

ROSEWOOD @ Lillian Commons

DESIGN REVIEW PERMIT

MARCH 2022



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BROOKFIELD RESIDENTIAL

ROSEWOOD
MORGAN HILL, CA # 2020-0912

CONCEPTUAL PLANNING
MARCH 25, 2022

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A0.0.0

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TOWNHOUSE DUETS

- 4 PLEX
- 5 PLEX
- 6 PLEX
-

PROJECT DATA

TOTAL UNITS: 120 du total

TOWNHOUSE SEE A2.0.0 -A2.7.1 for elevations and building plans

CONSTRUCTION TYPE: TYPE VB
OCCUPANCY: R-2 TOWNHOUSE
FIRE SPRINKLER: NFPA 13D
BUILDING HEIGHT: +/- 38'

| Townhouse | Description | Garage | NSF | Total DU | % | Total NSF |
|-----------|-------------|-------------|-------|----------|--------|-----------|
| P1 | 4bed/3.5ba | side x side | 1,840 | 22 | 26% | 40,480 |
| P2 | 3bed/3.5ba | side x side | 2,076 | 28 | 33% | 58,128 |
| P3 | 4bed/3.5ba | side x side | 2,098 | 36 | 42% | 75,528 |
| Sub-total | | | | 86 | 100% | 174,136 |
| | | | | | Avg SF | 2,025 |

Total Livable SF248,766

DUETS SEE A3.0.0 -A3.3.0 for elevations and building plans

CONSTRUCTION TYPE: TYPE VB
OCCUPANCY: R-3
FIRE SPRINKLER: NFPA 13D
BUILDING HEIGHT: +/- 28'

| Duets | Description | Garage | NSF | Total DU | % | Total NSF |
|-----------|-----------------|-------------|-------|----------|--------|-----------|
| P1 | 3bed+Loft/2.5ba | side x side | 2,032 | 17 | 50% | 34,544 |
| P2* | 4bed+Loft/3.5ba | side x side | 2,355 | 17 | 50% | 40,035 |
| Sub-total | | | | 34 | 100% | 74,579 |
| | | | | | Avg SF | 2,194 |

RESIDENTIAL PARKING SUMMARY

| Residential Parking Summary | | | |
|-------------------------------|-----------|-------|-----------|
| Required: | Space/du | Total | Sub-total |
| Duets-Res. (Garage) | 2 | 68 | 240 |
| Townhouse (MF) -Res. (Garage) | 2 | 172 | |
| Duets-Guest | 1 | 34 | 63 |
| Townhouse (MF) -Guest | 0.33 | 28 | |
| Total | | | 303 |
| | | | |
| Provided: | Sub-total | | |
| Garage | 240 | | |
| Guest | 67 | | |
| Total | 307 | | |

| | |
|----------------------------|--|
| Handicap accessible spaces | 2 spaces required 2 spaces provided |
| Electric vehicle spaces | 2 spaces required 2 spaces provided |

- NOTES:
- Refer to Civil sheets for all property lines, easements, site dimensions, accessible unit locations, etc.
 - Refer to Landscape Sheets for landscape design, dimensions and detailed information.

A -LOCATION OF ACCESSIBLE UNITS

R2-TOWNHOUSE CONDOMINIUMS (PER CRC):
3-STORY TOWNHOUSE

| | |
|--|--|
| APPLICABLE CODES: | |
| 2019 CALIFORNIA RESIDENTIAL CODE (CRC) 2019 CALIFORNIA BUILDING CODE (CBC) 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA FIRE CODE TITLE 24, PART 6, CALIFORNIA ENERGY CODE (2019 EDITION) | CHAPTER 11A AS REQUIRED PER CRC R320 |
| DEFINITIONS: [PER CRC R202] | TOWNHOUSE: A SINGLE FAMILY DWELLING UNIT CONSTRUCTED IN A GROUP OF THREE OR MORE ATTACHED UNITS IN WHICH EACH UNIT EXTENDS FROM FOUNDATION TO ROOF AND WITH A YARD OR PUBLIC WAY ON AT LEAST TWO SIDES. |
| OCCUPANCY GROUP: (CRC 1.1.3.1) | R-2 (TOWNHOUSE CONDOMINIUM) U (PRIVATE GARAGES) |
| FIRE SPRINKLERS: (CRC R313) | NFPA 13-D - AS ALLOWED FOR TOWNHOUSES PER CALIFORNIA FIRE CODE SECTION 903.3.1.3 AND CALIFORNIA RESIDENTIAL CODE SECTION R 313.1.1 |
| CONSTRUCTION TYPE: | VB |
| ALLOWABLE HEIGHT: | 40 FEET |
| ALLOWABLE STORIES: (CRC 1.1.3) | 3 STORIES (3 STORIES PROPOSED) |
| ALLOWABLE FLOOR AREA: | THE CRC DOES NOT PUT AREA LIMITATIONS ON TOWNHOUSES |
| TOWNHOUSE UNIT SEPARATION: (CRC R302.2.2) | PER CRC R302.2 EACH TOWNHOUSE CONDOMINIUM SHALL BE SEPARATED BY A COMMON WALL CONSTRUCTED WITHOUT PLUMBING OR MECHANICAL EQUIPMENT, DUCTS OR VENTS RUNNING VERTICALLY IN THE COMMON WALL CAVITY. PER CRC R 302.2 ITEM 7 THE COMMON WALL SHALL BE NOT LESS THAN 1-HOUR FIRE RATED. |
| EXTERIOR WALL RATING: (CRC TABLE R302.1(2)) | FIRE SEPARATION DISTANCE > 3' SHALL BE ZERO (0) (NON-RATED) FIRE SEPARATION DISTANCE < 3' SHALL BE ONE (1) - (1 HOUR) REFER TO ARCHITECTURAL SITE PLAN, A1.0.0 FOR SEPARATION DISTANCES. |
| MAXIMUM AREA OF EXTERIOR WALL OPENINGS: (CRC TABLE R302.1.(2)) | FIRE SEPARATION DISTANCE > 3' SHALL BE UNLIMITED (UNRATED) FIRE SEPARATION DISTANCE < 3' SHALL NOT BE ALLOWED |
| FIRE RESISTIVE RATING REQUIREMENTS FOR PROJECTIONS BASED ON FIRE SEPARATION DISTANCE: (PER CRC TABLE R302.1(2)) | FIRE SEPARATION DISTANCE > 3' SHALL BE ZERO (0) (NON-RATED) FIRE SEPARATION DISTANCE 2' < 3' SHALL BE 1-HOUR ON THE UNDERSIDE REFER TO SITE PLAN FOR FIRE SEPARATION DISTANCES |
| UTILITIES APPROACH/ THROUGH PENETRATIONS: (CRC R302.4.1) | ELECTRIC METERS ARE PROPOSED TO BE LOCATED IN COMMON HOA MAINTAINED CLOSETS AT THE END OF EACH BUILDING AND RUN THROUGH THE BUILDING Laterally IN A NON-RATED SOFFIT RACEWAY LOCATED IN THE GARAGES, BEFORE TERMINATING AT EACH UNIT. ACCESS EASEMENTS EXIST FOR USE AND MAINTENANCE OF THE UTILITY RACEWAY. THROUGH PENETRATIONS OF THE 1-HOUR RATED COMMON WALL SEPARATING UNITS BY ELECTRICAL LINES SHALL BE PROTECTED IN ACCORDANCE WITH CRC R 302.4.1 & R 302.4.1.2 BY PROVIDING A THROUGH PENETRATION FIRESTOP SYSTEM. |
| ACCESSIBILITY: (PER CRC R320.1) | DWELLING UNITS IN A BUILDING CONSISTING OF FOUR OR MORE CONDOMINIUM UNITS SHALL MEET THE REQUIREMENTS OF CALIFORNIA BUILDING CODE CHAPTER 11A - MULTISTORY DWELLINGS. REFER TO SITE PLAN FOR MORE INFORMATION AND LOCATION OF ACCESSIBLE UNITS. MULTI-DWELLING BUILDINGS WITH LESS THAN 4 UNITS ARE EXEMPT FROM ACCESSIBILITY REQUIREMENTS. 10% OF THE REMAINING UNITS THAT ARE NOT EXEMPT MUST BE MADE ACCESSIBLE BASED ON CBC SECTION 1102.3.1 |

R3-TWO-FAMILY DWELLING UNITS (PER CRC):
DUET(FEE SIMPLE)

| | |
|--|---|
| APPLICABLE CODES: | |
| 2019 CALIFORNIA RESIDENTIAL CODE (CRC) 2019 CALIFORNIA BUILDING CODE (CBC) 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA FIRE CODE TITLE 24, PART 6, CALIFORNIA ENERGY CODE (2019 EDITION) | |
| DEFINITIONS: [PER CRC R202] | DWELLING: ANY BUILDING THAT CONTAINS ONE OR TWO DWELLING UNITS USED, INTENDED, OR DESIGNED TO BE BUILT, USED, RENTED, LEASED, LET OR HIRED OUT TO BE OCCUPIED, OR THAT ARE OCCUPIED FOR LIVING PURPOSES. |
| OCCUPANCY GROUP: (CRC 1.1.3.1) | R-3 (TWO-FAMILY DWELLINGS) U (PRIVATE GARAGES) |
| FIRE SPRINKLERS: (CRC R313) | NFPA 13-D |
| ALLOWABLE HEIGHT: | 40 FEET |
| ALLOWABLE STORIES: (CRC 1.1.3) | 3 STORIES (2 STORIES PROPOSED) |
| ALLOWABLE FLOOR AREA: | THE CRC DOES NOT PUT AREA LIMITATIONS ON TWO-FAMILY DWELLING UNITS |
| TWO-FAMILY DWELLINGS SEPARATION: (CRC R302.3) | PER CRC R302.3 EACH DWELLING UNIT SHALL BE SEPARATED FROM EACH OTHER BY WALL HAVING NOT LESS THAN A 1-HOUR FIRE-RESISTANCE RATING .FIRE-RESISTANCE-RATED WALL ASSEMBLIES SHALL EXTEND TO AND BE TIGHT AGAINST THE EXTERIOR WALL, AND WALL ASSEMBLIES SHALL EXTEND FROM THE FOUNDATION TO THE UNDERSIDE OF THE ROOF SHEATHING. |
| EXTERIOR WALL RATING: (CRC TABLE R302.1(2)) | FIRE SEPARATION DISTANCE > 3' SHALL BE ZERO (0) (NON-RATED) FIRE SEPARATION DISTANCE < 3' SHALL BE ONE (1) - (1 HOUR) REFER TO ARCHITECTURAL SITE PLAN, A1.0.0 FOR SEPARATION DISTANCES. |
| MAXIMUM AREA OF EXTERIOR WALL OPENINGS: (CRC TABLE R302.1.(2)) | FIRE SEPARATION DISTANCE > 3' SHALL BE UNLIMITED (UNRATED) FIRE SEPARATION DISTANCE < 3' SHALL NOT BE ALLOWED |
| FIRE RESISTIVE RATING REQUIREMENTS FOR PROJECTIONS BASED ON FIRE SEPARATION DISTANCE: (PER CRC TABLE R302.1(2)) | FIRE SEPARATION DISTANCE > 3' SHALL BE ZERO (0) (NON-RATED) FIRE SEPARATION DISTANCE 2' < 3' SHALL BE 1-HOUR ON THE UNDERSIDE REFER TO SITE PLAN (SHEET A1.10) FOR FIRE SEPARATION DISTANCES |
| UTILITIES APPROACH: | UTILITY METERS WILL BE LOCATED ON EACH INDIVIDUAL LOT FOR THE DUETS AND THERE WILL BE NO THROUGH PENETRATIONS OF THE RATED WALLS SEPARATING THE TWO-FAMILY DWELLING UNITS. |



DESIGN STANDARDS:

- 22. Front Porches:**
50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.

23. Balconies:
25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum of 6 feet by 4 feet.

24. Fences:
All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.

25. 360 Degree Architecture:
The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements.
All facades (sides and rear) must have the level of detail, and maerials (GP Policy CNF-11.16)

26. Exterior Treatments and Materials:
At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth.
Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously ¼ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.

27. Roof Line Variation for three or more units:
Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)

28. Height and Project Massing:
Project design minimizes bulk of buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including:
a. Changes in roof form and heights; and
b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)

29. Separate Structures-Attached Projects:
Large projects shall be divided into separate structures. The maximum number of units per structure is as follows
a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement.

30. Building Colors:
The project has provided a sample color palette of complementary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.

31. Window Design:
The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project:

a. Minimum depth of at least 1 ½ inches from glass to exterior of trim;

b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or,

c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.

32. Glazing:
Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.

33. Exterior Lighting and Illumination:
Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.

- 34. Equipment Screening:**
All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment.

36. Garage Door Design:
The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee.

39. Multi Family Roof Form:
The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units. (GP Policy CNF-11.22)

40. Massing for three story buildings or taller:
Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.

41. Distinct material changes for three story buildings or taller:
Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building facade with frontage upon a street, adjacent public park or public open space.



FRONT LEFT PERSPECTIVE

COLOR SCHEME A

- CONCRETE S-ROOF TILE

STONE VENEER

METAL RAILINGS

STUCCO BODY 1
WINDOW TRIM 1

STUCCO BODY 2
WINDOW TRIM 2

STUCCO BODY 3
WINDOW TRIM 3

TRELLIS AND COLUMNS
ENTRY DOOR
GARAGE DOOR
WINDOW TRIM 4



LEFT ELEVATION



FRONT ELEVATION

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- 24. Fences:**
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- 25. 360 Degree Architecture:**
The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements.
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REAR RIGHT PERSPECTIVE

- CONCRETE S-ROOF TILE
- STONE VENEER
- METAL RAILINGS
- STUCCO BODY 1
WINDOW TRIM 1
- STUCCO BODY 2
WINDOW TRIM 2
- STUCCO BODY 3
WINDOW TRIM 3
- TRELLIS AND COLUMNS
ENTRY DOOR
GARAGE DOOR
WINDOW TRIM 4



RIGHT ELEVATION



REAR ELEVATION

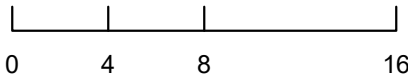


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BROOKFIELD RESIDENTIAL

ROSEWOOD
MORGAN HILL, CA # 2020-0912

CONCEPTUAL PLANNING
MARCH 25, 2022



BUILDING ELEVATIONS- 4 PLEX
COLOR SCHEME A

A2.0.1

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31. Window Design:
The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project:

a. Minimum depth of at least 1 ½ inches from glass to exterior of trim;

b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or,

c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.

32. Glazing:
Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.

33. Exterior Lighting and Illumination:
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36. Garage Door Design:
The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee.

39. Multi Family Roof Form:
The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units. (GP Policy CNF-11.22)

40. Massing for three story buildings or taller:
Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.

41. Distinct material changes for three story buildings or taller:
Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building facade with frontage upon a street, adjacent public park or public open space.



COLOR SCHEME B

- CONCRETE S-ROOF TILE
- STONE VENEER
- METAL RAILINGS
- STUCCO BODY 1
WINDOW TRIM 1
- STUCCO BODY 2
WINDOW TRIM 2
- STUCCO BODY 3
WINDOW TRIM 3
- TRELLIS AND COLUMNS
ENTRY DOOR
GARAGE DOOR
WINDOW TRIM 4

FRONT LEFT PERSPECTIVE



LEFT ELEVATION



FRONT ELEVATION

DESIGN STANDARDS:

- 22. Front Porches:**
50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.
- 23. Balconies:**
25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum of 6 feet by 4 feet.
- 24. Fences:**
All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.
- 25. 360 Degree Architecture:**
The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements.
All facades (sides and rear) must have the level of detail, and maerials (GP Policy CNF-11.16)
- 26. Exterior Treatments and Materials:**
At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth.
Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously ¼ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.
- 27. Roof Line Variation for three or more units:**
Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)
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Project design minimizes bulk of buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including:
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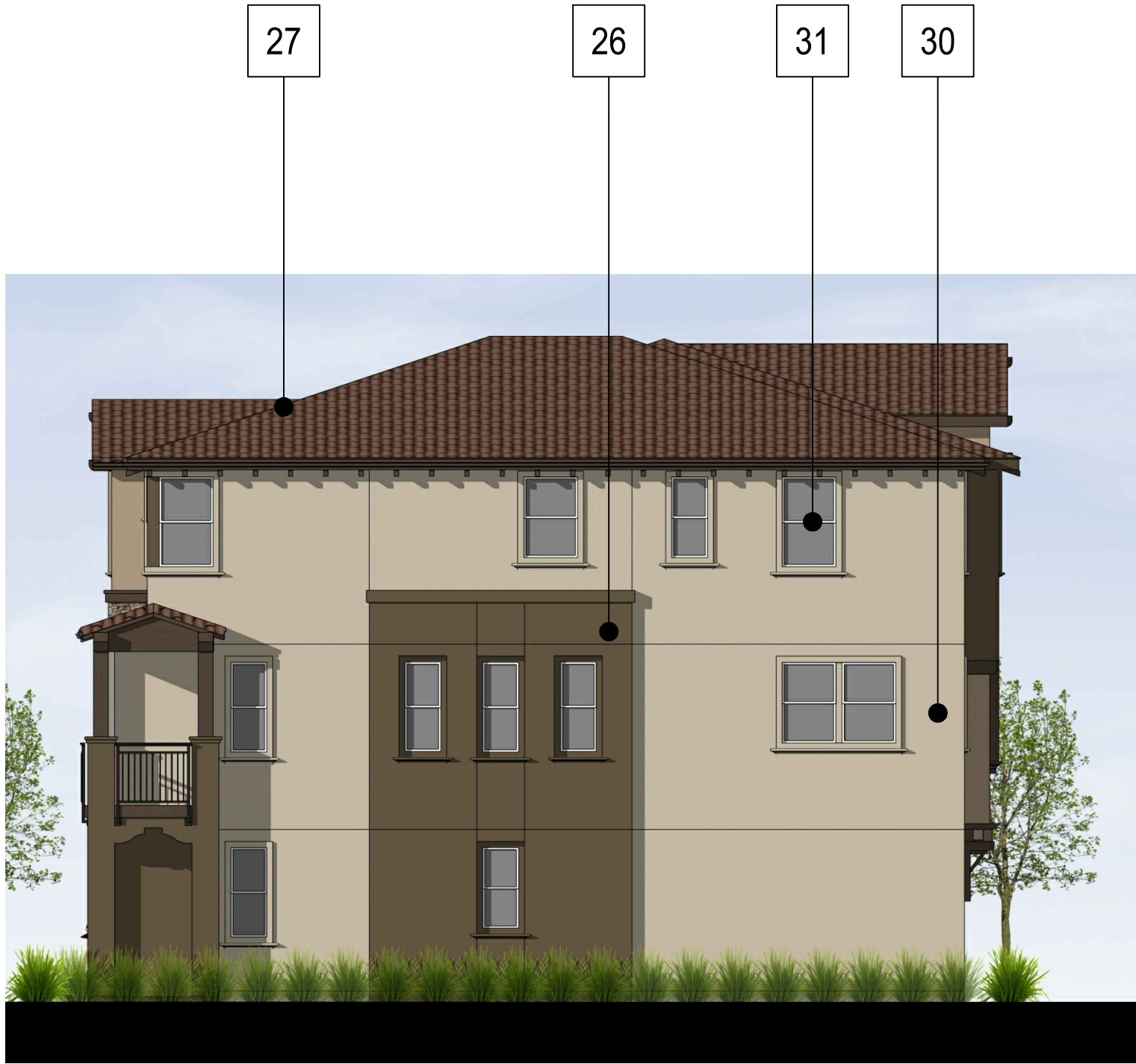
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REAR RIGHT PERSPECTIVE

- CONCRETE S-ROOF TILE
- STONE VENEER
- METAL RAILINGS
- STUCCO BODY 1
WINDOW TRIM 1
- STUCCO BODY 2
WINDOW TRIM 2
- STUCCO BODY 3
WINDOW TRIM 3
- TRELLIS AND COLUMNS
ENTRY DOOR
GARAGE DOOR
WINDOW TRIM 4



RIGHT ELEVATION



REAR ELEVATION

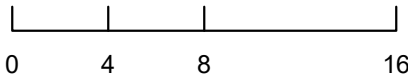


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BROOKFIELD RESIDENTIAL

ROSEWOOD
MORGAN HILL, CA # 2020-0912

CONCEPTUAL PLANNING
MARCH 25, 2022



BUILDING ELEVATIONS- 4 PLEX
COLOR SCHEME B

A2.1.1

DESIGN STANDARDS:

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FRONT LEFT PERSPECTIVE

COLOR SCHEME A

- CONCRETE S-ROOF TILE

STONE VENEER

METAL RAILINGS

STUCCO BODY 1
WINDOW TRIM 1

STUCCO BODY 2
WINDOW TRIM 2

STUCCO BODY 3
WINDOW TRIM 3

TRELLIS AND COLUMNS
ENTRY DOOR
GARAGE DOOR
WINDOW TRIM 4



LEFT ELEVATION



FRONT ELEVATION

DESIGN STANDARDS:

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REAR RIGHT PERSPECTIVE

- CONCRETE S-ROOF TILE
- STONE VENEER
- METAL RAILINGS
- STUCCO BODY 1
WINDOW TRIM 1
- STUCCO BODY 2
WINDOW TRIM 2
- STUCCO BODY 3
WINDOW TRIM 3
- TRELLIS AND COLUMNS
ENTRY DOOR
GARAGE DOOR
WINDOW TRIM 4



RIGHT ELEVATION



REAR ELEVATION

DESIGN STANDARDS:

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50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.

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FRONT LEFT PERSPECTIVE

COLOR SCHEME B

- 

CONCRETE S-ROOF TILE



STONE VENEER



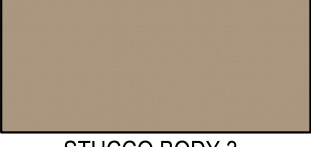
METAL RAILINGS



STUCCO BODY 1
WINDOW TRIM 1



STUCCO BODY 2
WINDOW TRIM 2



STUCCO BODY 3
WINDOW TRIM 3



TRELLIS AND COLUMNS
ENTRY DOOR
GARAGE DOOR
WINDOW TRIM 4



LEFT ELEVATION



FRONT ELEVATION



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BROOKFIELD RESIDENTIAL

ROSEWOOD
MORGAN HILL, CA # 2020-0912

CONCEPTUAL PLANNING
MARCH 25, 2022



BUILDING ELEVATIONS- 5 PLEX
COLOR SCHEME B

A2.3.0

DESIGN STANDARDS:

22. Front Porches:
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b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or,

c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.

32. Glazing:
Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.

33. Exterior Lighting and Illumination:
Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.

34. Equipment Screening:
All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment.

36. Garage Door Design:
The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee.

39. Multi Family Roof Form:
The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units. (GP Policy CNF-11.22)

40. Massing for three story buildings or taller:
Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.

41. Distinct material changes for three story buildings or taller:
Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building facade with frontage upon a street, adjacent public park or public open space.



REAR RIGHT PERSPECTIVE

- CONCRETE S-ROOF TILE
- STONE VENEER
- METAL RAILINGS
- STUCCO BODY 1 WINDOW TRIM 1
- STUCCO BODY 2 WINDOW TRIM 2
- STUCCO BODY 3 WINDOW TRIM 3
- TRELLIS AND COLUMNS ENTRY DOOR GARAGE DOOR WINDOW TRIM 4



RIGHT ELEVATION



REAR ELEVATION

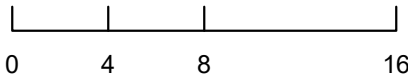


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BROOKFIELD RESIDENTIAL

ROSEWOOD
MORGAN HILL, CA # 2020-0912

CONCEPTUAL PLANNING
MARCH 25, 2022



BUILDING ELEVATIONS- 5 PLEX
COLOR SCHEME B

A2.3.1

DESIGN STANDARDS:

- 22. Front Porches:**
50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.

23. Balconies:
25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum of 6 feet by 4 feet.

24. Fences:
All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.

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The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements.
All facades (sides and rear) must have the level of detail, and maerials (GP Policy CNF-11.16)

26. Exterior Treatments and Materials:
At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth.
Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously ¼ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.

27. Roof Line Variation for three or more units:
Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)

28. Height and Project Massing:
Project design minimizes bulk of buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including:
a. Changes in roof form and heights; and
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Large projects shall be divided into separate structures. The maximum number of units per structure is as follows
a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement.

30. Building Colors:
The project has provided a sample color palette of complementary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.

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The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project:

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FRONT LEFT PERSPECTIVE

- CONCRETE S-ROOF TILE

STONE VENEER

METAL RAILINGS

STUCCO BODY 1
WINDOW TRIM 1

STUCCO BODY 2
WINDOW TRIM 2

STUCCO BODY 3
WINDOW TRIM 3

TRELLIS AND COLUMNS
ENTRY DOOR
GARAGE DOOR
WINDOW TRIM 4



LEFT ELEVATION



FRONT ELEVATION

DESIGN STANDARDS:

- 22. Front Porches:**
50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.

23. Balconies:
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- 

CONCRETE S-ROOF TILE



STONE VENEER



METAL RAILINGS



STUCCO BODY 1
WINDOW TRIM 1



STUCCO BODY 2
WINDOW TRIM 2

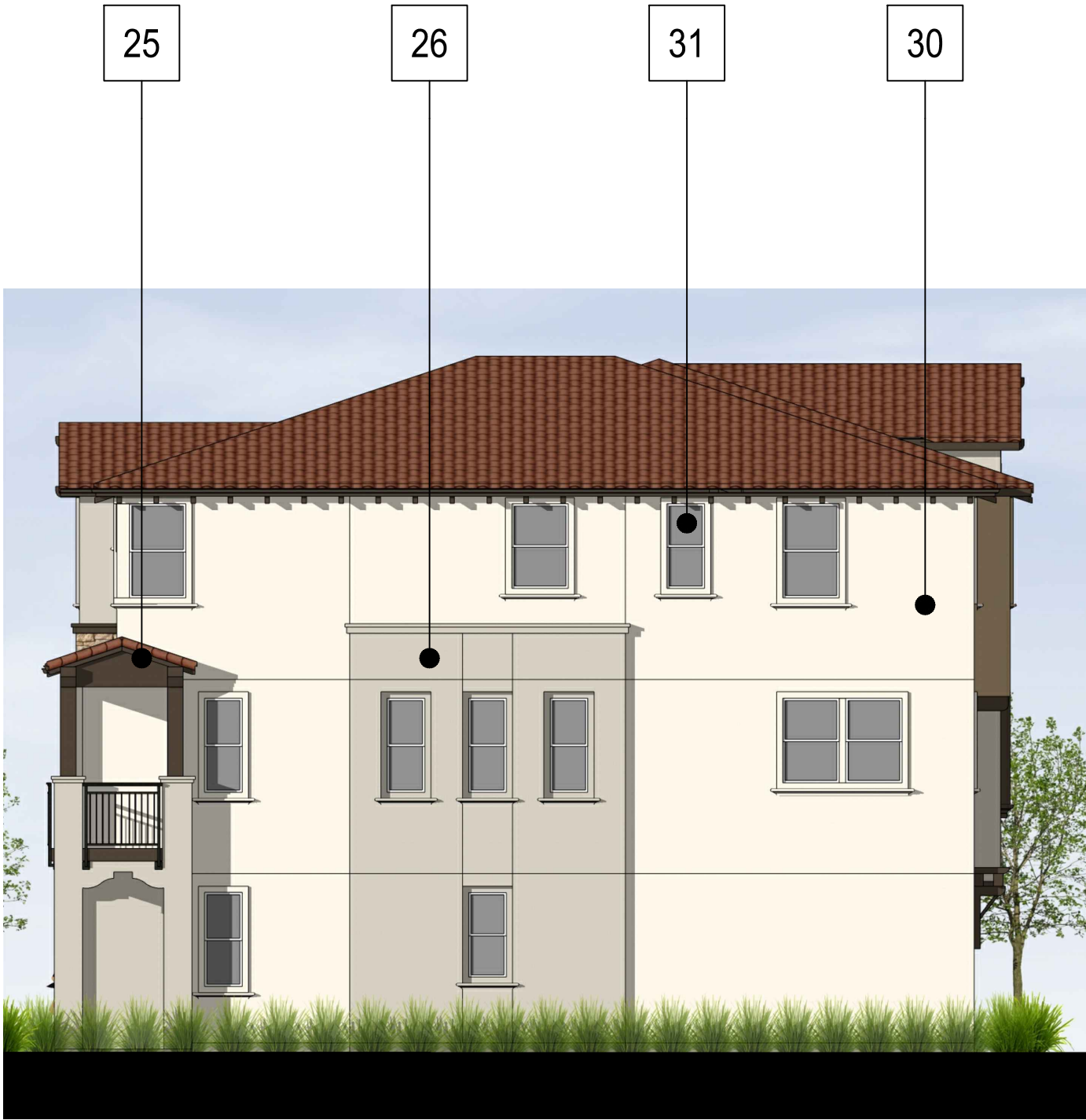


STUCCO BODY 3
WINDOW TRIM 3



TRELLIS AND COLUMNS
ENTRY DOOR
GARAGE DOOR
WINDOW TRIM 4

REAR RIGHT PERSPECTIVE



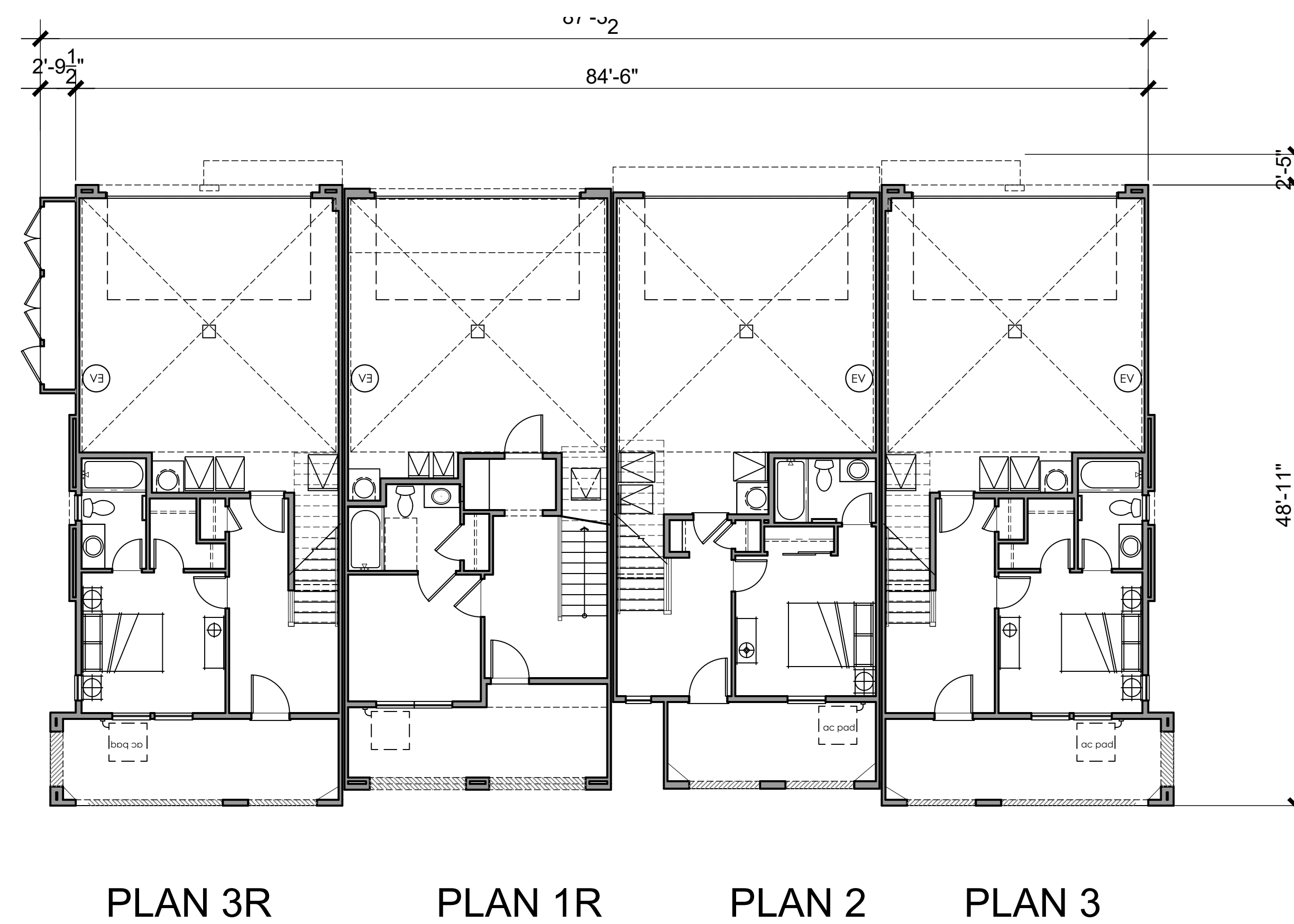
RIGHT ELEVATION



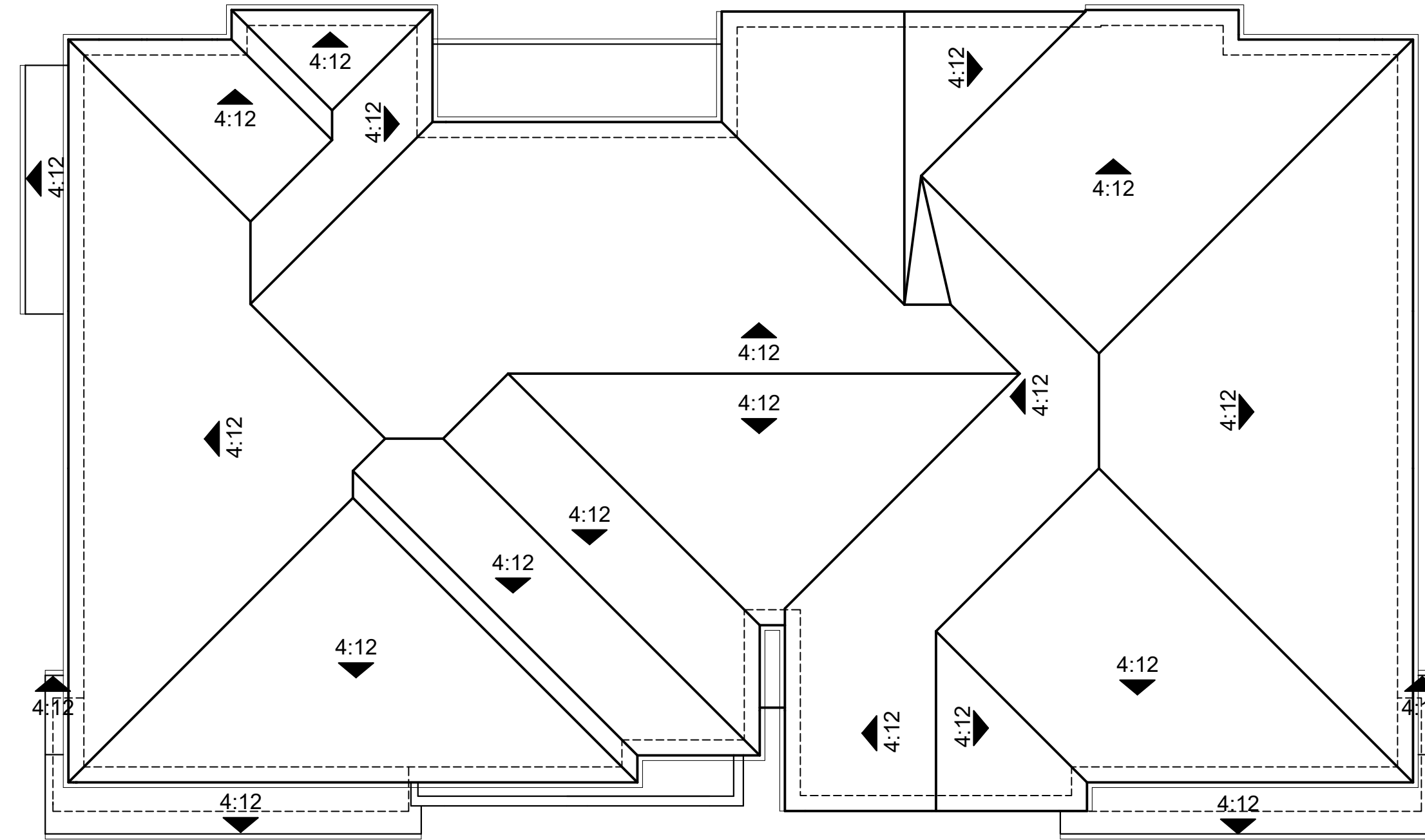
REAR ELEVATION



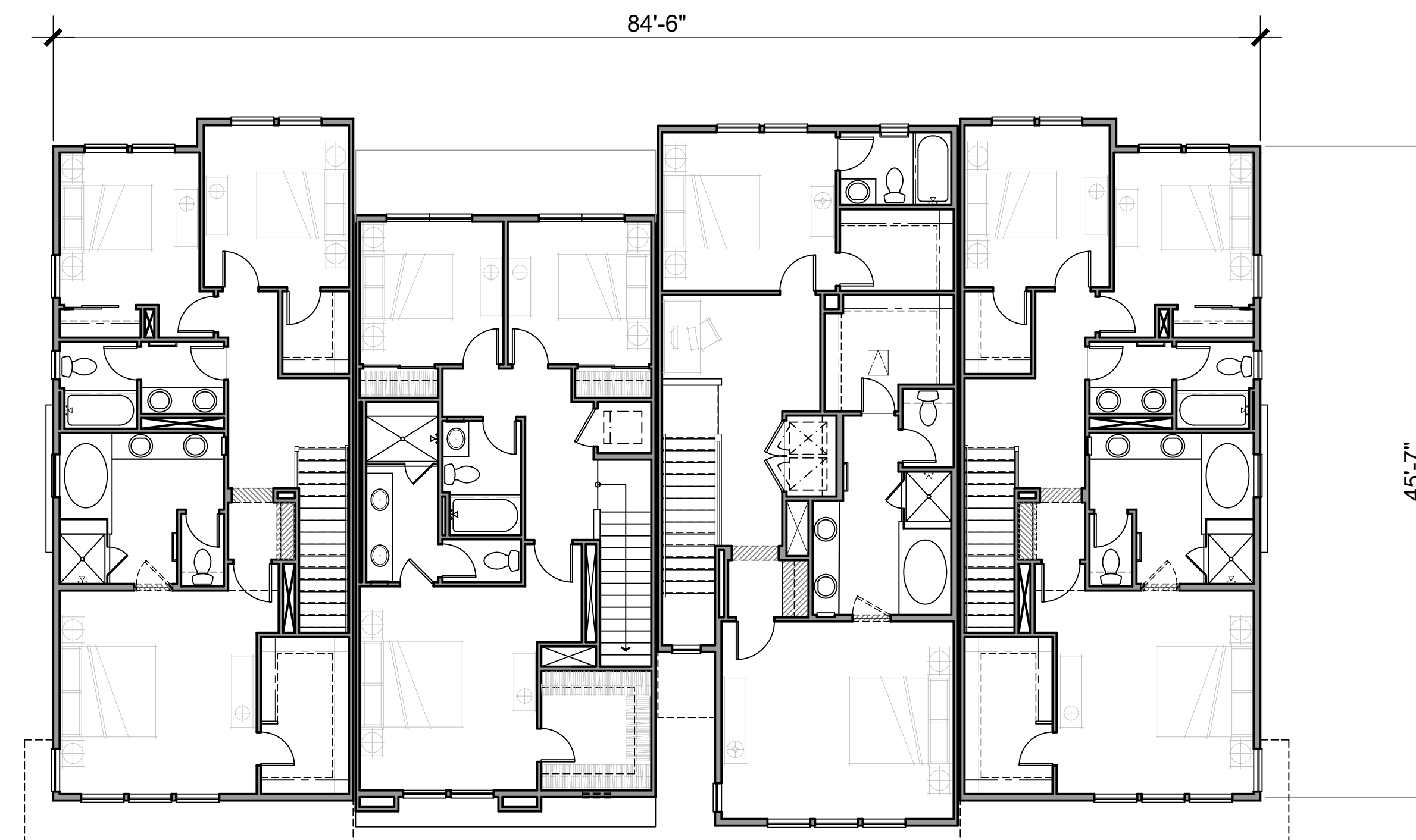
LEVEL 2
P3R-P1R-P2-P3



LEVEL 1
P3R-P1R-P2-P3



ROOF



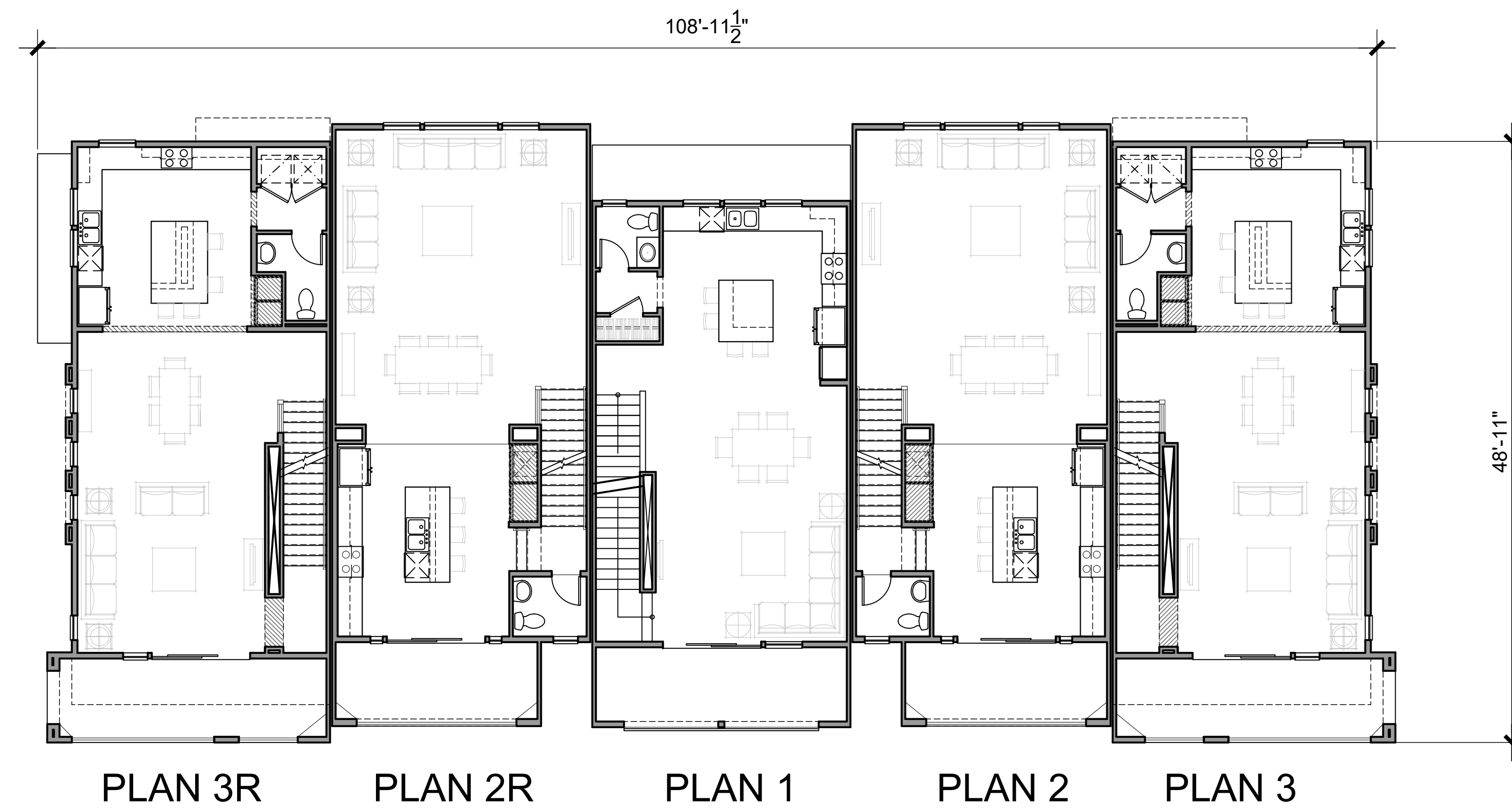
PLAN 3R

PLAN 1R

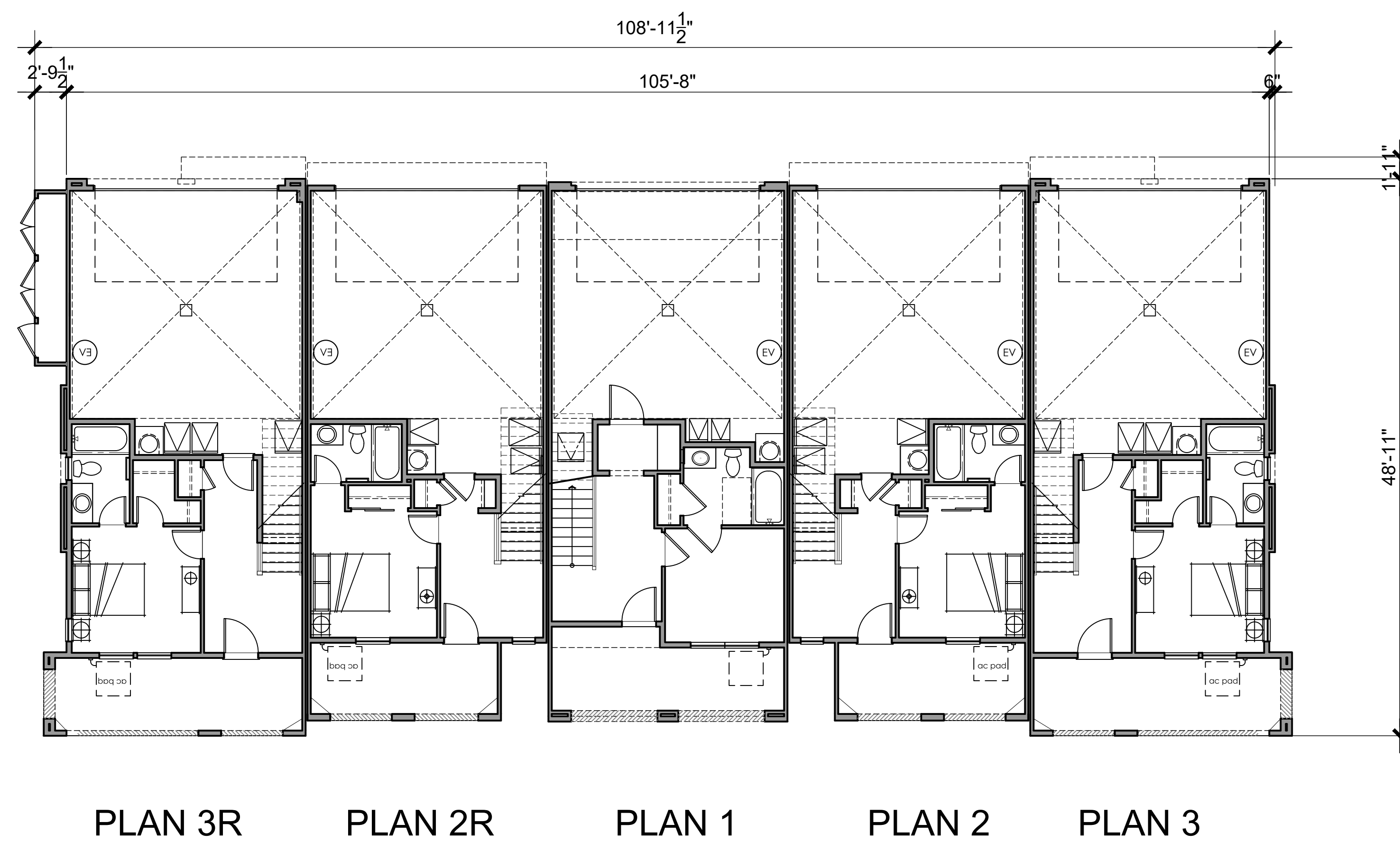
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PLAN 3

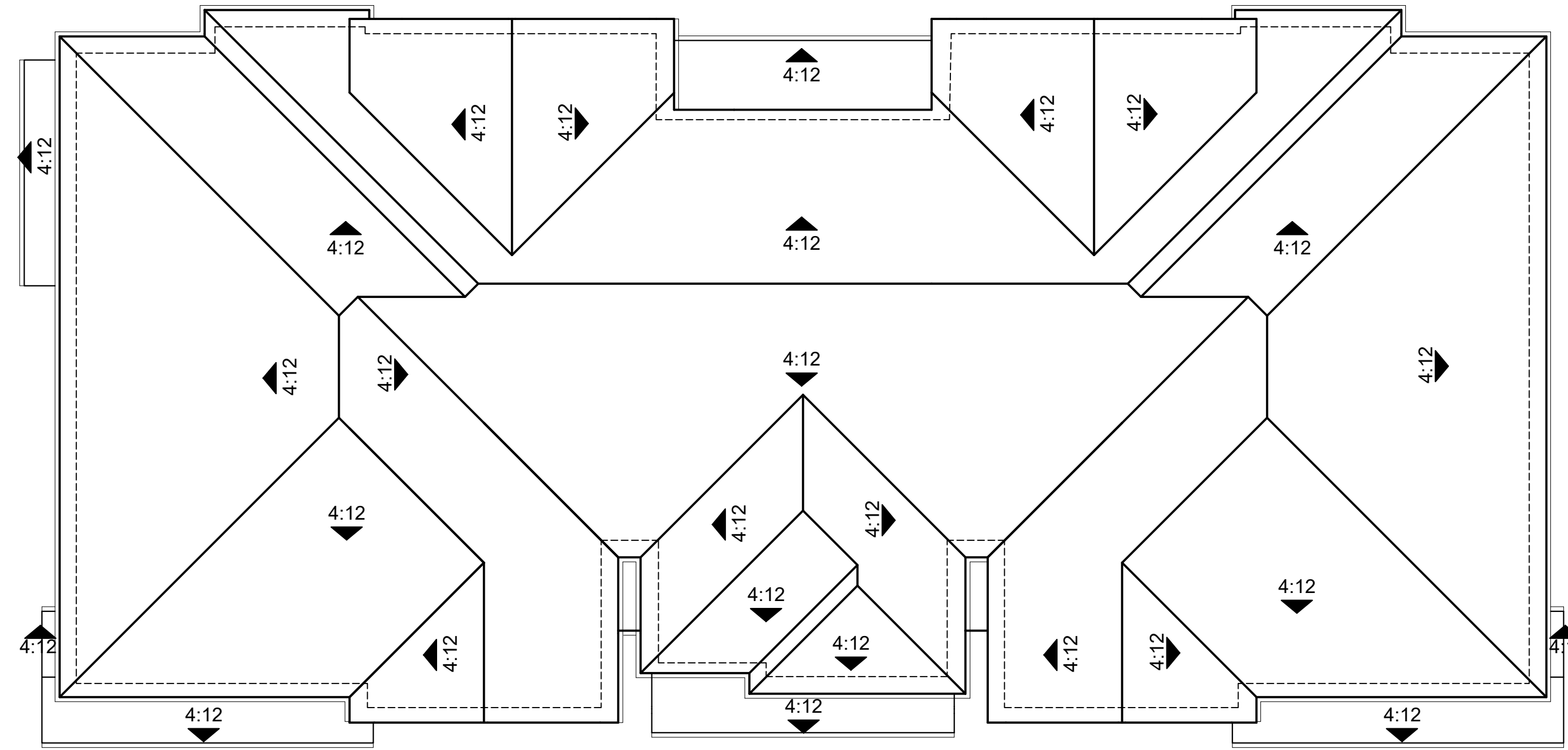
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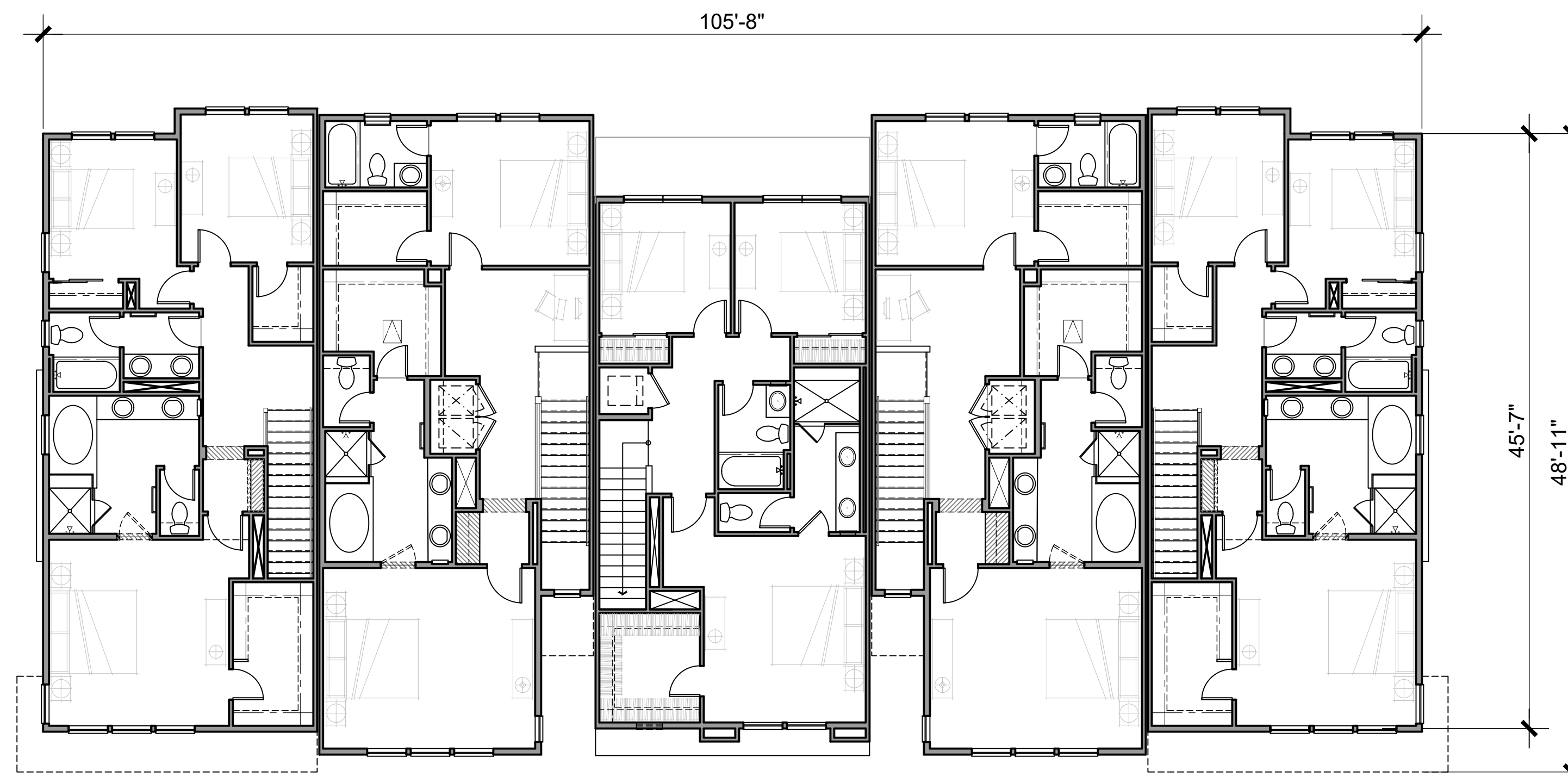
LEVEL 2
P3R-P2R-P1-P2-P3



LEVEL 1
P3R-P2R-P1-P2-P3



ROOF



PLAN 3R

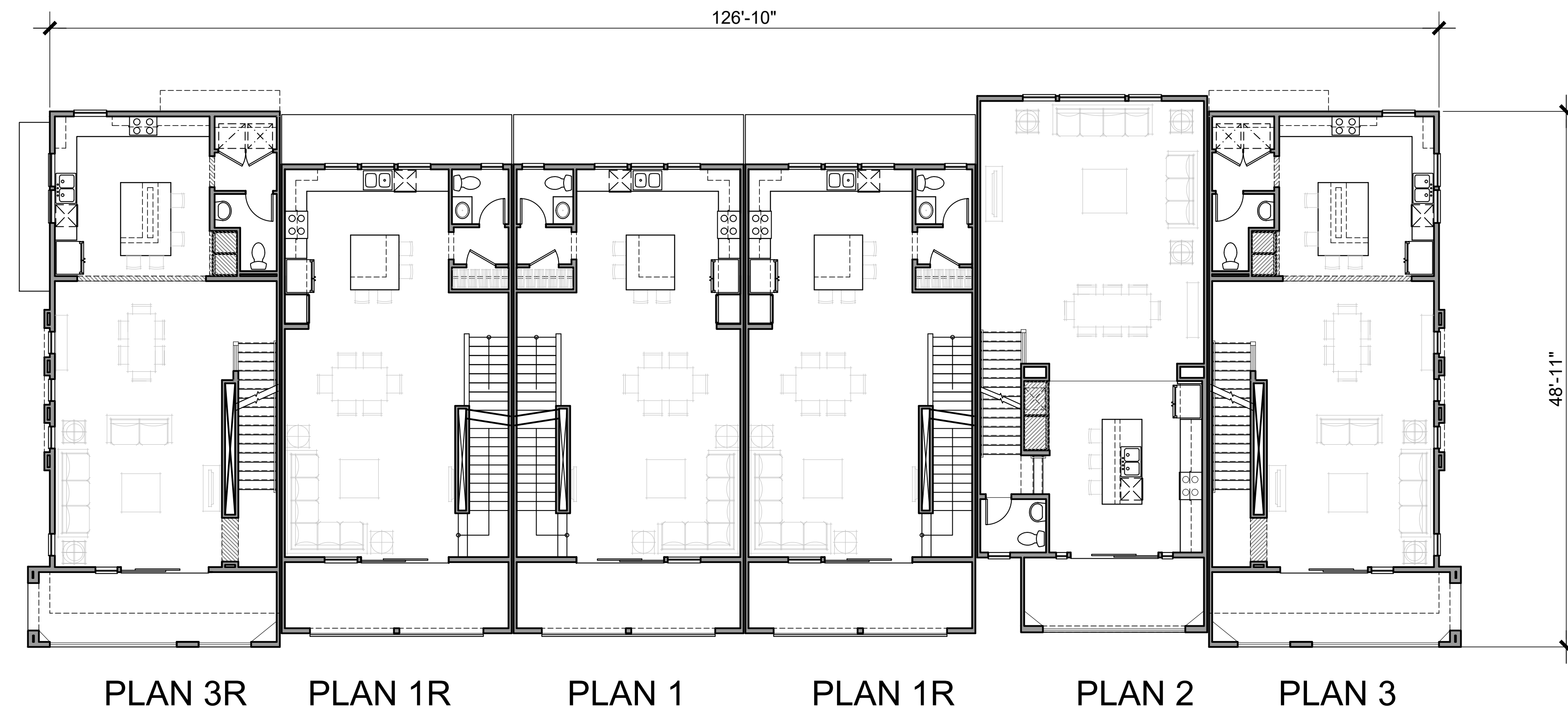
PLAN 2R

PLAN 1

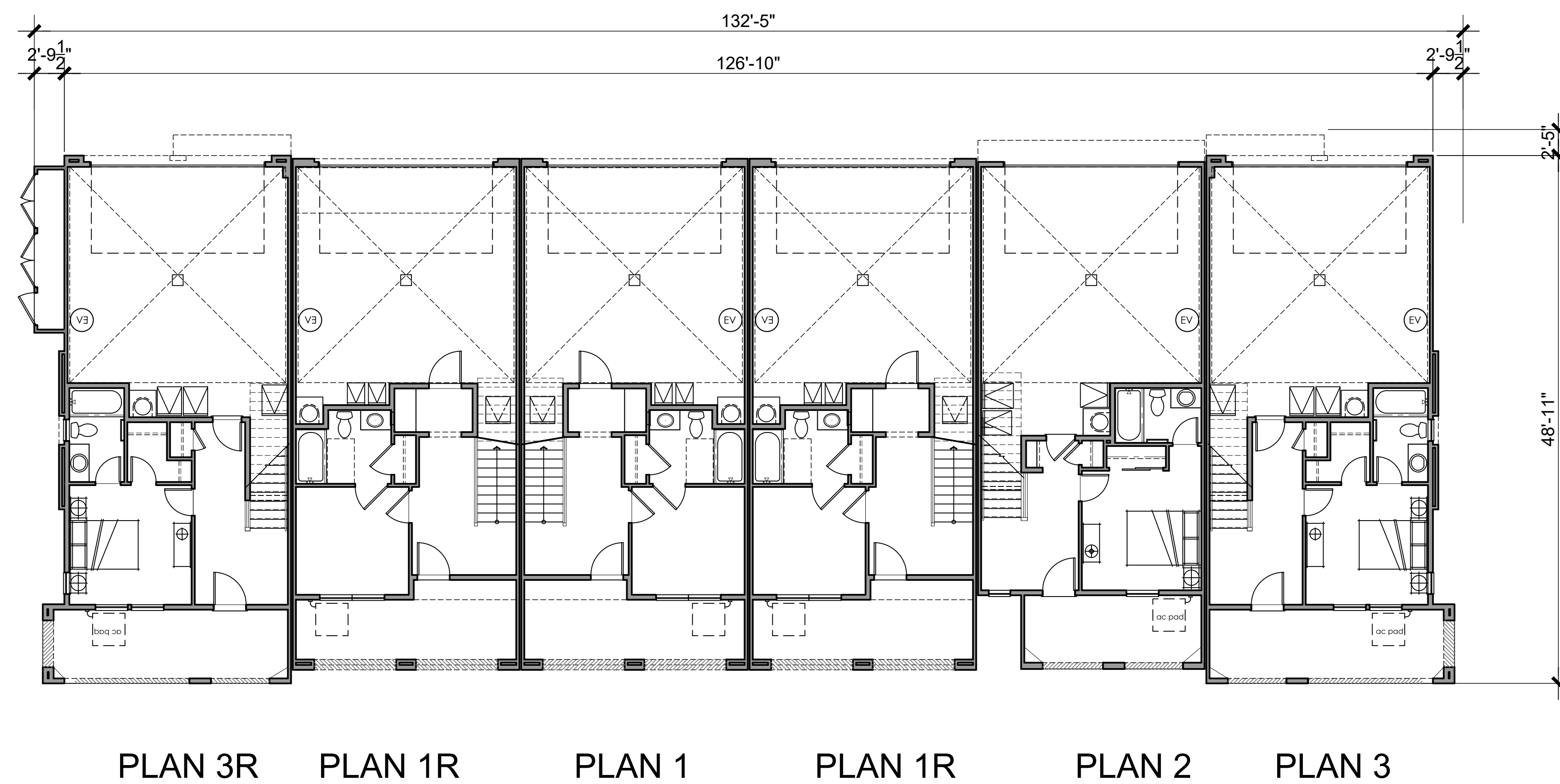
PLAN 2

PLAN 3

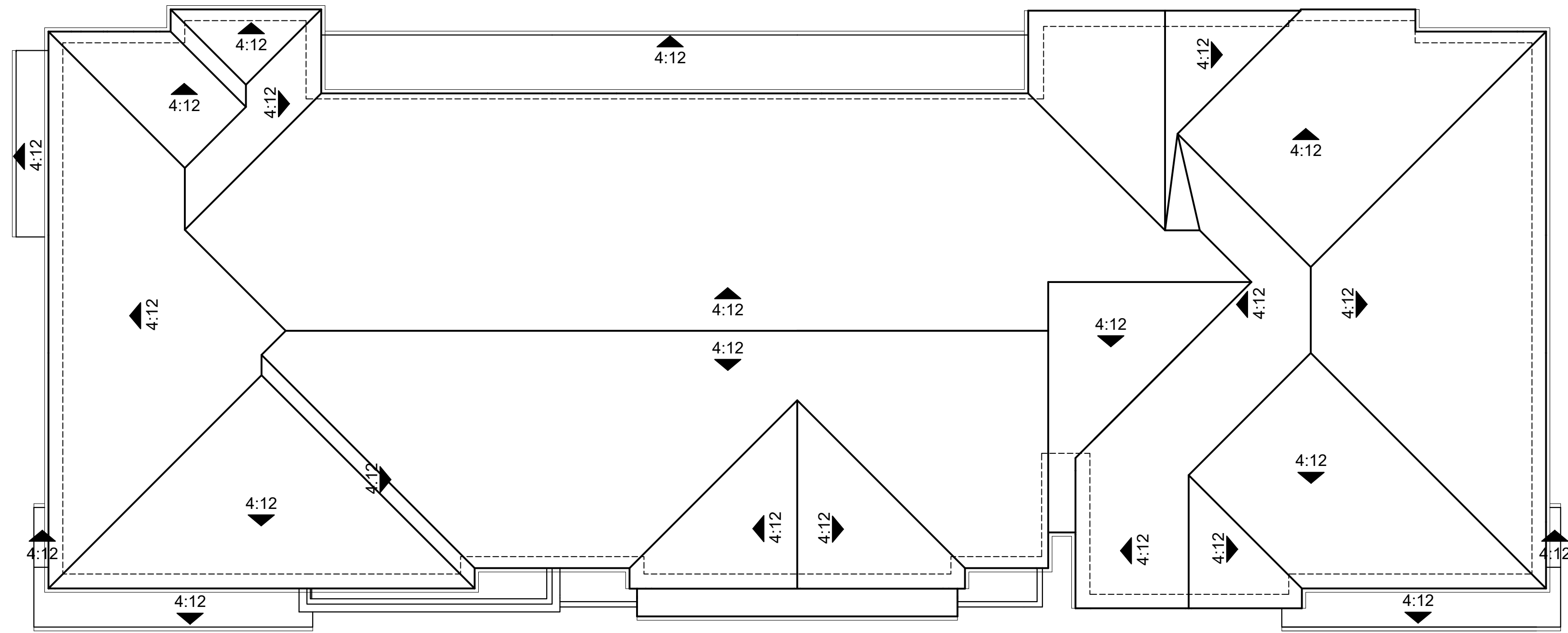
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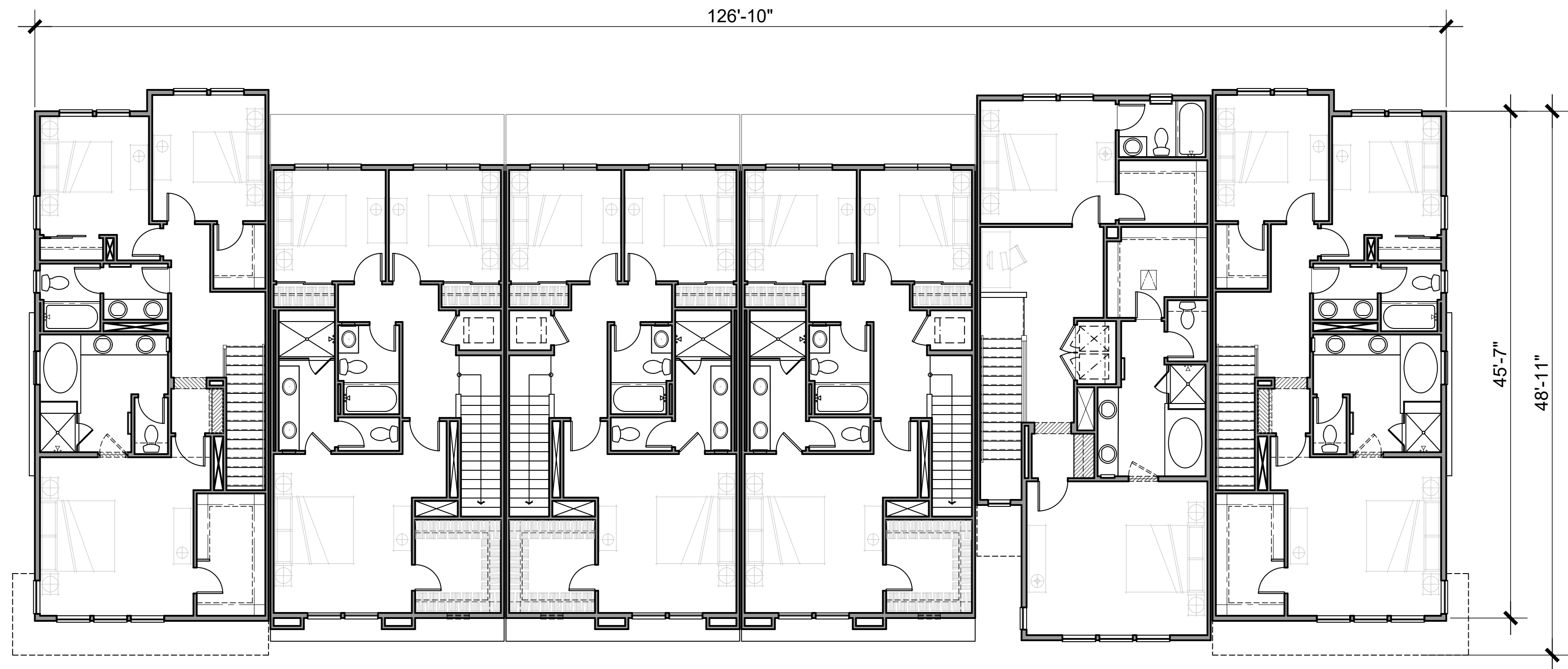
LEVEL 2
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LEVEL 1
P3R-P1R-P1-P1R-P2-P3



ROOF



PLAN 3R PLAN 1R PLAN 1 PLAN 1R PLAN 2 PLAN 3

LEVEL 3
P3R-P1R-P1-P1R-P2-P3

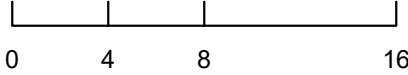


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BROOKFIELD RESIDENTIAL

ROSEWOOD
MORGAN HILL, CA # 2020-0912

CONCEPTUAL PLANNING
MARCH 25, 2022



BUILDING PLANS- 6 PLEX

A2.7.1

DESIGN STANDARDS:

| |
|---|
| 22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet. |
| 23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum of 6 feet by 4 feet. |
| 24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted. |
| 25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and maerials (GP Policy CNF-11.16) |
| 26. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously ¼ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges. |
| 27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.) |
| 28. Height and Project Massing: Project design minimizes bulk of buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and heights; and b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22) |
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| |
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COLOR SCHEME A



FRONT LEFT PERSPECTIVE

| | |
|--|--------------------------------|
| | CONCRETE S-ROOF TILE |
| | STONE VENEER |
| | STUCCO BODY 1 WINDOW TRIM 1 |
| | STUCCO BODY 2 WINDOW TRIM 2 |
| | COLUMNS WINDOW TRIM 3 |
| | ENTRY DOOR GARAGE DOOR |



LEFT ELEVATION



FRONT ELEVATION

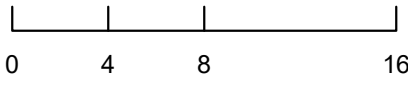


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BROOKFIELD RESIDENTIAL

ROSEWOOD
MORGAN HILL, CA # 2020-0912

CONCEPTUAL PLANNING
MARCH 25, 2022



DUET- ELEVATIONS
COLOR SCHEME A



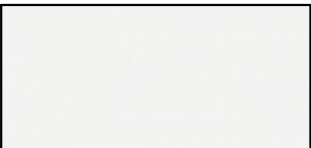
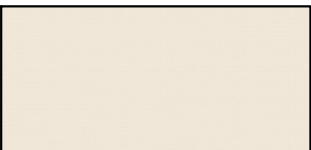
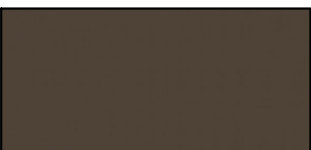

A3.0.0

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| |
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| 33. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details. |

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| 36. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee. |
| 39. Multi Family Roof Form: The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units. (GP Policy CNF-11.22) |
| 40. Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building. |
| 41. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building facade with frontage upon a street, adjacent public park or public open space. |

COLOR SCHEME A

| | |
|---|--------------------------------|
|  | CONCRETE S-ROOF TILE |
|  | STONE VENEER |
|  | STUCCO BODY 1 WINDOW TRIM 1 |
|  | STUCCO BODY 2 WINDOW TRIM 2 |
|  | COLUMNS WINDOW TRIM 3 |
|  | ENTRY DOOR GARAGE DOOR |



FRONT RIGHT PERSPECTIVE



RIGHT ELEVATION



REAR ELEVATION

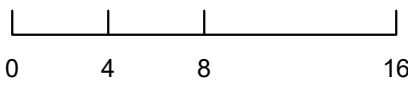


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BROOKFIELD RESIDENTIAL

ROSEWOOD
MORGAN HILL, CA # 2020-0912

CONCEPTUAL PLANNING
MARCH 25, 2022



DUET- ELEVATIONS
COLOR SCHEME A

A3.0.1

DESIGN STANDARDS:

- 22. Front Porches:**
50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.

23. Balconies:
25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum of 6 feet by 4 feet.

24. Fences:
All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.

25. 360 Degree Architecture:
The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements.
All facades (sides and rear) must have the level of detail, and maerials (GP Policy CNF-11.16)

26. Exterior Treatments and Materials:
At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth.
Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously ¼ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.

27. Roof Line Variation for three or more units:
Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)

28. Height and Project Massing:
Project design minimizes bulk of buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including:
a. Changes in roof form and heights; and
b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)

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Large projects shall be divided into separate structures. The maximum number of units per structure is as follows
a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement.

30. Building Colors:
The project has provided a sample color palette of complementary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.

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The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units. (GP Policy CNF-11.22)

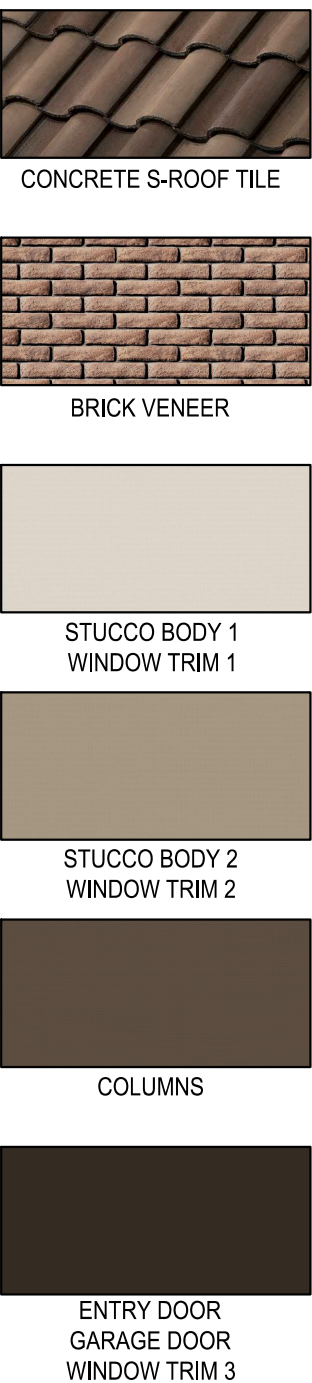
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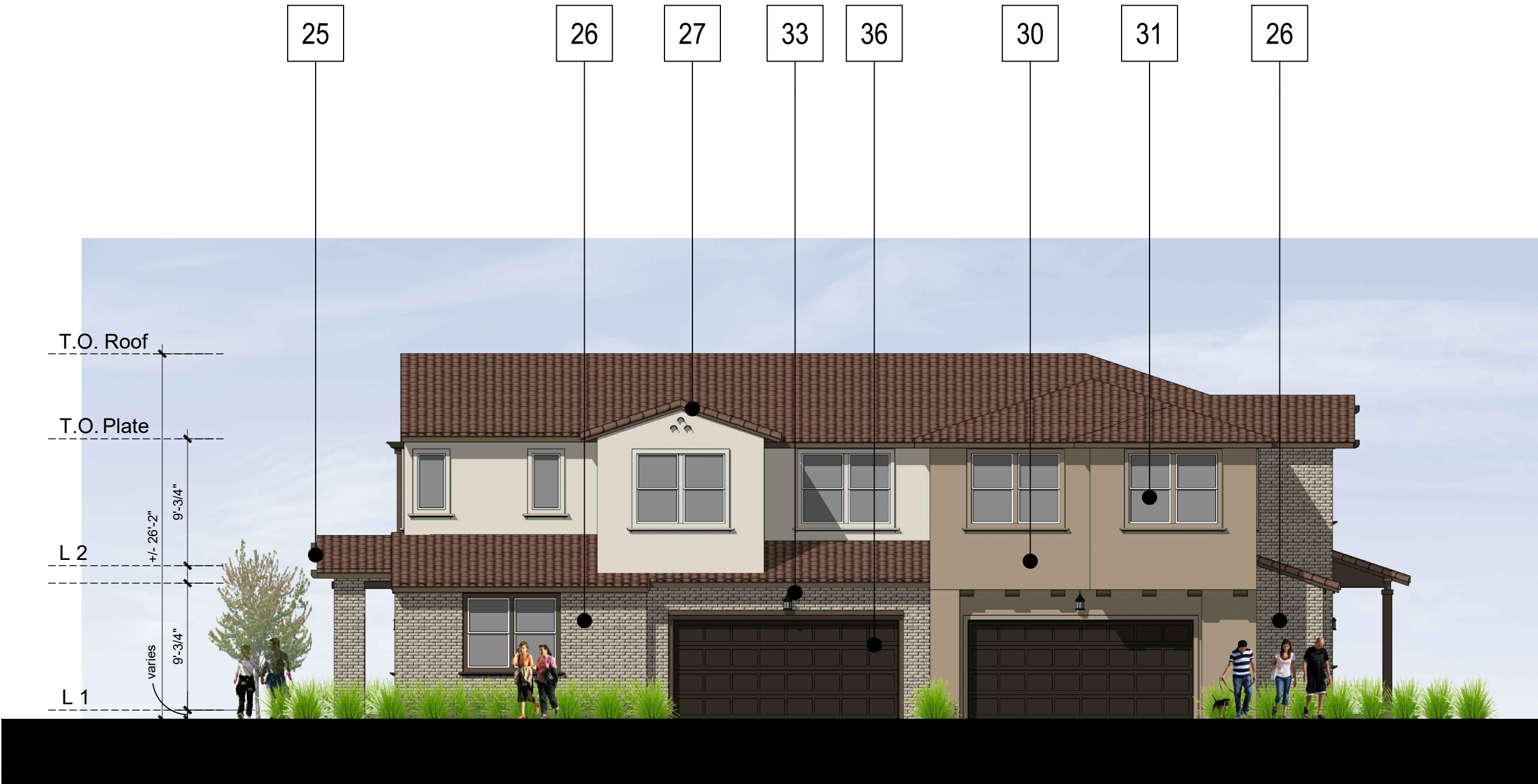


FRONT LEFT PERSPECTIVE

COLOR SCHEME B



LEFT ELEVATION



FRONT ELEVATION

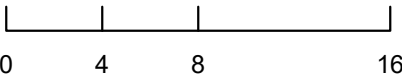


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BROOKFIELD RESIDENTIAL

ROSEWOOD
MORGAN HILL, CA # 2020-0912

CONCEPTUAL PLANNING
MARCH 25, 2022



DUET- ELEVATIONS
COLOR SCHEME B

A3.1.0

DESIGN STANDARDS:

- 22. Front Porches:**
50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.
- 23. Balconies:**
25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum of 6 feet by 4 feet.
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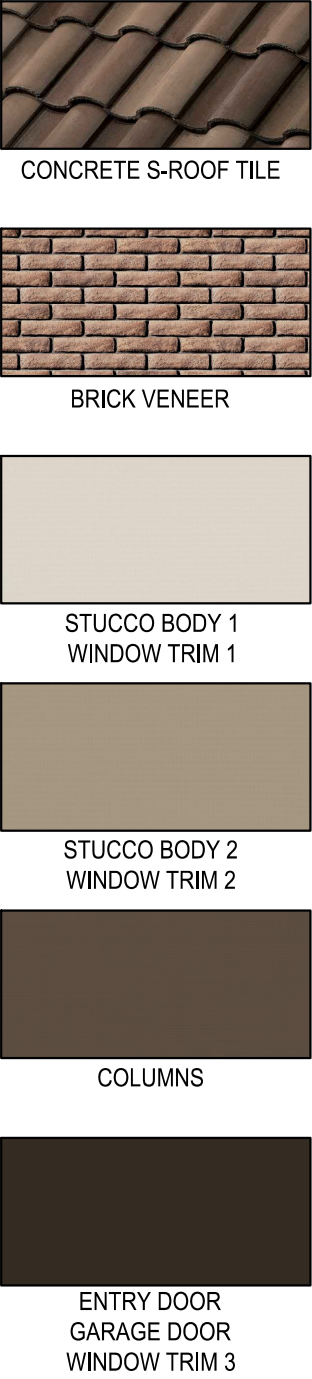
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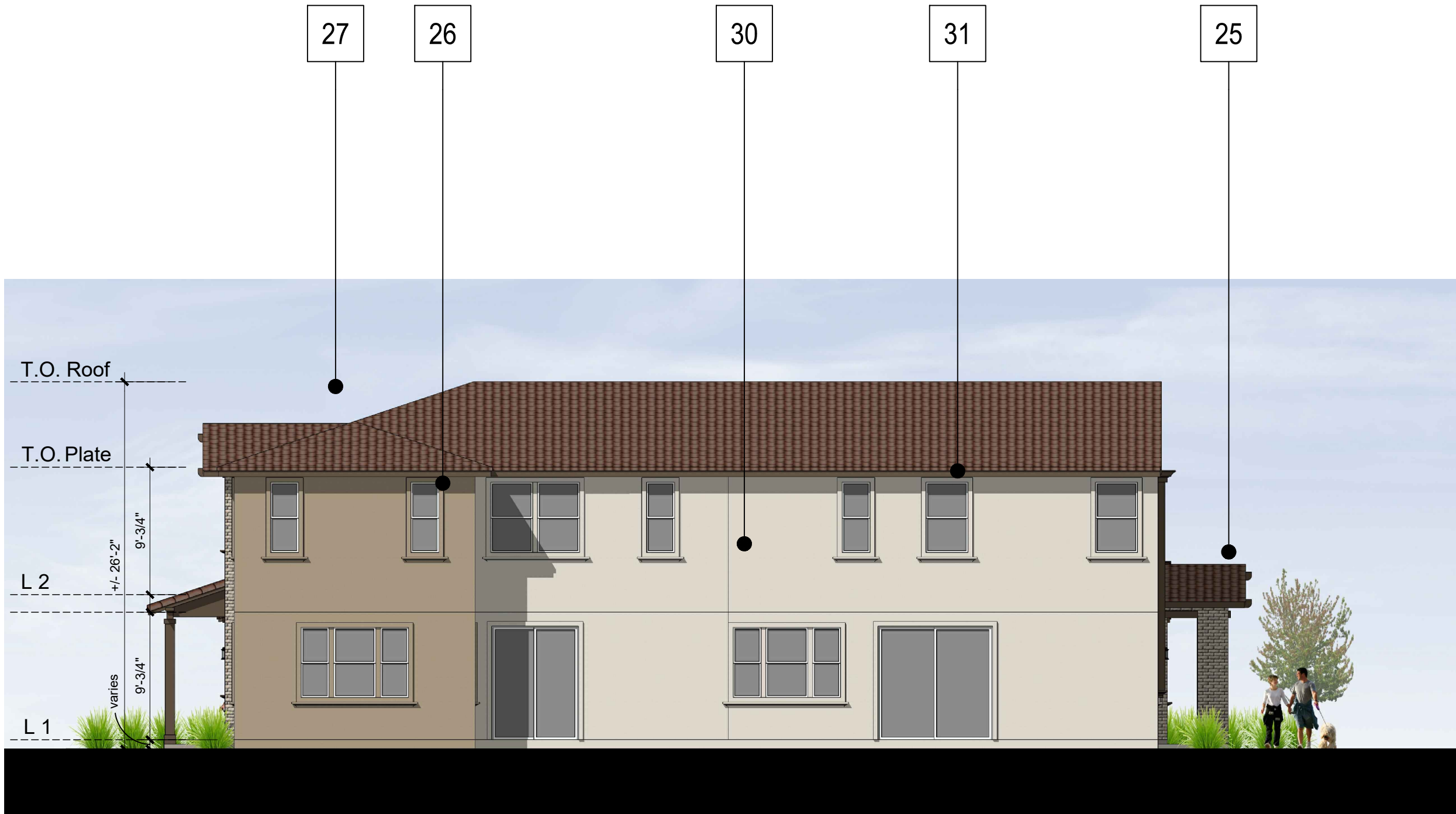


FRONT RIGHT PERSPECTIVE

COLOR SCHEME B



RIGHT ELEVATION



REAR ELEVATION

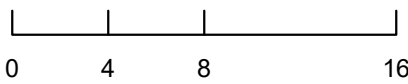


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BROOKFIELD RESIDENTIAL

ROSEWOOD
MORGAN HILL, CA # 2020-0912

CONCEPTUAL PLANNING
MARCH 25, 2022



DUET- ELEVATIONS
COLOR SCHEME B

A3.1.1

DESIGN STANDARDS:

| |
|---|
| 22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet. |
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COLOR SCHEME C



| | |
|--|--|
| | CONCRETE FLAT-ROOF TILE |
| | STONE VENEER |
| | STUCCO BODY 1 WINDOW TRIM 1 |
| | STUCCO BODY 2 WINDOW TRIM 2 |
| | COLUMNS |
| | ENTRY DOOR GARAGE DOOR WINDOW TRIM 3 |

FRONT LEFT PERSPECTIVE



LEFT ELEVATION



FRONT ELEVATION

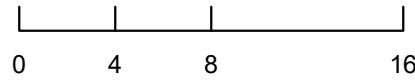


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BROOKFIELD RESIDENTIAL

ROSEWOOD
MORGAN HILL, CA # 2020-0912

CONCEPTUAL PLANNING
MARCH 25, 2022



DUET- ELEVATIONS
COLOR SCHEME C

A3.2.0

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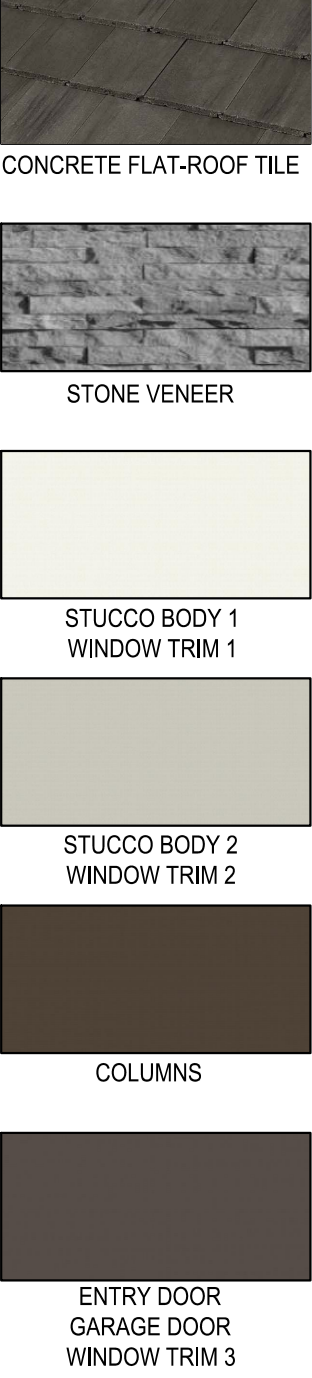
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COLOR SCHEME C



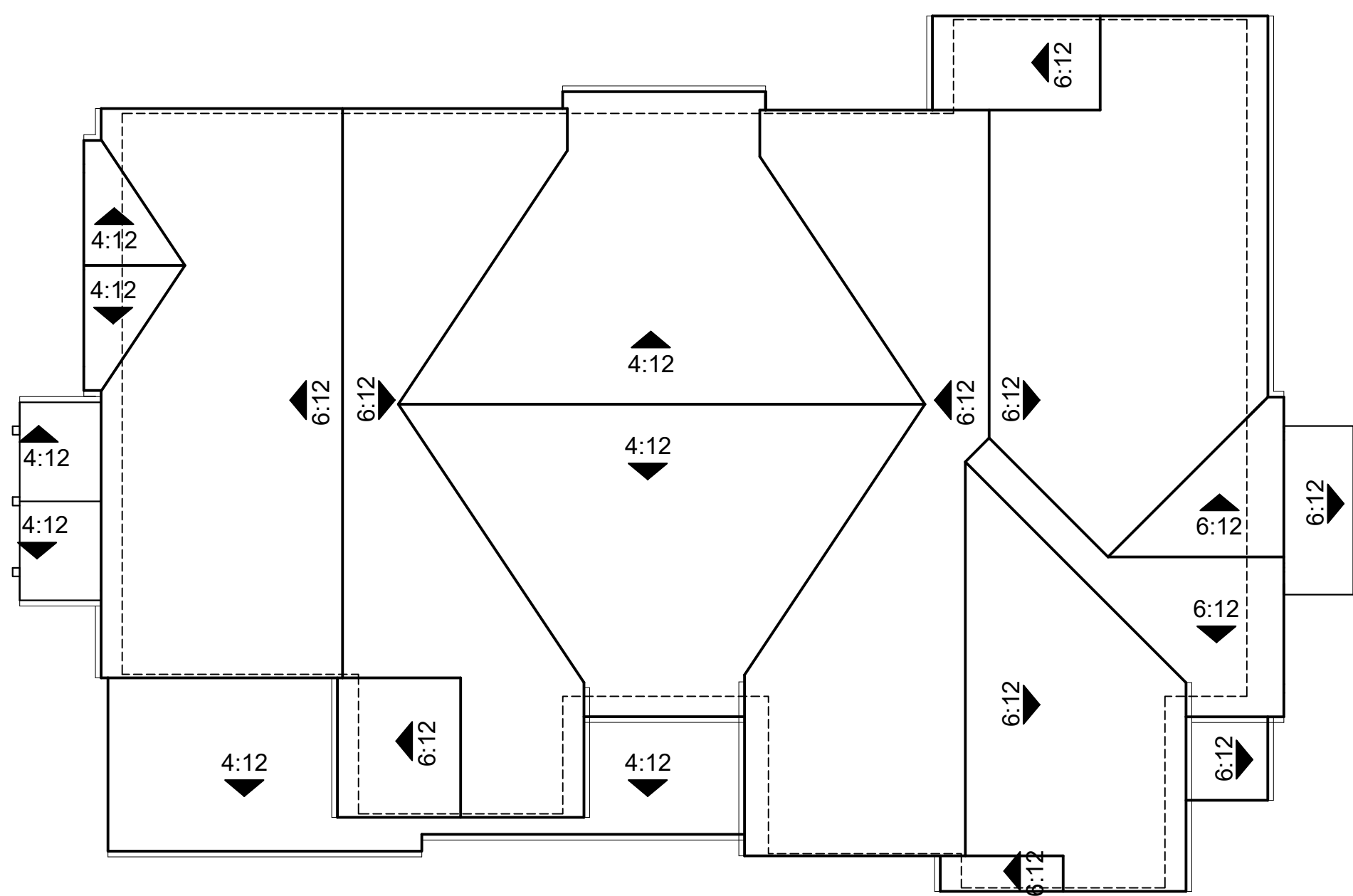
FRONT RIGHT PERSPECTIVE



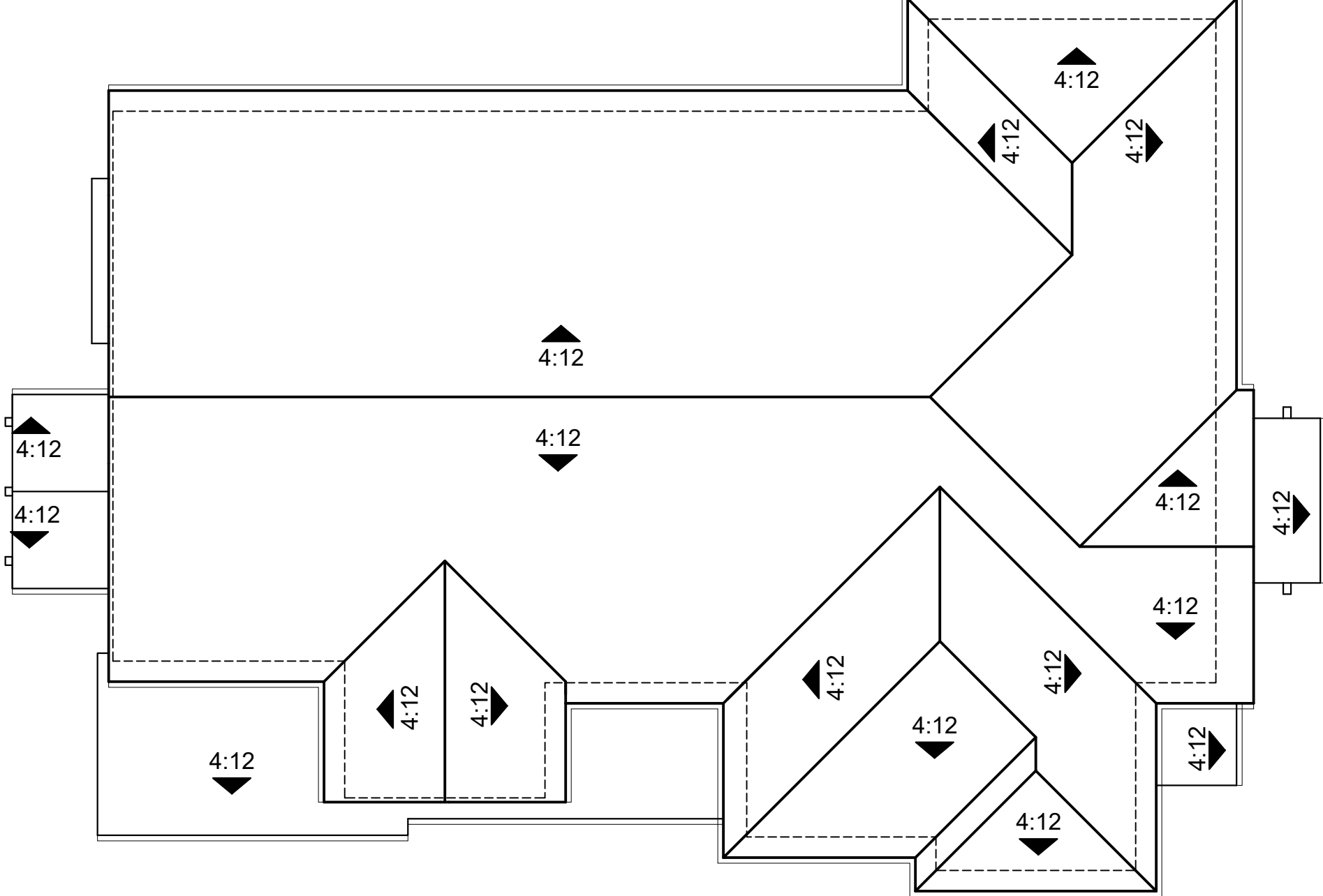
RIGHT ELEVATION



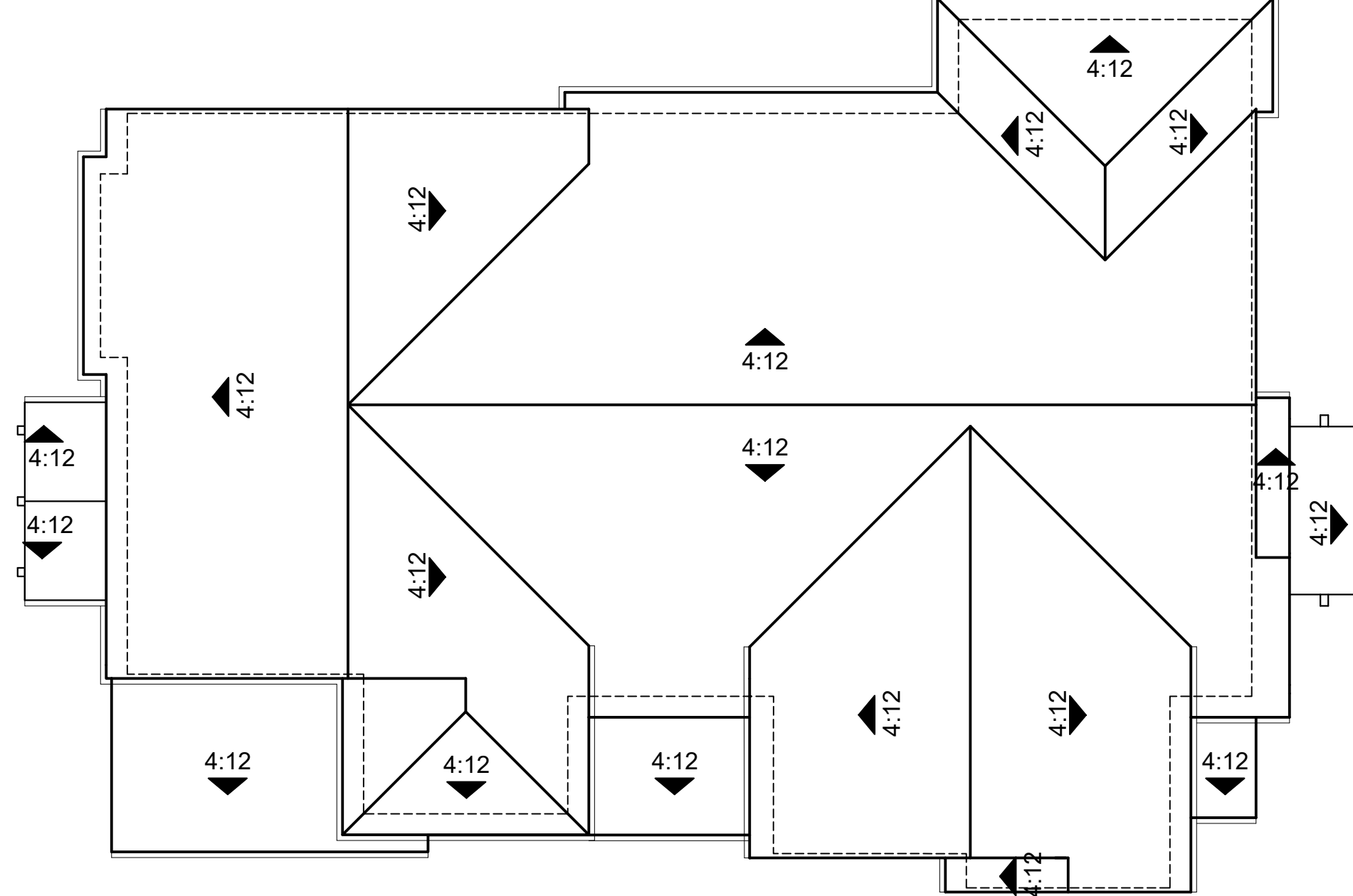
REAR ELEVATION



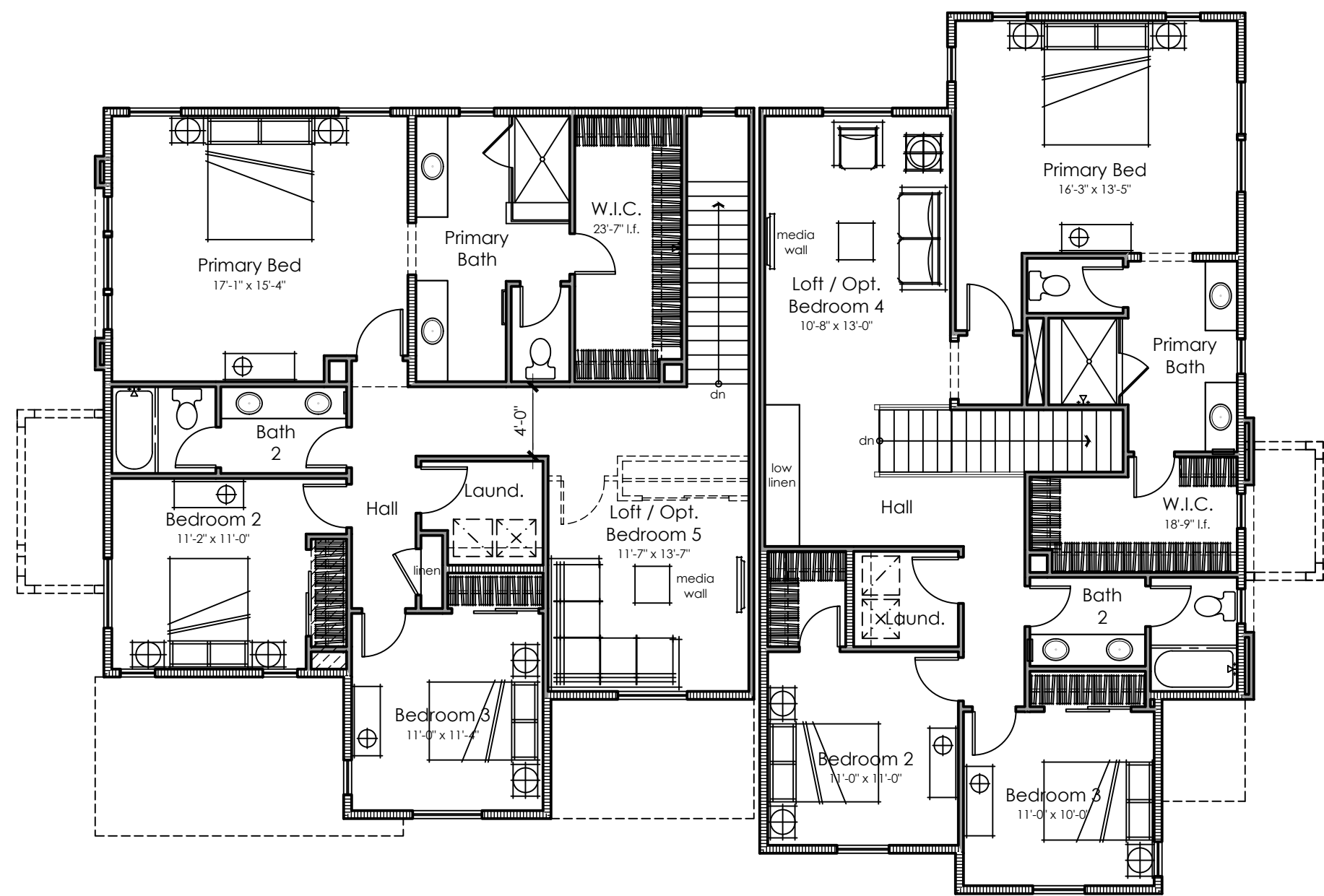
ROOF PLAN- C STYLE



ROOF PLAN- B STYLE



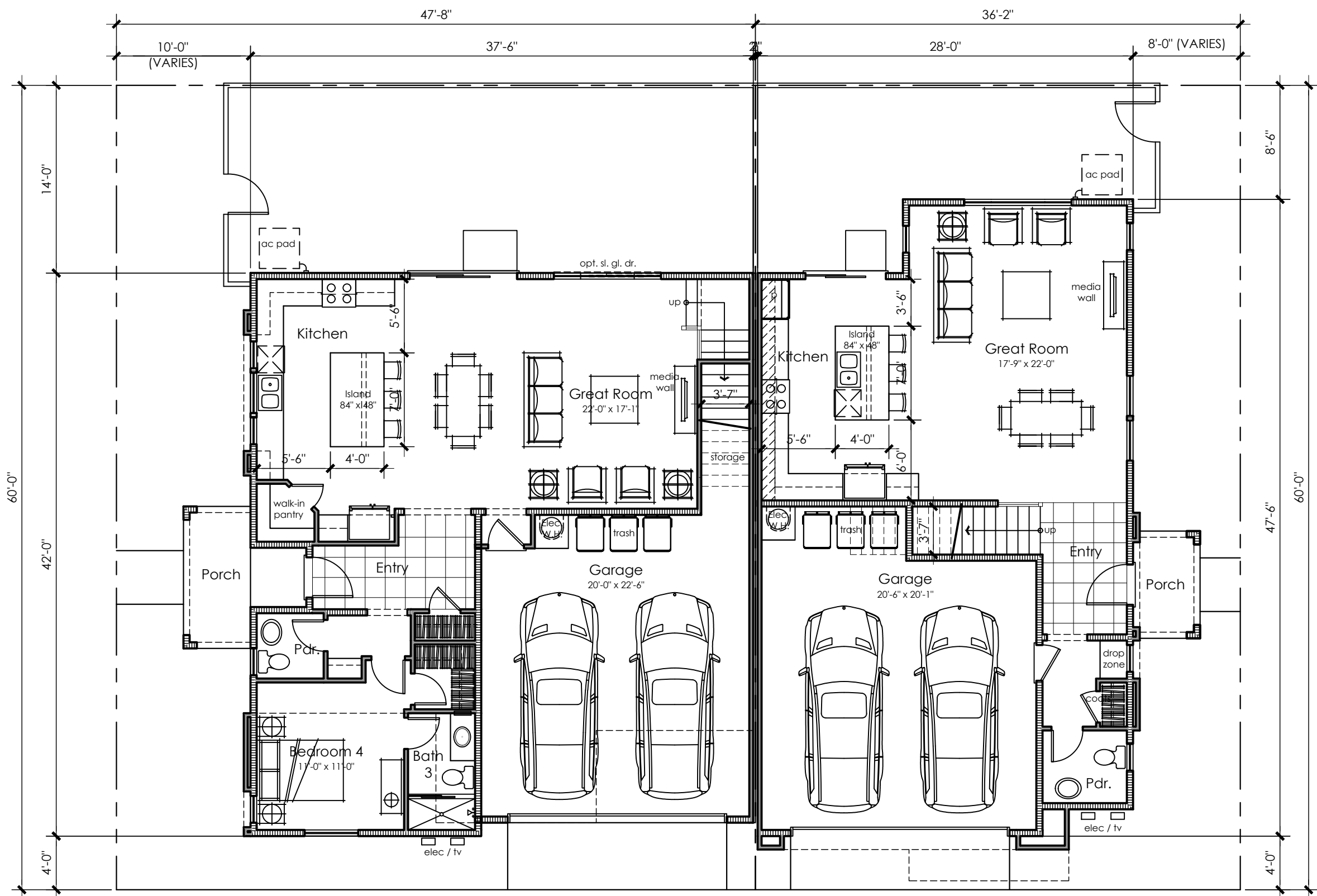
ROOF PLAN- A STYLE



P2

P1

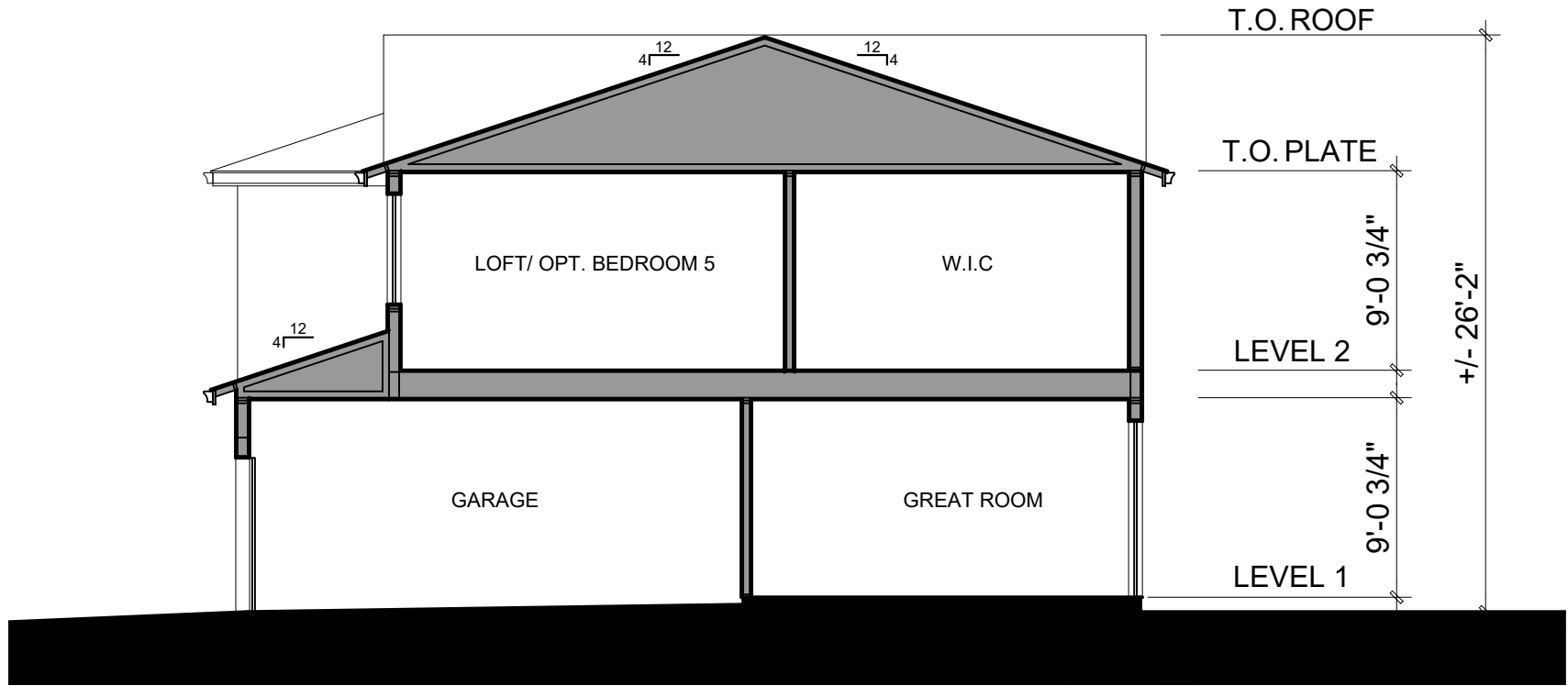
LEVEL 2



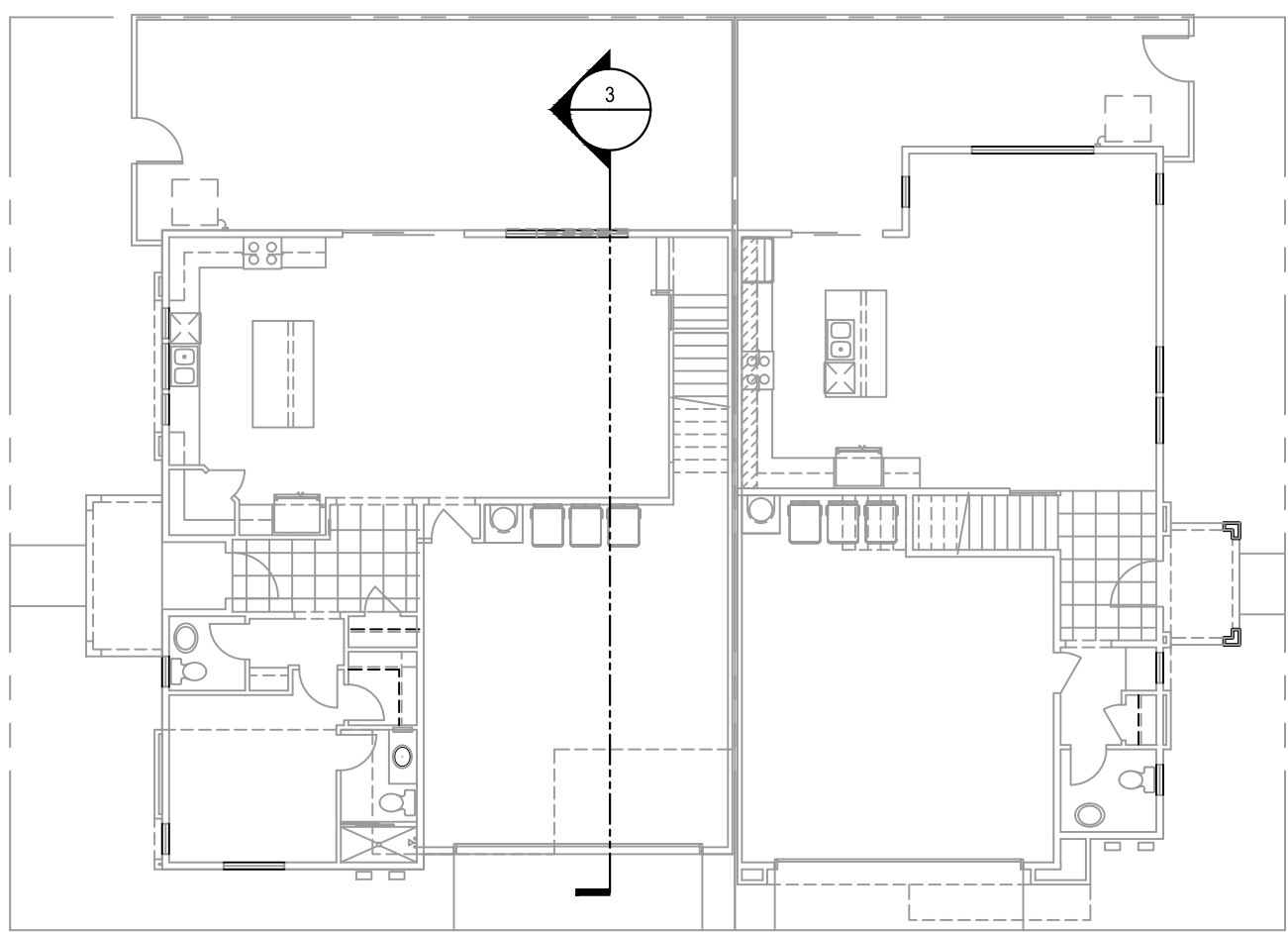
P2

P1

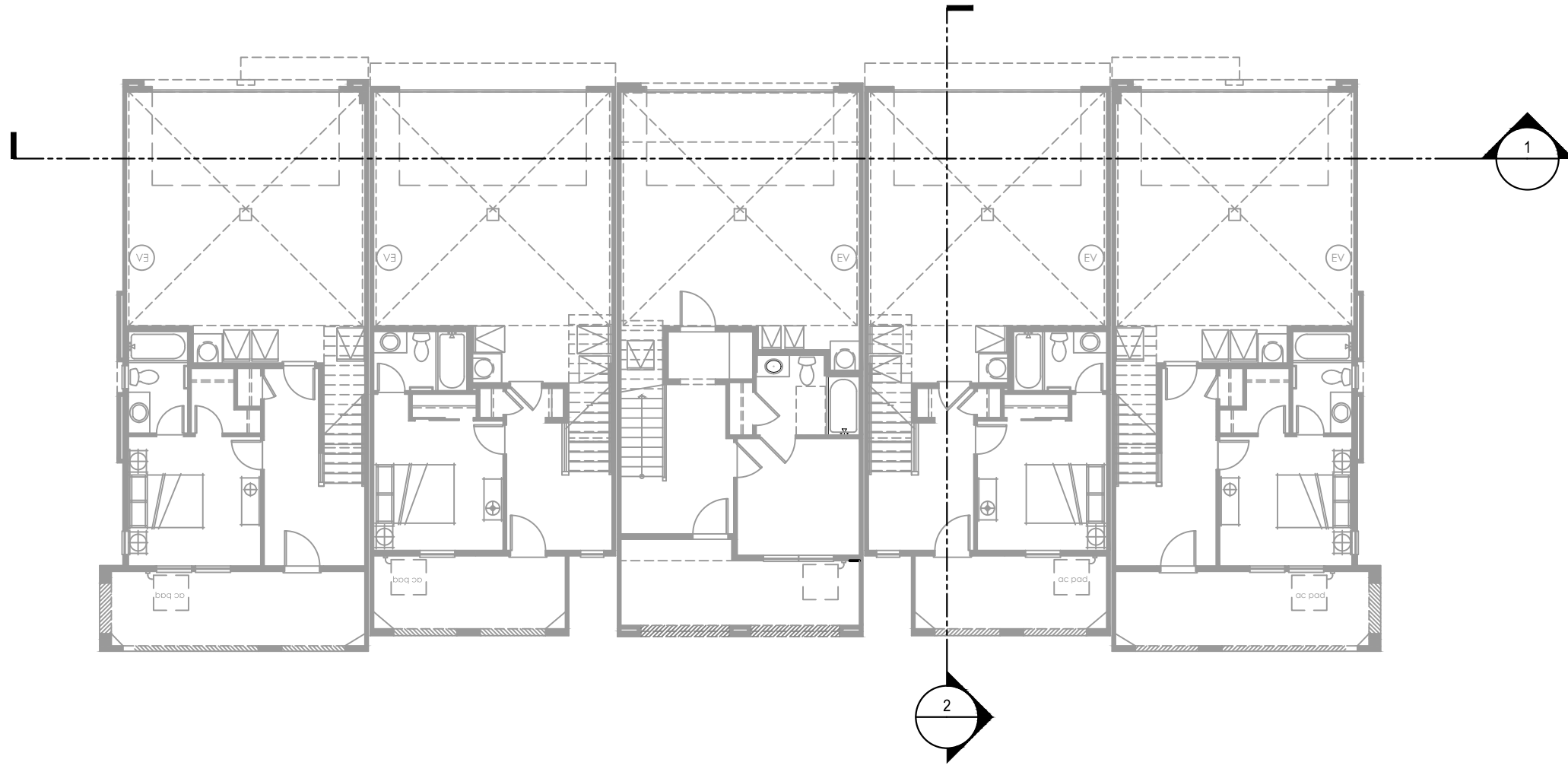
LEVEL 1



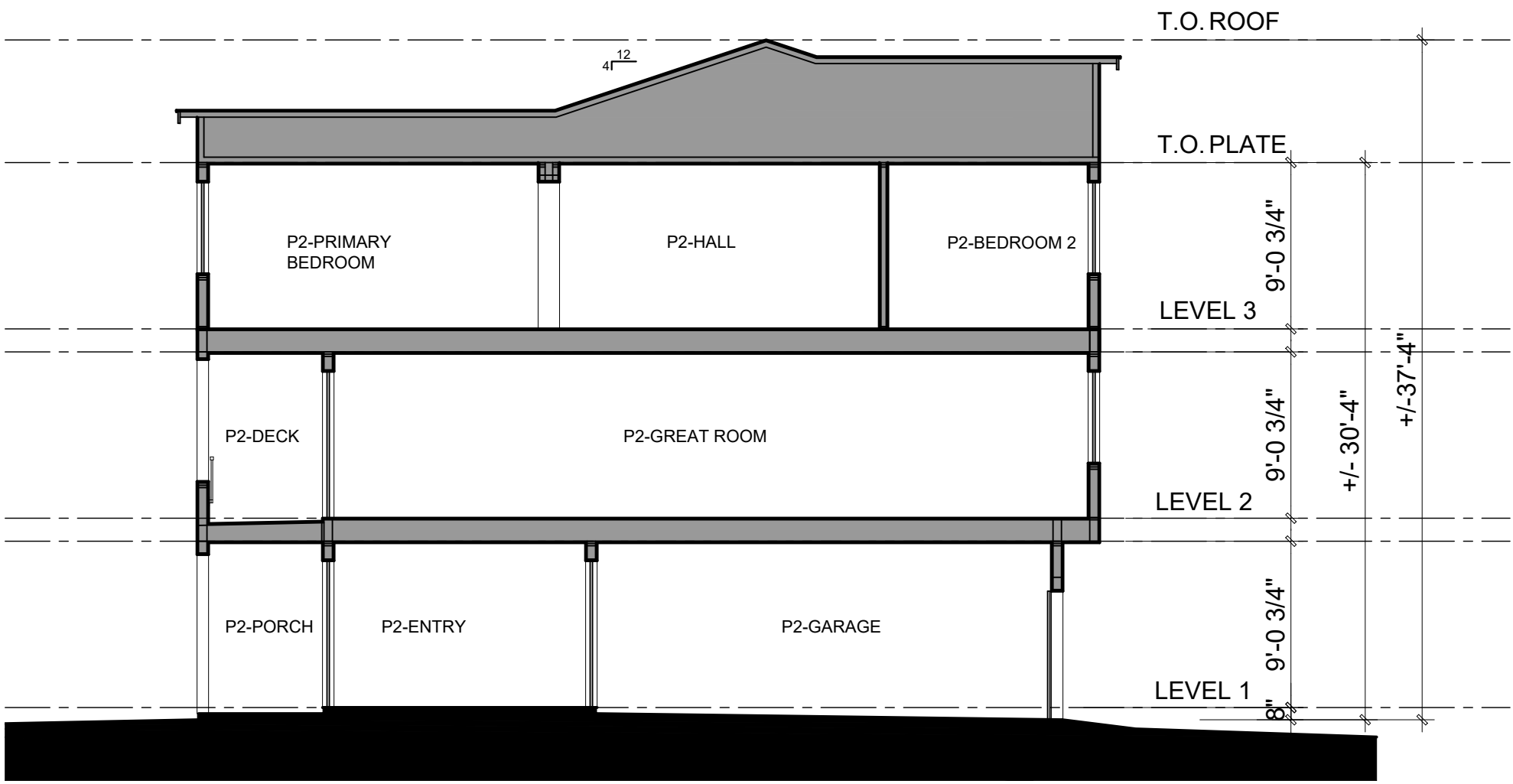
TYPICAL DUET SECTION 3



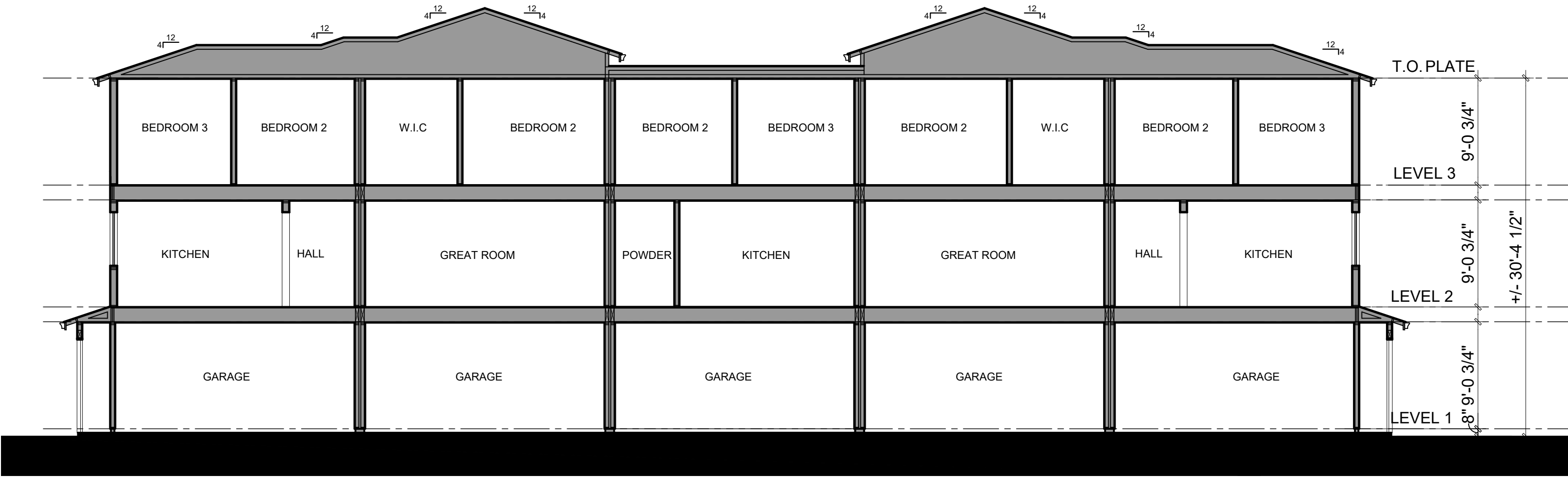
KEY PLAN-DUET GROUND FLOOR PLAN



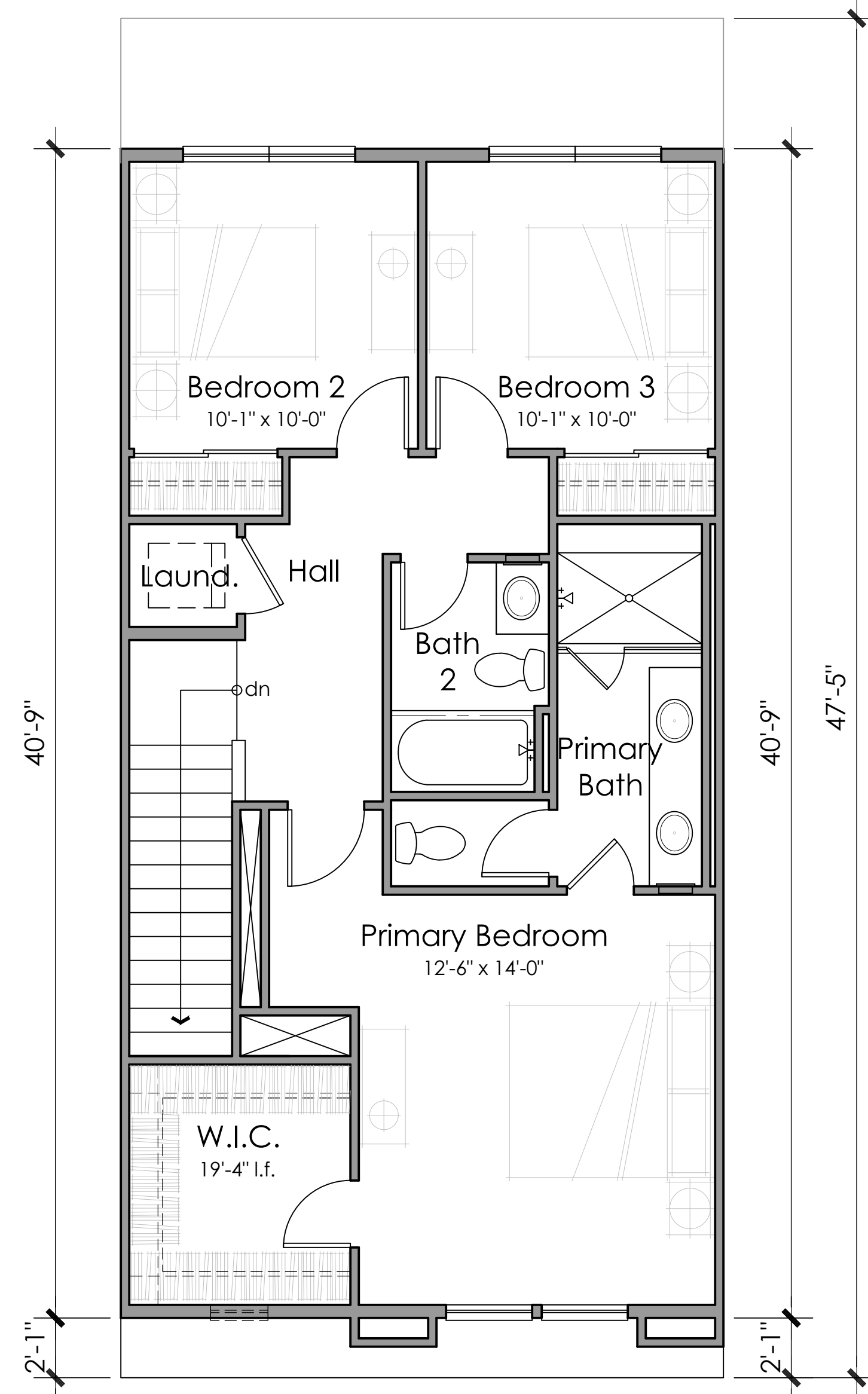
KEY PLAN-5 PLEX GROUND FLOOR PLAN



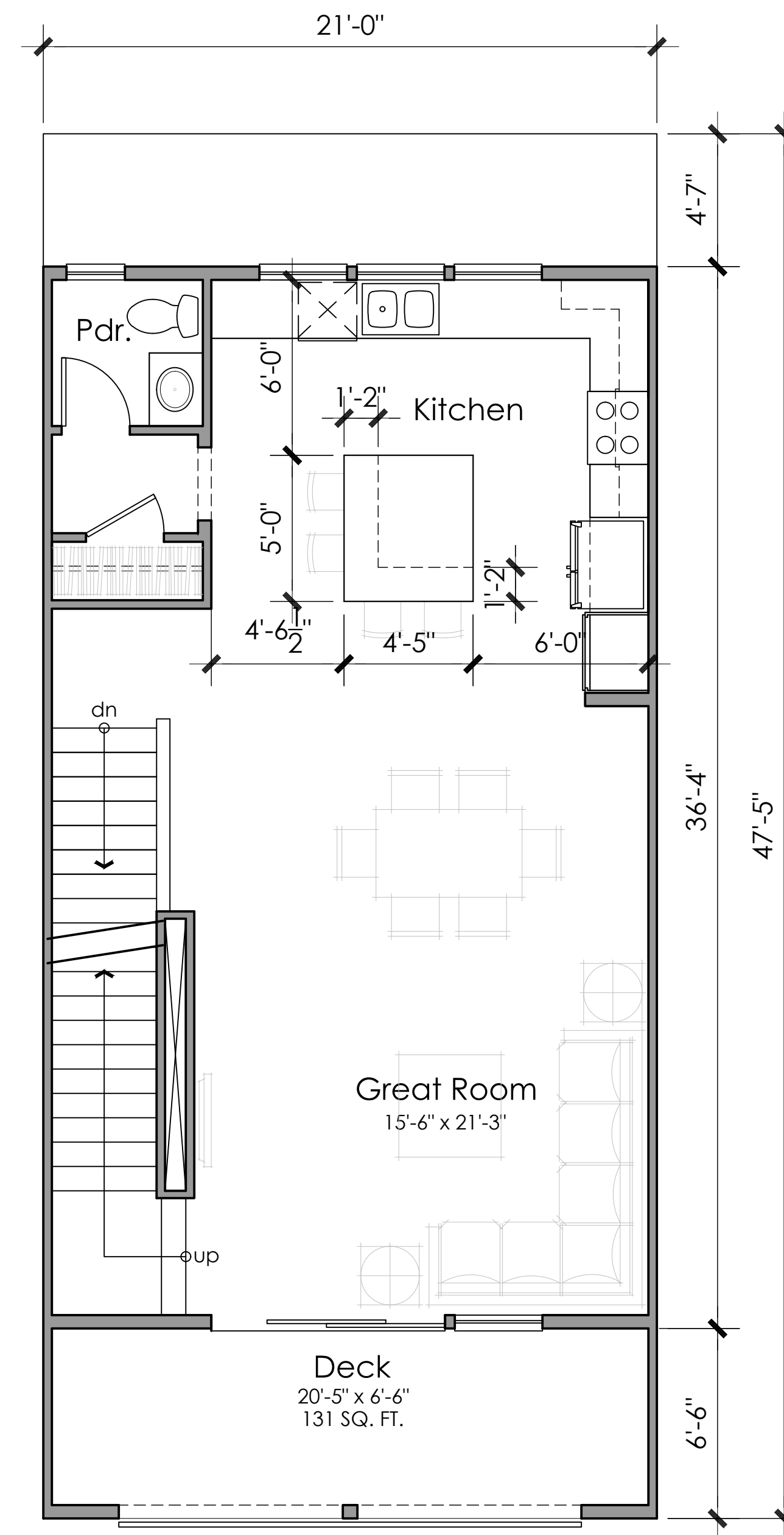
TYPICAL TOWNHOUSE SECTION 2



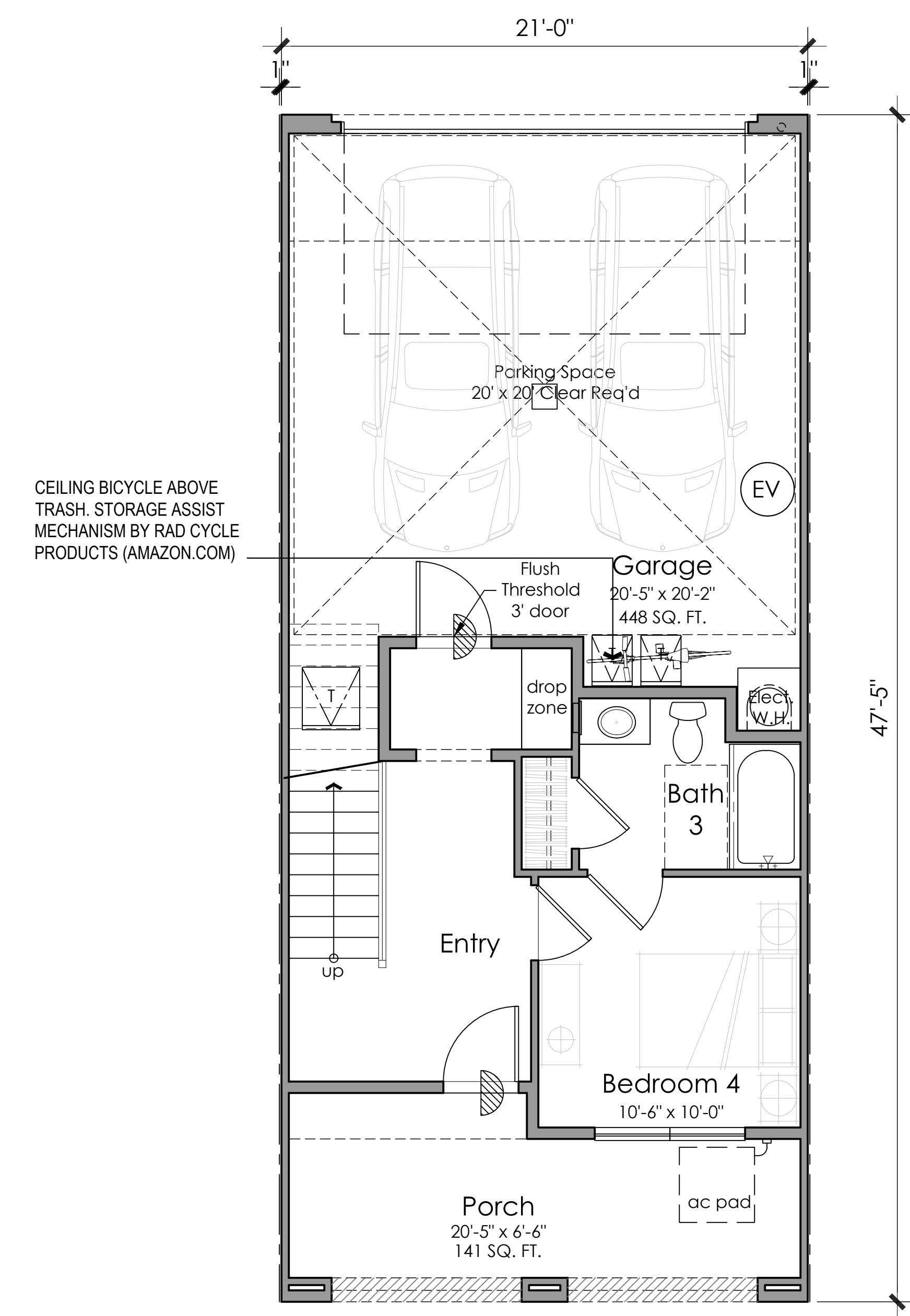
TYPICAL TOWNHOUSE SECTION 1



Third Floor
773 n.s.f.



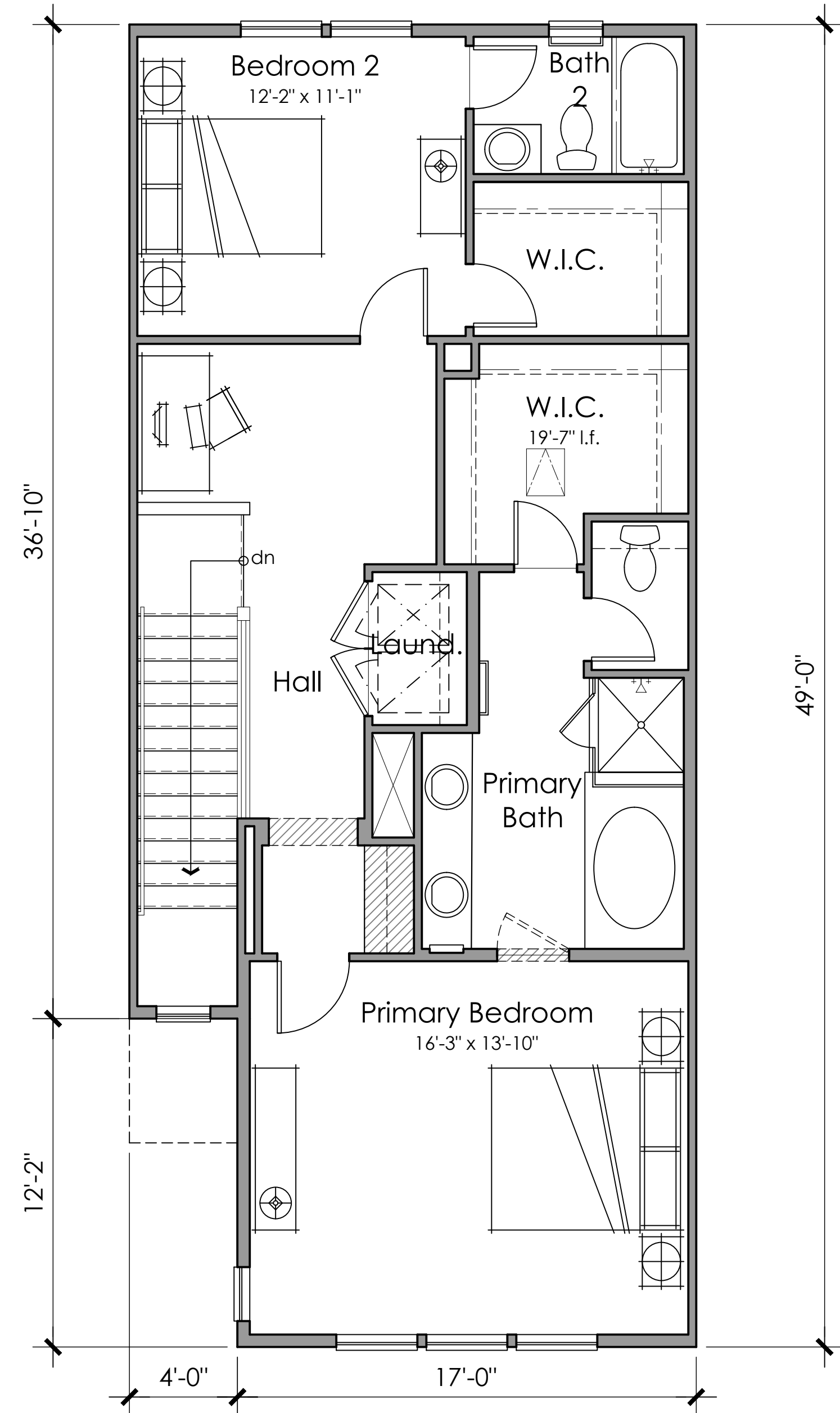
Second Floor
723 n.s.f.



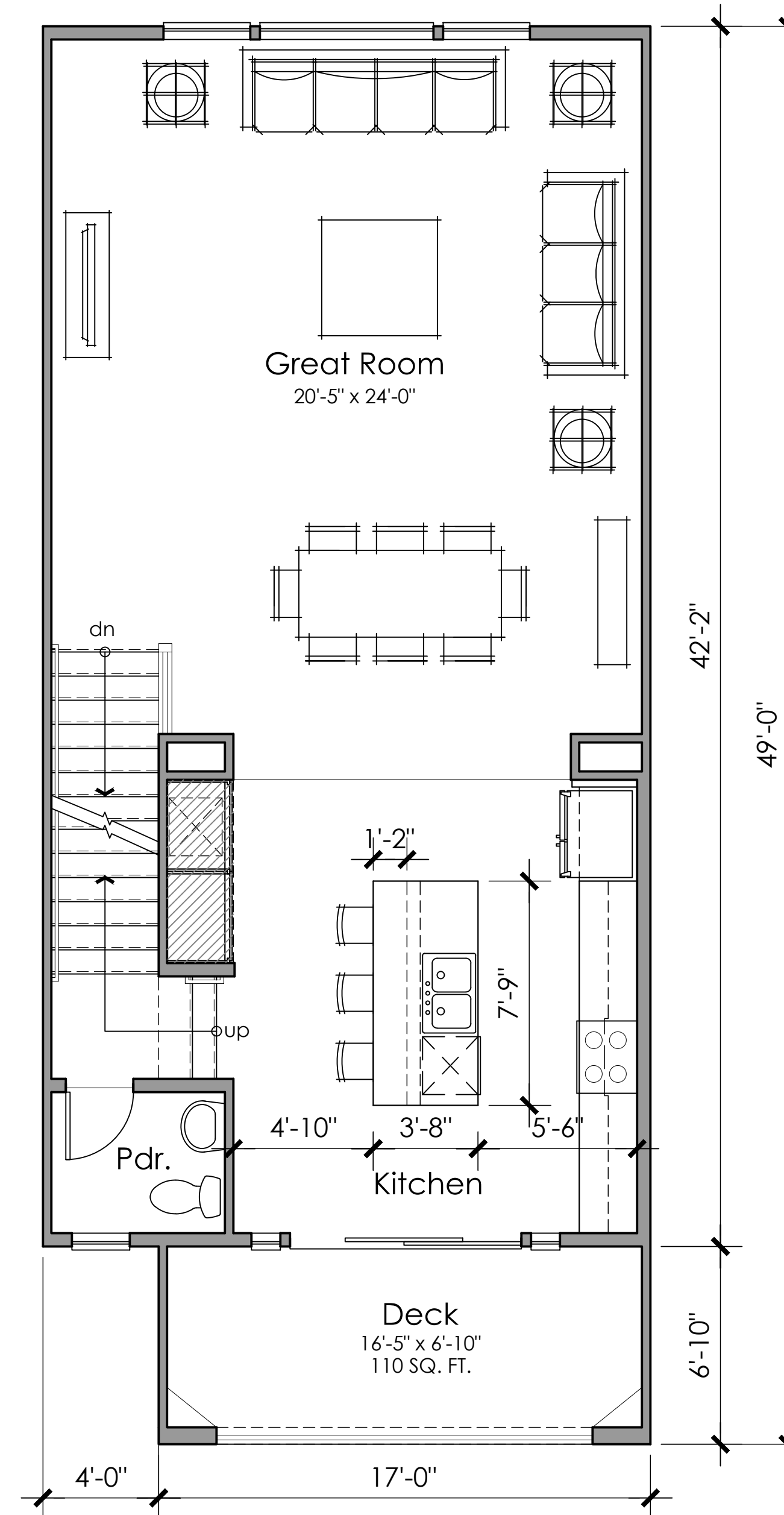
First Floor
344 n.s.f.

Floor Plan
4 Bedrooms
3.5 Baths
1,850 N.S.F.

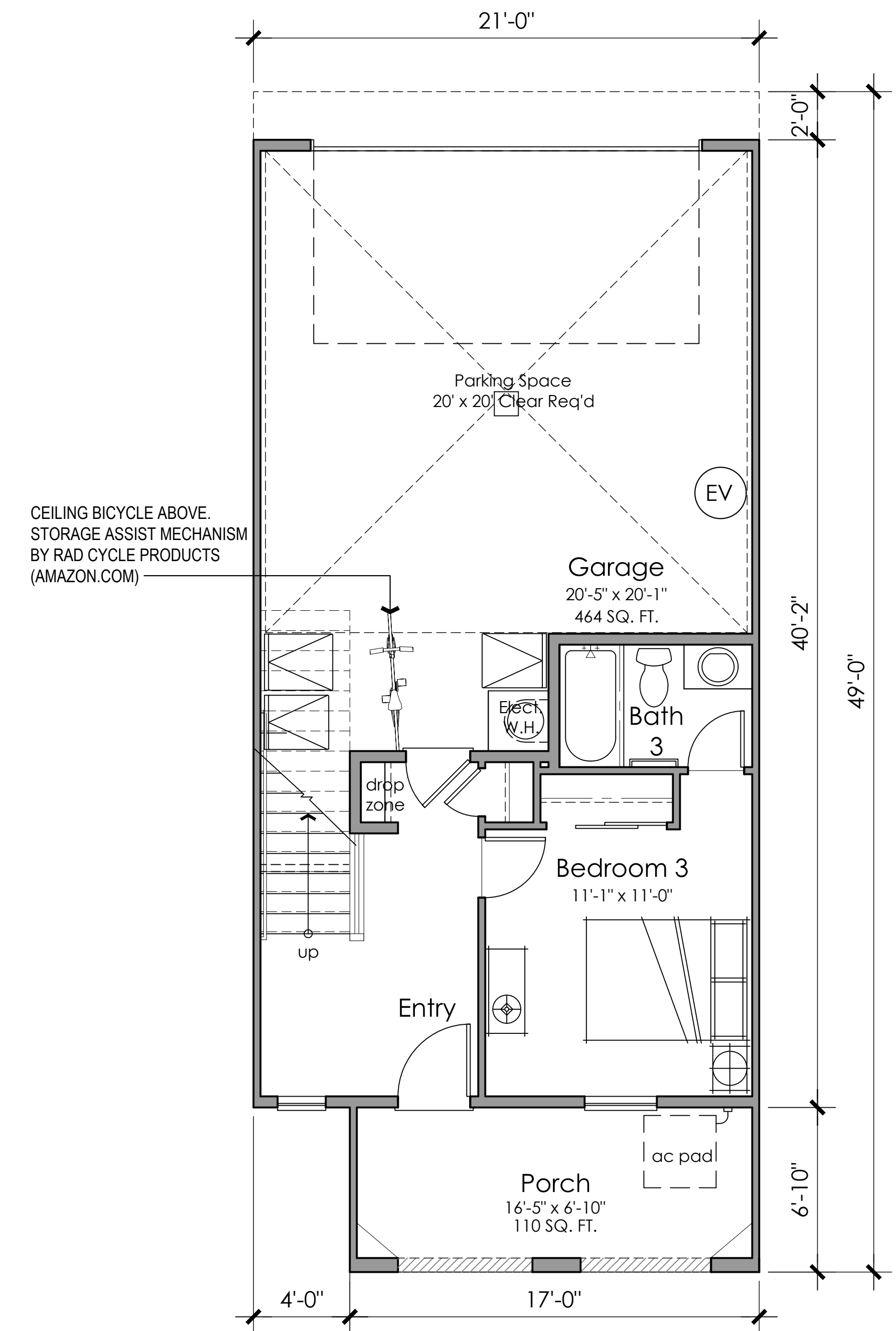
EV EACH PRIVATE GARAGE CONTAINS: 1" RACEWAY TO A 2 GANG BOX FOR FUTURE ELECT. CAR CHARGING STATION



Third Floor
900 n.s.f.



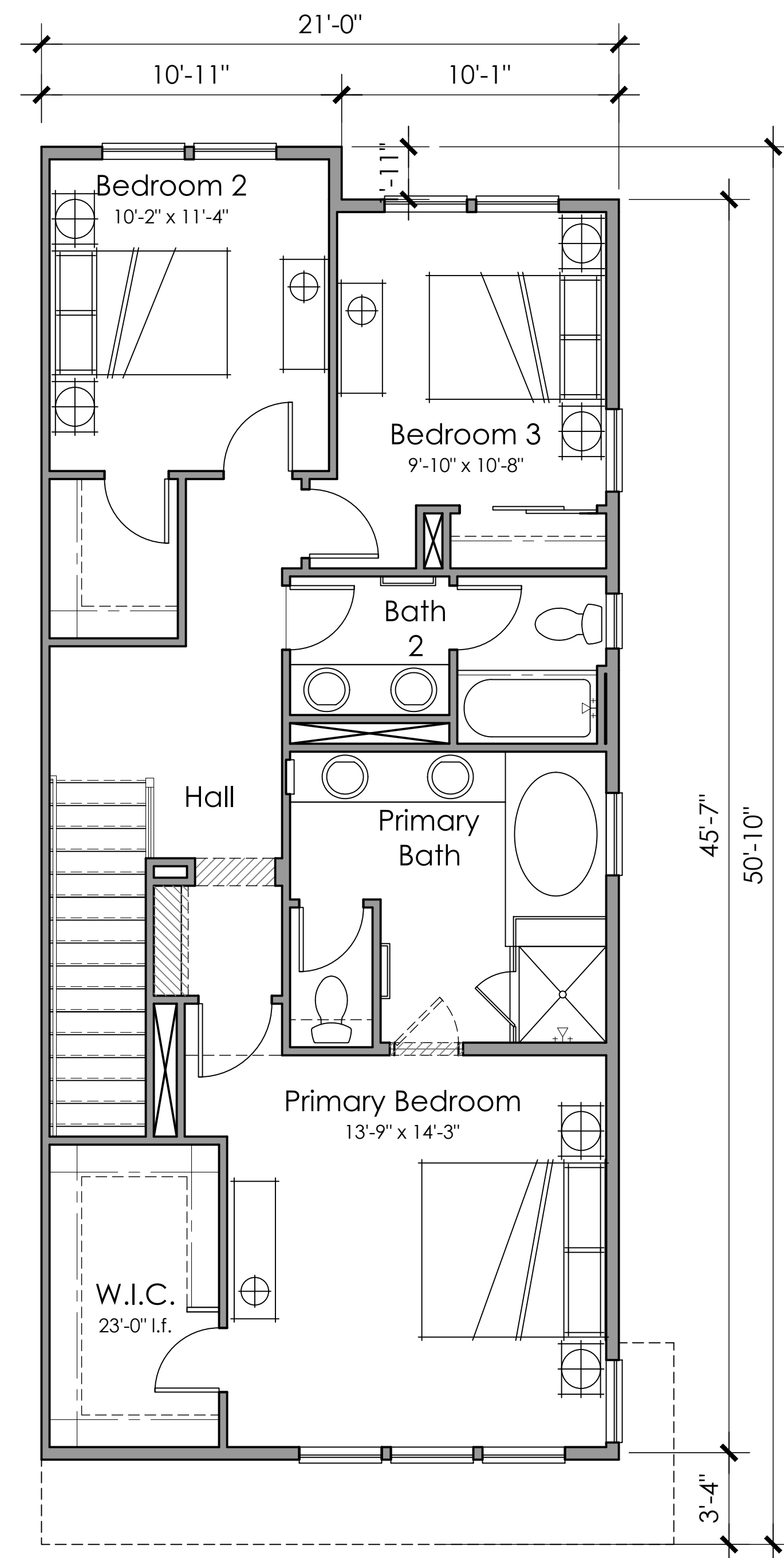
Second Floor
839 n.s.f.



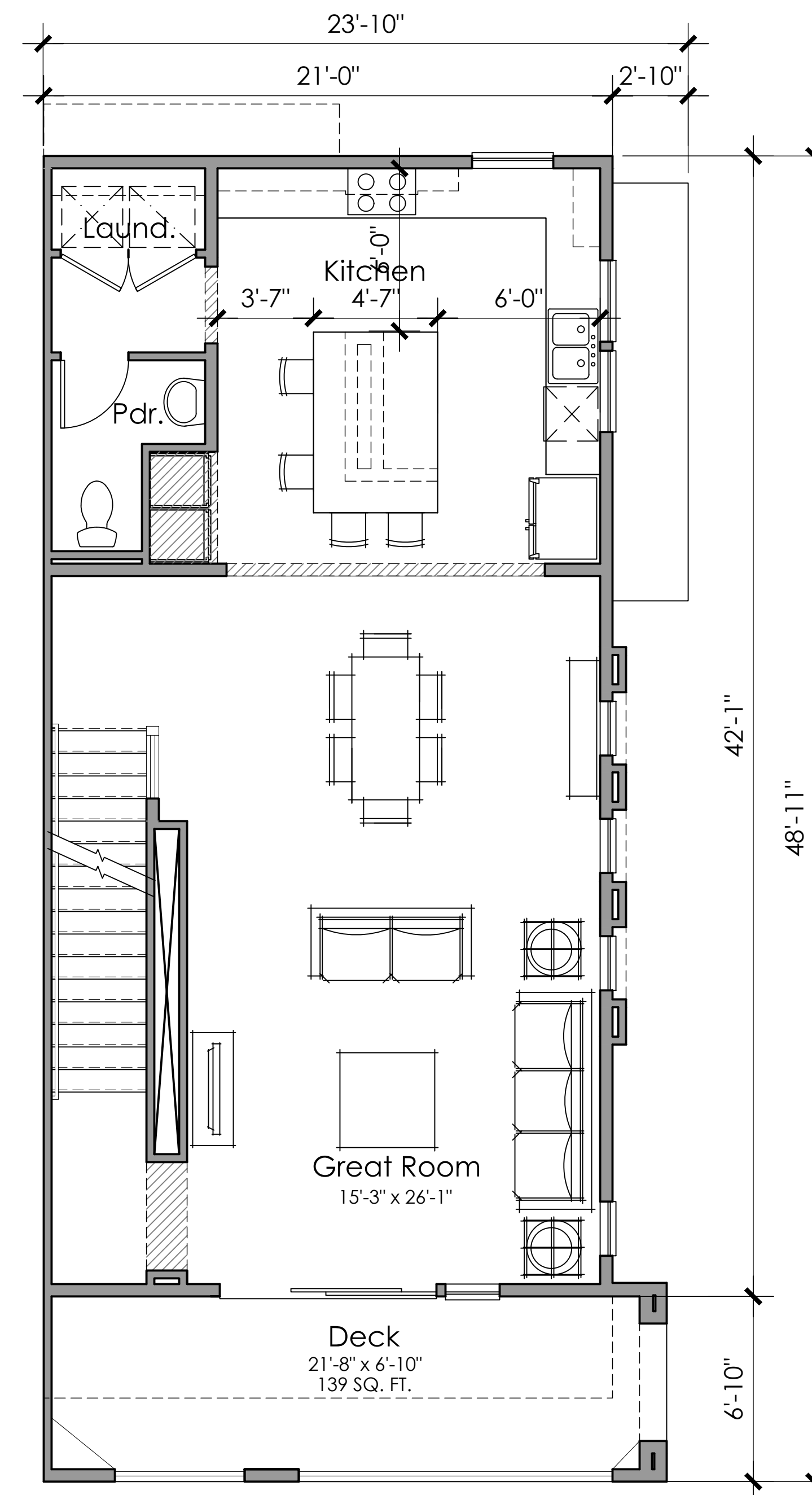
First Floor
337 n.s.f.

Floor Plan
3 Bedrooms
3.5 Baths
2076 N.S.F.

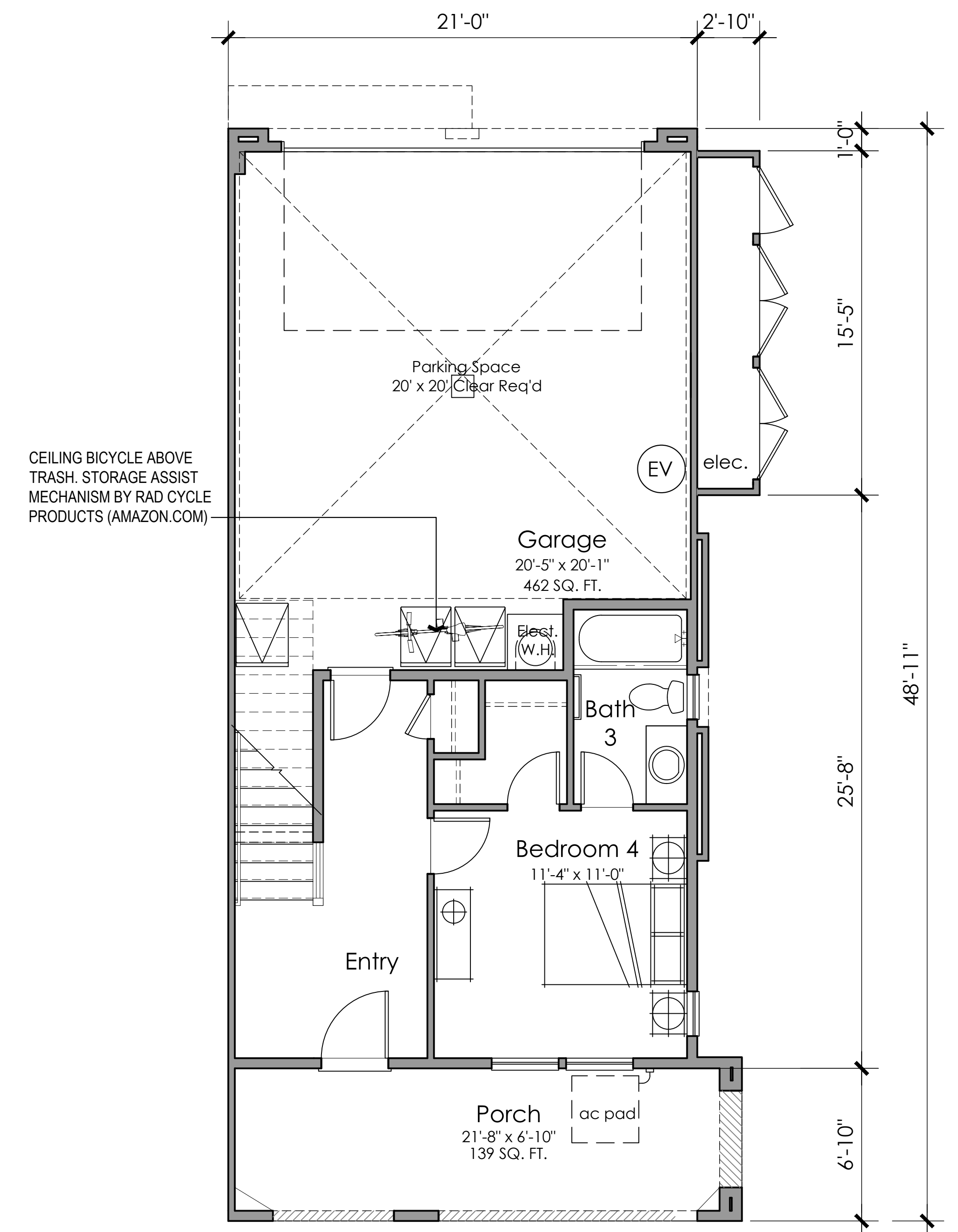
EV EACH PRIVATE GARAGE CONTAINS: 1" RACEWAY TO A 2 GANG BOX FOR FUTURE ELECT. CAR CHARGING STATION



Third Floor
901 n.s.f.



Second Floor
834 n.s.f.



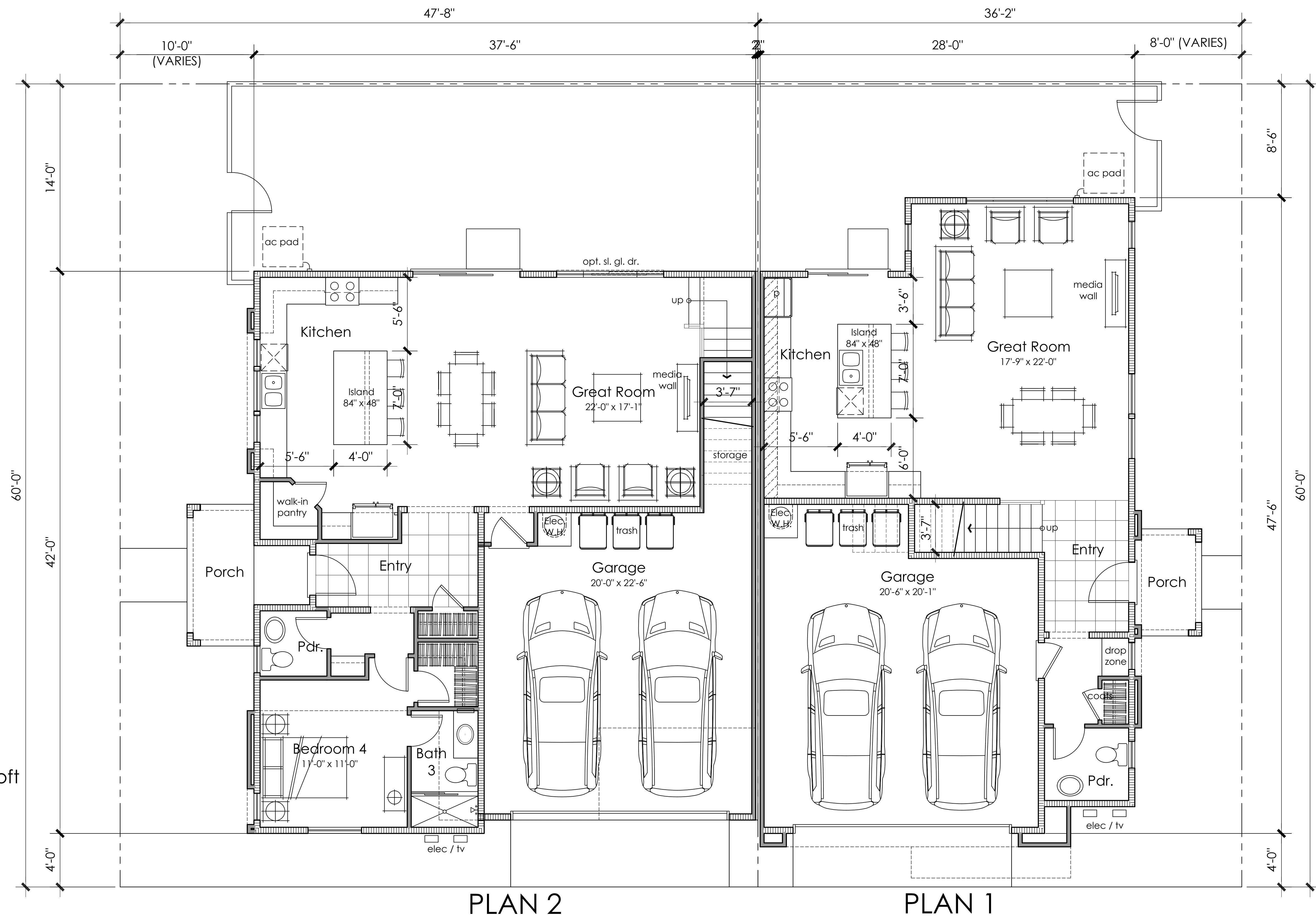
First Floor
363 n.s.f.

Floor Plan
4 Bedrooms
3.5 Baths
2,098 N.S.F.

EV EACH PRIVATE GARAGE CONTAINS: 1" RACEWAY TO A 2 GANG BOX FOR FUTURE ELECT. CAR CHARGING STATION

PLAN 2
First Floor
1,037 n.s.f.

Floor Plan
3 Bedrooms + Loft
2.5 Baths
2,355 N.S.F.



PLAN 1
First Floor
784 n.s.f.

Floor Plan
3 Bedrooms + Loft
2.5 Baths
2,032 N.S.F.

LEVEL 1



Architecture + Planning
888.456.5849
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BROOKFIELD RESIDENTIAL

ROSEWOOD
MORGAN HILL, CA # 2020-0912

CONCEPTUAL PLANNING
MARCH 25, 2022

Scale: 1/4" = 1'-0"
0 2 4 8

UNIT PLANS- DUET

A5.1.0

PLAN 2
Second Floor
1,318 n.s.f.

Floor Plan
3 Bedrooms + Loft
2.5 Baths
2,355 N.S.F.



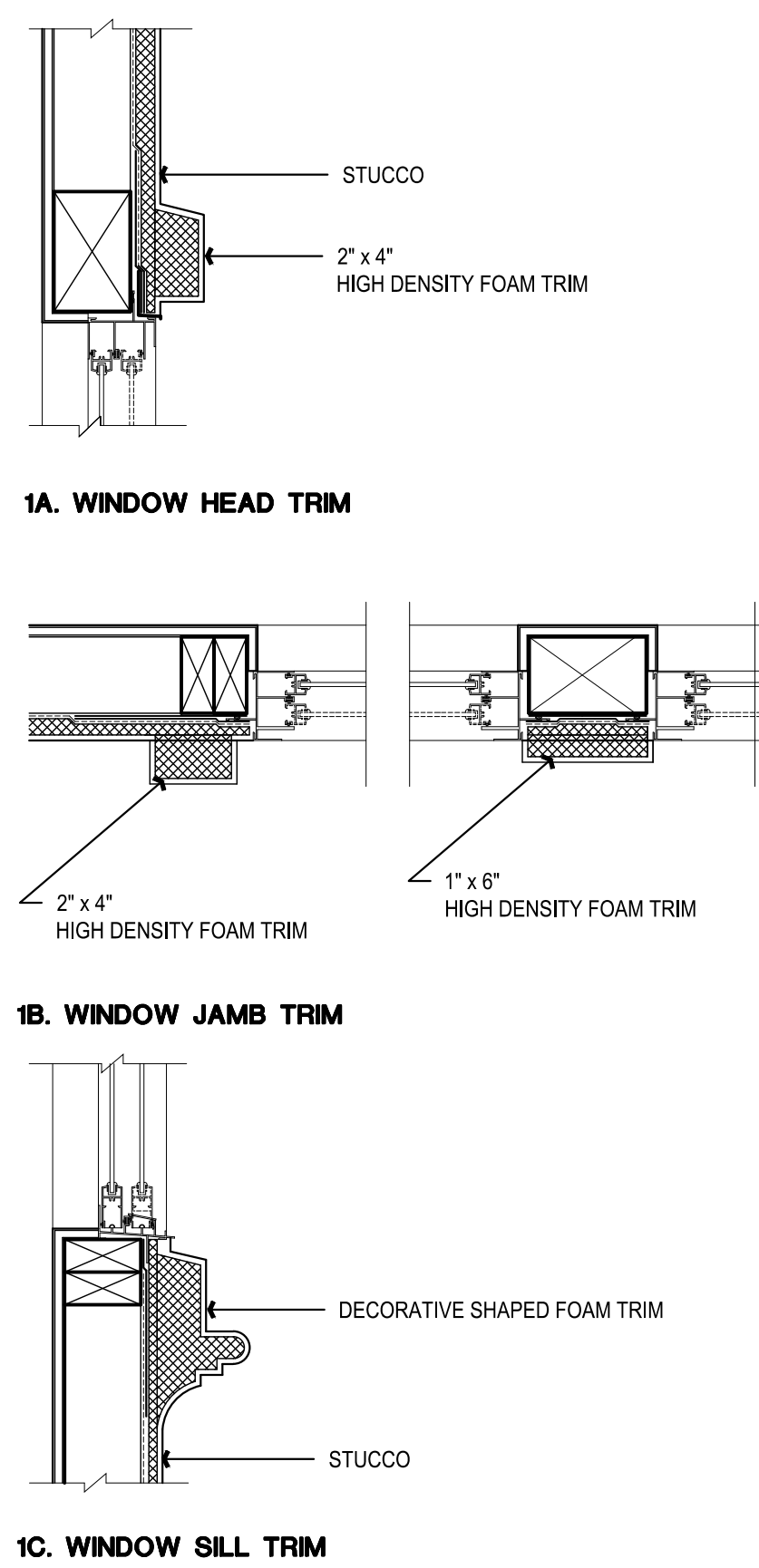
PLAN 2

PLAN 1

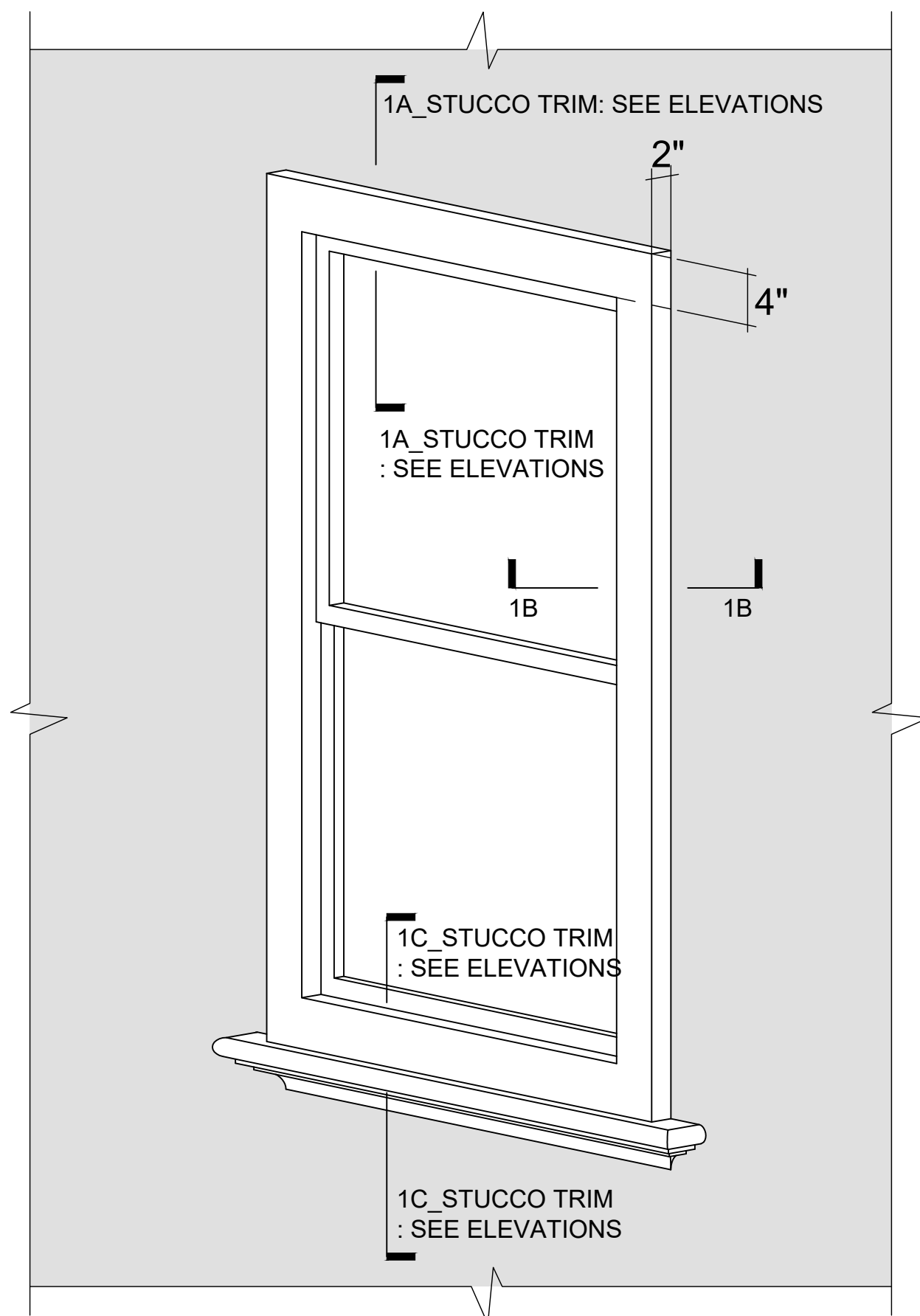
PLAN 1
Second Floor
1,248 n.s.f.

Floor Plan
3 Bedrooms + Loft
2.5 Baths
2,032 N.S.F.

LEVEL 2



7. TYP. Stucco Window Trim Details



6. TYP. Window Trim on Stucco



5. Plan 2 Front Entrance-Alt

- Concrete S -Tile
- Stucco
- Decorative Shaped Foam Trim
- Wood Post
- Railing
- Stone Veneer
- Light Fixture Unit Address
- Entry Door



4. Plan 1 Front Entrance-Alt



3. Plan 1 Front Entrance

- Concrete S -Tile
- Stucco
- Decorative Shaped Foam Trim
- Concrete S -Tile
- Post
- Railing
- Light Fixture Unit Address
- Stucco
- Stucco
- Concrete S -Tile
- Cabinet Doors



2. Plan 2 Front Entrance

- Concrete S -Tile
- Stucco
- Decorative Shaped Foam Trim
- Concrete S -Tile
- Stone Veneer
- Post
- Railing
- Light Fixture Unit Address
- Entry Door



1. Plan 1 Front Entrance



2. Plan 1 & 2 Rear Garage



1. Plan 3 Rear Garage



- Concrete S -Tile
- Brick Veneer
- Stucco
- Fiber Cement Lap Siding
- Stucco
- Post

4. DUET_B Style_Plan 1



- Concrete S -Tile
- Vinyl Window
- Decorative Shaped Foam Trim
- Light Fixture & Unit Address
- Recessed Window
- Brick Veneer

3. DUET_B Style_Plan 2



- Concrete S -Tile
- Stucco
- Fiber Cement Lap Siding
- Stucco
- Post
- Stone Veneer

2. DUET_A Style_Plan 1



- Concrete S -Tile
- Vinyl Window
- Decorative Shaped Foam Trim
- Light Fixture & Unit Address
- Recessed Window
- Stone Veneer

1. DUET_A Style_Plan 2



2. DUET_C Style_Plan 1



1. DUET_C Style_Plan 2

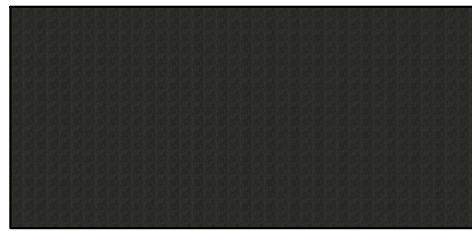
TOWNHOMES
COLOR SCHEME A



CONCRETE S-ROOF TILE



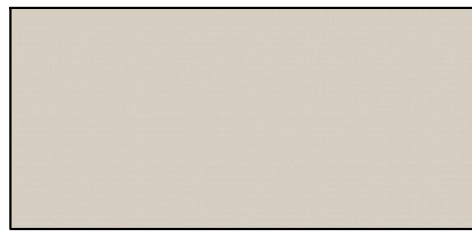
STONE VENEER



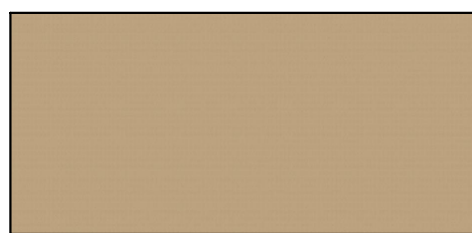
METAL RAILINGS



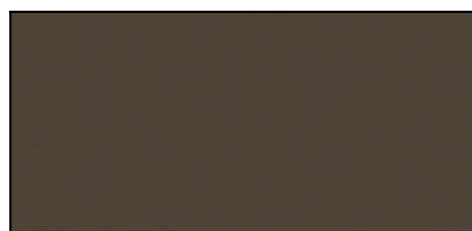
STUCCO BODY 1
WINDOW TRIM 1



STUCCO BODY 2
WINDOW TRIM 2



STUCCO BODY 3
WINDOW TRIM 3



TRELLIS AND COLUMNS
ENTRY DOOR
GARAGE DOOR
WINDOW TRIM 4

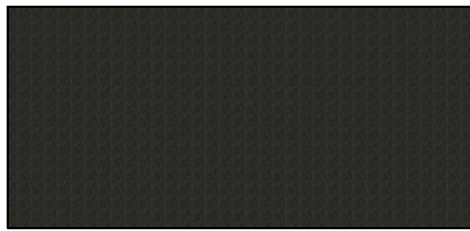
TOWNHOMES
COLOR SCHEME B



CONCRETE S-ROOF TILE



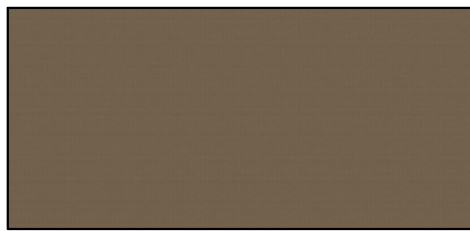
STONE VENEER



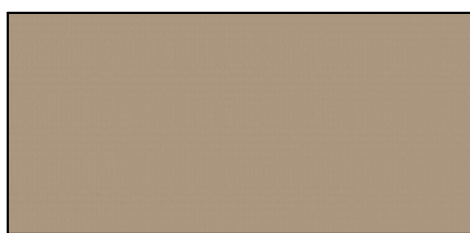
METAL RAILINGS



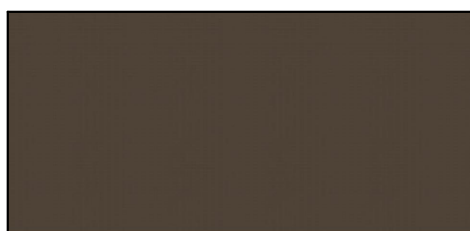
STUCCO BODY 1
WINDOW TRIM 1



STUCCO BODY 2
WINDOW TRIM 2



STUCCO BODY 3
WINDOW TRIM 3



TRELLIS AND COLUMNS
ENTRY DOOR
GARAGE DOOR
WINDOW TRIM 4

DUETS
COLOR SCHEME A



CONCRETE S-ROOF TILE



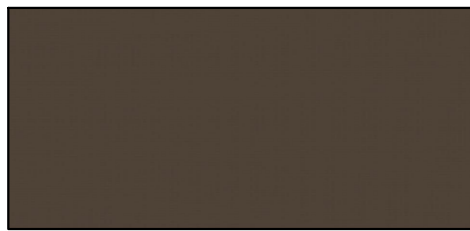
STONE VENEER



STUCCO BODY 1
WINDOW TRIM 1



STUCCO BODY 2
WINDOW TRIM 2



COLUMNS
WINDOW TRIM 3



ENTRY DOOR
GARAGE DOOR

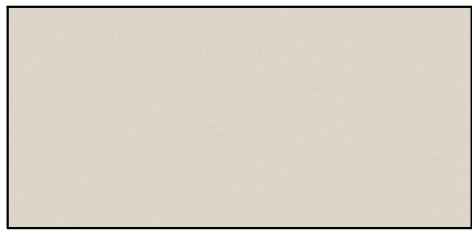
DUETS
COLOR SCHEME B



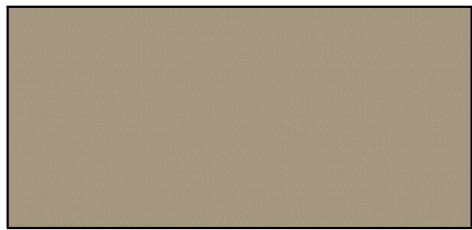
CONCRETE S-ROOF TILE



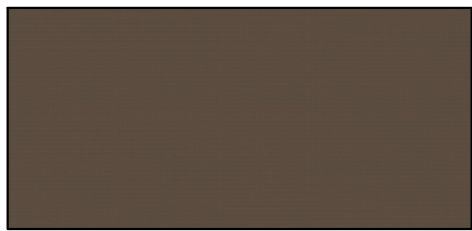
BRICK VENEER



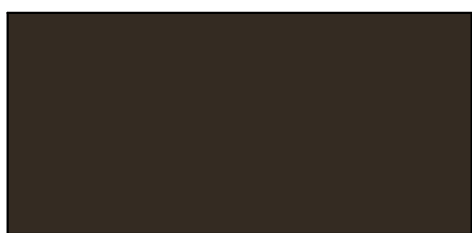
STUCCO BODY 1
WINDOW TRIM 1



STUCCO BODY 2
WINDOW TRIM 2



COLUMNS

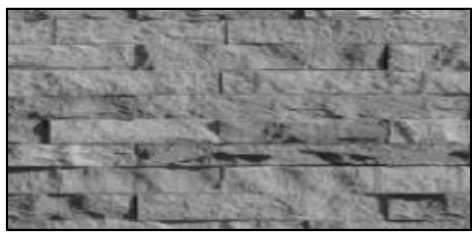


ENTRY DOOR
GARAGE DOOR
WINDOW TRIM 3

DUETS
COLOR SCHEME C



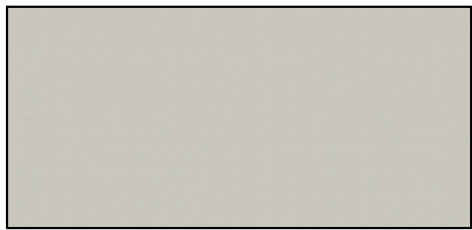
CONCRETE FLAT-ROOF TILE



STONE VENEER



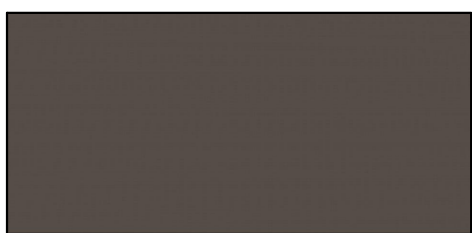
STUCCO BODY 1
WINDOW TRIM 1



STUCCO BODY 2
WINDOW TRIM 2



COLUMNS



ENTRY DOOR
GARAGE DOOR
WINDOW TRIM 3