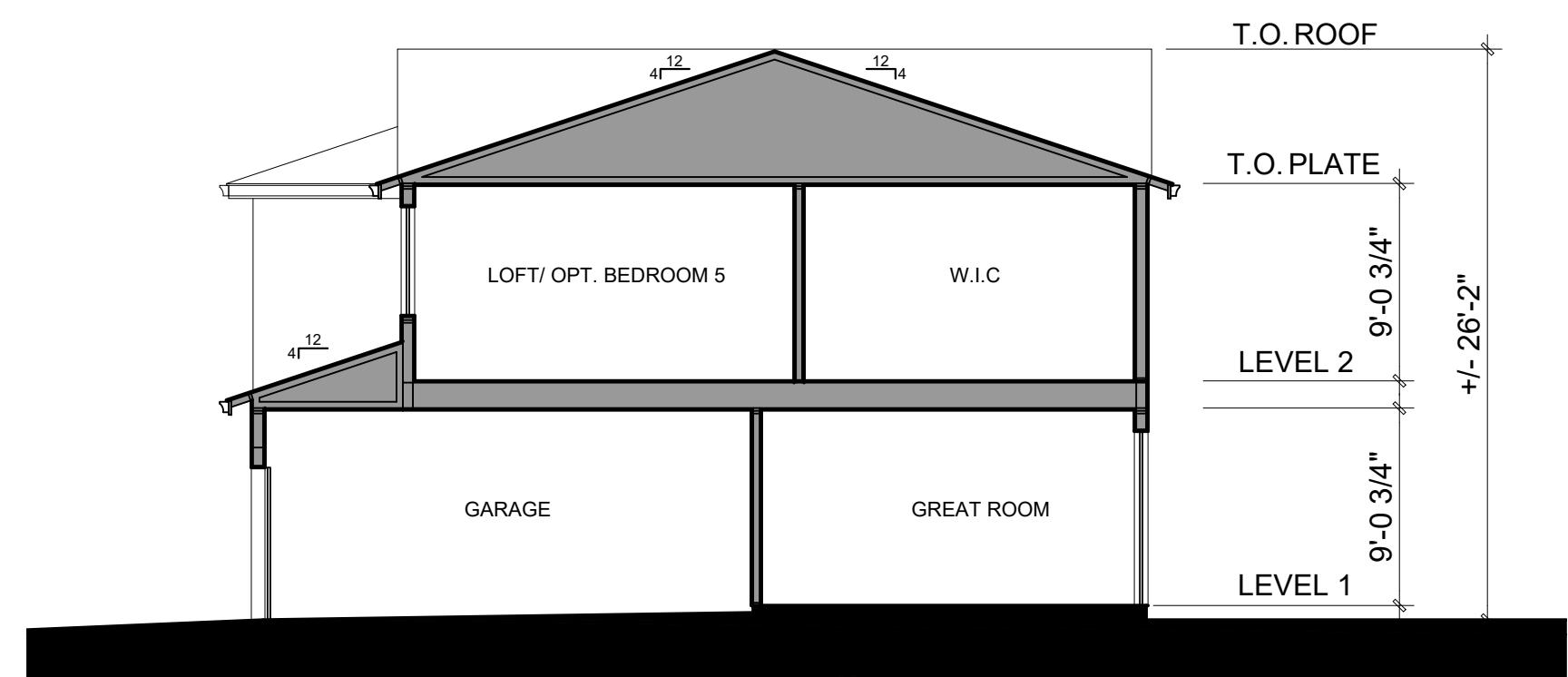
LEVEL 2



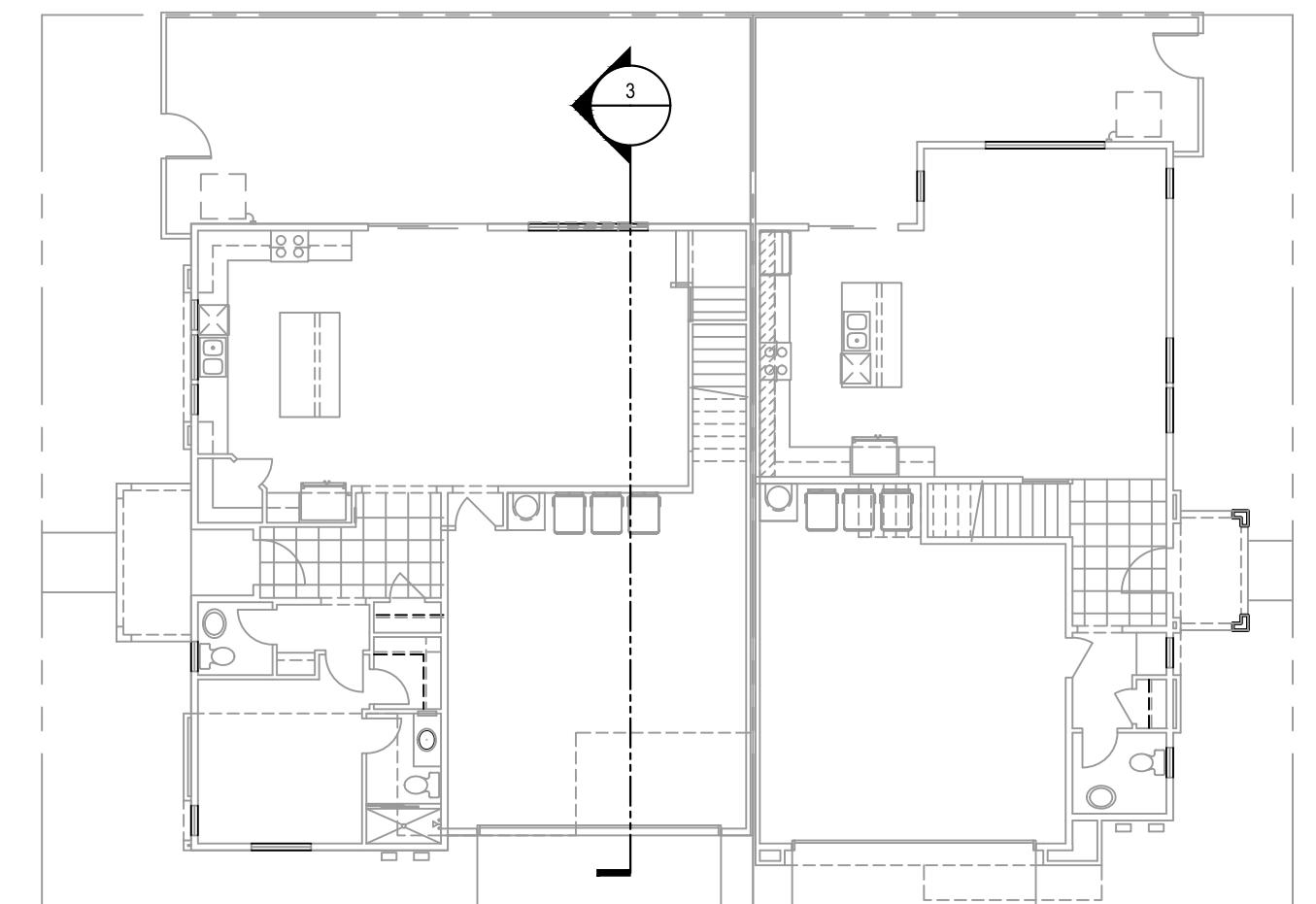
P2

P1

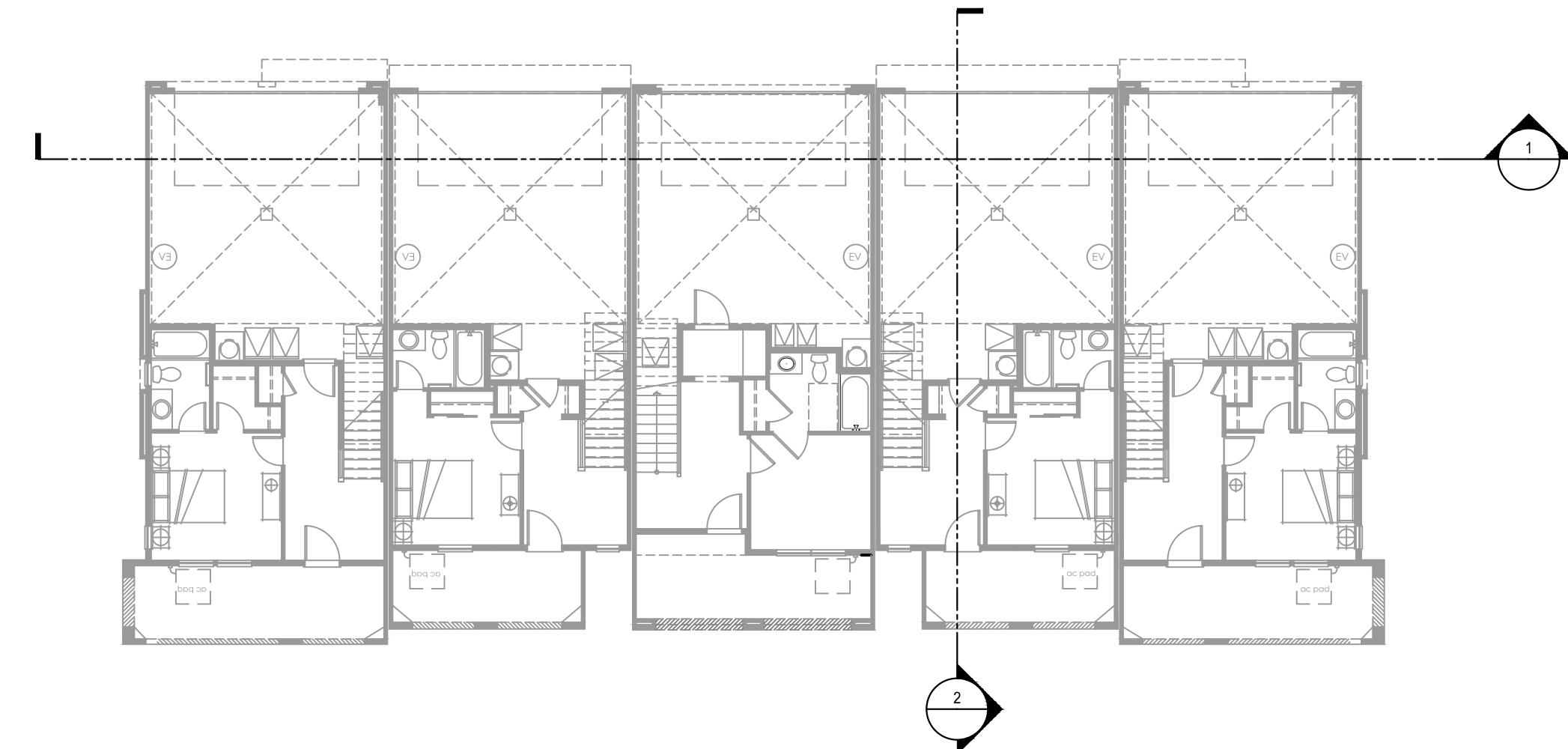
LEVEL 1



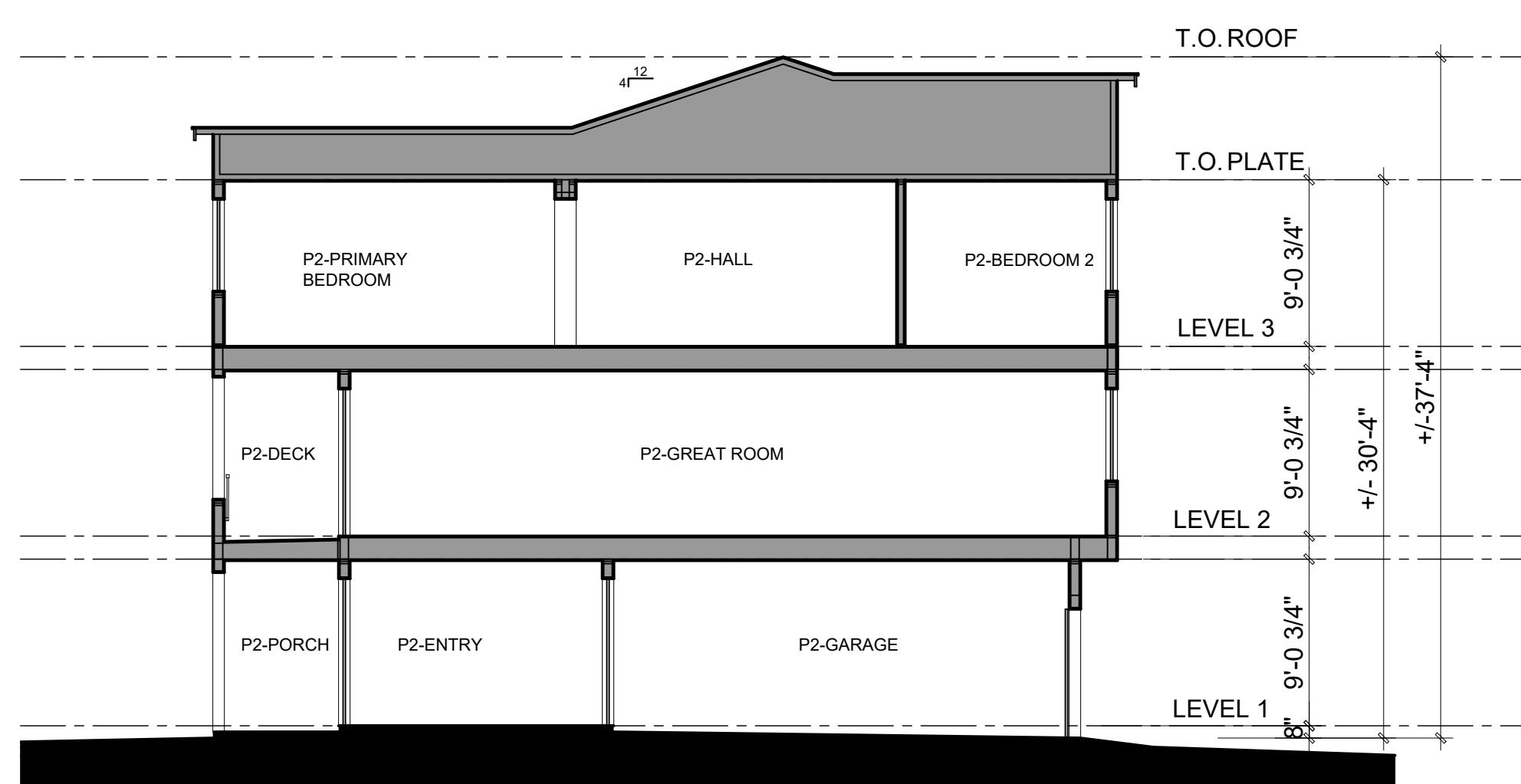
TYPICAL DUET SECTION 3



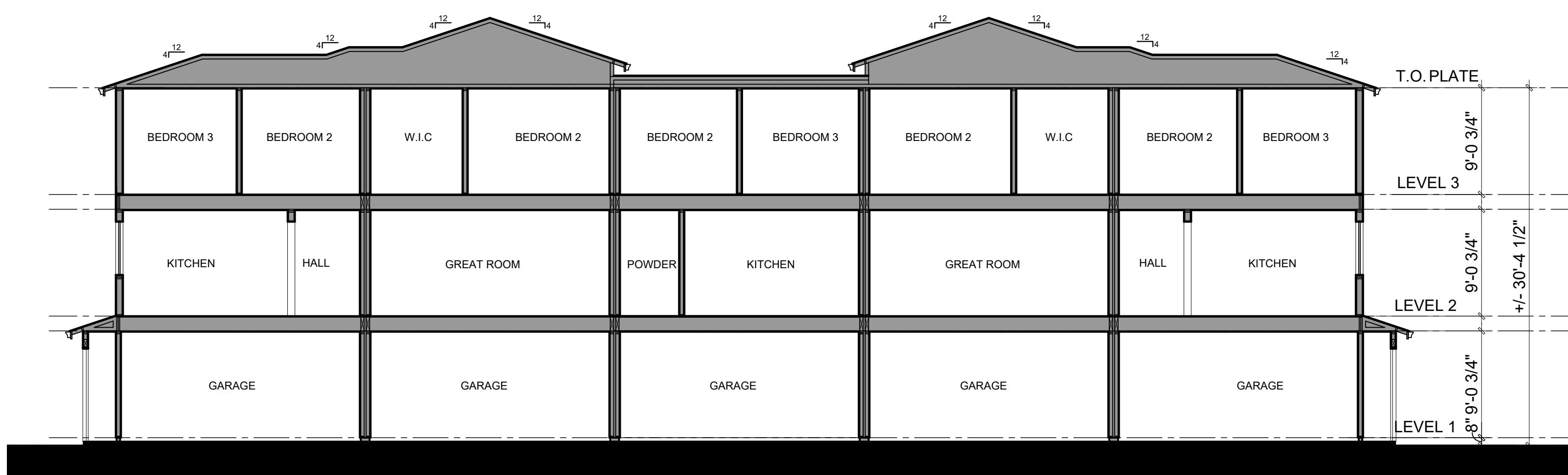
KEY PLAN-DUET GROUND FLOOR PLAN



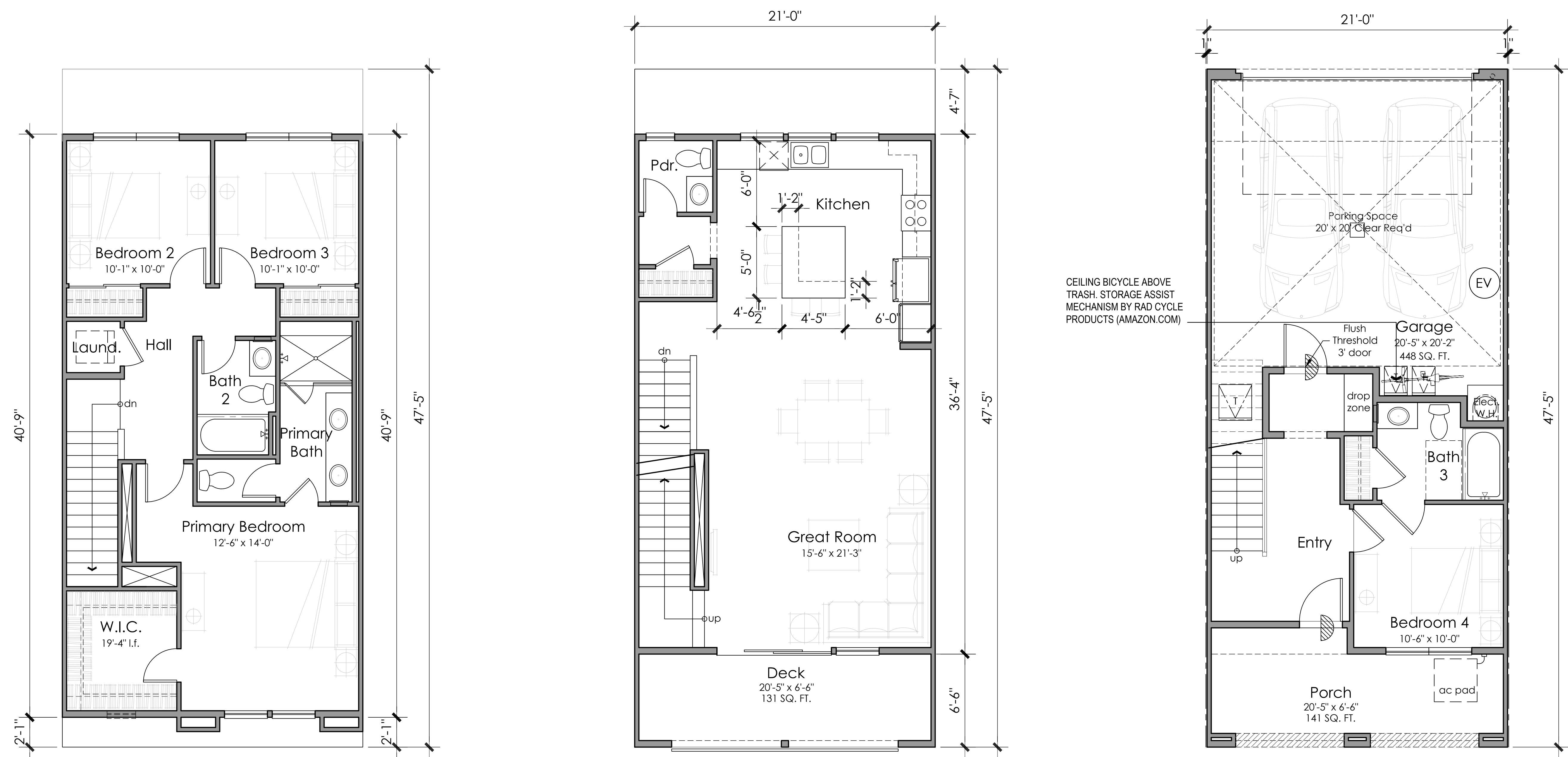
KEY PLAN-5 PLEX GROUND FLOOR PLAN



TYPICAL TOWNHOUSE SECTION 2



TYPICAL TOWNHOUSE SECTION 1

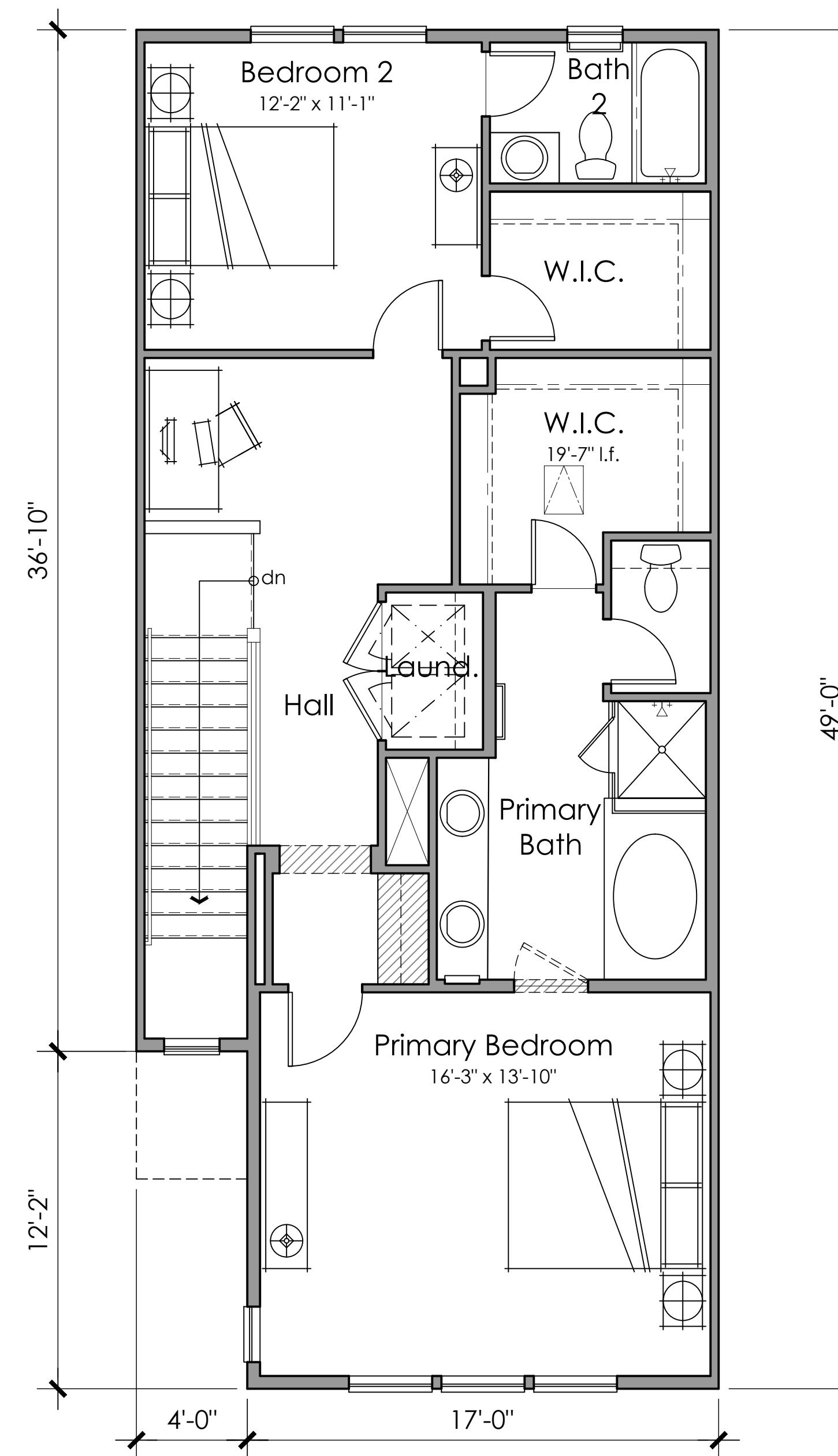


Third Floor

773 n.s.f.



EACH PRIVATE GARAGE CONTAINS: 1" RACEWAY TO A 2 GANG BOX FOR FUTURE ELECT. CAR CHARGING STATION

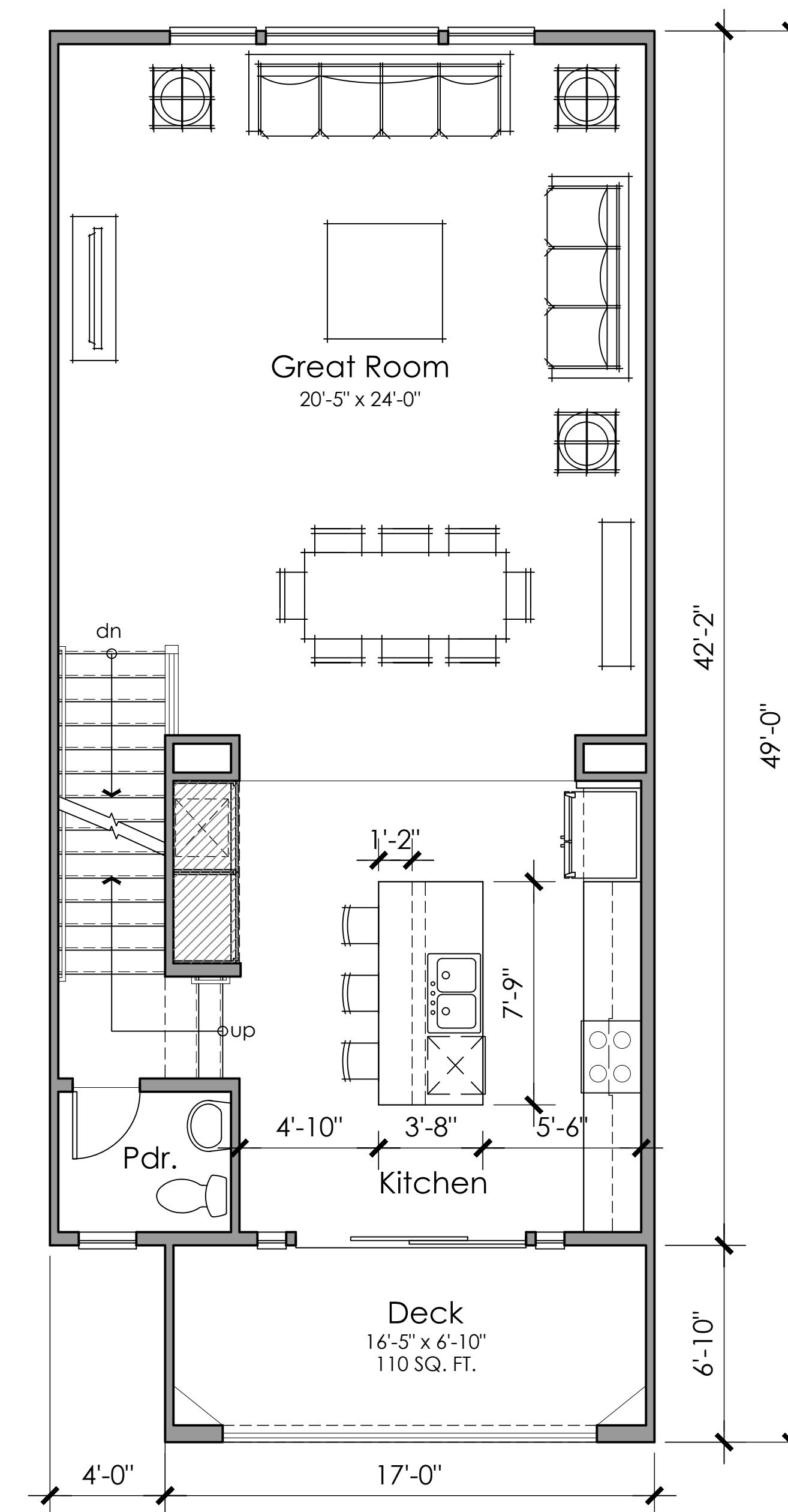


Third Floor

900 n.s.f.

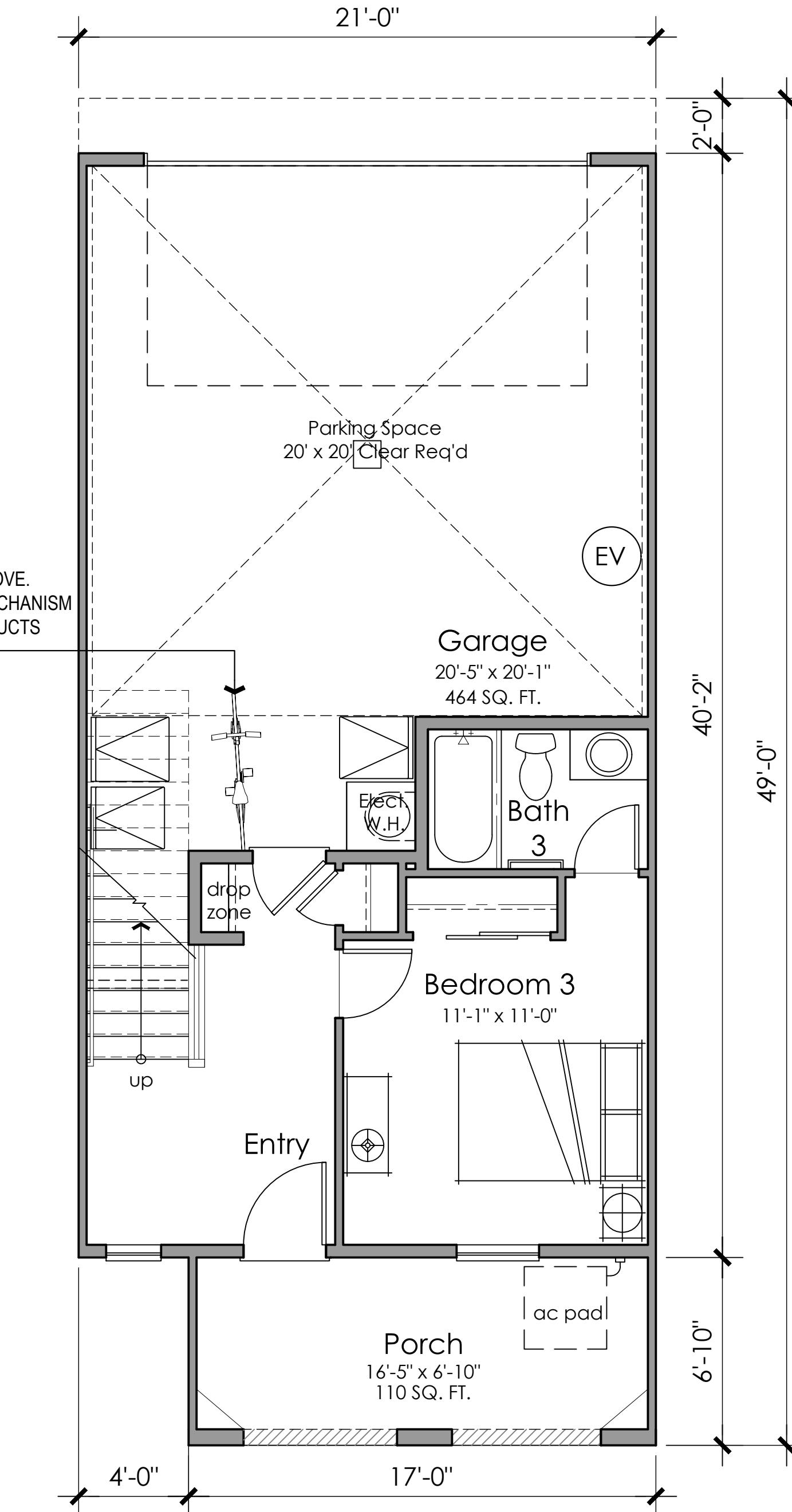
EV

EACH PRIVATE GARAGE CONTAINS: 1" RACEWAY TO A 2 GANG BOX FOR FUTURE ELECT. CAR CHARGING STATION



Second Floor

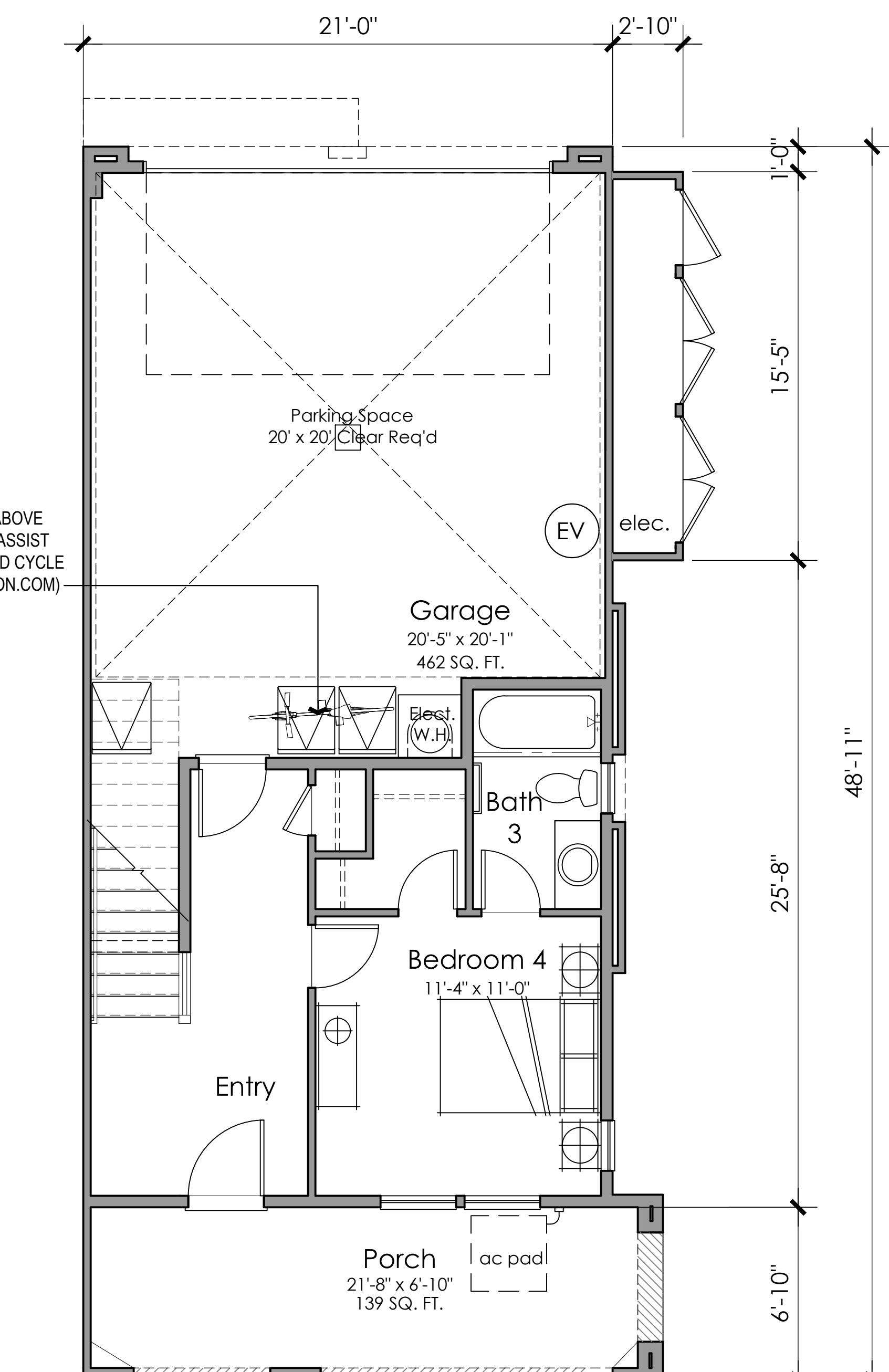
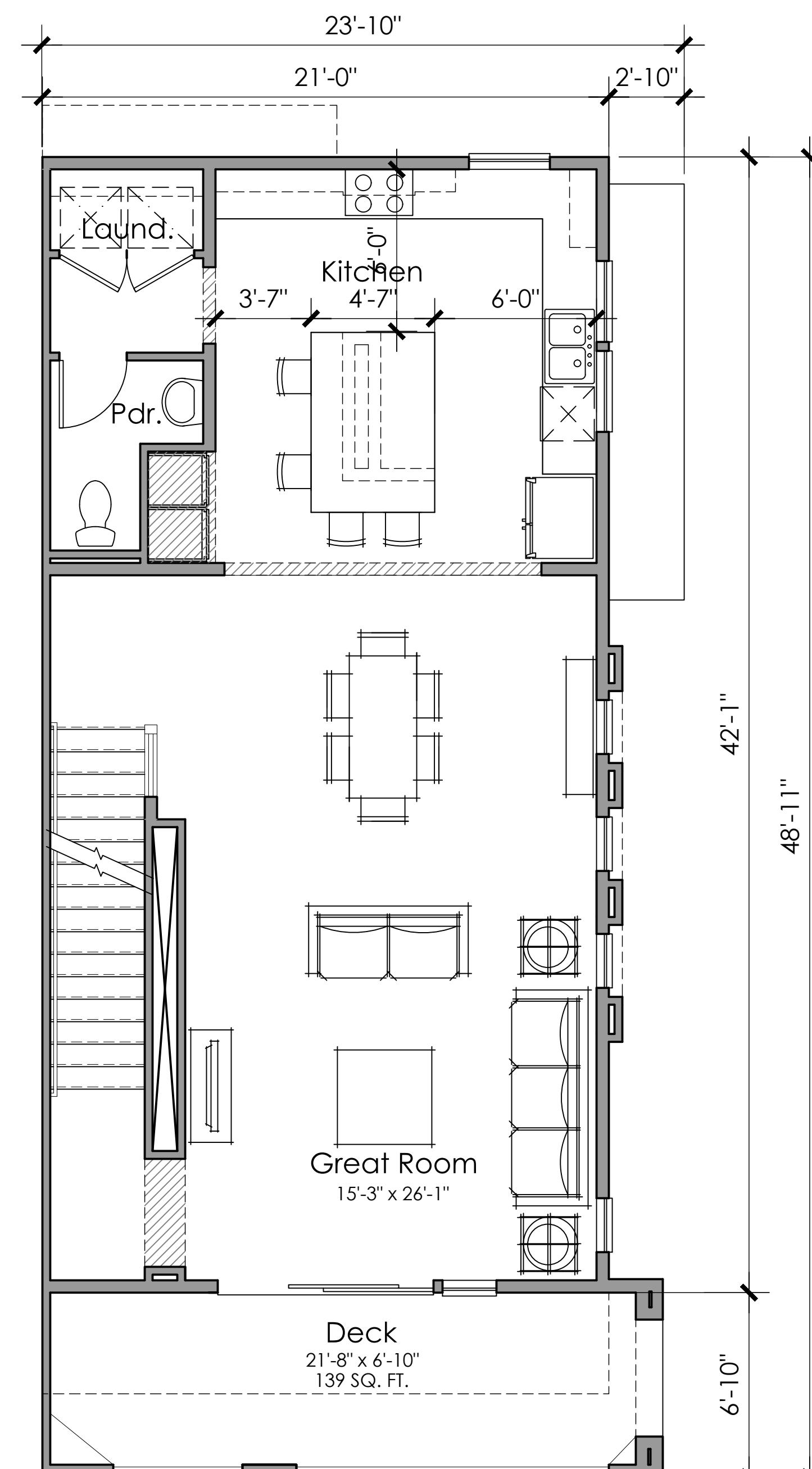
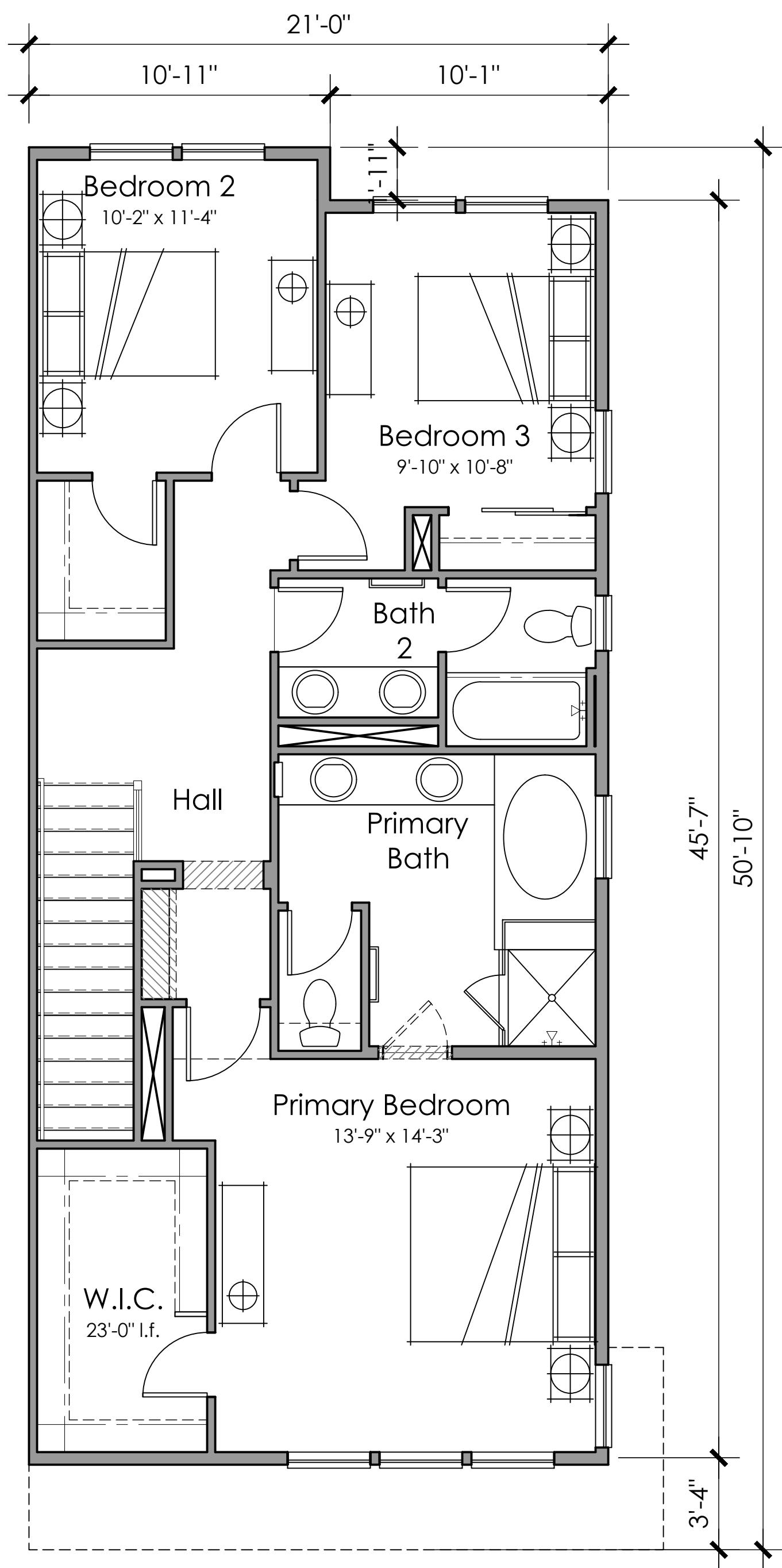
839 n.s.f.



First Floor

337 n.s.f.

Floor Plan
3 Bedroom
3.5 Baths
2076 N.S.F.

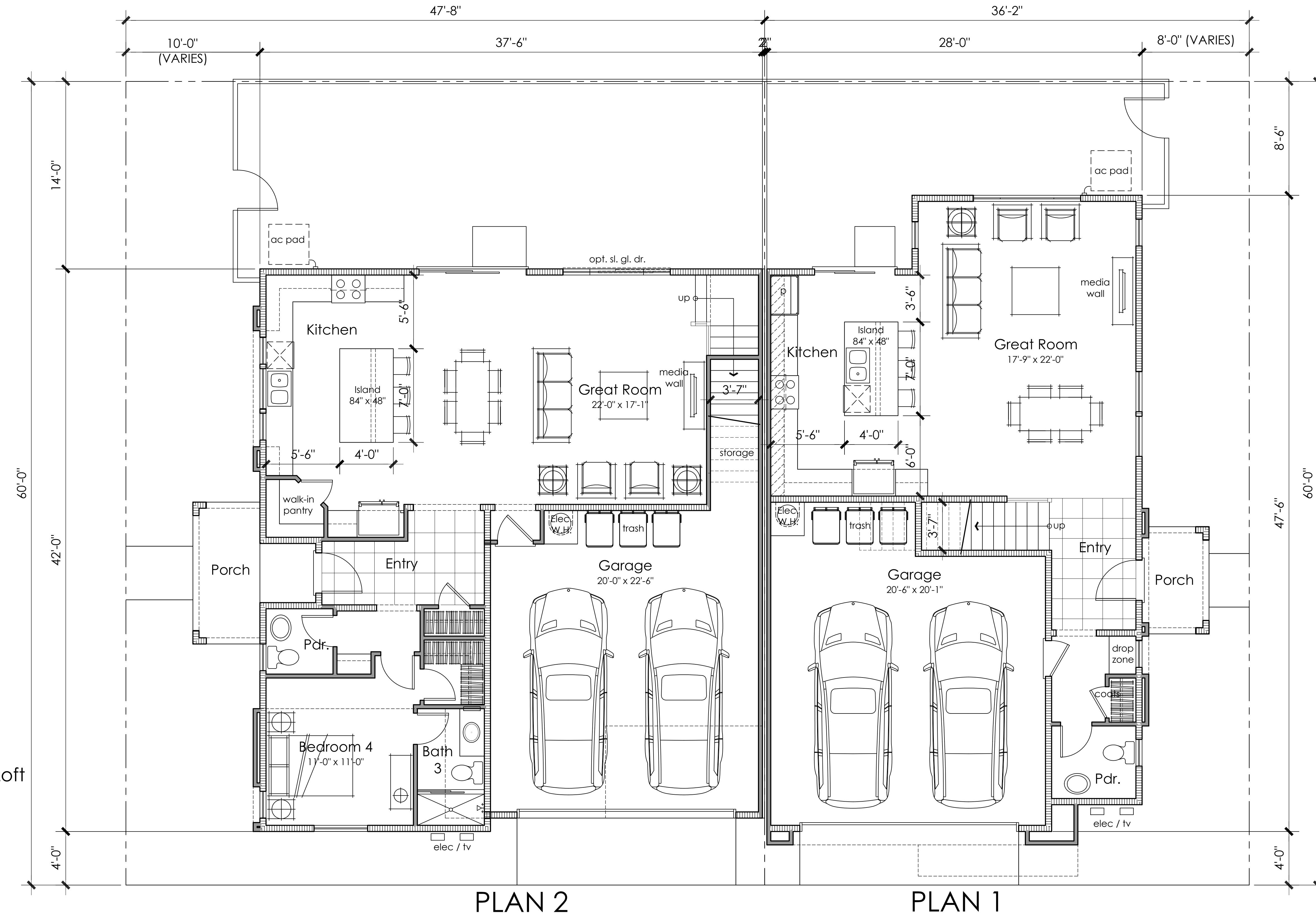


EACH PRIVATE GARAGE CONTAINS: 1" RACEWAY TO A 2 GANG BOX FOR FUTURE ELECT. CAR CHARGING STATION

PLAN 2
First Floor

1,037 n.s.f.

Floor Plan
3 Bedrooms + Loft
2.5 Baths
2,355 N.S.F.



PLAN 1
First Floor

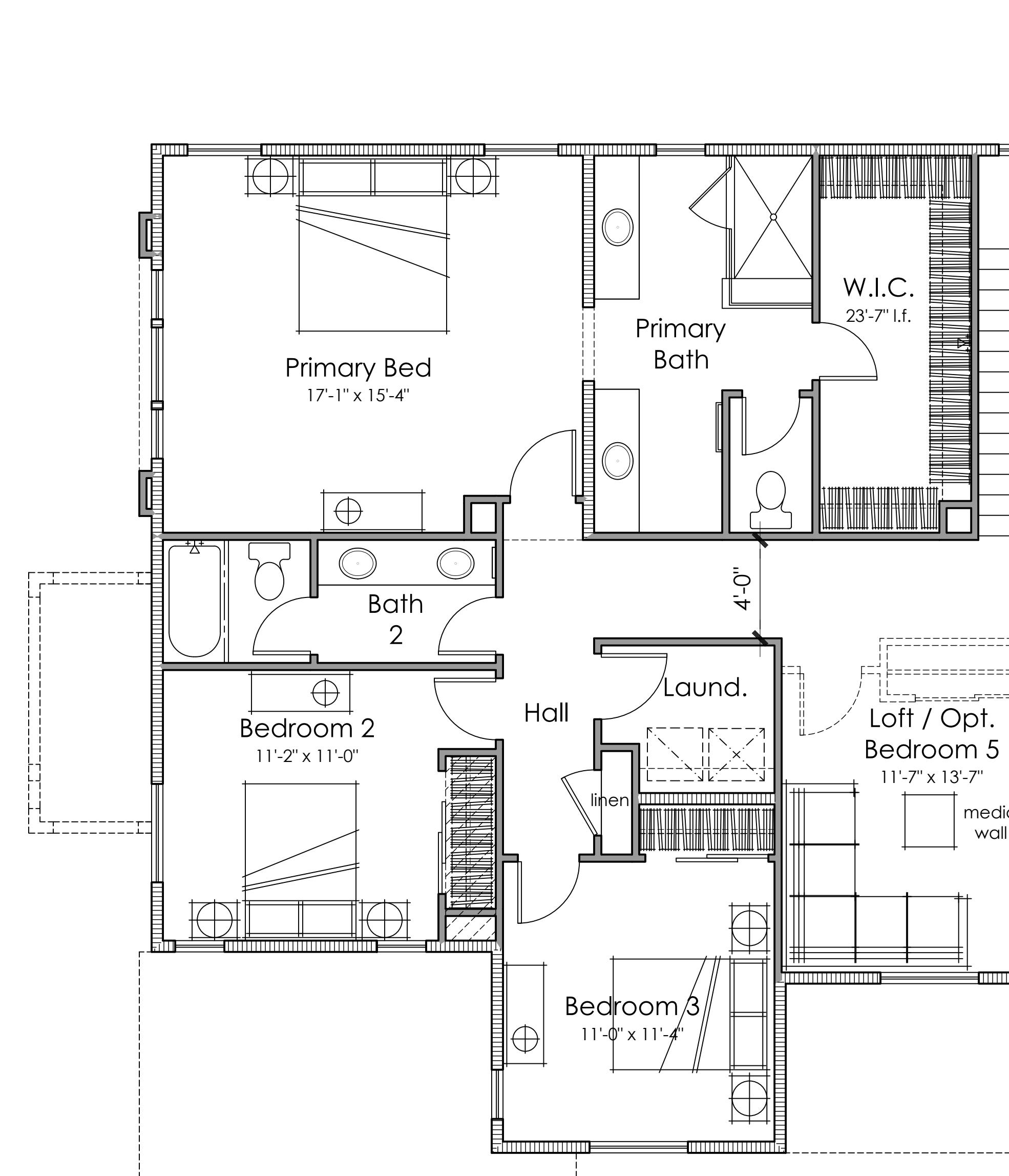
784 n.s.f.

Floor Plan
3 Bedrooms + Loft
2.5 Baths
2,032 N.S.F.

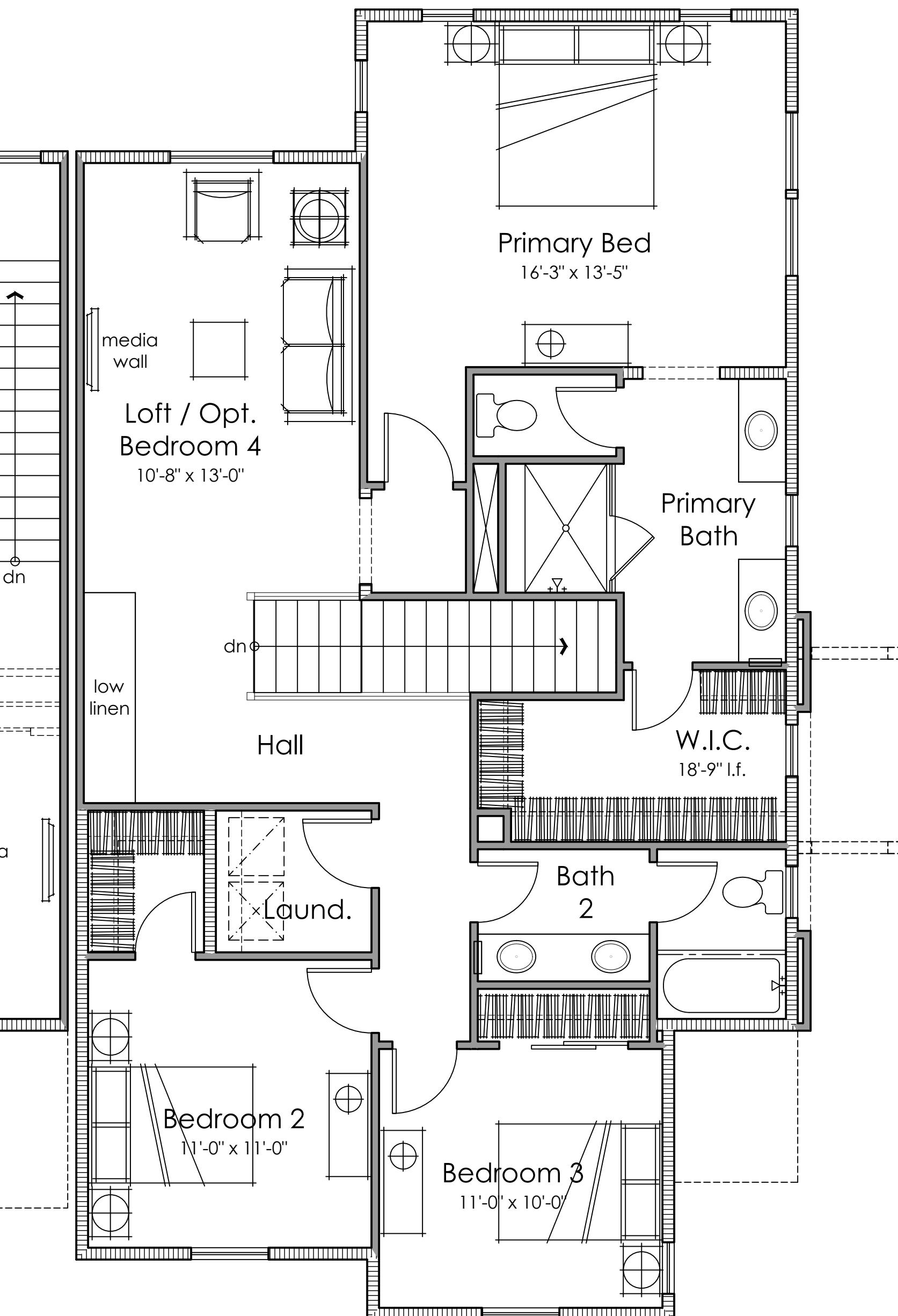
LEVEL 1

PLAN 2
Second Floor
1,318 n.s.f.

Floor Plan
3 Bedrooms + Loft
2.5 Baths
2,355 N.S.F.



PLAN 2



PLAN 1

PLAN 1
Second Floor
1,248 n.s.f.

Floor Plan
3 Bedrooms + Loft
2.5 Baths
2,032 N.S.F.

LEVEL 2



Architecture + Planning
888.456.5849
ktgy.com

BROOKFIELD RESIDENTIAL

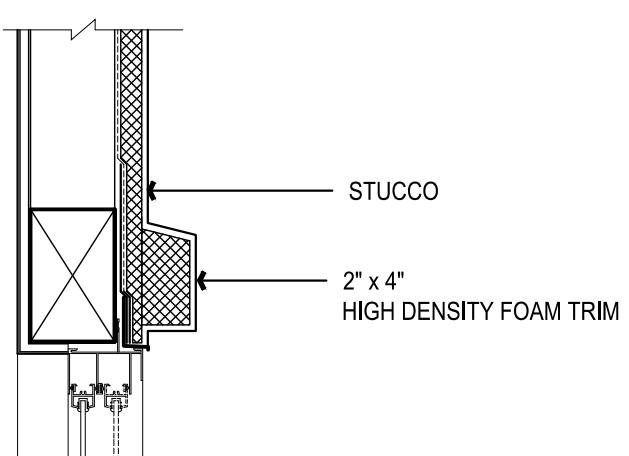
ROSEWOOD
MORGAN HILL, CA # 2020-0912

CONCEPTUAL PLANNING
MARCH 25, 2022

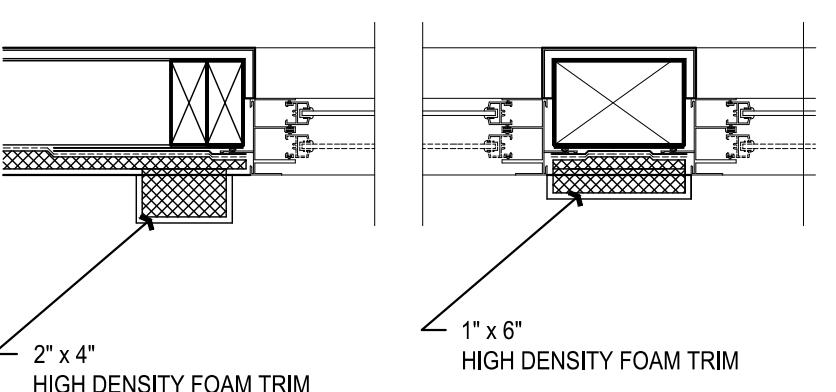
Scale: 1/4" = 1'-0"
0 2 4 8

UNIT PLANS- DUET

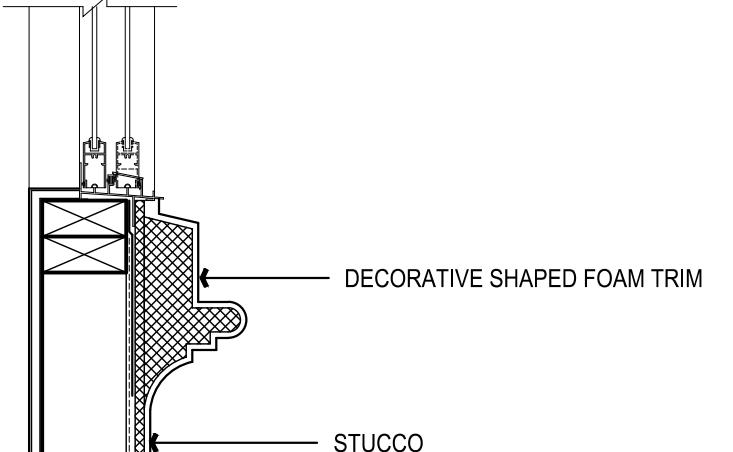
A5.1.1



1A. WINDOW HEAD TRIM

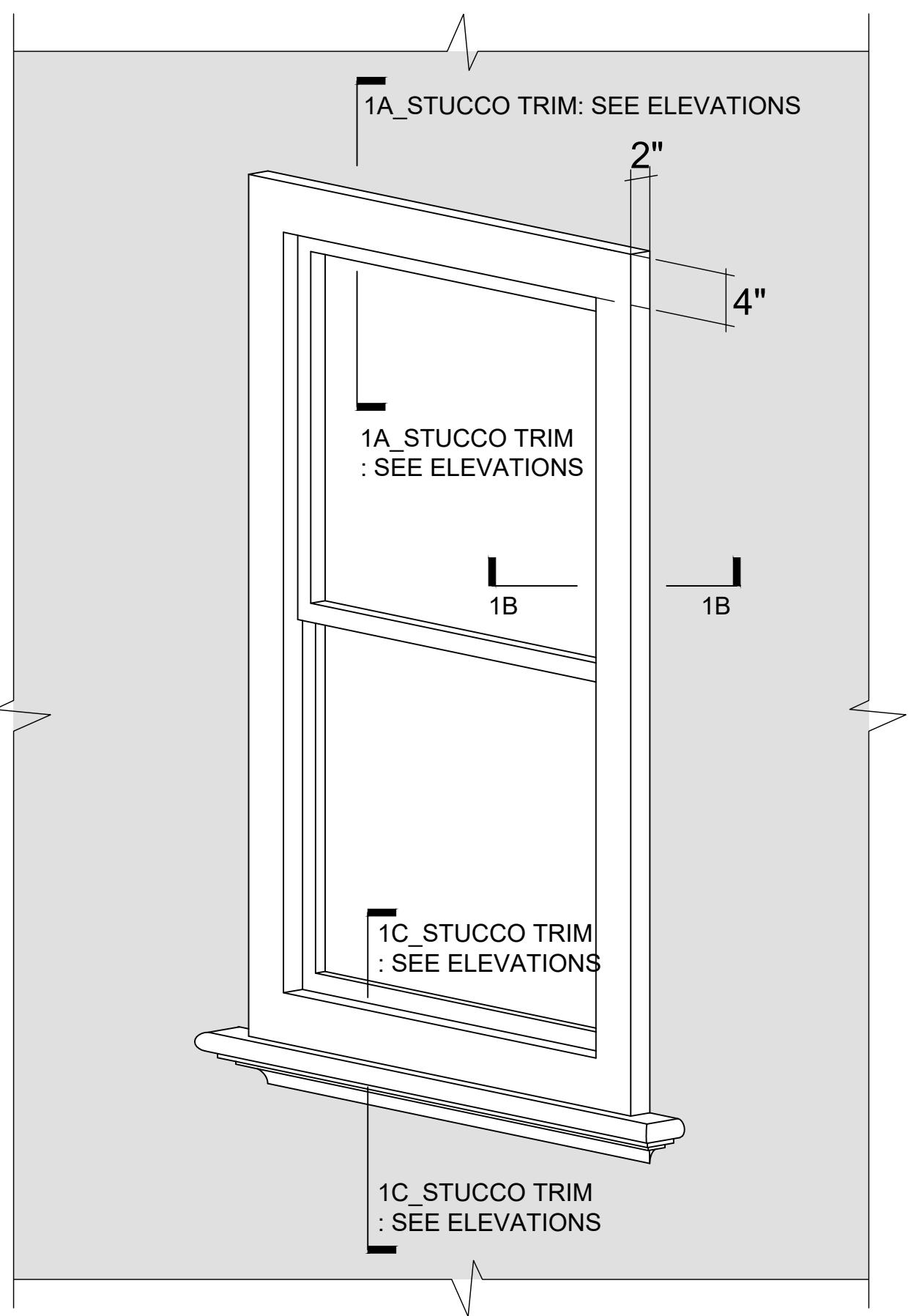


1B. WINDOW JAMB TRIM



1C. WINDOW SILL TRIM

7. TYP. Stucco Window Trim Details



6. TYP. Window Trim on Stucco



5. Plan 2 Front Entrance-Alt



4. Plan 1 Front Entrance-Alt



3. Plan 1 Front Entrance



2. Plan 2 Front Entrance



1. Plan 1 Front Entrance





Concrete S -Tile

Brick Veneer

Stucco

Fiber Cement
Lap Siding

Stucco

Post

4. DUET_B Style_Plan 1



Concrete S -Tile

Vinyl Window

Decorative Shaped
Foam Trim

Light Fixture
& Unit Address

Recessed Window

Brick Veneer

3. DUET_B Style_Plan 2



Concrete S -Tile

Stucco

Fiber Cement
Lap Siding

Stucco

Post

Stone Veneer

2. DUET_A Style_Plan 1



Concrete S -Tile

Vinyl Window

Decorative Shaped
Foam Trim

Light Fixture
& Unit Address

Recessed Window

Stone Veneer

1. DUET_A Style_Plan 2



2. DUET_C Style_Plan 1



1. DUET_C Style_Plan 2

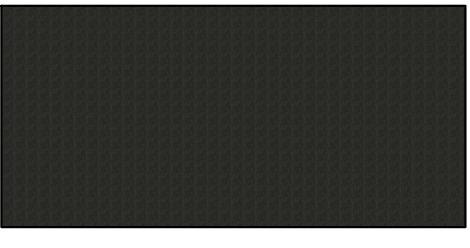
TOWNHOMES
COLOR SCHEME A



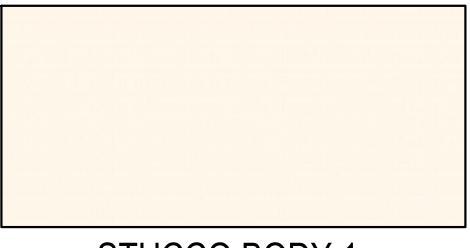
CONCRETE S-ROOF TILE



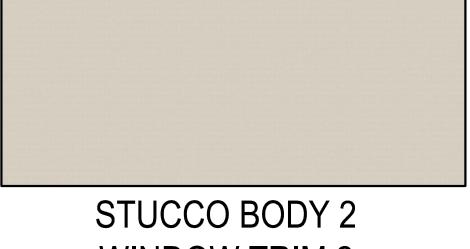
STONE VENEER



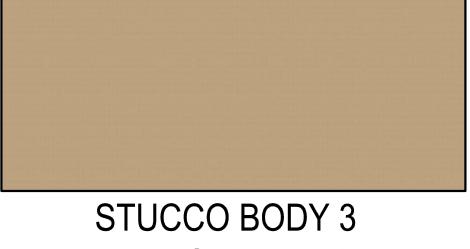
METAL RAILINGS



STUCCO BODY 1
WINDOW TRIM 1



STUCCO BODY 2
WINDOW TRIM 2



STUCCO BODY 3
WINDOW TRIM 3

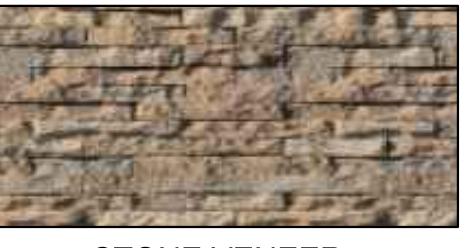


TRELLIS AND COLUMNS
ENTRY DOOR
GARAGE DOOR
WINDOW TRIM 4

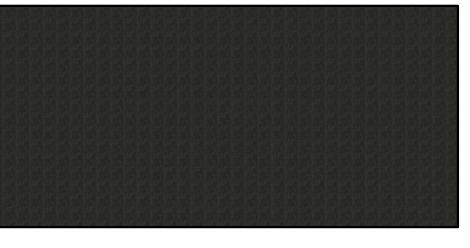
TOWNHOMES
COLOR SCHEME B



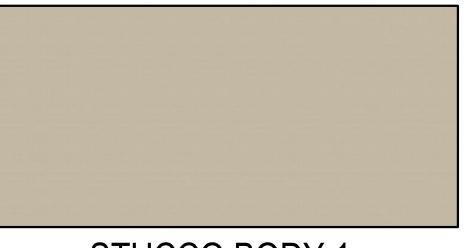
CONCRETE S-ROOF TILE



STONE VENEER



METAL RAILINGS



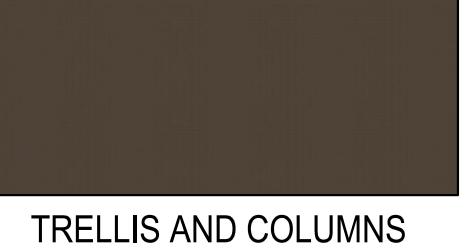
STUCCO BODY 1
WINDOW TRIM 1



STUCCO BODY 2
WINDOW TRIM 2



STUCCO BODY 3
WINDOW TRIM 3



TRELLIS AND COLUMNS
ENTRY DOOR
GARAGE DOOR
WINDOW TRIM 4

DUETS
COLOR SCHEME A



CONCRETE S-ROOF TILE



STONE VENEER



STUCCO BODY 1
WINDOW TRIM 1



STUCCO BODY 2
WINDOW TRIM 2



STUCCO BODY 3
WINDOW TRIM 3

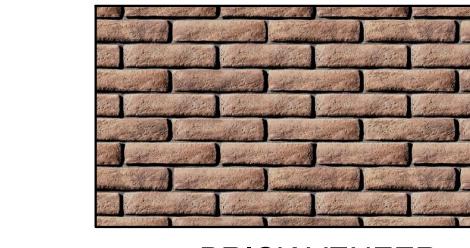


ENTRY DOOR
GARAGE DOOR
WINDOW TRIM 4

DUETS
COLOR SCHEME B



CONCRETE S-ROOF TILE



BRICK VENEER



STUCCO BODY 1
WINDOW TRIM 1



STUCCO BODY 2
WINDOW TRIM 2

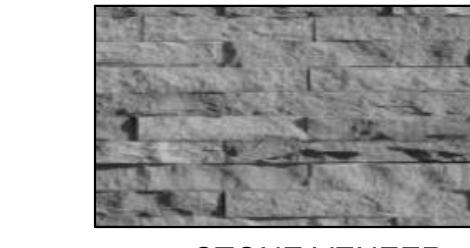


ENTRY DOOR
GARAGE DOOR
WINDOW TRIM 3

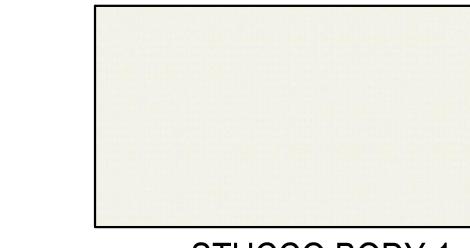
DUETS
COLOR SCHEME C



CONCRETE FLAT-ROOF TILE



STONE VENEER



STUCCO BODY 1
WINDOW TRIM 1



STUCCO BODY 2
WINDOW TRIM 2



STUCCO BODY 3
WINDOW TRIM 3