

THE GATES

MORGAN HILL, CALIFORNIA



City Ventures

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4TH REVISED SUBMITTAL DATE: 05.03.2023
5TH REVISED SUBMITTAL DATE: 06.28.2023
6TH REVISED SUBMITTAL DATE: 08.21.2023

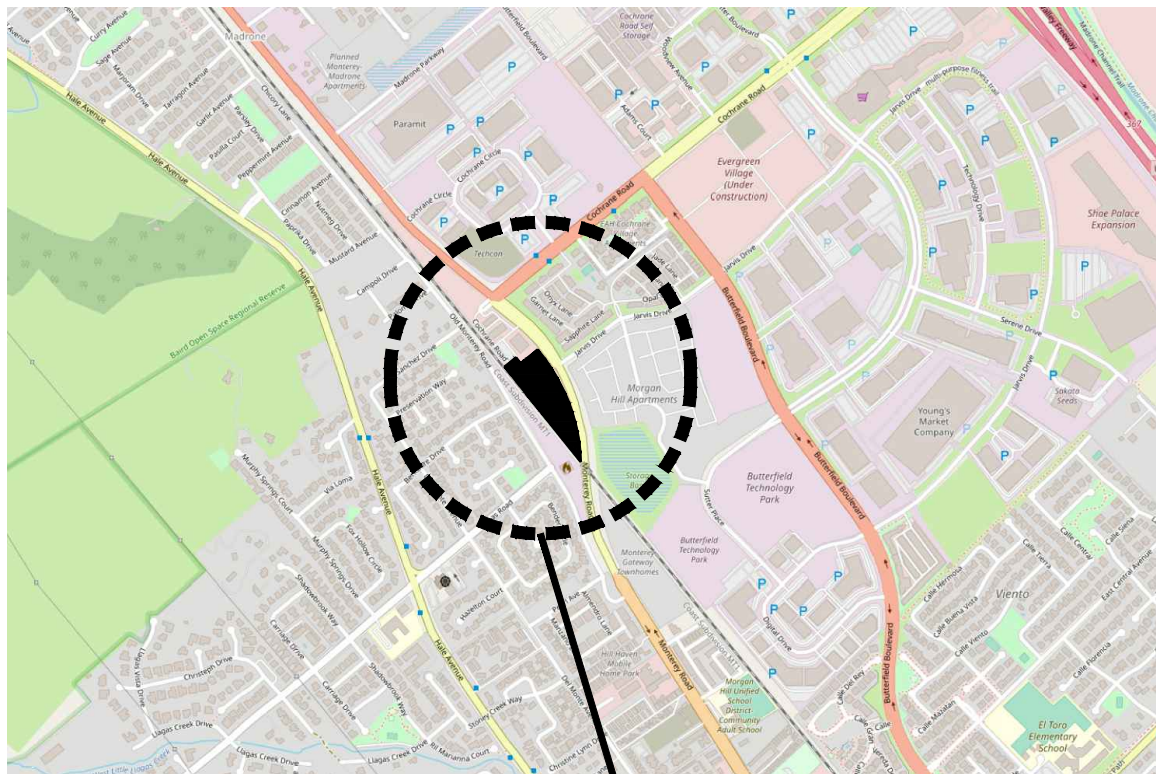
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LOCATION MAP



SITE LOCATION

CITY OF MORGAN HILL PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON October 24, 2023
SR2023-0010: Monterey - City Ventures
(The Gates)

FILE NUMBER

PLANNING OFFICIAL

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Congratulations to City Ventures for building the future...today!

Winner: Silicon Valley Clean Energy All-Electric
Development of the Year Award!

Our All-Electric Development of the
Year Award celebrates leaders within
our community who are reducing local
emissions and promoting a healthier
community with their advanced electric
technologies and building designs.



City Ventures

Kitchen featuring
induction cooktop



Depot Station: all-electric residential
community in Morgan Hill

Learn about the benefits of going all-electric:
[SVCleanEnergy.org/all-electric-award](https://svcleanenergy.org/all-electric-award)



Silicon Valley Clean Energy is the community-owned electricity provider for 13 Silicon Valley communities, providing more than 270,000 residential and commercial customers with clean, carbon-free electricity at competitive prices, from sources like solar, wind and hydropower.

PROJECT OVERVIEW

CITY VENTURES IS PLEASED TO PROVIDE THIS PROJECT OVERVIEW FOR THE GATES PROJECT.

PROPOSED PROJECT DETAILS:

THE GATES PROJECT SITE CONSISTS OF AN UNDEVELOPED 3.81-ACRE PARCEL IN NORTHWEST MORGAN HILL. THE PROJECT SITE IS LOCATED WEST OF MONTEREY ROAD ON AN UNDEVELOPED PARCEL WITH FEW TREES AND LITTLE VEGETATION. THE SURROUNDING NEIGHBORHOOD INCLUDES ATTACHED HOMES TO THE EAST ACROSS MONTEREY ROAD, SINGLE FAMILY HOMES AND THE EL TORO FIRE STATION ACROSS TRAIN TRACKS TO THE WEST, THE MONTEREY GATEWAY MIXED-USE PROJECT TO THE SOUTH, AND COMMERCIAL USES, INCLUDING AN ARCO GAS STATION AND CONVENIENCE STORE, BEAUTY SALONS, AND STARBUCKS DRIVE-THROUGH TO THE NORTH.

THE SITE IS CURRENTLY ZONED MIXED-USE-FLEX. CITY VENTURES IS RESPECTFULLY REQUESTING THE CITY'S APPROVAL OF A DESIGN REVIEW AND VESTING TENTATIVE PARCEL MAP. THE PROJECT IS A HOUSING DEVELOPMENT PROJECT WITHIN THE MEANING OF GOVERNMENT CODE SECTION 65589.5(H)(2) AND HAS BEEN DESIGNED TO COMPLY WITH APPLICABLE OBJECTIVE GENERAL PLAN AND SUBDIVISION STANDARDS AND CRITERIA AS DESCRIBED IN GOVERNMENT CODE SECTION 65589.5(J).

WE ARE THRILLED TO BRING AN INVENTIVE AND VIBRANT PROGRAM TO LIFE. THE PROPOSED PROJECT WOULD PROVIDE 5 FLEXIBLE COMMERCIAL SPACES, 49 SOLAR ALL-ELECTRIC TOWNHOME-STYLE CONDOMINIUMS, CHILDREN'S PLAY AREA, BOCCIE BALL COURTS, SEATING PLAZA, AND BARBECUE AREAS. THE TARGET MARKET FOR THE HOMES WOULD BE FIRST-TIME HOMEBUYERS AND YOUNG FAMILIES. THESE HOMES RANGE IN SIZE AND BEDROOM COUNT, EACH WITH ITS OWN PRIVATE GARAGE ACCESSED BY A COMMON DRIVE AISLE OR ALLEYWAY. GARAGE LAYOUTS ALTERNATE BETWEEN SIDE-BY-SIDE AND TANDEM GARAGES AND EACH HOME IS ACCESSED FROM SHARED PASEOS, COMMON OPEN SPACE AREAS, OR LIVING STREETS. EACH HOME WILL COME STANDARD WITH SOLAR AND WILL INCORPORATE A SPECIFIC FOCUS ON HEALTHY, ENERGY EFFICIENT LIVING. PROJECT LANDSCAPING WILL CONSIST OF NATIVE DROUGHT TOLERANT PLANT SPECIES AND HYDRO-ZONES WILL BE UTILIZED TO MAKE EFFICIENT USE OF WATER. PLANTING PLANS WILL CALL FOR NEW TREES AND SHRUBS TO COMPLEMENT OTHER NEIGHBORING DEVELOPMENTS. AT LEAST 15 PERCENT OF THE NEW TOTAL HOUSING UNITS WILL BE MADE AVAILABLE TO HOUSEHOLDS AT AN AFFORDABLE SALES PRICE. PROVIDING FOR VARYING UNIT TYPES WITHIN THE NEIGHBORHOOD ENCOURAGES INHERENT AFFORDABILITY WHICH PROVIDES HOME OWNERSHIP OPPORTUNITIES FOR FUTURE HOME BUYERS OF VARYING INCOME LEVELS.

EXISTING USE:

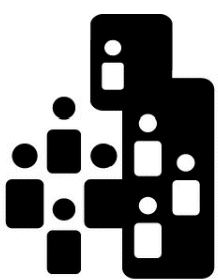
THE PROJECT SITE FOR THE GATES HAS BEEN HISTORICALLY VACANT. AERIAL IMAGERY SHOWS THAT THE SITE HAS BEEN EMPTY FOR OVER A CENTURY. THE CITY APPROVED A PUD CALLED "MONTEREY GATEWAY" IN 2002, WHEREIN THE SITE, AS PART OF A LARGER DEVELOPMENT, WAS CONTEMPLATED FOR A GAS STATION, CAR WASH, MINI MARKET, FAST FOOD RESTAURANT (NO OUTDOOR EATING ALLOWED), AND RETAIL/OFFICE SPACE. OF THOSE USES, THE GAS STATION, CAR WASH, MINI MARKET, AND FAST FOOD RESTAURANT WERE CONSTRUCTED IN THE 2000'S. NO ADDITIONAL WORK HAS OCCURRED OVER THE PAST DECADE. THE PROJECT SITE ITSELF WAS ENVISIONED FOR LARGE SURFACE PARKING LOTS AND PREDOMINANTLY SINGLE-STORY RETAIL/OFFICE SPACE THAT NO LONGER FITS THE LIFESTYLE OR VISION OF RESIDENTS AND WORKERS IN THE BAY AREA. WITH THE RECENT AND EVER-INCREASING TREND TOWARD CREATING FLEXIBILITY IN THE BUILT ENVIRONMENT - SUCH AS WORKING FROM HOME OR COLLOCATING LIVING AND WORK SPACE -- THE PROJECT SITE WOULD BENEFIT TREMENDOUSLY FROM A VIBRANT MIX OF USES THAT WORK IN TANDEM WITH ONE ANOTHER AND TAKE ADVANTAGE OF BOTH VERTICAL AND HORIZONTAL INTEGRATION.

DESIGN GUIDELINES:

THE PROJECT DESIGN TEAM CONSULTED THE CITY'S DESIGN GUIDELINES IN CREATING THE PROPOSED NEIGHBORHOOD LAYOUT AND HOME DESIGNS. A FEW KEY DESIGN ELEMENTS THAT PROMOTE THE CITY'S DESIGN GOALS INCLUDE:

- PEDESTRIAN CONNECTIVITY PROMOTED THROUGH THE SITE
- VARYING HOME SIZES AND CONFIGURATIONS
- COMMERCIAL SPACES AND HOMES ORIENTED TOWARD PUBLIC STREETS, CREATING A STRONG STREETWALL AS WELL AS A COMFORTABLE EXPERIENCE FOR THE PEDESTRIAN ALONG THE PUBLIC SIDEWALK. NATIVE PLANTINGS WILL PROVIDE A PLEASANT AND WALKABLE STREETScape.
- GARAGES AND THE MAJORITY OF SURFACE PARKING ARE ORIENTED AWAY FROM THE PUBLIC STREET AND OUT OF VIEW.
- ALL HOMES HAVE ACCESS TO WELL ORGANIZED PRIVATE OPEN SPACES AND BOTH HOMES AND COMMERCIAL SPACES HAVE ACCESS TO CENTRALIZED COMMON OPEN SPACES.

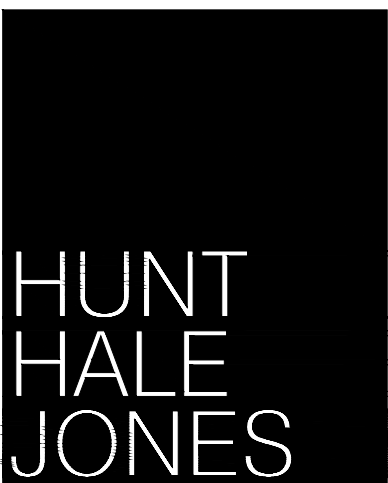
CITY VENTURES IS EAGER TO WORK WITH THE CITY OF MORGAN HILL TO PURSUE A PROJECT THAT WILL BRING VIBRANCY TO THE PROJECT SITE AND COMPLEMENT THE MADRONE NEIGHBORHOOD. WE LOOK FORWARD TO WORKING WITH YOU TO BRING THIS COMMUNITY TO FRUITION!



City Ventures

THE GATES

18545-18565 MONTEREY ROAD
MORGAN HILL, CALIFORNIA



Architecture | Planning | Interiors

444 Spear Street, Suite 105
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t. 415-512-1300
f. 415-288-0288

PROJECT OVERVIEW & PAST PROJECTS - 1

P0.1

SCALE: N.T.S.
DATE: 08.21.2023
PROJECT: 317062.00





MONTEREY GATEWAY



LODEN PLACE



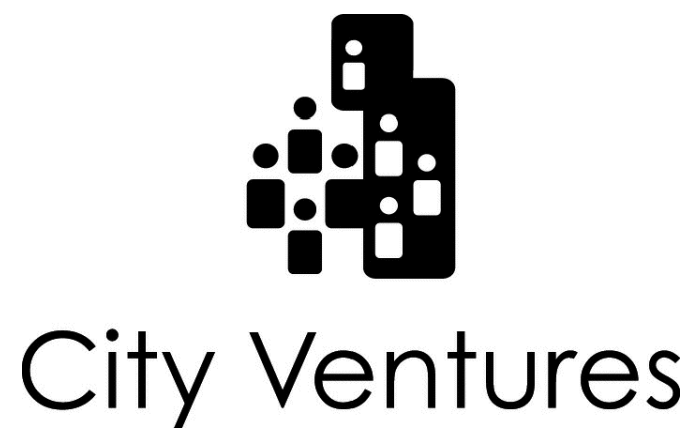
DEPOT STATION



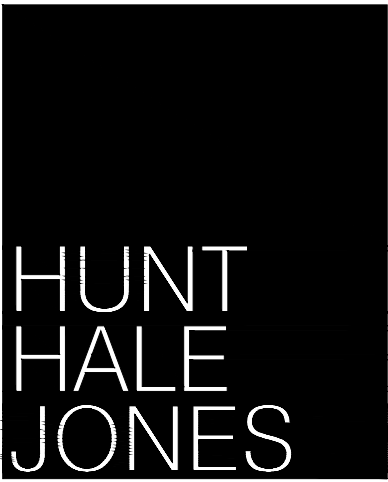
MONTEREY COLLECTION



SOLERA RANCH



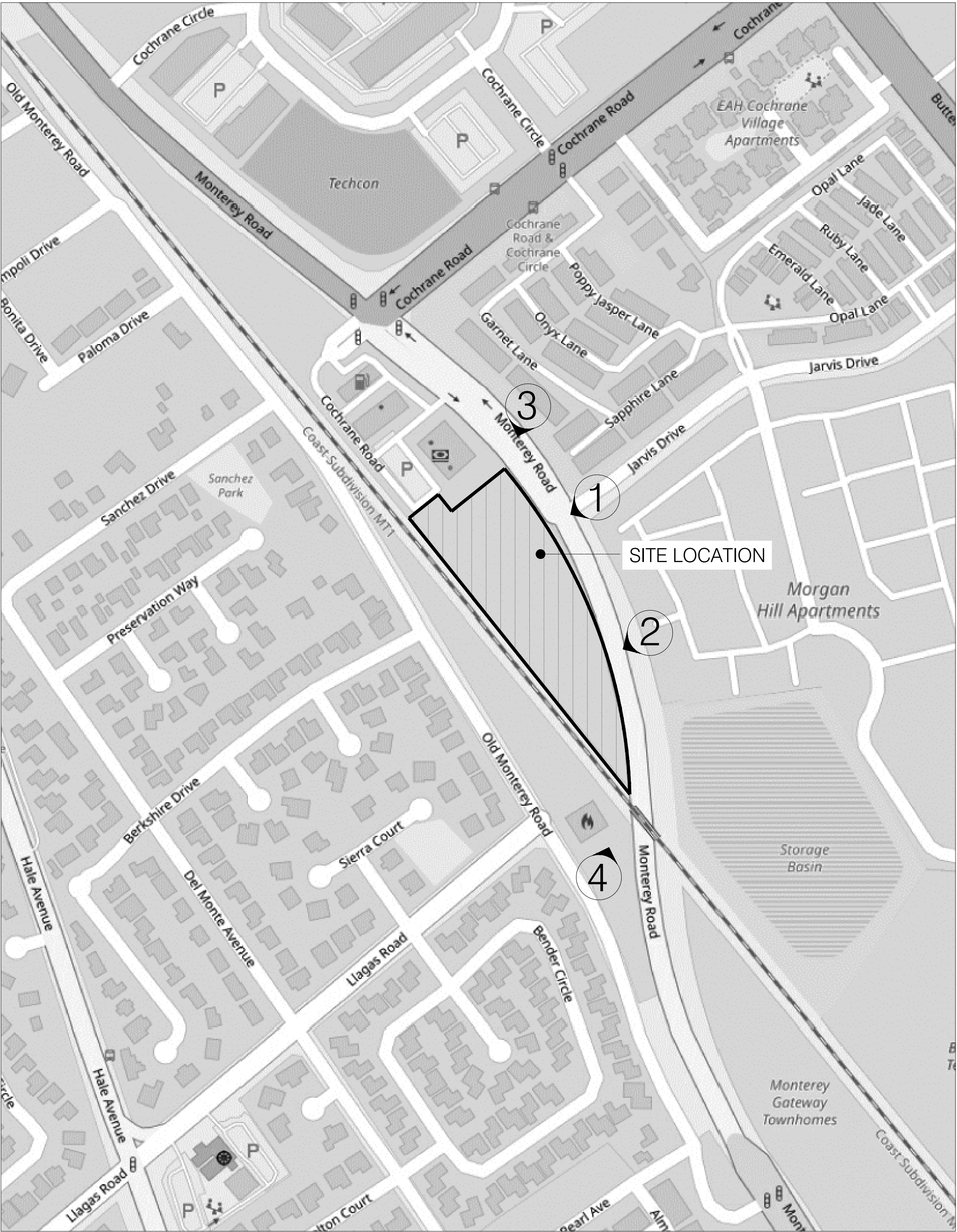
THE GATES
18545-18565 MONTEREY ROAD
MORGAN HILL, CALIFORNIA



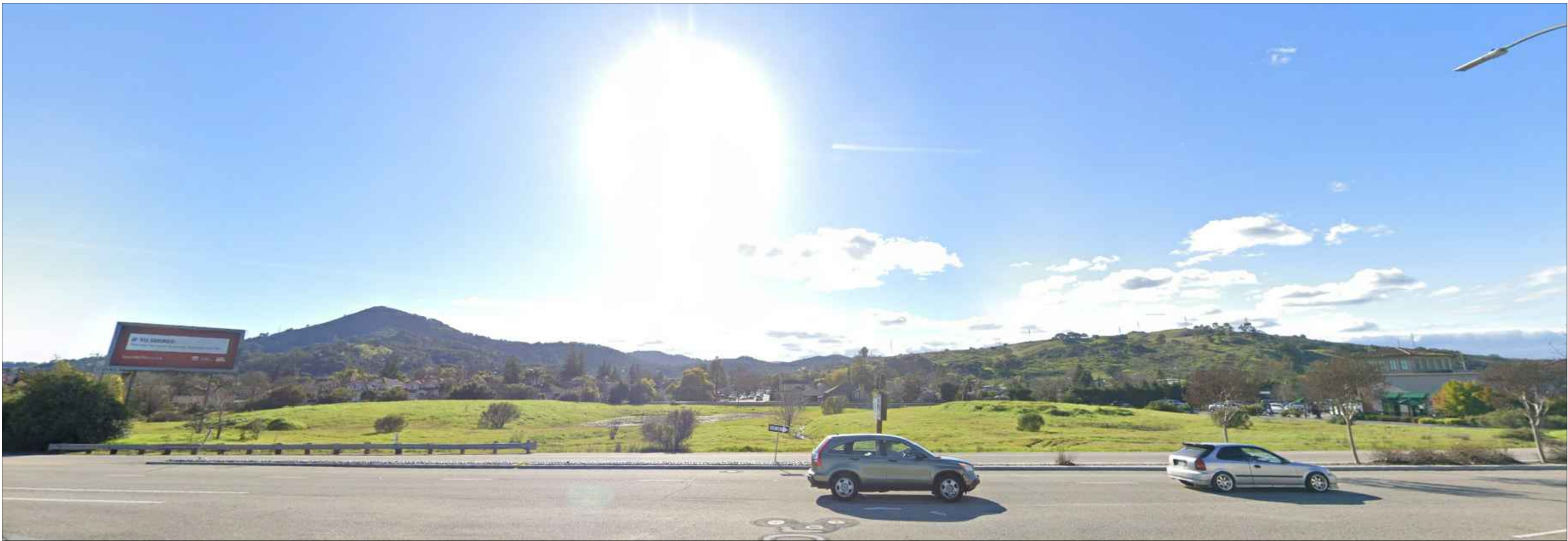
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PROJECT OVERVIEW & PAST PROJECTS - 2
P0.2
SCALE: N.T.S.
DATE: 08.21.2023
PROJECT: 317062.00



VICINITY MAP



VIEW NO. 1 SITE LOCATION FROM MONTEREY RD. & JARVIS DR.



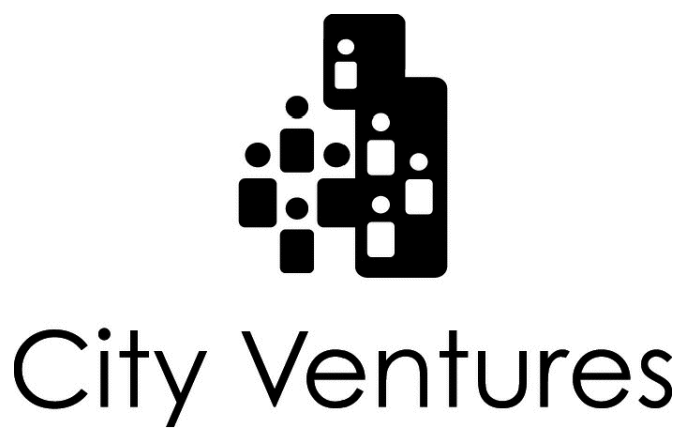
VIEW NO. 2 FROM ACROSS MONTEREY RD.



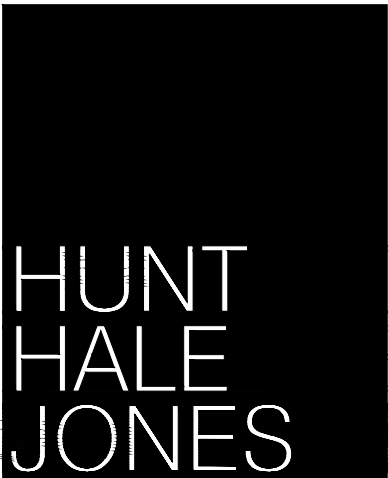
VIEW NO. 3 FROM ACROSS MONTEREY RD.



VIEW NO. 4 FROM OLD MONTEREY RD. BEHIND THE TRAIN



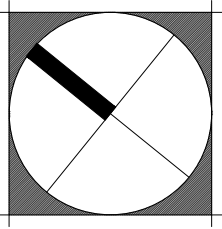
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MORGAN HILL, CALIFORNIA



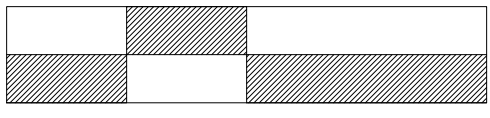
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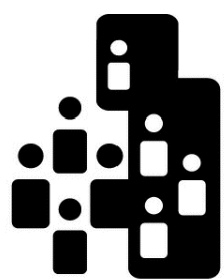
VICINITY MAP & NEIGHBORHOOD PHOTOS
PH
SCALE: N.T.S.
DATE: 08.21.2023
PROJECT: 317062.00



NORTH



0' 25' 50' 100'

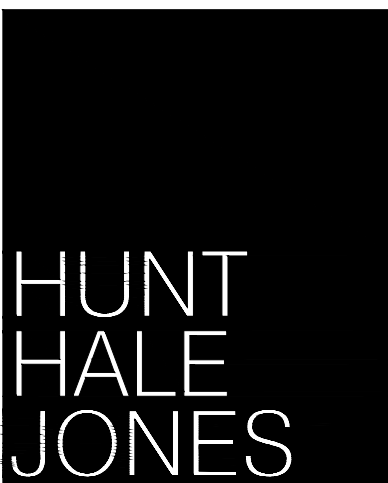


City Ventures

THE GATES

18545-18565 MONTEREY ROAD

MORGAN HILL, CALIFORNIA



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COLORED SITE PLAN

CSP

SCALE: 1"=40'-0"
DATE: 08.21.2023
PROJECT: 317062.00

PROJECT DATA		
18545 - 18565 MONTEREY ROAD MORGAN HILL, CALIFORNIA APN 764-10-013 & 764-10-015		
	EXISTING	PROPOSED
ZONING	MU-F (MIXED USE FLEX)	MU-F (MIXED USE FLEX)
GENERAL PLAN	MU-F (MIXED USE FLEX)	MU-F (MIXED USE FLEX)
SITE AREA	3.815 AC/166,181 SF	
TOTAL DWELLING UNITS	49 UNITS	
TOTAL COMMERCIAL UNITS	5	
OCCUPANCY	-	
RESIDENTIAL	R2/U	
COMMERCIAL	A2/B/M	
CONSTRUCTION TYPE	-	
RESIDENTIAL	V-B	
COMMERCIAL	V-B	
ACCESSIBLE UNITS (5% x 49)	5 UNITS	
FIRE SPRINKLER	NFPA - 13	
MIXED USE FLEX REQMTS.		
	REQUIRED	PROPOSED
RESIDENTIAL DENSITY	7 MIN - 24 MAX DUA	12.84 DUA
SETBACKS		
FRONT	MIN: 15 FT	MIN: 15 FT
REAR	MIN: 20 FT	MIN: 20 FT
INTERIOR SIDE	MIN: 5 FT	MIN: 5 FT
STREET SIDE	MIN: 10 FT	MIN: 10 FT
COMMON OPEN SPACE	15% OF SITE AREA 25,000 SF.	28,047 SF.
PRIVATE OPEN SPACE	48 SF./UNIT	80 - 212 SF./UNIT
BLDG. HEIGHTS	ALLOWED	PROPOSED
	35 FT. (*45 FT.)	35 FT. (*45 FT.)
PARKING		
RESIDENTIAL	REQUIRED	PROPOSED
DEDICATED	123 (2.5/UNIT)	123 (98 COVERED) (25 UNCOVERED)
GUEST	17 (1/3 UNITS)	18
COMMERCIAL	17 SPACES (1/250 SF)	24** SPACES

PARKING REQMT.

GENERAL

- CITY TBL 18.72-2 UNIT PRKG: 2.5/UNIT x 49 UNITS = 122.5 = 123 SPACES REQD.
 - COVERED = 49 UNITS x 2 = 98 SPACES REQD. (98 PROVIDED)
 - UNCOVERED = 25 SPACES REQD. (25 PROVIDED)
- COMMERCIAL PRKG (CITY TBL 18.72-2): 1/250 SF = 4,016 SF/250 = 16.07 SPACES = 17 REQD. (24 PROVIDED)
- GUEST PRKG (CITY TBL 18.72-3): 1:3 UNITS = 49 UNITS/3 = 16.3 SPACES = 17 REQD. (17 PROVIDED)

ACCESSIBILITY

- ASSIGNED SPACES (SECT 1109A.4) : 2% OF ASSIGNED SPACES = 123 SPACES x 2% = 2.46 = 3 REQD.
- UNASSIGNED:
 - RESIDENTIAL (SECT 1109A.5): 5% OF REQD. SPACES = 17 SPACES x 5% = .85 = 1 REQD. (2 PROVIDED)
 - NON-RESIDENTIAL (TBL 11B-208.2): 1- 25 SPACES = 17 SPACES = 1 REQD. (2 PROVIDED)
- VAN SPACES (SECT 1109.8.6): 1:8 ACCESSIBLE SPACES = 1 SPACE REQD.

CAL GREEN

CLEAN AIR SPACES (TBL 5.106.5.2): 51-75 SPACES REQ 9 SPACES (9 PROVIDED)

- EV SPACES
 - NON-RESIDENTIAL (TBL 5.106.5.3.1): 10-25 SPACES REQS 4 CAPABLE SPACES (4 PROVIDED)
 - RESIDENTIAL (SEC 4.106.4.2.2):
 - EV CAPABLE: 10% OF 140 SPACES = 14 SPACES REQD. (15 PROVIDED - 10 INSIDE RES. UNITS & 5 OUTSIDE - LOCATIONS ARE CONCEPTUAL)
 - EV READY: 1/UNIT x 49 UNITS = 49 REQD. (49 PROVIDED)
 - EV CHARGERS: 5% OF 140 SPACES = 7 REQD. OF WHICH 1 IS IN GUEST PRKG. AREA (7 PROVIDED - 5 INSIDE RES. UNITS & 2 OUTSIDE LOCATIONS ARE CONCEPTUAL)
 - MHMC CH. 18.72.040C: 25 - 49 SPACES = 2 REQD.
- BICYCLE PARKING
 - RESIDENTIAL
 - SHORT TERM PRKG (5.106.4.1.1): 5% OF PRKG. SPACES = 25 x 5% = 1.25 = 2 REQD. (4 PROVIDED)
 - MHMC TBL. 18.72-7: 10% OF REQD. SPACES OR 4 MIN. = 17 x 10% = 1.7 = 2 REQD.
 - LONG TERM BIKE PRKG (5.106.4.1.2) : 1 SPACE/GAR. (1 PROVIDED/GAR)
 - MHMC TBL. 18.72-7: 1:5 SPACES = 17 SPACES = 4 REQD.
- NON-RESIDENTIAL
 - SHORT TERM PRKG (5.106.4.1.1): 5% OF PRKG. SPACES = 17 x 5% = .85 OR 2 MIN. REQD. (2 PROVIDED)
 - MHMC TBL. 18.72-7: 10% OF REQD. SPACES = 17 x 10% = 1.7 = 2 REQD.
 - LONG TERM BIKE PRKG (5.106.4.1.2) : 10% OF PRKG. SPACES = 17 x 10% = 1.7 = 2 REQD. (2 PROVIDED)
 - MHMC TBL. 18.72-7: 1:20 SPACES = 17 SPACES = 1 REQD.

FAR CALCULATION:

- MAX. FAR FOR MU-F PER MCMH 18.22.040 = 0.5
- PROPOSED FAR
 - BLDG 1 TOTAL SQFT,
 - PLAN 3 (5 UNITS) 5 x 2816 = 14,080 SQFT
 - TOTAL COMMERCIAL SPACES 4,010 SQFT
 - 18,090 SQFT

PROPOSED FAR, 18,090 : 166.181 = 0.1

NOTE:

* WITH A MINIMUM OF 10'-0" DEVOTED TO A ROOF ELEMENT

** A PORTION OF THE EXISTING STARBUCKS PARKING LOT IS WITHIN THE PROJECT AREA. 12 OF THESE SPACES BELONG TO THE STARBUCKS PROPERTY OWNER VIA AN EASEMENT, AND ARE THEREFORE NOT INCLUDED IN THE TOTAL.

BLDG. SUMMARY									
BLDGS.	PLANS								TOTAL
	PLAN 1	PLAN 1X	PLAN 2	PLAN 2X	PLAN 3	COMM 1	PLAN 3 END	COMM 2	
BLDG. 1	-	-	-	-	3	4	2	1	5 DU/5 CU
BLDG. 2	3	1	2	1	-	-	-	-	7 DU/0 CU
BLDG. 3	3	1	1	2	-	-	-	-	7 DU/0 CU
BLDG. 4	2	-	-	2*	-	-	-	-	4 DU/0 CU
BLDG. 5	2	3	1	1*	-	-	-	-	7 DU/0 CU
BLDG. 6	2	1	-	2*	-	-	-	-	5 DU/0 CU
BLDG. 7	3	1	2	1*	-	-	-	-	7 DU/0 CU
BLDG. 8	3	1	2	1	-	-	-	-	7 DU/0 CU
TOTAL	18	8	8	10	3	4	2	1	49 DU/5 CU

NOTE:

* = ACCESSIBLE UNITS (5 TOTAL)

ACCESSIBLE UNIT TYPES TO BE FINALIZED DURING BUILDING PERMIT PROCESS

DU = DWELLING UNIT

CU = COMMERCIAL UNIT

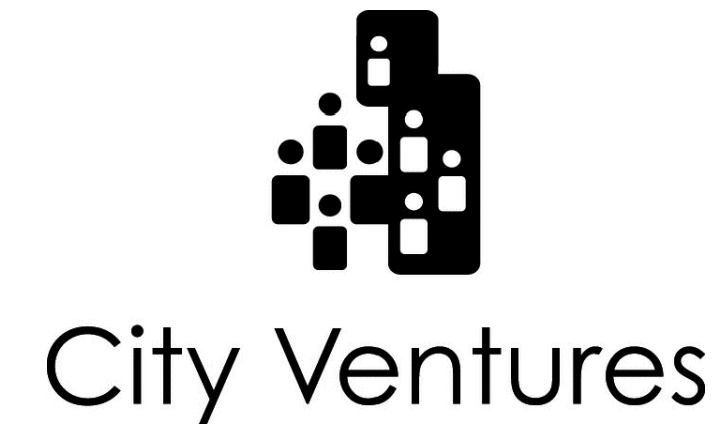
UNIT SUMMARY					
PLAN NUMBER	TOT. UNITS	% UNITS	TOT. LIVING	DECKS	GARAGE
PLAN 1 - (3 BD - 3 BTH)	18	37%	1,403 SF	112 SF	556 SF
PLAN 1X - (3 BD - 3 BTH)	8	16%	1,403 SF	112 SF	655 SF
PLAN 2 - (3 BD - 3 BTH)	8	16%	1,697 SF	80 SF	502 SF
PLAN 2X - (3 BD - 3 BTH)*	10	21%	1,760 SF	81 SF	506 SF
PLAN 3 - (3 BD - 2.5 BTH - DEN/OPT BD 4 - 4 BTH)	3	6%	2,310 SF	212 SF	506 SF
COMMERCIAL 1	4	-	±665 SF	-	-
PLAN 3 END - (3 BD - 2.5 BTH - DEN/OPT BD 4 - 4 BTH)	2	4%	2,310 SF	212 SF	506 SF
COMMERCIAL 2	1	-	1,350 SF	-	-
TOTAL UNIT	49 DU/5CU				

NOTE:

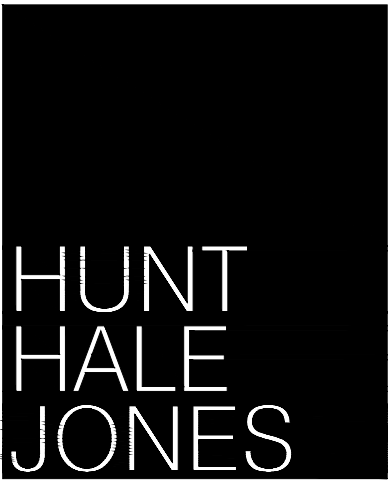
* = ACCESSIBLE UNITS (5 TOTAL)

DU = DWELLING UNIT

CU = COMMERCIAL UNIT



THE GATES
18545-18565 MONTEREY ROAD
MORGAN HILL, CALIFORNIA



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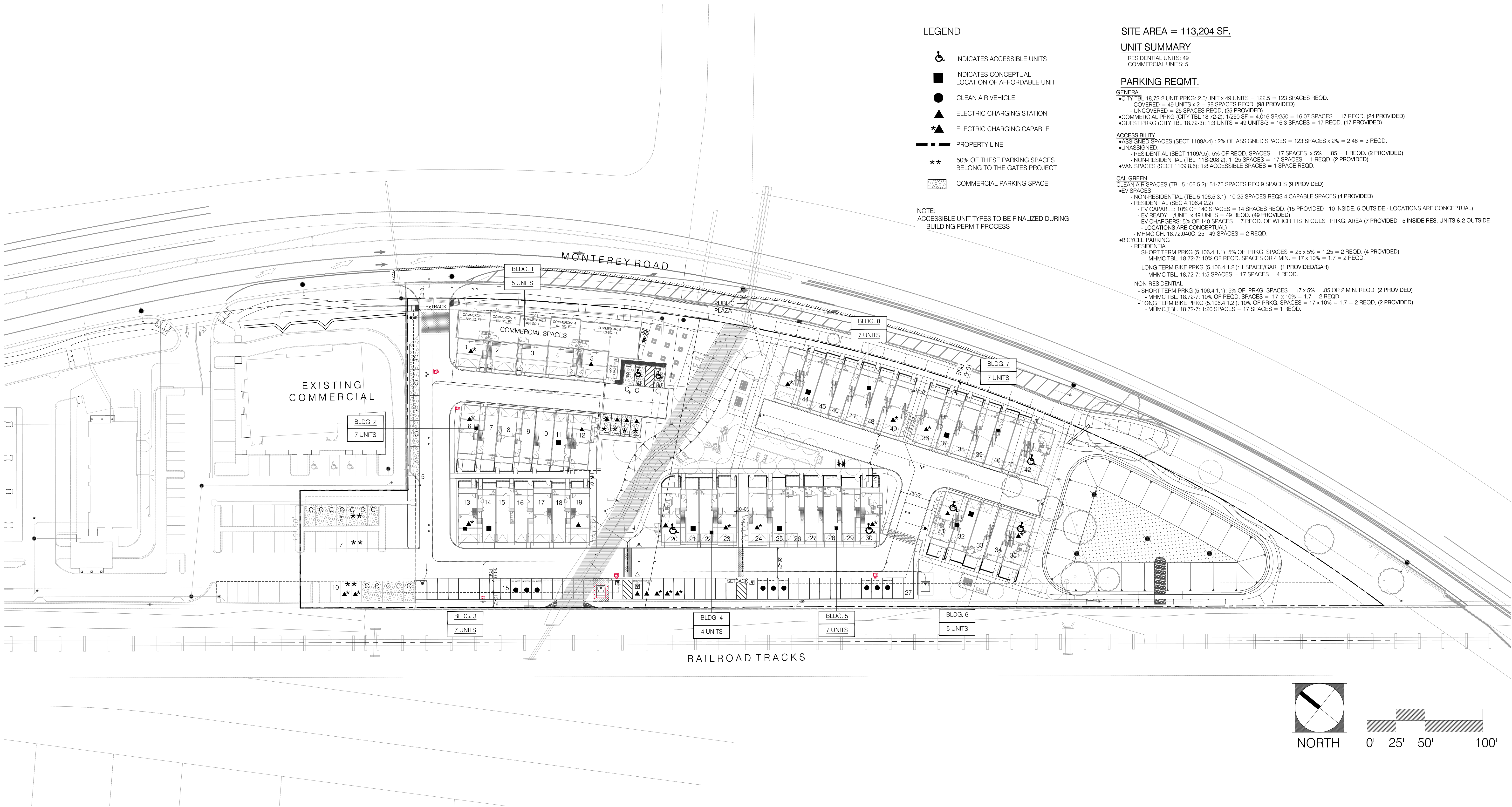
t. 415-512-1300
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PROJECT INFORMATION

PI

SCALE: N.T.S.
DATE: 08.21.2023
PROJECT: 317062.00



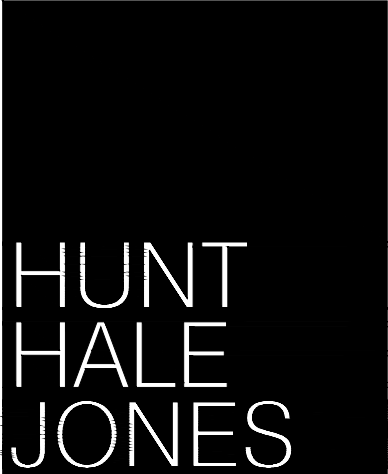


City Ventures

THE GATES

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CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING COMMISSION
ON October 24, 2023
SD221-0006 Morgan Hill City Ventures
(The Gates)

FILE NUMBER
PLANNING OFFICIAL

PRELIMINARY SITE PLAN

SP

SCALE: 1"=40'-0"

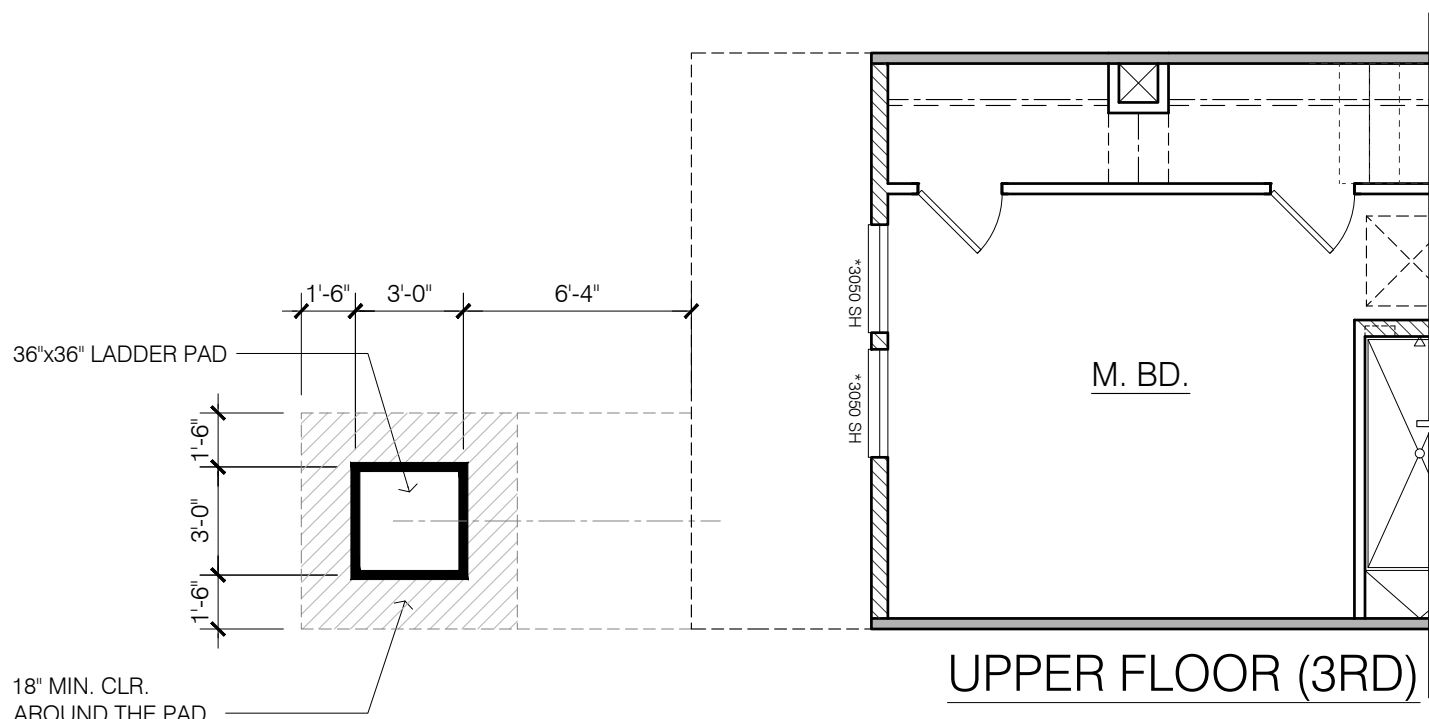
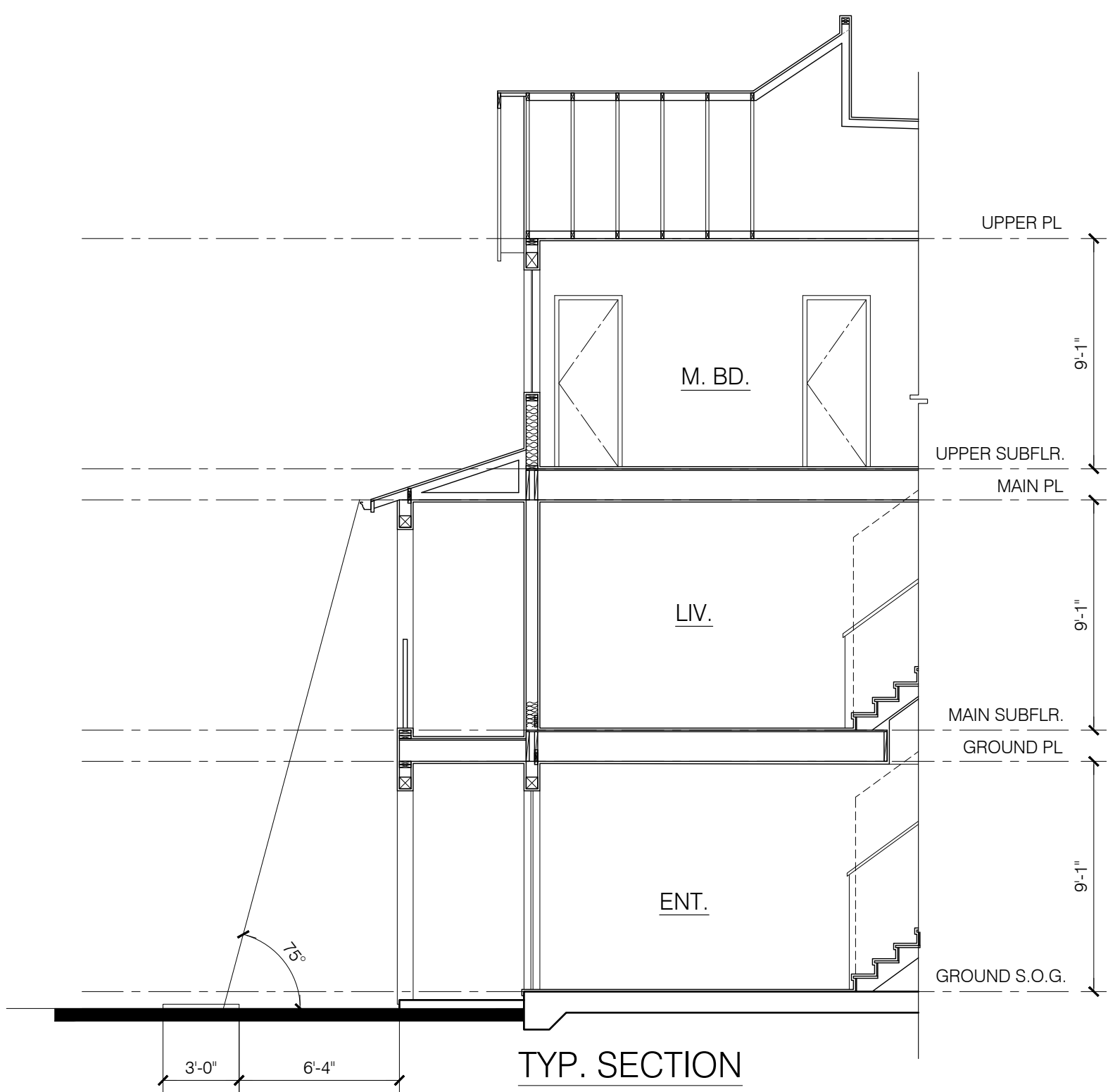
DATE: 08.21.2023

PROJECT: 317062.00

THE GATES - NON-STRUCTURAL PROVISIONS - CBC 2022					
PROJECT DESCRIPTION - CLIMATE ZONE 4 THE PROJECT CONSISTS OF EIGHT - 3 STORY TOWNHOUSE STYLE CONDOMINIUM BUILDINGS TOTALING 49 RESIDENTIAL UNITS WITH PRIVATE GARAGES W/ DIRECT ACCESS TO THEIR UNITS AND 5 COMMERCIAL UNITS					
PART I GENERAL BUILDING CHARACTERISTICS - NON-STRUCTURAL AND SPECIFIC MEP PROVISIONS					
CHPTR	CODE REQUIREMENT	REQUIREMENT DESCRIPTION	CBC CODE SECTION	DESCRIPTION OF PROPOSED CONDITION	OTHER COMMENTS
1. BUILDING CLASSIFICATION - CBC CHAPTER 3					
	OCCUPANCIES	R2 U A2 (COMM. 2) B (COMM. 1)	CONDOMINIUM GARAGE COMMERCIAL COMMERCIAL	CBC SEC 310.4 & 419.2 (LIVE/WORK) CBC SEC 312 CBC SEC 303 CBC SEC 303	
2. CONSTRUCTION TYPE - CBC CHAPTER 6 AND 15					
	CONSTRUCTION TYPE ROOF COVERING	TYPE VB CLASS C PROVIDED	NON-RATED WOOD FRAME CLASS A PROVIDED	CBC SEC 602.5, TABLE 601 CBC SEC 1505, TABLE 1505.1	
3. FIRE SPRINKLER SYSTEM - CBC SECTION 903 LOCATION OF REQUIRED SPRINKLER SYSTEMS					
	REQUIREMENT AND TYPE	R2 U A2	NFPA 13R NFPA 13R NFPA 13	CBC SEC 420.5 & 903.3.2 CBC SEC 903.2.8 AND 903.3.1.2 CBC SEC 903.3.1.1	
4. SPECIAL PROVISIONS - CBC CHAPTER 4					
	R2 - RESIDENTIAL R2 OVER A2	SEPARATION WALLS AT DWELLING UNITS 1-HR RATED HORIZONTAL SEPARATION AUTOMATIC SPRINKLER SYSTEM	CBC SEC 420.2 CBC SEC 420.3 AND SEC 711.2.4.3 CBC 420.5 / CBC SEC. 903.2.8	1 HR - PROVIDED RECD. W/ QUICK RESPONSE OR RES. SPKLR RECD. BASED ON ALLOWABLE BLDG. AREA	 CBC 903.3.2
PART II SPECIFIC BUILDING REQUIREMENTS					
5. GENERAL BUILDING HEIGHTS AND AREAS - CBC CHAPTER 5, BASED UPON TYPE VB CONSTRUCTION WITH AN AUTOMATIC SPRINKLER SYSTEM					
	THIS IS A MIXED USE AND OCCUPANCY PROJECT THE OCCUPANCIES ARE NOT CONSIDERED ACCESSORY THE OCCUPANCIES WILL BE SEPARATED		CBC SEC 508 CBC SEC 508.2 CBC SEC. 508.4 AND TABLE 508.4		
	ALLOWABLE BUILDING AREA	EACH STORY SHALL HAVE THE SUM OF THE RATIOS LESS THAN 1	CBC SEC 508.4.2		
	ALLOWABLE BUILDING HEIGHT	EACH OCCUPANCY SHALL COMPLY WITH BUILDING HEIGHT LIMITATIONS	CBC SEC 508.4.3		
	ALLOWABLE HEIGHT AND NUMBER OF STORIES		CBC SEC 504 AND TABLES 503.3 & 503.4		
	NO AREA INCREASE SOUGHT	R2 - HEIGHT 60 FT. ALLOWED	CBC TABLE 503.3		
	NO AREA INCREASE SOUGHT	R2 - STORIES 3- STORIES ALLOWED	CBC TABLE 503.4	3-STORIES PROPOSED	
	ALLOWABLE BUILDING AREA - IN ALL CASES A SPRINKLER SYSTEM IS USED. PER CBC SEC. 506.2.4, THE BUILDING IS 3-STORIES OR LESS AND THE INDIVIDUAL OCCUPANCIES SHALL APPLY			BLDG. 8 - 4,915 SF. PROPOSED AT MAIN FLR - LARGEST FLR	
		R2 21,000 SQ. FT. / FLOOR ALLOWED	CBC TABLE 506.2		
NOTE: THE BELOW CALCULATION REPRESENTS THE LARGEST BUILDING COMPOSITION. NO BLDG. HAS A SINGLE STORY BLDG. AREA GREATER THAN 9,906 SF.					
BUILDING AREA MODIFICATION: BLDG. 7-8 MAX. ALLOWABLE BLDG. IS 76,230 SF MAX. ALLOWABLE STORY IS 25,410 SF ALLOWABLE BLDG. AREA: CBC SECT. 506.2.2 A ₁ = (A ₁ - (NS + 1)) A ₂ = [21,000 + (7,000 x 0.63)] A ₃ = [21,000 + 4,410] A ₄ = 25,410		CBC SECT. 506.1 CBC SECT. 506.2 (ACTUAL 29,044 SF TOTAL BLDG.) CBC SECT. 506.2.3 (LARGEST ACTUAL MAIN FLR 9,906 SF.) FRONTAGE INCREASE FACTOR - CBC TBL. 506.3.3 % OF BLDG. PERIMETER = 75 TO 100 OPEN SPACE = 25 TO 30' I = .63			
6. TYPES OF CONSTRUCTION - CBC CHAPTER 6					
	ALL OCCUPANCIES	R2/ U/ A2	TYPE VB	CBC SEC 602.5 AND TABLE 601	NON-RATED WOOD FRAME CONSTRUCTION TO BE USED
SEE PART 1.2					
7. FIRE AND SMOKE PROTECTION FEATURES					
RATED CONSTRUCTION					
	1 TYPE OF CONSTRUCTION	VB	NON-RATED	CBC TABLE 601	NO RATING REQUIREMENT FOR ALL COMPONENTS
	2 FIRE SEPARATION DISTANCE				
	- EXTERIOR WALLS	0 < 3 FT.	1 HR	CBC TABLE 602	EXTERIOR WALLS LESS THAN 3 FT. FROM PROPERTY LINE TO BE 1HR
	- EXTERIOR WALL CONSTRUCTION	1 HR	SEE PLAN DIAGRAM FOR LOCATIONS	CBC SEC 705	GA FILE ASSEMBLIES AND CBC TABLE 721.1(2). SEE SHT. AD4.1
	- PROJECTIONS AT EXTERIOR				
	ROOF				
	BALCONY				
	3 OCCUPANCY SEPARATION	R2	1 HR - SPRINKLED	CBC TABLE 508.4	1 HR PROVIDED AT FLOOR/CEILING
	4 SPECIAL PROVISIONS- CHP. 4	R2 - R2	1-HR BETWEEN UNITS (ONLY VERTICAL APPLIES)	CBC SEC 420.3 AND SEC 711.2.4.3	1 HR PROVIDED AT WALLS BTWN. UNITS. SEE AD8.1
	5 NO AREA SEPARATIONS REOD				
RATED CONSTRUCTION AT ELEMENTS					
	PARAPETS AT EXTERIOR WALLS	REQUIRED AT RATED WALLS BASED UPON FIRE SEPARATION DISTANCE	CBC SEC 705.11		APPLIES BTWN INTERIOR UNITS. SEE SHT. AD8.1
					SEE WALL SECTIONS AND PLAN DIAGRAM
	NO PARAPETS AT EXTERIOR WALLS	EXCEPTIONS PROVIDED IN LIEU OF PARAPET	CBC SEC 705.11 EXCEPTION 5.1		FIRE RETARDANT WOOD FOR 4 FT. AT ROOF
					SEE WALL SECTIONS AND ROOF PLAN FOR 1-HR CONST.
	PROJECTIONS AT EXTERIOR WALLS	1 HR. WHERE EXTENDING WITHIN 3 FT. OF PROPERTY LINE	CRIC SEC R302.1(2)		EXT. EAVES & RAKES. SEE SHT. AD1.3
	DECKS @ PROP. LINES	EXTERIOR WALL IS RATED. A 42" PARAPET IS PROVIDED	CBC SEC 705.11		
		THE SPACE BEHIND THE PARAPET IS AN OCCUPABLE ROOF			
	DECKS @ PROP. LINES	TREATED AS A PROJECTION	CBC SEC 705.2 TABLE 705.2, 705.2.3		1 HR FIRE RESISTIVE CONSTRUCTION. SEE SHT. AD4.4
	ALLOWABLE OPENINGS	AT PROPERTY LINES APPLY	CBC TABLE 705.8		
		0' TO LESS THAN 3' SHALL HAVE 0% UNPROTECTED WALL OPENGS. 3' TO LESS THAN 5' SHALL BE LIMITED TO 15% MAX. UNPROTECTED/SPRINKLED WALL OPENGS. 5' TO LESS THAN 10' SHALL BE LIMITED TO 25% MAX. UNPROTECTED/SPRINKLED WALL OPENGS. 10' TO LESS THAN 15' SHALL BE LIMITED TO 45% MAX. UNPROTECTED/SPRINKLED WALL OPENGS. 15' TO LESS THAN 20' SHALL BE LIMITED TO 75% MAX. UNPROTECTED/SPRINKLED WALL OPENGS. 20' OR GREATER SHALL HAVE UNLIMITED UNPROTECTED/SPRINKLED WALL OPENINGS.			
	HORIZONTAL ASSEMBLIES	AS REQUIRED BY OCCUPANCY SEPARATION	CBC SECT 711.2		GARAGE TO HOUSE SEPARATION
	PENETRATIONS	THROUGH AND MEMBRANE PENETRATIONS AT RATED CONSTRUCTION	CBC SEC 714		SEE SHT AD8.1 FOR DETAILING
	OPENING PROTECTIONS	NONE REQUIRED - SEE ALLOWABLE OPENINGS DIAGRAM	CBC SEC 716		N/A
	DUCTS AND TRANSFER OPENING	NONE EXIST			
CONCEALED SPACES					
	FIRELOCKING	CONCEALED SPACES, HORIZONTAL/VERTICAL SPACES, STAIRWAYS, CORNICES, SLEEPER SPACES.	CBC SEC 718.2.1- 718.2.7		SEE WALL SECTIONS, WALL TYPE, ROOF DETAILS AND 2ND FLOOR DECK FRAMING
	DRAFTSTOPPING	FLOOR/CEILING SPACES, CONCEALED SPACE, ROOF SPACES (WHERE APPLICABLE - NO SPACES OVER 3,000 SQ. FT.).	CBC SEC 718.3, 718.4		SEE WALL SECTIONS, ROOF DETAILS, WALL TYPES
	FIRE RESISTANCE REQTS FOR PLASTER EXTERIOR WALLS	CEMENTIOUS SIDING IS USED AS PART OF FIRE RESISTIVE CONSTRUCTION AT EXTERIOR WALLS	CBC SEC 719 AND TABLE 721.1(2)		1 HR FIRE RESISTIVE CONSTRUCTION. SEE SHT. AD4.1
8. INTERIOR FINISHES					
	WALL & CEILING - CLASS C FINISHES ALLOWED IN SPRINKLERED R2		CBC SEC 803.11 TABLE 803.1.1		GYPSUM BOARD FINISH WILL BE USED AND IS A CLASS A FINISH MATERIAL
	WO/TILE FLOOR - FIBER FREE & OF A TRADITIONAL TYPE NA		CBC SEC 804.1 EXCEPTION		
	CARPET - IN ACCORDANCE WITH NFPA 253		CBC SEC 804.1 THROUGH 804.4		CONTRACTOR TO PROVIDE
	OTHER MATERIALS - COMPLY WITH ASTM E648, AND HAVING A SMOKE DENSITY RATING OF LESS THAN 450 PER ASTM E84		CBC SEC 806		CONTRACTOR TO PROVIDE
9. FIRE PROTECTION SYSTEMS					
	AUTOMATIC SPRINKLER SYSTEMS	R2 & U		CBC SEC 903.2.10 AND SEC 903.3.1	NFPA13 TO BE PROVIDED
	DEFERRED SUBITTAL				
	STANDPIPE SYSTEMS		CBC SEC. 905.3 EXCEPTIONS		NOT REQUIRED IN GROUP R3

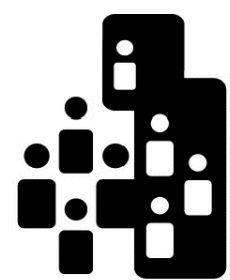
PORTABLE FIRE EXTINGUISHERS		CBC 906.1	NOT REQUIRED IN GROUP R3	
R2	MIN. RATING OF 1-A-10-B-C AND MAX TRAVEL DISTANCE 75 FT.	CBC SEC 906.1 EXCEPTION TABLE 906.3(1)	PORTABLE FIRE EXTINGUISHERS. SEE GARAGE OF UNIT PLANS	SEE A1.1.1-A1.4.8
FIRE ALARM AND DETECTION SYSTEMS	NOTE: FIRE ALARM & DETECTION SYSTEMS ARE DEFERRED SUBMITTALS			
MANUAL FIRE ALARM SYSTEMS	R2 NOT REQUIRED	CBC SEC 907.2.2, 907.2.9.1 EXCPT 2 & 3		
SMOKE ALARMS	MULTIPLE STATION ALARMS TO BE PROVIDED THROUGHOUT	CBC SEC 907.2.9.2 AND 907.2.11	SEE ELECTRICAL PLANS FOR LOCATIONS	
AUDIBLE ALARM SYSTEMS	SHALL BE PROVIDED	CBC SEC 907.5.2.1	DEFERRED SUBMITTAL	
VISIBLE ALARM SYSTEMS	R2 NOT REQUIRED	CBC SEC 907.5.2.3, 907.5.2.3.1 & 907.5.2.3.3	NOT REQUIRED	
FIRE COMMAND CENTER	NOT REQUIRED			
FIRE DEPARTMENT CONNECTION	SHALL BE PROVIDED AT A VISIBLE LOCATION	CBC SEC 912.1 AND 912.2	SEE CIVIL PLANS	
FIRE PUMPS	NOT REQUIRED			
CARBON MONOXIDE DETECTION	REQUIRED	CBC SEC 915.1.1 GAS APPLIANCES AVAILABLE	AT EACH LEVELS LOCATED AT HALL LEADING TO BEDROOMS	SEE UTILITY PLANS
10. MEANS OF EGRESS				
OCCUPANT LOAD		CBC SEC 1004 AND TABLE 1004.5		
R2 - UNIT 2 (LARGEST) 2,199 SF A2 - COM5 (LARGEST) 1,353 SF	LOAD FACTOR 200 = 11 OCCUPANT LOAD LOAD FACTOR 15 = 90 OCCUPANT LOAD			
EGRESS WIDTH - ALL SEPARATE				
STAIRWAYS - R2	36" MIN. - OCC. LOAD FACTOR CALCULATION IS LESS THAN REOD	CBC SEC 1011.2 EXCEPTION 1	SEE STAIR PLANS - 36" PROVIDED	
DOORS-UNIT ENTRY GARAGE, COM	32" MIN. CLEAR WIDTH - LOAD FACTOR CALC. LESS THAN REOD	CBC SEC 1010.1.1	SEE FLOOR PLANS - 32" CLEAR PROVIDED (36" DOOR)	
DOORS - WITHIN UNITS -NOT REOD	28" MIN. CLEAR PROVIDED EXCEPT AT CLOSETS AND STORAGE	CBC SEC 1010.1.1.2 EXCEPTION 1	DOORS WITHIN UNITS 28" MIN. CLEAR AS NOTED	SEE PLANS
DOOR HEIGHT	78" MIN. CLEAR REQUIRED	CBC SEC 1010.1.2 EXCEPTION 5	MIN. 78" PROVIDED - 8'-0" DOOR HEIGHTS TYP.	SEE PLANS
PASSAGEWAYS- DECK	36" MIN.	CBC SEC 1024.2	48" MIN. PROVIDED THROUGHOUT	SEE PLANS
NUMBER OF EXITS - A SINGLE INTERIOR STAIR EXIT IS PROPOSED TO DISCHARGE ALONG THE EDGE OF THE BUILDING PROVIDES A DIRECT AND UNOBSTRUCTED PATH TO THE PUBLIC WAY				
EGRESS FROM DWELLING UNIT	SINGLE EXIT ALLOWED W/ OCC. LOAD-20 AND COMMON PATH-125 FT	CBC SEC 1006.2 AND 1006.2.1 EXCPN 1	SINGLE EXIT PROVIDED AT EACH DWELLING UNIT	SEE DIAGRAM
SINGLE EXITS	SINGLE EXIT ALLOWED FROM 1-3 STORIES AND 4 UNITS OR LESS	CBC 1006.3.2 & TABLE 1006.3.2(1) < 125FT	COMMON PATH FOR EACH UNIT IS UNDER 125 FT.	SEE DIAGRAM
EXTERIOR EXIT STAIRWAY	PER CIVIL	CBC SEC. 1027		
EXIT DISCHARGE				
- EXIT DISCHARGE COMPONENTS				
EGRESS COURT	EGRESS COURT WIDTH NOT LESS THAN 44"	CBC SEC 1028.4.1	N/A	
EGRESS COURT CONSTRUCTION	WHEN LESS THAN 10FT WIDE EGRESS COURT CONSTRUCTION SHALL HAVE WALLS OF 1 HR CONSTRUCTION MIN. 10 FT. TALL	CBC SEC 1028.4.2	N/A	
ACCESS TO PUBLIC WAY	EXIT DISCHARGE SHALL BE UNOBSTRUCTED ACCESS TO PUBLIC WAY	CBC SEC 1028.5	SINGLE EXIT PROVIDED AT EACH DWELLING UNIT	SEE SP
EMERGENCY ESCAPE AND RESCUE				
SLEEPING ROOMS BELOW 4TH FLR	BEDROOMS SHALL HAVE RESCUE OPENINGS	CBC SEC 1030.1	BEDROOMS ARE PROVIDED WITH RESCUE OPENINGS	SEE UNIT PLANS
RESUCE OPENING SIZE	NET CLEAR - 5.7 SQ. FT., MIN. WIDTH 20", MIN. HEIGHT 24", MAX. 44" AFF	CBC SEC 1030.2	SEE PLANS FOR WINDOW SIZES AND NOTATIONS	
LADDER ACCESS	LADDER PAD SPACES FOR CLEARANCE IS REQUIRED	CALIFORNIA FIRE CODE	N/A	
11. ACCESSIBILITY				
HOUSING ACCESSIBILITY				
APPLICATION	NOT REQUIRED AT CONDOMINIUMS LESS THAN 4 UNITS	CBC SEC 1102A	10% OF 48 UNITS = 5 UNITS ARE REQUIRED TO BE ACCESSIBLE	SEE SITE PLAN
ACCESSIBLE ENTRANCE DOOR		CBC SEC 11B-206.4	ALL DOORS AT GROUND LEVEL ARE ACCESSIBLE - SEE PLANS	
ACCESSIBLE ROUTE	AN ACCESSIBLE ROUTE IS REQUIRED THROUGH THE SPACE	CBC SEC 11B-206.2.4 AND 11B-402	THERE IS AN ACCESSIBLE ROUTE TO BOTH THE ENTRANCE DOOR & POWDER ROOM	
ACCESSIBLE RESTROOM	ONE POWDER ROOM SHALL BE ACCESSIBLE	CBC SEC 11A	PLAN 2X (BLDG5: 6, 7, 8, 9, 11, 12, 14, 15 & 16) & PLAN 3LW (BLDG. 1)	
SITE ACCESSIBILITY				
ACCESSIBLE ROUTE	ARRIVAL POINTS, W/ ACCESS TO PARKING, LANDSCAPE, ELEV., STAIRS	CBC SEC 11B-206.2.1&2	AN ACCESSIBLE ROUTE IS PROVIDED FROM THE SIDEWALK TO PKG DCSP. AND ACCESSIBLE UNITS - SEE CIVIL	
PARKING	1 PARKING SPACE REQUIRED	CBC SEC 208.1 & 2, TABLE 11B-208.2	ONE ACCESSIBLE SPACE IS PROVIDED - SEE SP	
		CBC SEC 11B-402	THE SPACE IS VAN ACCESSIBLE AND MEETS THE DIMENSIONAL REQUIREMENTS	
	PARKING SIGNAGE	CBC SEC 1109A.4	THE SPACE IS ASSIGNED AND SIGNAGE IS REOD - SEE CIVIL	
12. INTERIOR ENVIRONMENT				
VENTILATION				
ATTIC VENTILATION	ENCLOSED RAFTER SPACES SHALL BE PROVIDED WITH CROSS VENT	CBC SEC 1203.2	ALL ROOFS ARE PROVIDED WITH MIN. 1" VENT SPACE	SEE ROOF PLANS
NATURAL VENTILATION	MIN. 4% OPENING OF HABITABLE ROOM FLR AREA	CBC SEC 1203.5	PLAN 1 BD 2 WORST CASE - 12.5 SQ. FT. / 106 SQ. FT. = 12%	
CONTAMINANTS EXHAUST	BATHROOMS SHALL BE MECHANICALLY VENTED	CBC SEC 1203.5.2.1	SEE MECH PLANS	
TEMPERATURE CONTROL	ACTIVE OR PASSIVE HEATING SYSTEMS SHALL BE PROVIDED IN ROOMS	CBC SEC 1204	SEE MECH/HVAC PLAN SYSTEMS - HABITABLE RMS HAVE OPERABLE WINDOWS	
LIGHTING				
NATURAL LIGHT	OPENINGS OF 8% OF ROOM FLR AREA SHALL BE PROVIDED	CBC SEC 1205.2	PLAN 1 BD 2 WORST CASE - 25 SQ. FT. / 106 SQ. FT. = 24%	
ARTIFICIAL LIGHT	AVG. 10 FT CANDLES AT 30" ABOVE FLOOR SHALL BE PROVIDED	CBC SEC 1205.3	SEE ELEC. PLANS	
YARDS		CBC SEC 1206		
SPACES ADJACENT TO EXT. OPNGS	MIN. WIDTH FOR 3 STORY - 3FT. + 1 FT. = 4 FT	CBC SEC 1206.2	YARD IS MIN. 9 FT. x 16 FT. (PLAN 2)	
SOUND TRANSMISSION				
AIR BORNE SOUND	STC MIN. 45 (FIELD TESTED) BETWEEN (HORZ. & VERT.) DWELLING UNITS AND OTHER SPACES	CBC SEC 1207.2	SEE DET. SHT. AD8.1 & 8.2 FOR COMPLIANCE	
STRUCTURE BORNE SOUND	IC -> 50 MIN. BETWEEN (HORZ. & VERT.) DWELLING UNITS AND OTHER SPACES	CBC SEC 1207.3	SEE DET. SHT. AD8.1 & 8.2 FOR COMPLIANCE	
NOISE STUDY	NOISE STUDY REQUIRES STC RATINGS FOR WALLS AND WINDOWS	VENEKLASSEN ASS.	SEE PLANS FOR CONFORMANCE TO REPORT	
INTERIOR SPACE DIMENSIONS				
PLAN DIMENSIONS	7 FT. MINIMUM WIDTH IN ANY DIRECTION	CBC SEC 1208.1	SEE PLANS	
AREA	ONE ROOM 120 SQ. FT. MIN. OTHERS 70 SQ. FT.	CBC SEC 1208.3	SEE PLANS	
HEIGHT	OCCUPABLE SPACES NOT LESS THAN 7'-6". BATHS, STOR ETC 7FT.	CBC SEC 1208.2	SEE SECTIONS AND FLOOR PLANS	
POLLUTANT CONTROL	FINISH MATERIALS SHALL MEET VOC STANDARDS OF CALGreen	CBC SEC 1212.1	SEE SHEETS MVGB AND GPR FOR CALGreen MEASURES	
14. EXTERIOR WALLS				
WEATHER PROTECTION	DESIGNED AND CONSTRUCTED TO PREVENT WATER ACCUMULATION	CBC 1402.2	ALL MATS TO HAVE WRB AND APPROPRIATE FLASHING	SEE DET. SHT. AD4.1
FIRE RESISTANCE	FIRE RESISTANCE REQUIRED PER CHAPTER 7	CBC 1402.4		
VERT. & LAT. FLAME PROPOGATION	COMBUSTIBLE WATERPROOF BARRIER TO BE TESTED	CBC 1402.5	BLDG TYPE AND HEIGHT ARE EXCEPTED - NOT REOD	SEE EXOPTS ALSO
MATERIALS				
WATER RESISTIVE BARRIER	MIN. NO. 15 ASPHALT FELT W/ FLASHING FOR CONTINUOUS WRB	CBC 1404.2	CONTINUOUS WRB PROVIDED - SEE WALL SECTIONS AND DETAILS	
WD. FRAME CONSTRUCTION	THE PROJECT IS ENTIRELY WOOD FRAME CONSTRUCTION	CBC 1404.3	TO MEET CHAPTER 23 - SEE STRUCTURAL INFORMATION & DWGS	
INSTALLATION OF WALL COVERINGS	WALL COVERINGS ARE: FIBER CEMENT SIDING	CBC SEC 1405		
WEATHER PROTECTION	MATERIALS TO MEET MIN. STANDARDS OF TABLE 1405.2	CBC 1405.2		
- FIBER CEMENT	0.29" MIN. THICKNESS	CBC TABLE 1405.2	SMOOTH HARDIE PLANK LAP SIDING - 0.312" PROVIDED	
VAPOR RETARDERS - C ZONE 4	CLASS I & II NOT ALLOWED ON INTERIOR SIDE. CLASS III CZONE 4	CBC 1405.3.1	CLASS I AND II VAPOR RETARDERS NOT PROVIDED	SEE DETAILS
- CLASS III VAPOR RETARDERS	CLASS III NOT ALLOWED IN CLIMATE ZONE 4	CBC 1405.3.2 AND TABLE 1405.3.2	CLASS II NOT PROVIDED AT INTERIOR SIDE - UNVENTED NO INSUL O/ SIDING	
FLASHING	INSTALLED TO PREVENT MOISTURE FROM ENTERING WALL OR REDIRECT TO EXTERIOR.	CBC 1405.4	SEE DETS. FOR FLASHING CONFIGURATIONS	
FLASHING AT FOUNDATION - SCREED MIN 26 GA. 1" BELOW FNDT		CBC SEC. 1405.10.1.2.1	SEE DET. SHT. AD4.1 - WATER BARRIER TO OVERLAP	
EXT. WINDOWS AND DOORS	MEET PERFORMANCE REOTS OF SEC 1709.5 & PER MANUFACTURER	CBC SEC 1405.13		
FIBER CEMENT SIDING - LAP SIDING	ALLOWED AT ALL CONSTRUCTION TYPES	CBC SEC 1405.16		
	MAXIMUM WIDTH 12", AND MEET ALL STANDARDS SET IN SECTION	CBC SEC 1405.16.2		
15. ROOF ASSEMBLIES & ROOFTOP STRUCTURES				
WEATHER PROTECTION		CBC SEC 1503		
FLASHING	INSTALLED TO PREVENT MOISTURE FROM ENTERING WALLS @JOINTS	CBC SEC 1503.2		
CORING	PROPERLY INSTALLED NONCOMBUSTIBLE MATERIALS	CBC SEC 1503.3		
DRAINAGE	PER SECTION 1509 AND CPC CHAPTER 11	CBC SEC 1503.4		

	- OVERFLOW DRAINS & SCUPPERS	SECONDARY SCUPPERS REQUIRED WHEN ROOF DRAINS OCCUR	CBC SEC 1503.4.1	SEE ROOF PLANS & DET. SHT. AD1.1 FOR DRAINAGE CALCS PER CPC CHAPTER 11
	- OVERFLOW SCUPPERS	MIN 4" OPENING, HEIGHT DETERMINED BY STRUCT. LOAD SEC 1611.1	CBC SEC 1503.4.2	SEE DETAILS SHEET AD1.1
	- GUTTERS AND LEADERS	NONCOMBUSTIBLE NOT REQUIRED AT TYPE V	CBC SEC 1503.4.3	NON-COMBUSTIBLE PROVIDED.
PERFORMANCE REQUIREMENTS				
	WIND RES OF NONBALLAST'D ROOF	DESIGNED TO WIND LOAD PRESSURES PER SECTION 1609	CBC SEC 1504.3	MANUFACTURER AND INSTALLER TO ADHERE TO REQUIREMENTS
	- BUR. MOD. BIT AND SINGLE PLY	TESTED IN ACCORDANCE WITH FM 4474, UL 580, OR UL 1987	CBC SEC 1504.3.1	MANUFACTURER AND INSTALLER TO ADHERE TO REQUIREMENTS
	- EDGE SECUREMENT	LOW SLOPE ROOF SYSTEM METAL EDGE SECUREMENT AS PER CHP 16	CBC SEC 1504.5	MANUFACTURER INSTALLMENT TO ADHERE TO REQUIREMENTS - SEE DETAILS
	- IMPACT RESISTENCE	LOW SLOPE ROOF TO MEET IMPACT RESISTANCE PER TESTING STDRS	CBC SEC 1504.7	ROOF MANUFACTURER PRODUCT TO MEET STANDARDS
FIRE CLASSIFICATION		TYPE VB - CLASS C ROOF OR BETTER REQUIRED	TABLE 1505-1	TPO ROOF - FIRESTONE OR GAF LOW SLOPE ROOFS - TYPICAL CLASS A
	REOTS FOR TPO ROOF COVERINGS	2% (7/FT) SLOPE MIN. MEET TESTING STANDARDS	CBC SEC 1507.13.1 AND 1507.13.2	ROOF PLAN CALLS FOR 3/8" FT MIN SLOPE (3%) MANUF. TO MEET TESTING REOTS
	PHOTOVOLTAIC PANELS		CBC SEC 1510.7	
	- WIND RESISTANCE	DESIGNED PER EFFECTIVE WIND AREA OF SINGLE FRAME & CHPTR 16	CBC SEC 1510.7.1	
	- FIRE CLASSIFICATION	PANELS AND MODULES PER FIRE CLASSIFICATION C	CBC SEC 1510.7.2 / TABLE 1505.1	TYPE VB CONSTRUCTION
	- INSTALLATION	IN ACCORDANCE WITH MANUF. INSTRUCTIONS	CBC SEC 1510.7.3	
	- PANEL AND MODULES	LABELED IN ACCORDANCE WITH UL 1703	CBC SEC 1510.7.4	
24. GLASS AND GLAZING				
	SAFETY GLAZING	HAZARDOUS LOCATIONS WHERE HUMAN IMPACT LOADS OCCUR	CBC SEC 2406.1	
	IDENTIFICATION	LABEL BY MANUFACTURE TO IDENTIFY - EXCEPT 2406.3.1	CBC SEC 2406.3	
	HAZARDOUS LOCATIONS		CBC SEC 2406.4	
	- DOORS	ALL DOORS WITH EXCEPTIONS NOTED	CBC SEC 2406.4.1	
	- ADJACENT TO DOORS	ADJACENT TO DOORS WITHIN 24" ARC AND LESS THAN 60" AFF	CBC SEC 2406.4.2	SEE PLANS
	- GLAZING IN WINDOWS	9 SQ.FT. OR GREATER, BOT. EDGE < 18" AFF, TOP>= 36" W/IN 36" WALK'G	CBC SEC 2406.4.3	ALL CONDITIONS MUST APPLY
	- GLAZING IN WET SURFACES	WET AREAS WHERE LESS THAN 60" AFF - SPAS, TUBS SHOWERS, POOLS	CBC SEC 2406.4.5	EXCEPTION - GREATER THAN 60" FROM WATERS EDGE
	- ADJACENT TO STAIRWAYS/ RAMP	WHERE LESS THAN 60" ABOVE WALKING SURFACE	CBC SEC 2406.4.6	EXCEPTIONS - GUARDS COMPLYING W/ 1025 AND 1607.8, MIN. 36" FROM WALK
	- BOTTOM OF STAIRWAY LANDING	< 60" ABOVE LANDING AND LESS THAN 60" ARC FROM BOT. TREAD	CBC SEC 2406.4.7	SEE PLANS
25.GYPSUM BOARD, GYP. PANEL, STUCCO			CBC CHAPTER 25	
30. ELEVATORS & CONVEYING SYSTEMS			CBC CHAPTER 30	



TYP. LADDER PAD EXHIBIT

SCALE: 3/16"=1'-0"



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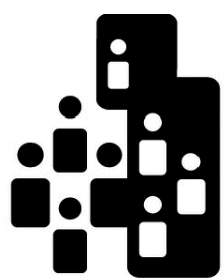


FIRE EXHIBIT
FE

SCALE: 3/16" = 1'-0"
DATE: 08.21.2023
PROJECT: 317062.00

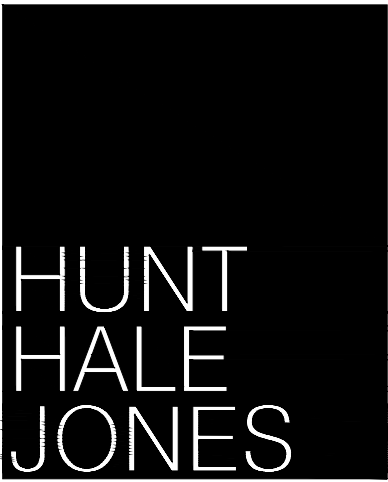


MONTEREY ROAD STREETSCAPE



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STREETSCAPE - MONTEREY ROAD
A0.1
SCALE: 1/8" = 1'-0"
DATE: 08.21.2023
PROJECT: 317062.00



RIGHT ELEVATION

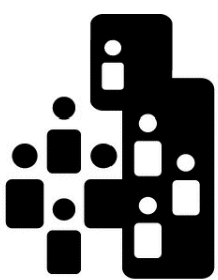
BLDG. 1



FRONT ELEVATION

BLDG. 1

FINISH SCHEDULE		
1	COMPOSITION SHINGLE ROOF	
2	LOUVERED ROOF VENT	
3	CORBEL W/ KICKER	
4	HORIZONTAL RAILING	
5	HARDI BOARD + BATT SIDING	
6	STUCCO FINISH	
7	HARDI HORIZONTAL SIDING	
8	DECORATIVE SIDING	
9	WINDOWS	
10	GLASS DOOR	
11	ENTRY DOOR	
12	VINE WIRES	
13	MANDOOR	
14	STYLIZED LIGHT AND ADDRESS	
15	COMMERCIAL LIGHTING	
16	STOREFRONT GLAZING	
17	ROOF CANOPY	
18	TRELLIS W/ VINES	
19	MASONRY VENEER	

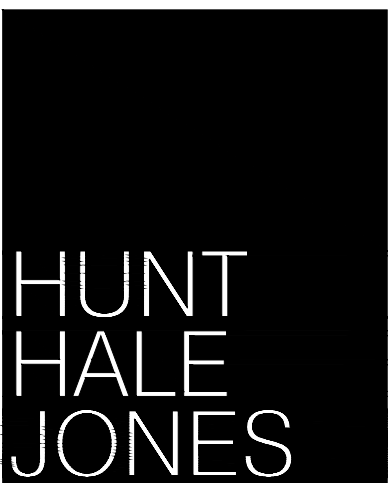


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BLDG. 1 FRONT & RIGHT EXTERIOR ELEVATIONS

A1.1

SCALE: 1/8" = 1'-0"

DATE: 08.21.2023

PROJECT: 317062.00





LEFT ELEVATION

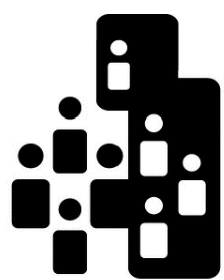
BLDG. 1



REAR ELEVATION

BLDG. 1

FINISH SCHEDULE		
1	COMPOSITION SHINGLE ROOF	
2	LOUVERED ROOF VENT	
3	CORBEL W/ KICKER	
4	HORIZONTAL RAILING	
5	HARDI BOARD + BATT SIDING	
6	STUCCO FINISH	
7	HARDI HORIZONTAL SIDING	
8	DECORATIVE SIDING	
9	WINDOWS	
10	GLASS DOOR	
11	ENTRY DOOR	
12	VINE WIRES	
13	MANDOOR	
14	STYLIZED LIGHT AND ADDRESS	
15	COMMERCIAL LIGHTING	
16	STOREFRONT GLAZING	
17	ROOF CANOPY	
18	TRELLIS W/ VINES	
19	MASONRY VENEER	

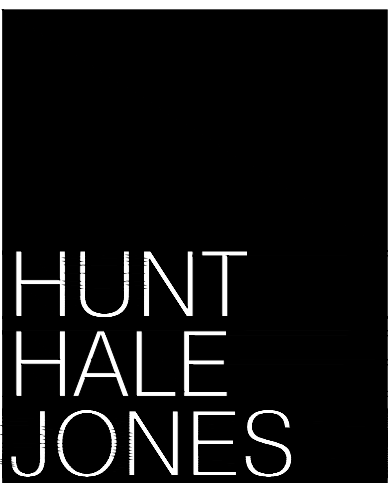


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BLDG. 1 REAR & LEFT EXTERIOR ELEVATIONS

A1.2

SCALE: 1/8" = 1'-0"

DATE: 08.21.2023

PROJECT: 317062.00





LEFT ELEVATION

BLDG. 4



FRONT ELEVATION

BLDG. 4

FINISH SCHEDULE		
1	COMPOSITION SHINGLE ROOF	
2	LOUVERED ROOF VENT	
3	CORBEL W/ KICKER	
4	HORIZONTAL RAILING	
5	HARDI BOARD + BATT SIDING	
6	STUCCO FINISH	
7	HARDI HORIZONTAL SIDING	
8	DECORATIVE SIDING	
9	WINDOWS	
10	GLASS DOOR	
11	ENTRY DOOR	
12	VINE WIRES	
13	MANDOOR	
14	STYLIZED LIGHT AND ADDRESS	
15	COMMERCIAL LIGHTING	
16	STOREFRONT GLAZING	
17	ROOF CANOPY	
18	TRELLIS W/ VINES	
19	MASONRY VENEER	



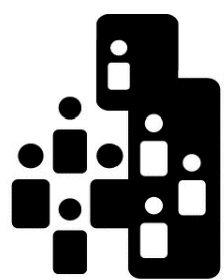
RIGHT ELEVATION

BLDG. 4



REAR ELEVATION

BLDG. 4



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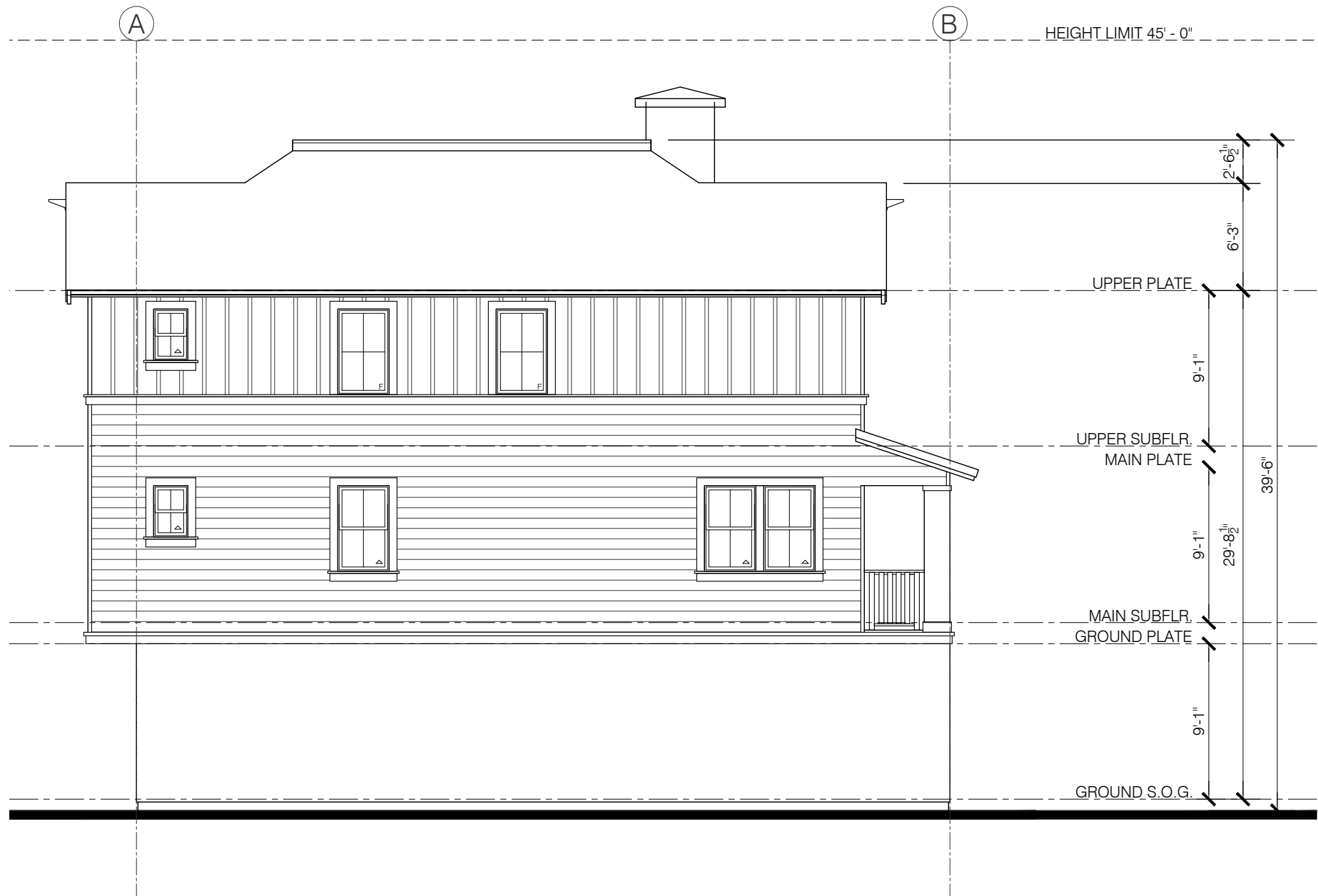
BLDG. 4 EXTERIOR ELEVATIONS

A1.3

SCALE: 1/8" = 1'-0"

DATE: 08.21.2023

PROJECT: 317062.00



LEFT ELEVATION

BLDG. 6



FRONT ELEVATION

BLDG. 6

FINISH SCHEDULE		
1	COMPOSITION SHINGLE ROOF	
2	LOUVERED ROOF VENT	
3	CORBEL W/ KICKER	
4	HORIZONTAL RAILING	
5	HARDI BOARD + BATT SIDING	
6	STUCCO FINISH	
7	HARDI HORIZONTAL SIDING	
8	DECORATIVE SIDING	
9	WINDOWS	
10	GLASS DOOR	
11	ENTRY DOOR	
12	VINE WIRES	
13	MANDOOR	
14	STYLIZED LIGHT AND ADDRESS	
15	COMMERCIAL LIGHTING	
16	STOREFRONT GLAZING	
17	ROOF CANOPY	
18	TRELLIS W/ VINES	
19	MASONRY VENEER	



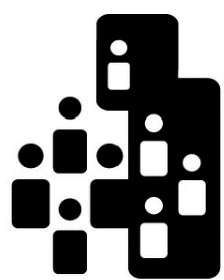
RIGHT ELEVATION

BLDG. 6



REAR ELEVATION

BLDG. 6

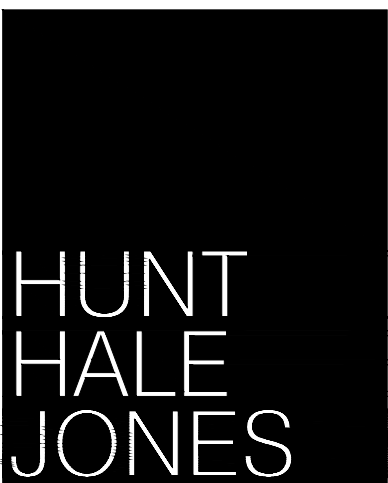


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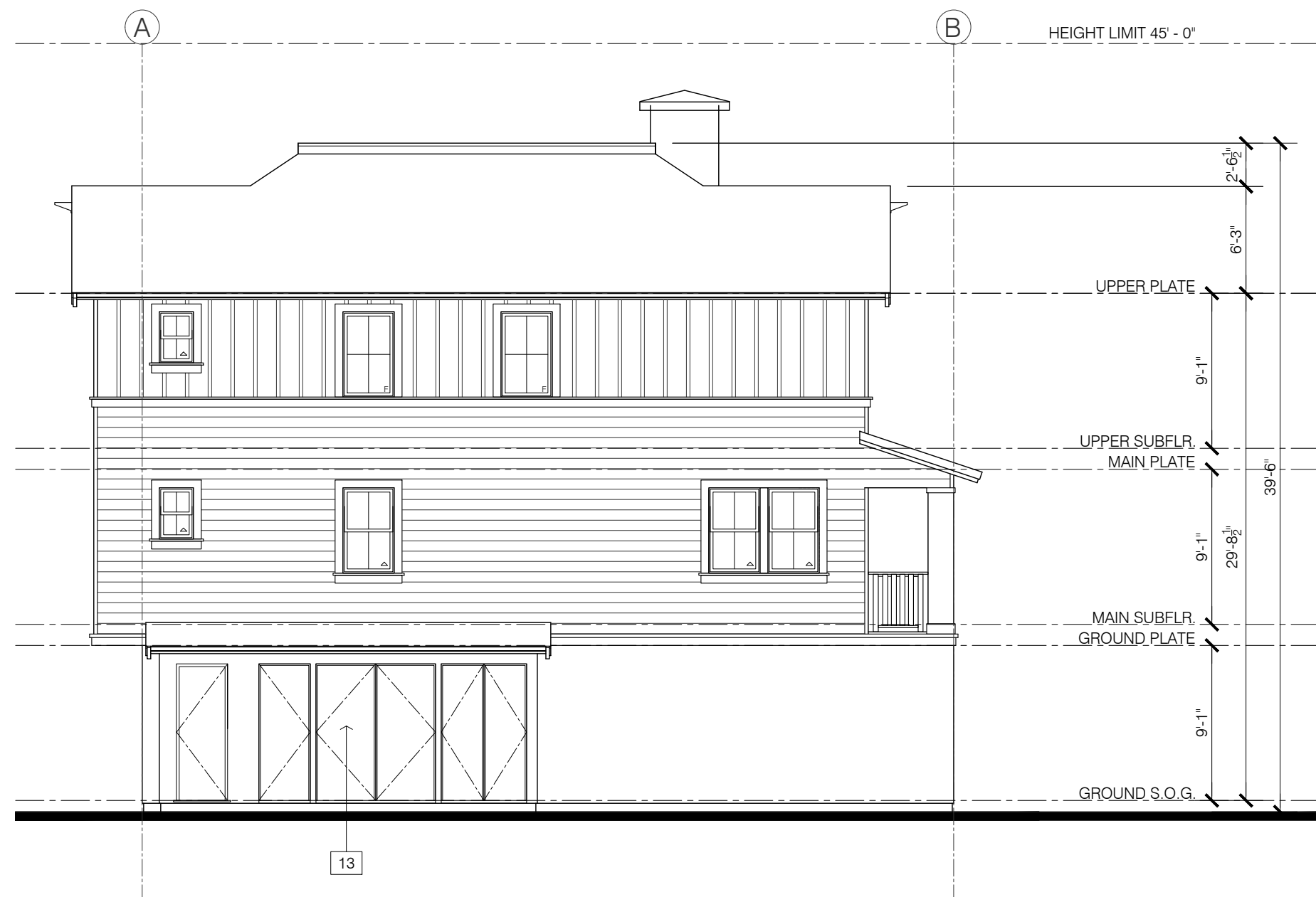
BLDG. 6 EXTERIOR ELEVATIONS

A1.4

SCALE: 1/8" = 1'-0"

DATE: 08.21.2023

PROJECT: 317062.00



LEFT ELEVATION

BLDG. 8 (BLDG. 2 & 7R SIM.)



FRONT ELEVATION

BLDG. 8 (BLDG. 2 & 7R SIM.)

FINISH SCHEDULE		
1	COMPOSITION SHINGLE ROOF	
2	LOUVERED ROOF VENT	
3	CORBEL W/ KICKER	
4	HORIZONTAL RAILING	
5	HARDI BOARD + BATT SIDING	
6	STUCCO FINISH	
7	HARDI HORIZONTAL SIDING	
8	DECORATIVE SIDING	
9	WINDOWS	
10	GLASS DOOR	
11	ENTRY DOOR	
12	VINE WIRES	
13	MANDOOR	
14	STYLIZED LIGHT AND ADDRESS	
15	COMMERCIAL LIGHTING	
16	STOREFRONT GLAZING	
17	ROOF CANOPY	
18	TRELLIS W/ VINES	
19	MASONRY VENEER	



RIGHT ELEVATION

BLDG. 8 (BLDG. 2 & 7R SIM.)

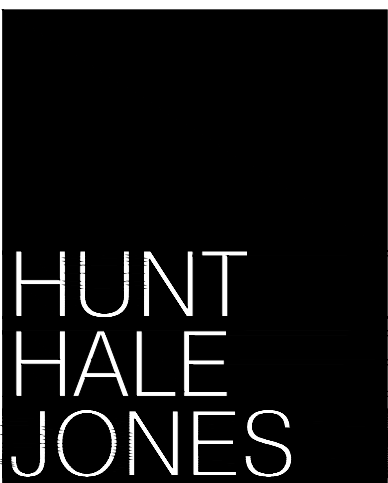


REAR ELEVATION

BLDG. 8 (BLDG. 2 & 7R SIM.)



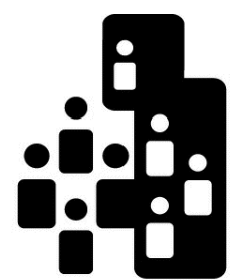
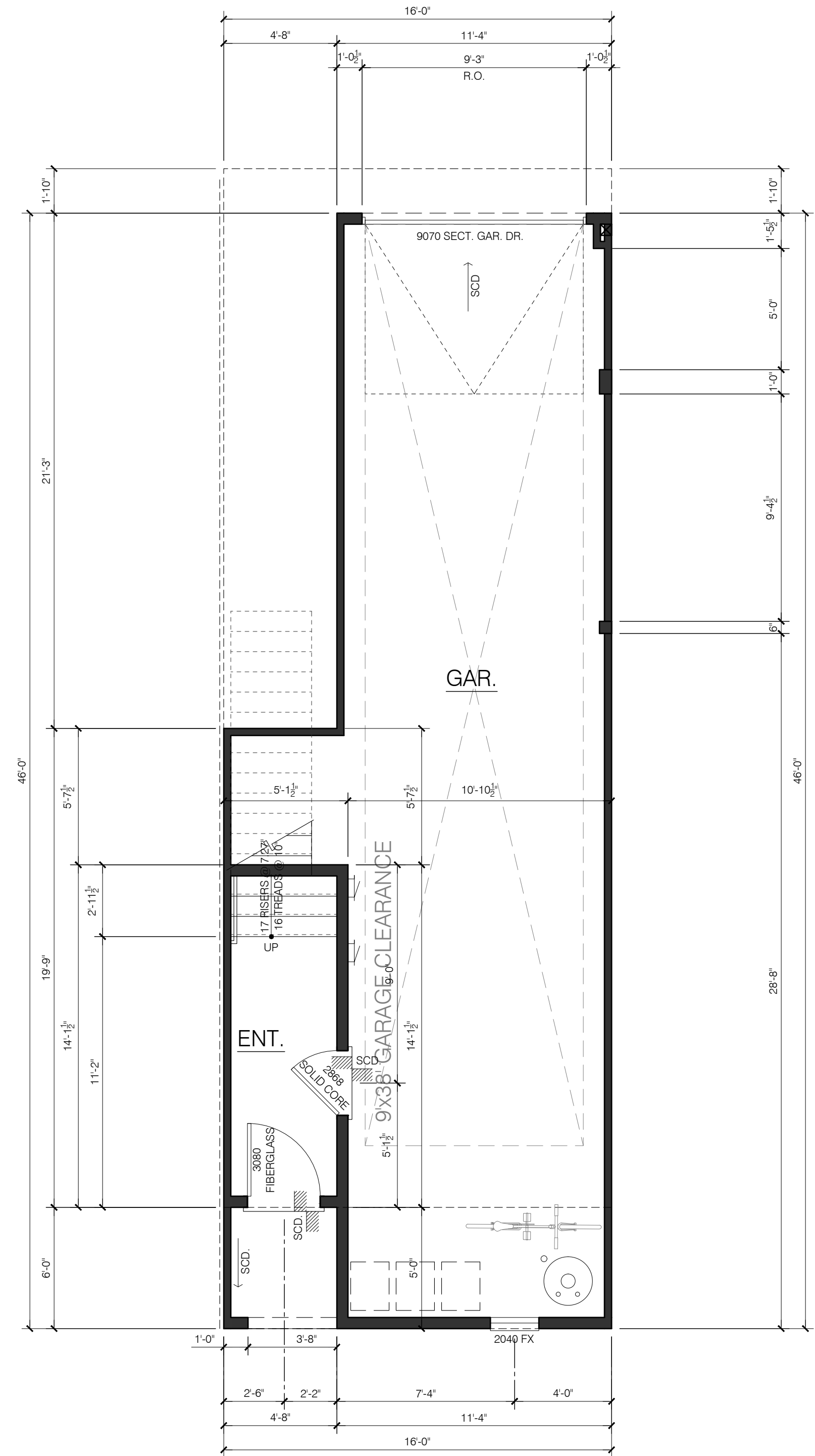
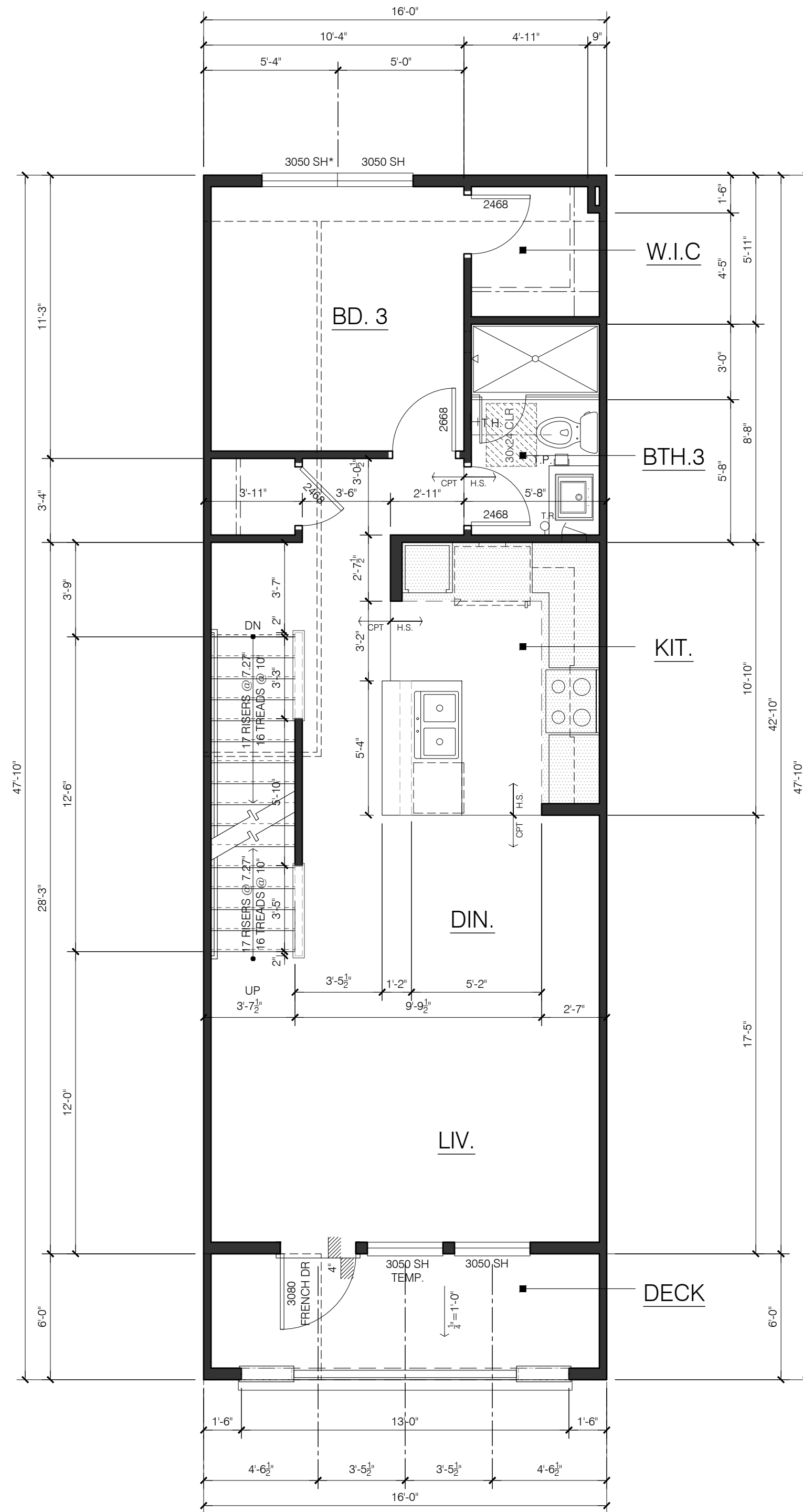
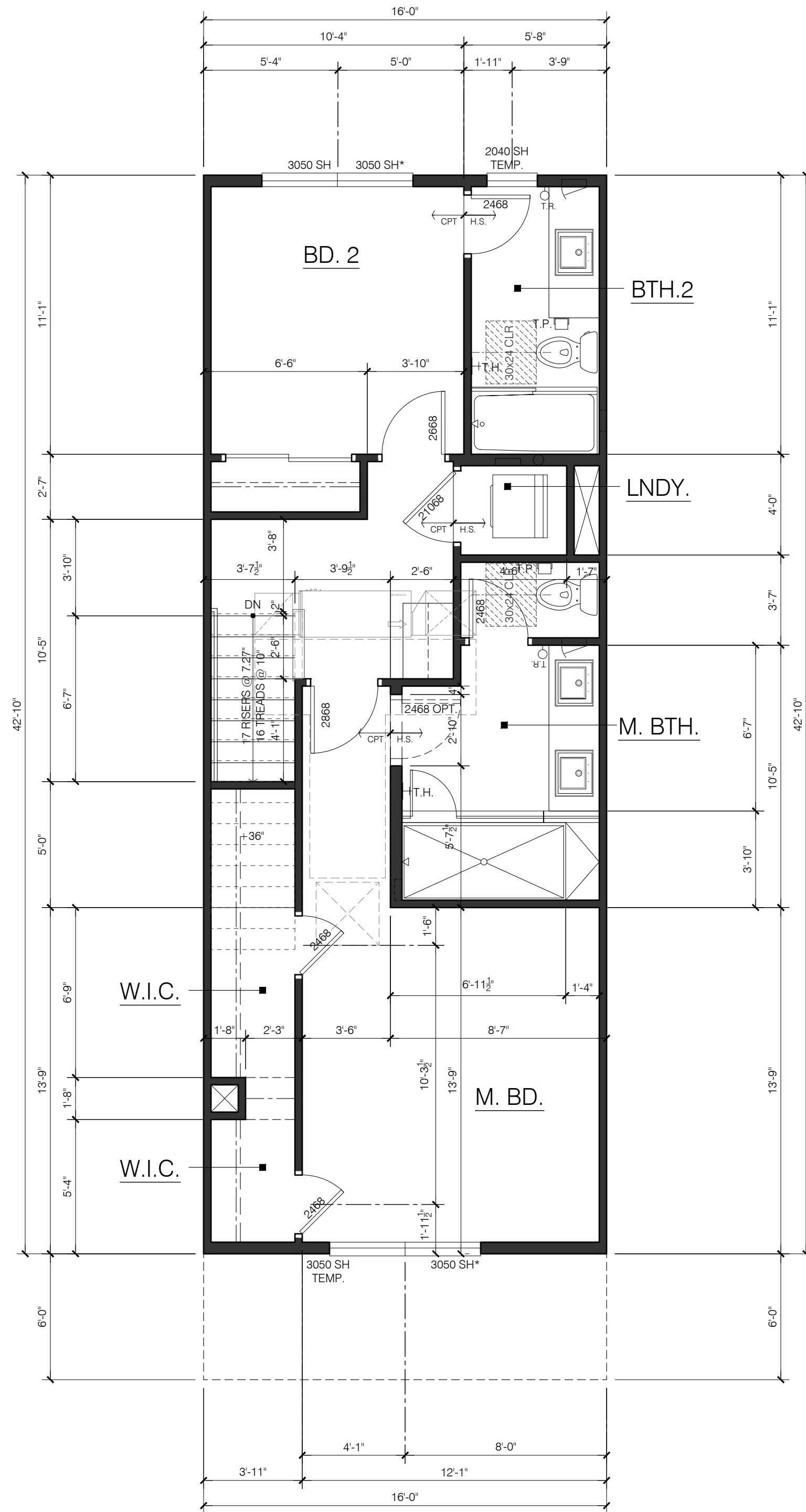
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BLDG. 8 (2 & 7R SIM.) EXTERIOR ELEVATIONS
A1.5
SCALE: 1/8" = 1'-0"
DATE: 08.21.2023
PROJECT: 317062.00



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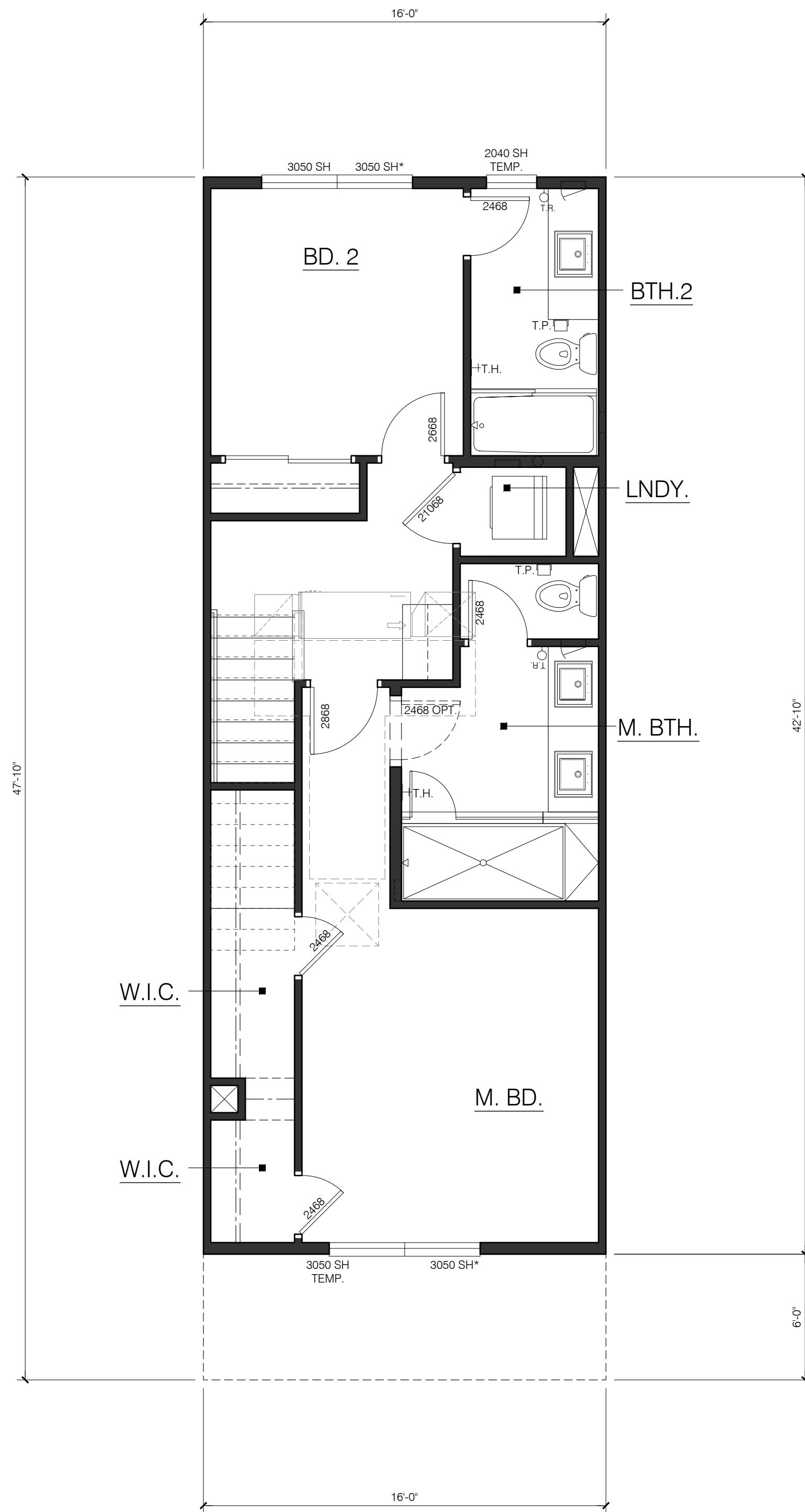
PLAN 1

A2.1

SCALE: 1/4" = 1'-0"

DATE: 08.21.2023

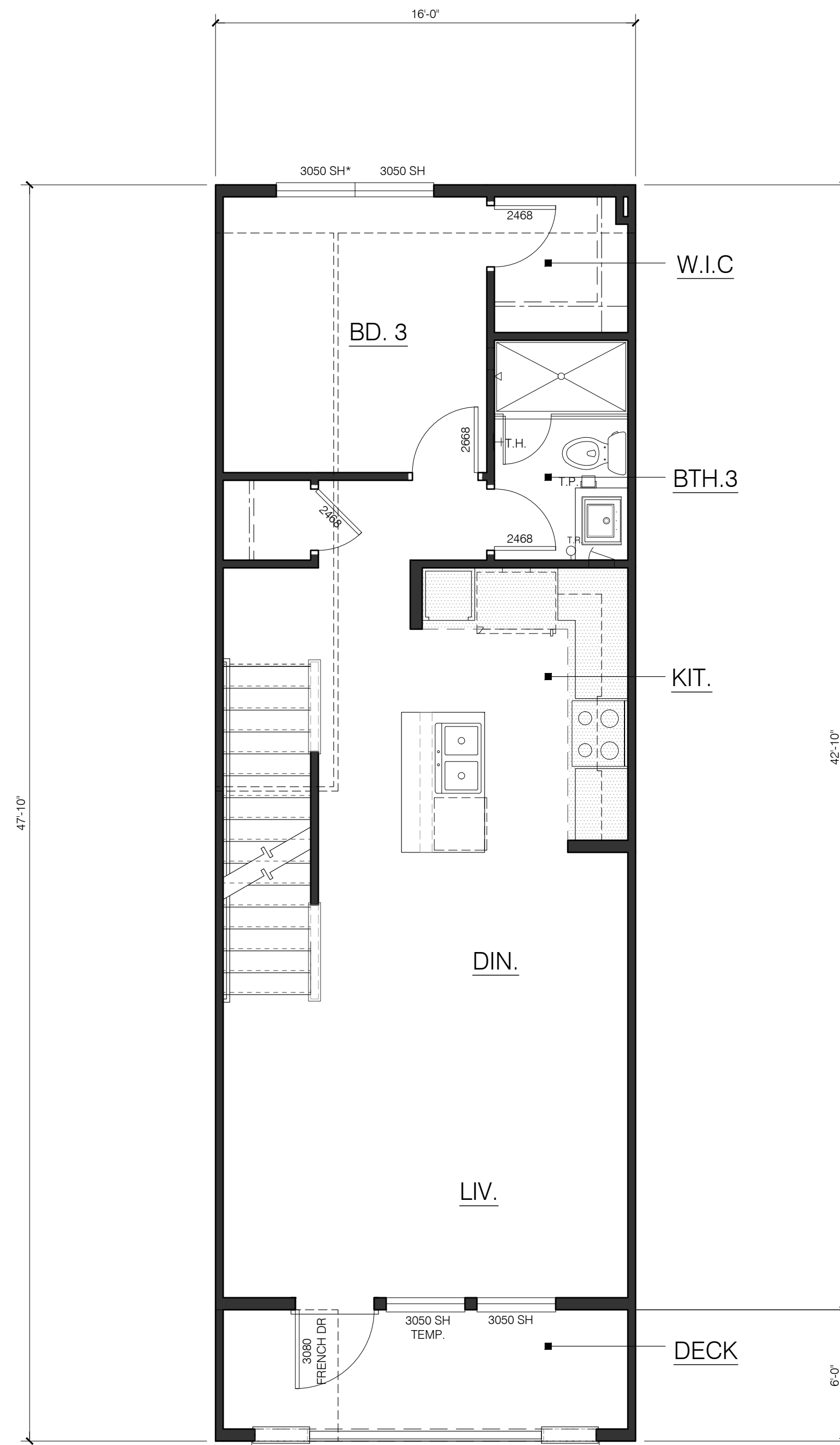
PROJECT: 317062.00



UPPER FLOOR PLAN

PLAN 1X

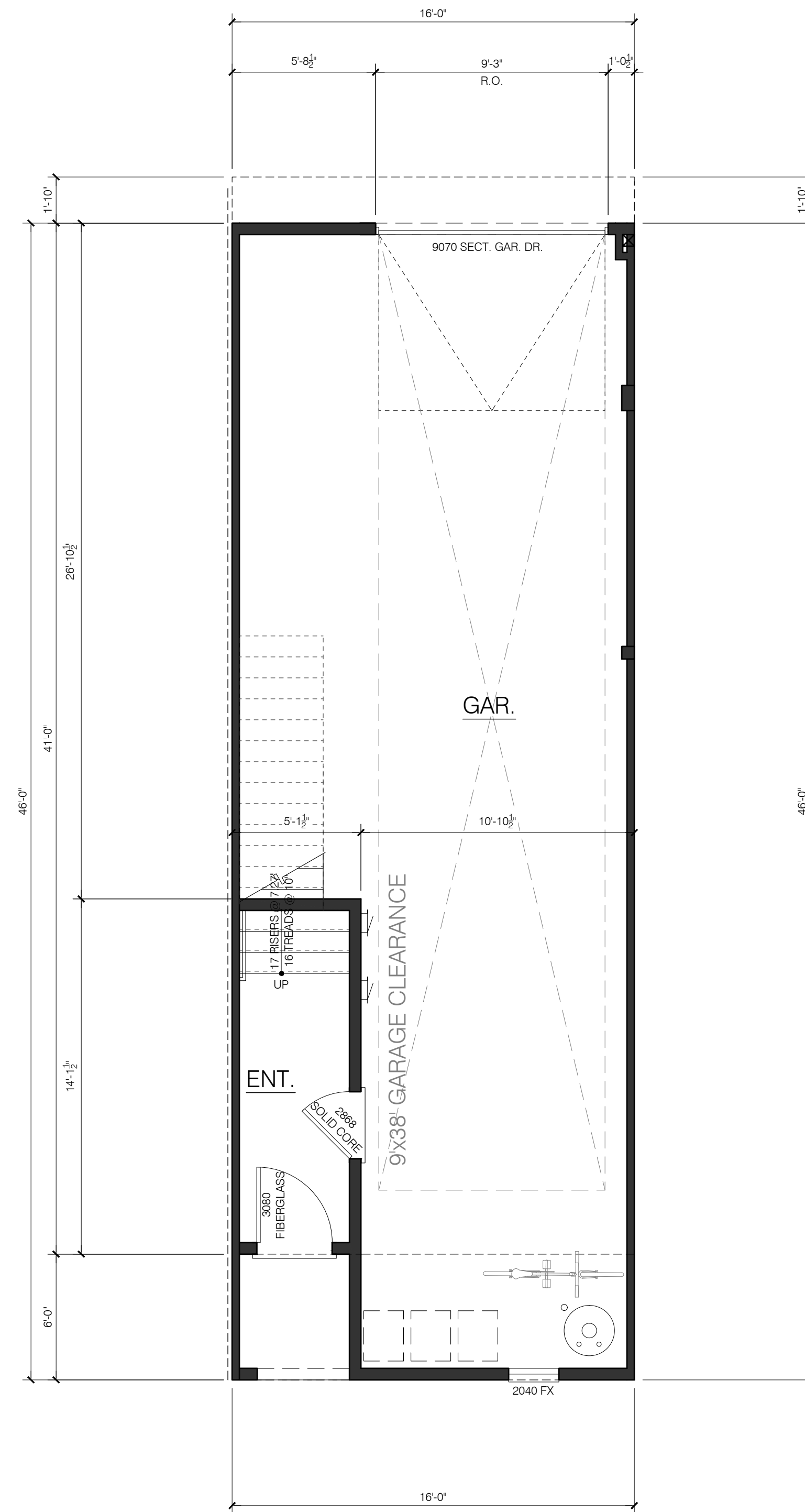
UPPER LIVING: 661 SQ. FT.



MAIN FLOOR PLAN

PLAN 1X

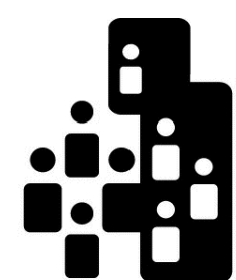
MAIN LIVING: 685 SQ. FT.
TOTAL LIVING: ±1403 SQ. FT.



GROUND FLOOR PLAN

PLAN 1X

GROUND LIVING: 57 SQ. FT.
GARAGE: 655 SQ. FT.



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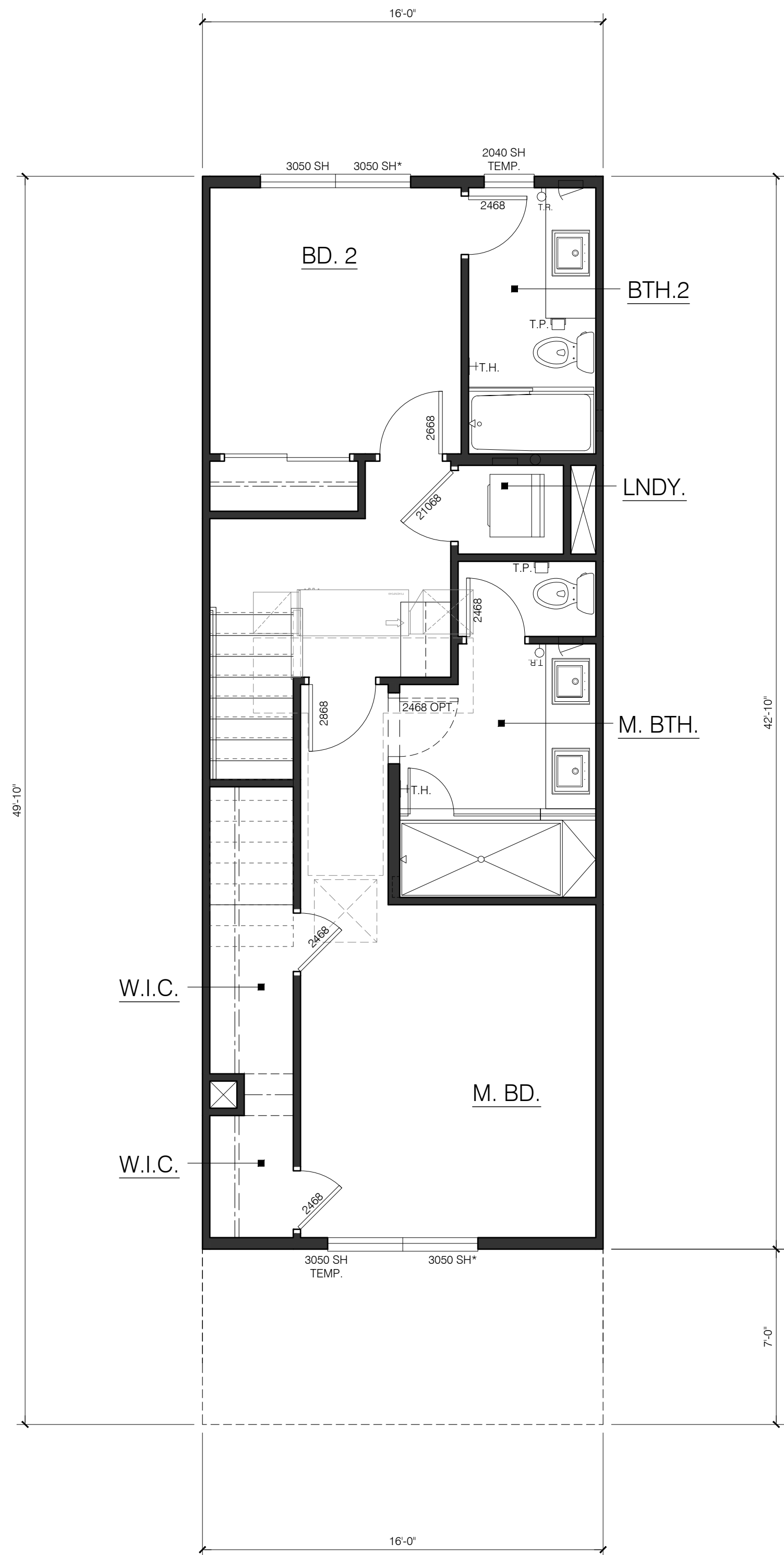
PLAN 1X

A2.2

SCALE: 1/4" = 1'-0"

DATE: 08.21.2023

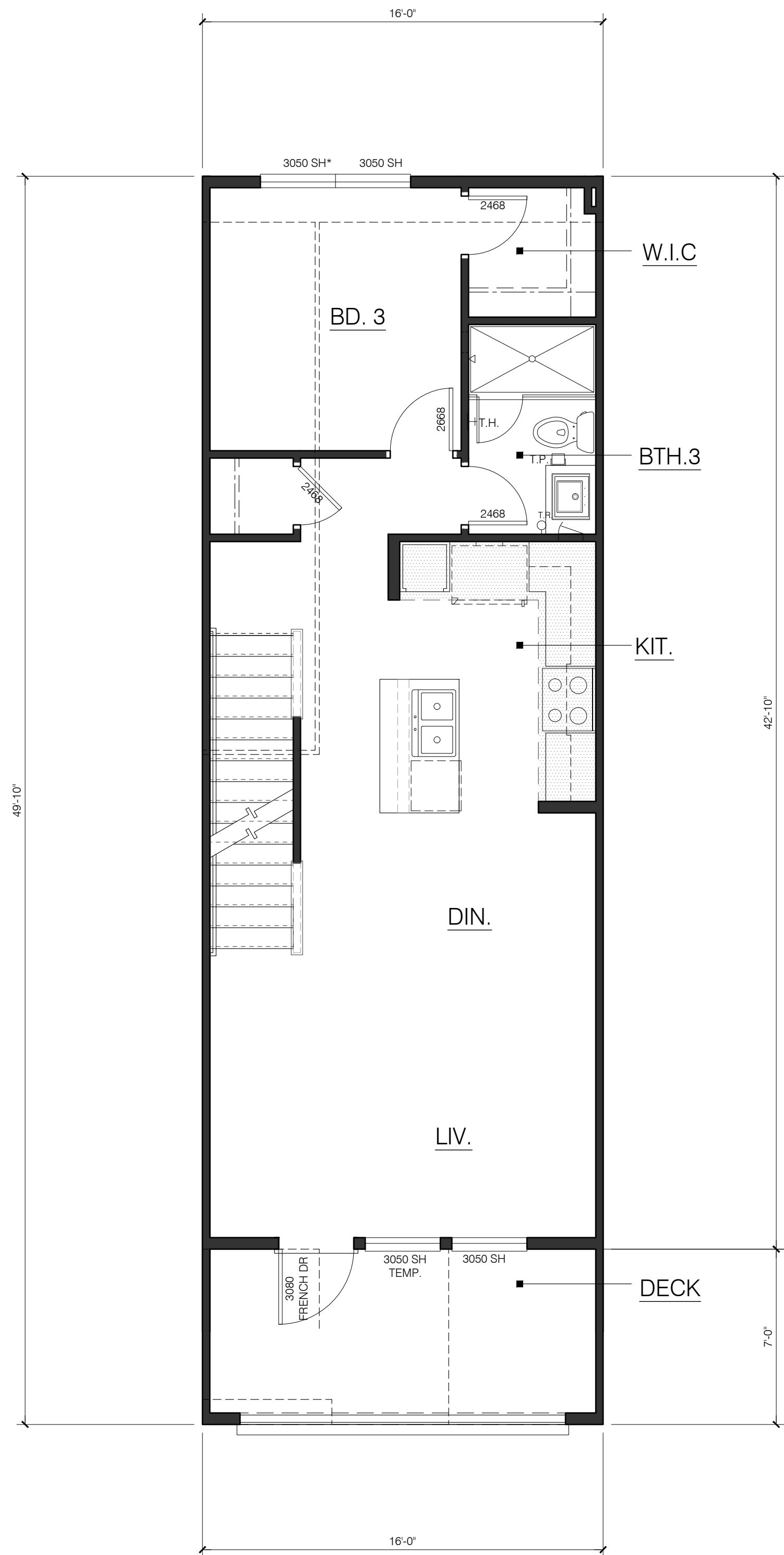
PROJECT: 317062.00



UPPER FLOOR PLAN

FOR ADDITIONAL INFORMATION
NOT SHOWN, SEE A2.1

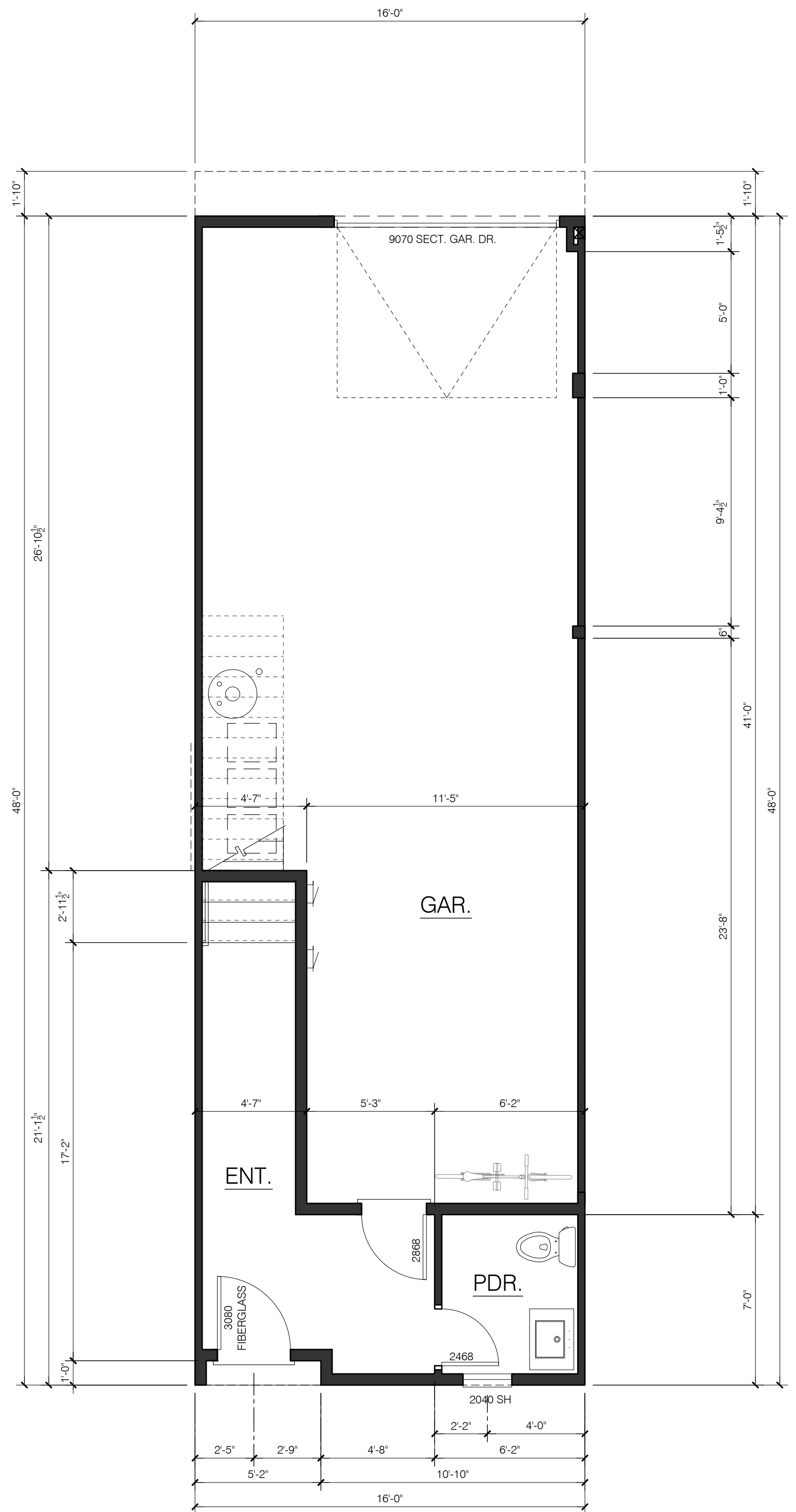
PLAN 1X - PDR
UPPER LIVING: 661 SQ. FT.



MAIN FLOOR PLAN

FOR ADDITIONAL INFORMATION
NOT SHOWN, SEE A2.1

PLAN 1X - PDR
MAIN LIVING: 685 SQ. FT.
TOTAL LIVING: ± 1509 SQ. FT.

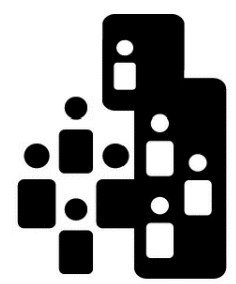


GROUND FLOOR PLAN

FOR ADDITIONAL INFORMATION
NOT SHOWN, SEE A2.1

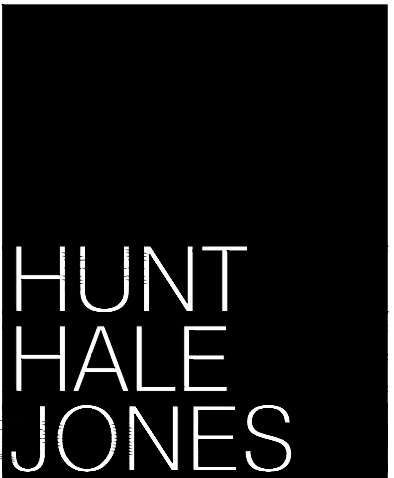
PLAN 1X - PDR
GROUND LIVING: 163 SQ. FT.
GARAGE: 600 SQ. FT.

FOR STANDARD ACCESSIBILITY
REQUIREMENTS, SEE 1/AD9.2



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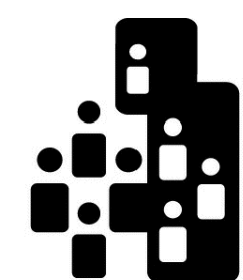
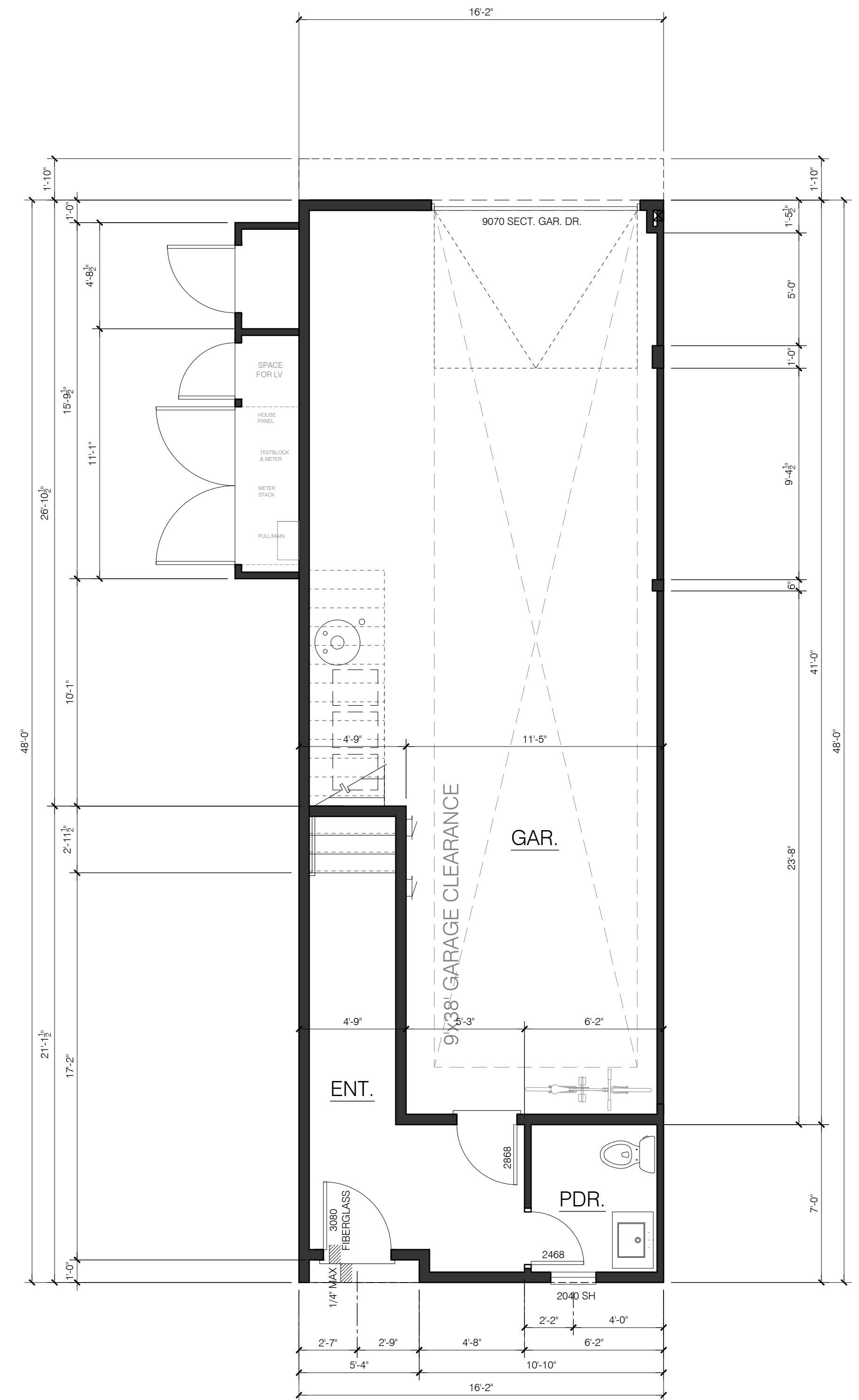
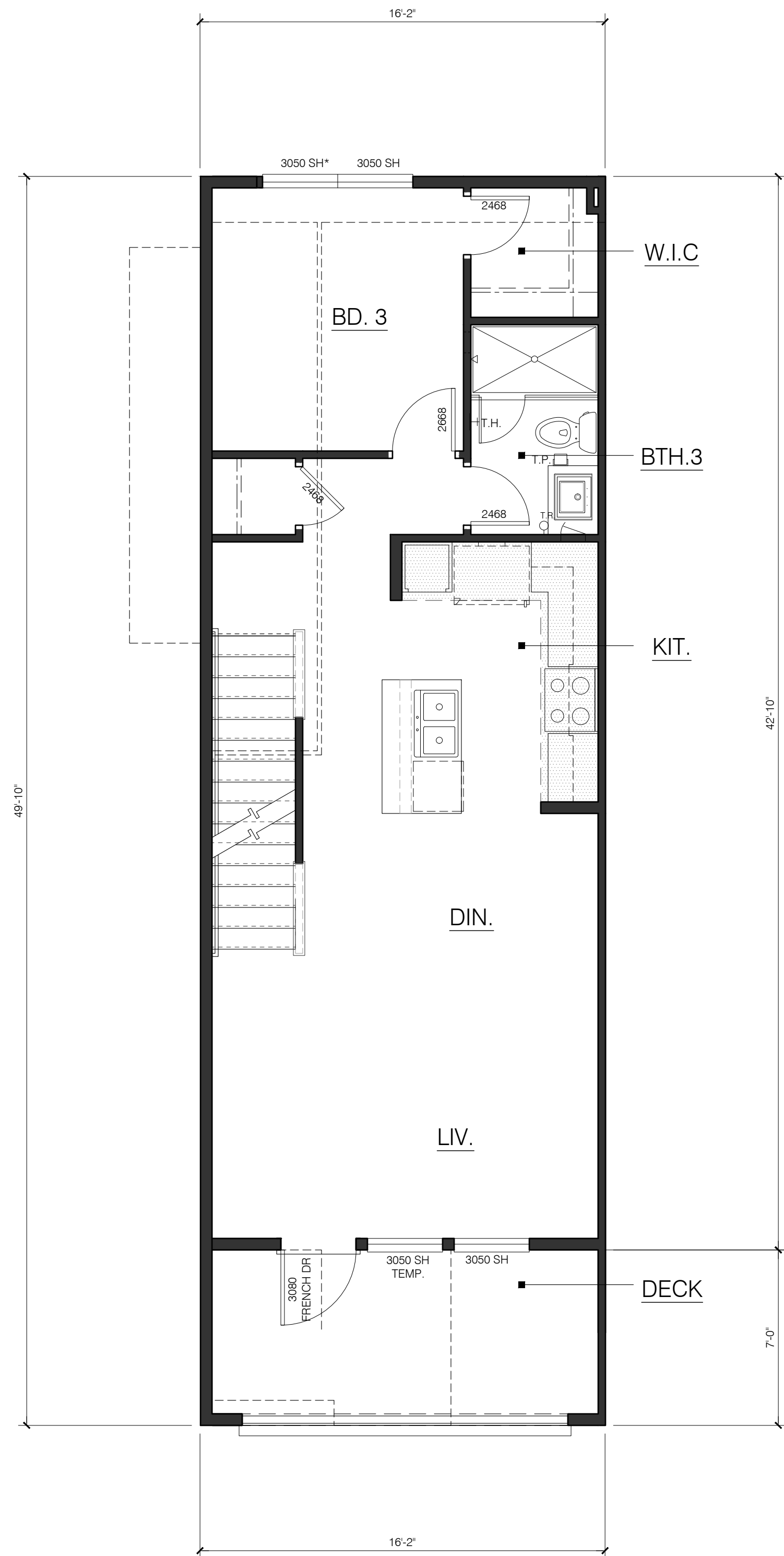
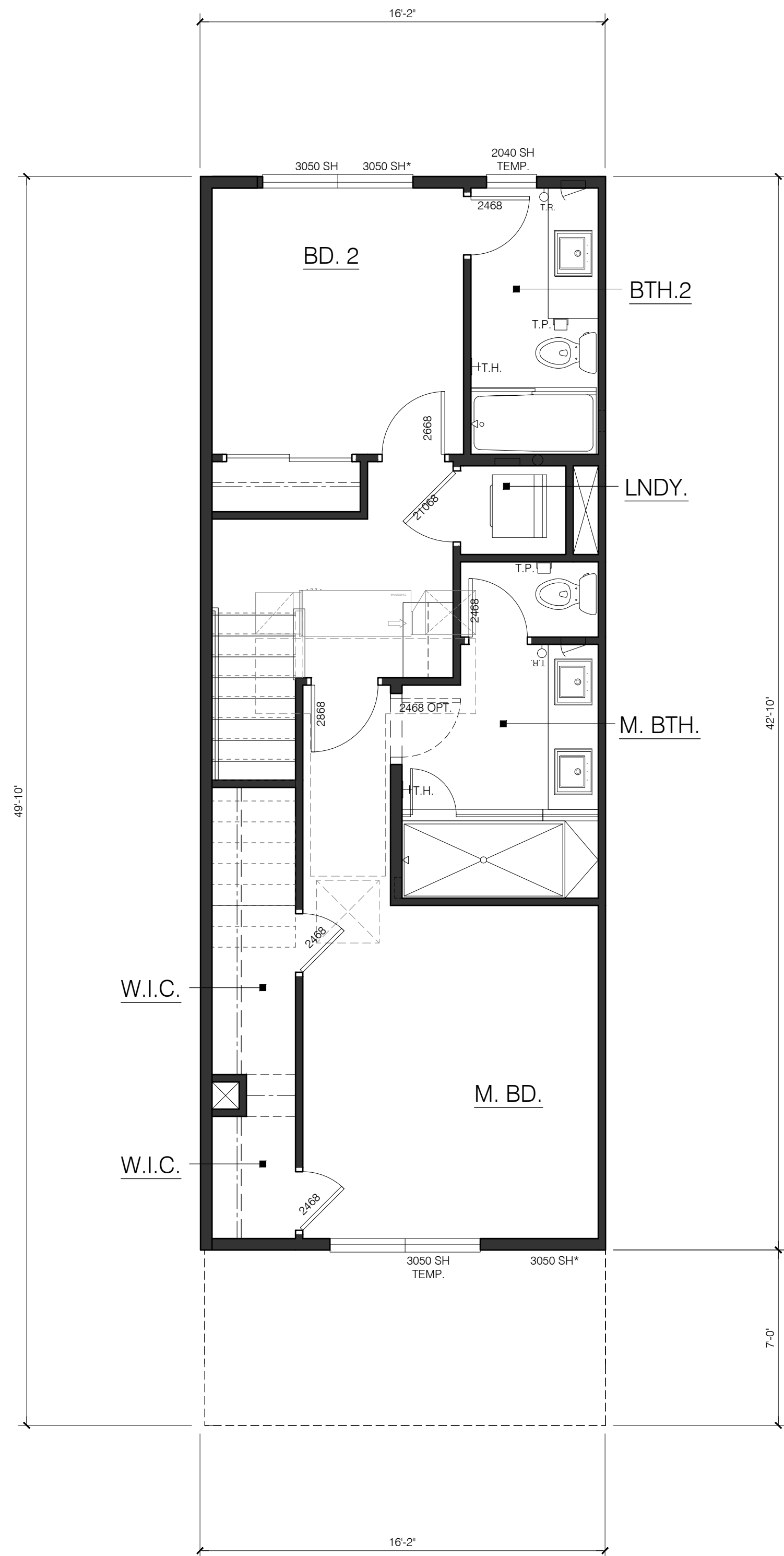
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CITY OF MORGAN HILL
PLAN APPROVED
THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION
ON October 24, 2023
SR2023-0010: Monterey - City Ventures
(The Gates)
FILE NUMBER
PLANNING OFFICIAL

PLAN 1X - POWDER
A2.3
SCALE: 1/4" = 1'-0"
DATE: 08.21.2023
PROJECT: 317062.00



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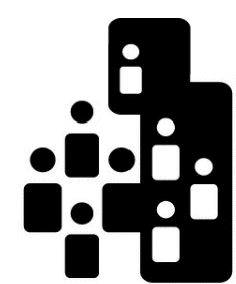
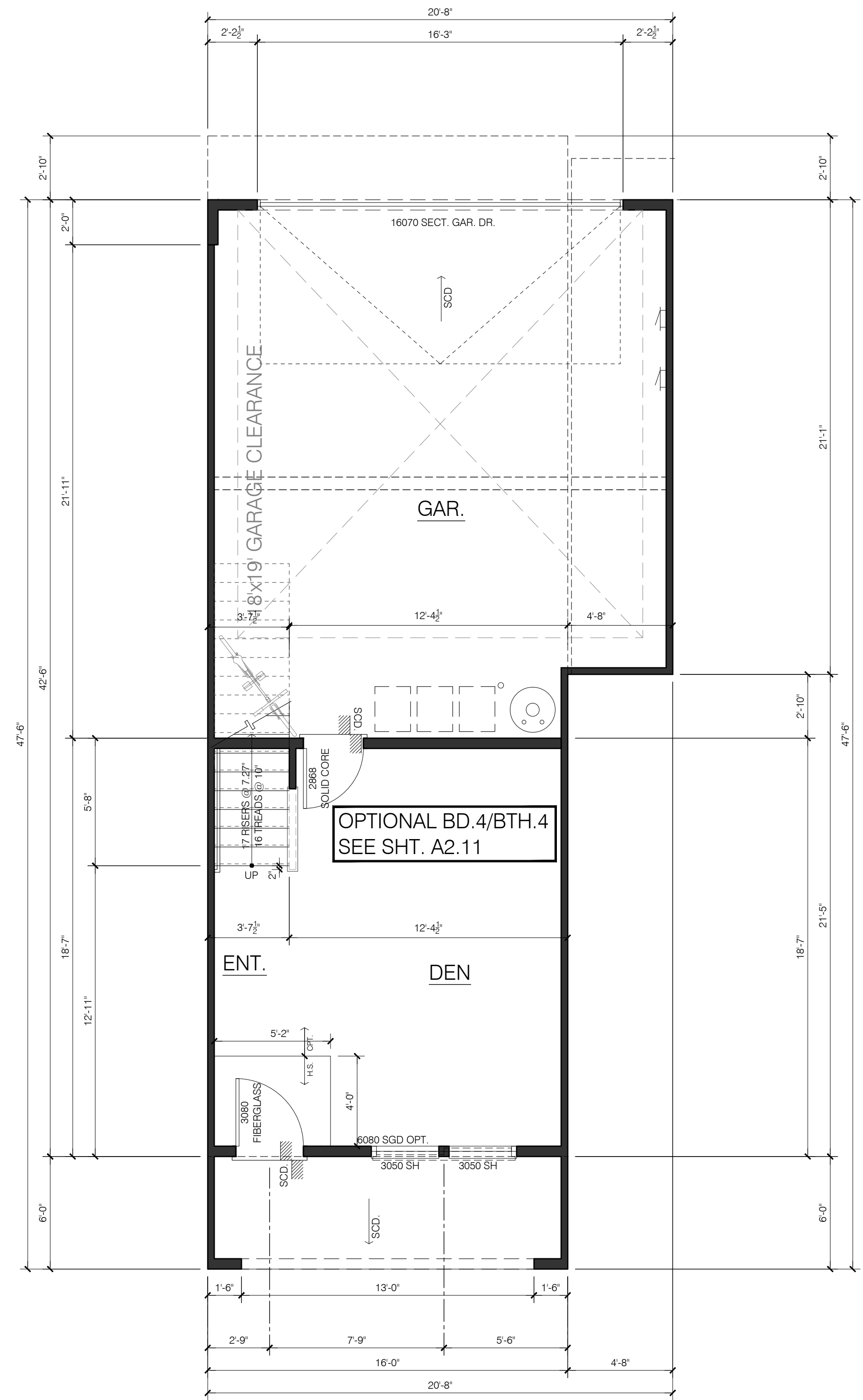
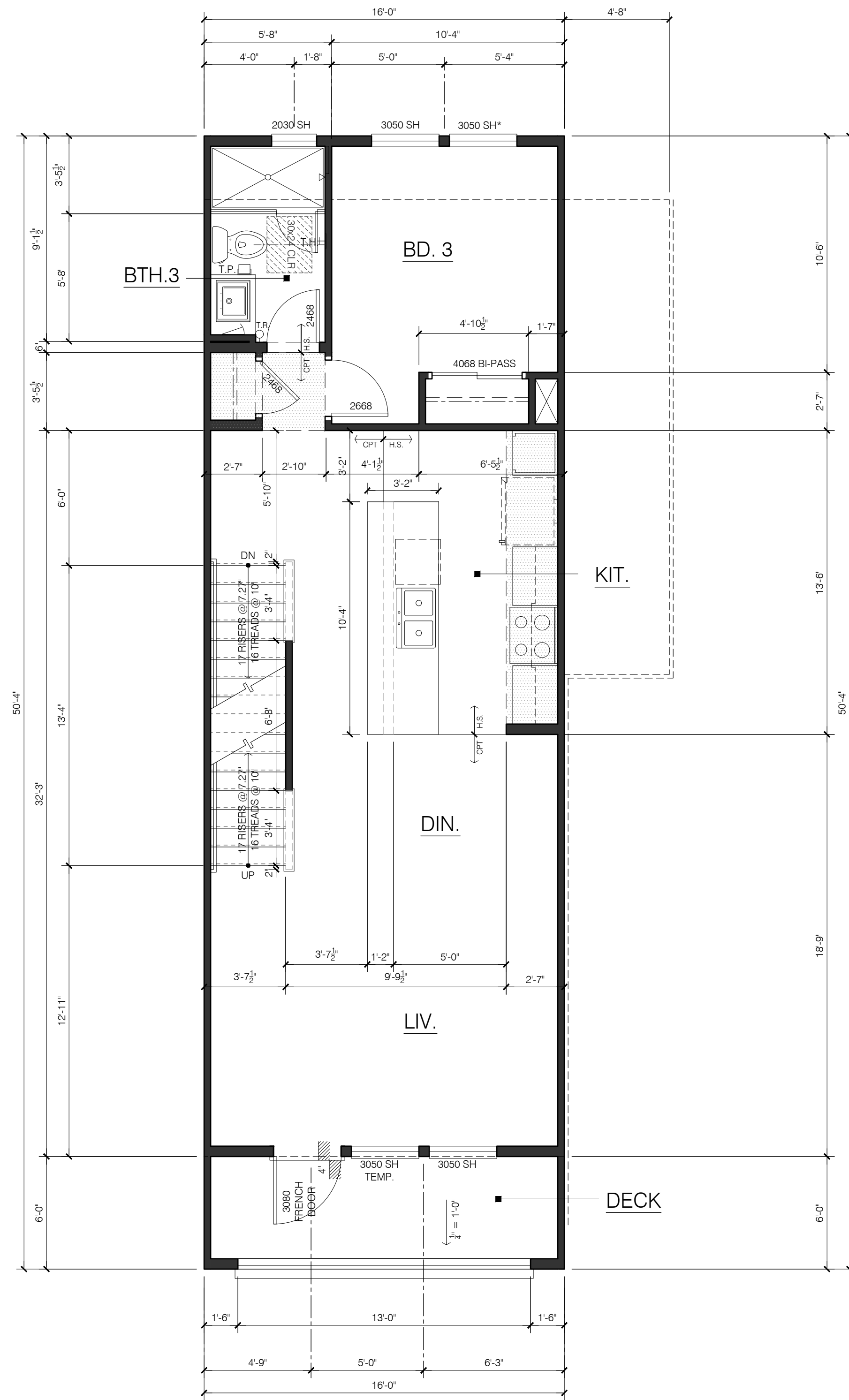
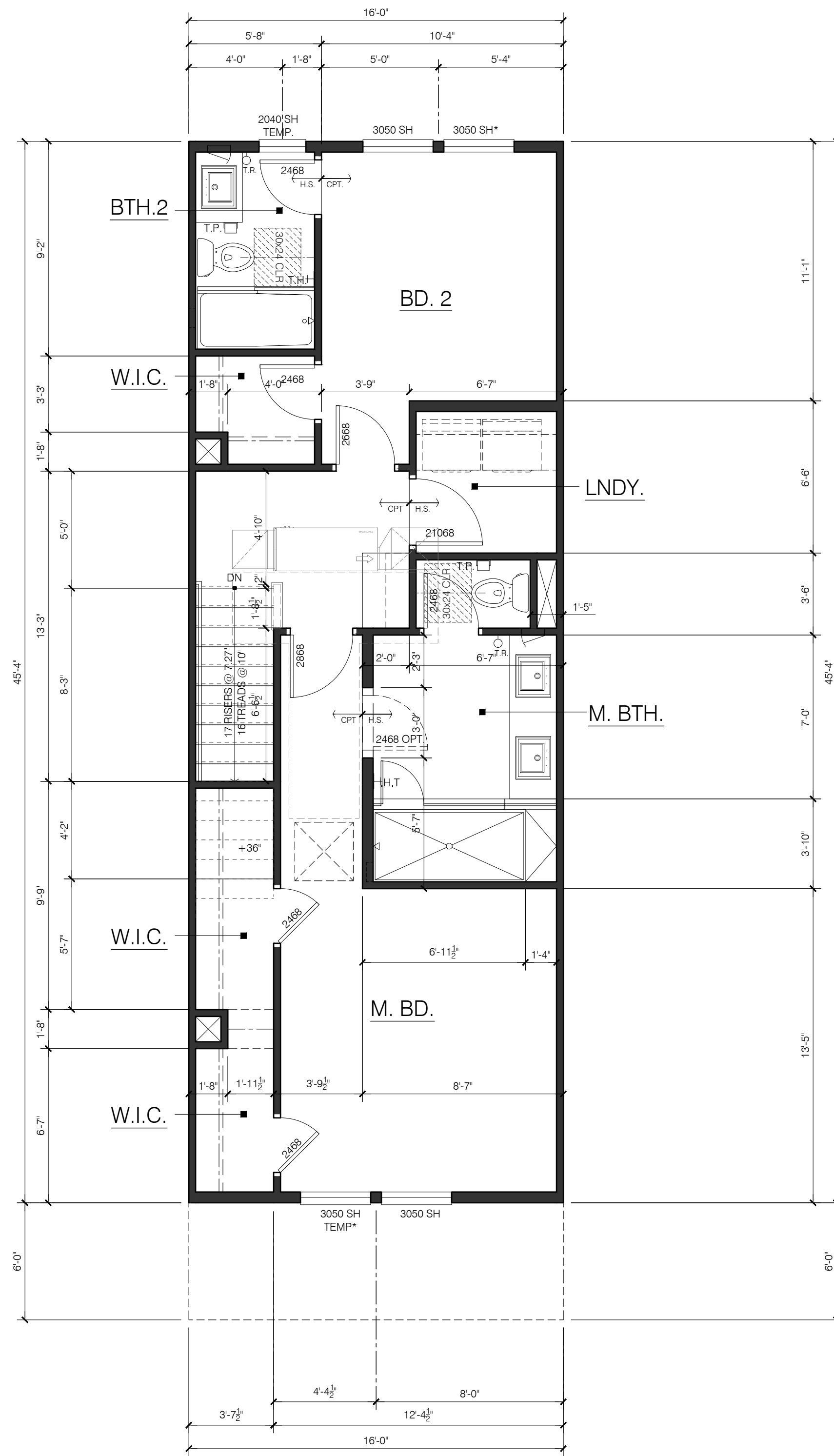
PLAN 1X - POWDER METER CLOSET

A2.4

SCALE: 1/4" = 1'-0"

DATE: 08.21.2023

PROJECT: 317062.00



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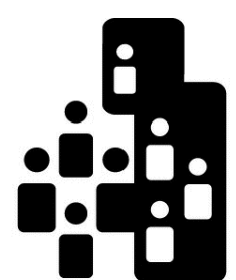
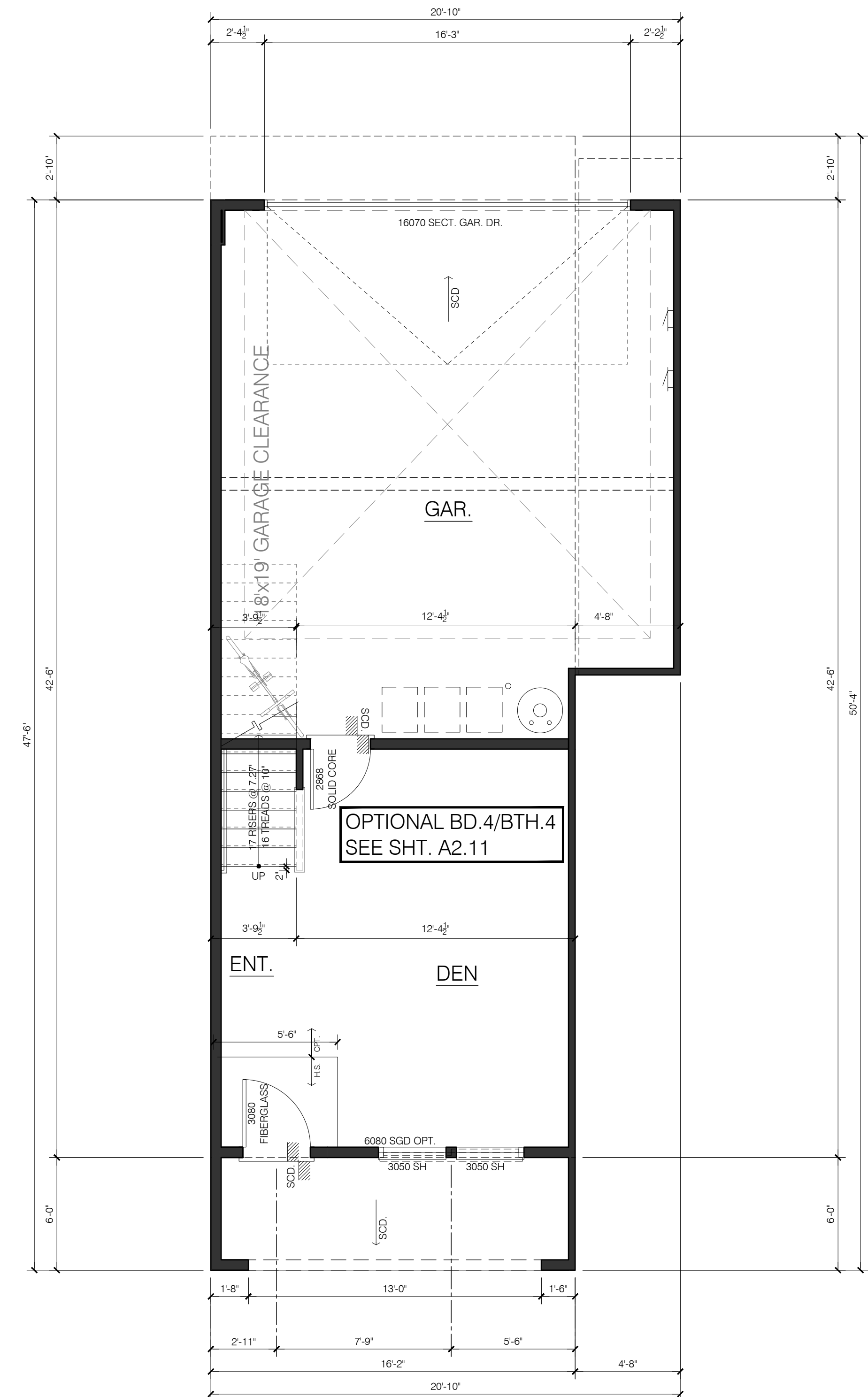
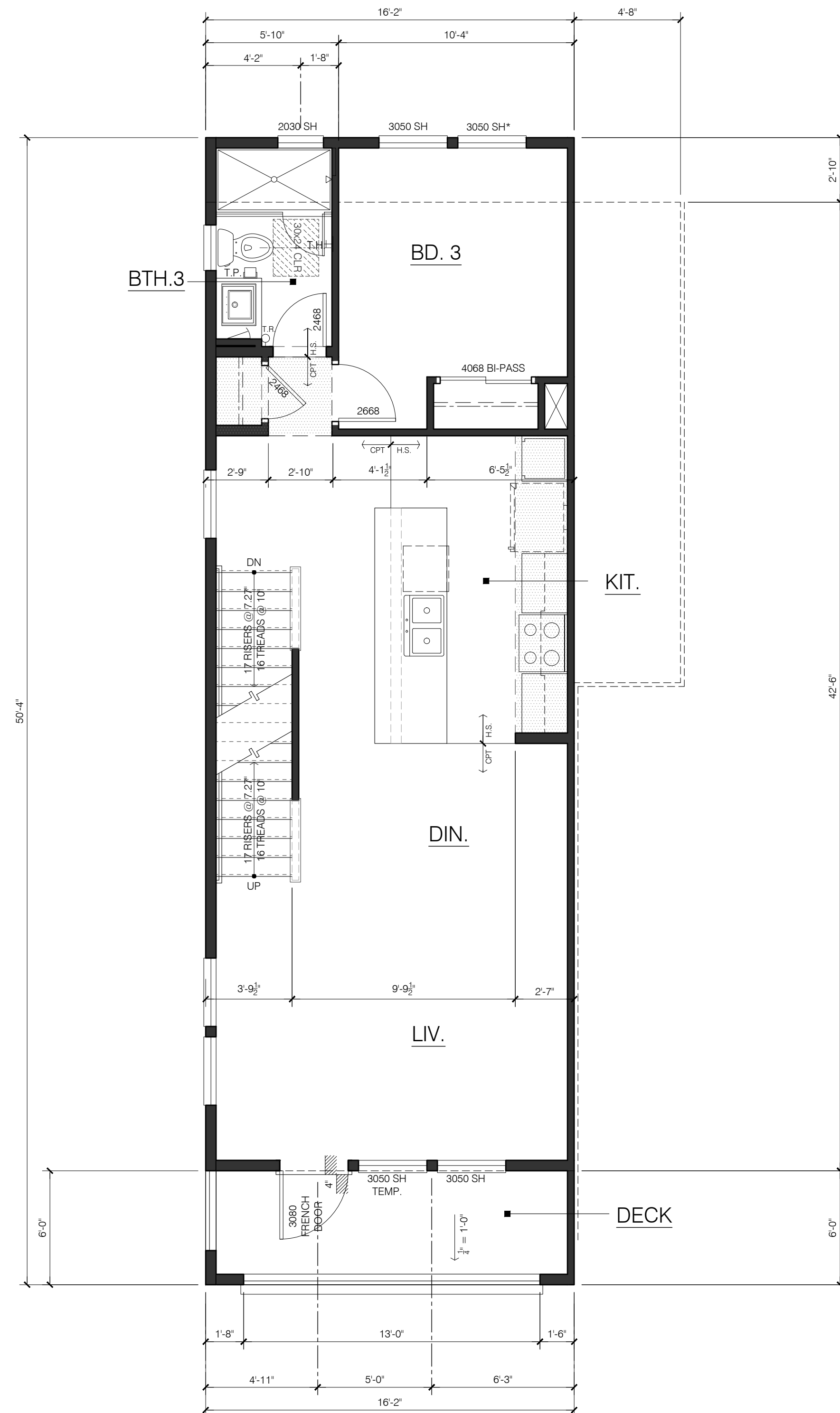
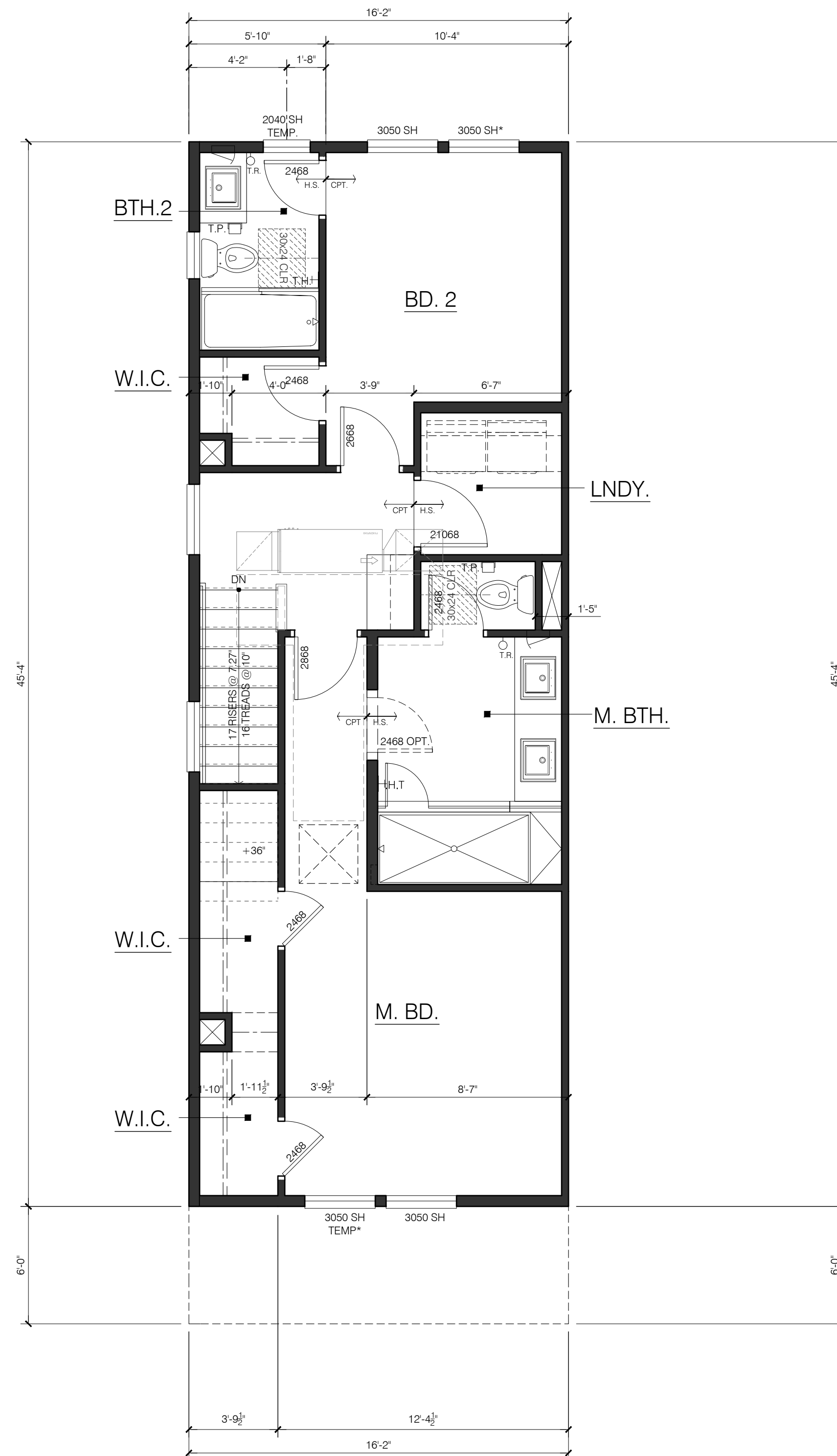
PLAN 2

A2.5

SCALE: 1/4" = 1'-0"

DATE: 08.21.2023

PROJECT: 317062.00



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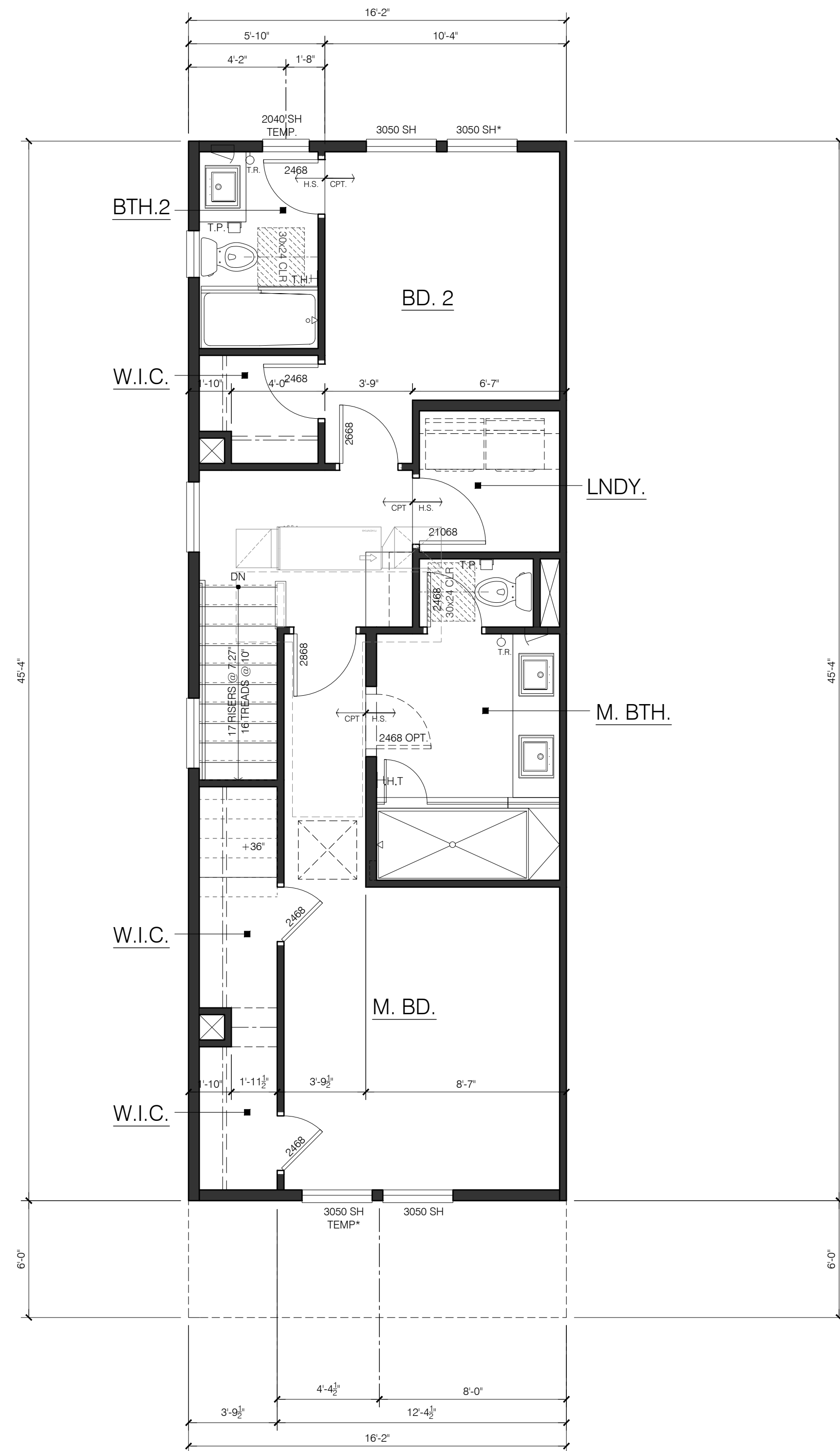
PLAN 2 END

A2.6

SCALE: 1/4" = 1'-0"

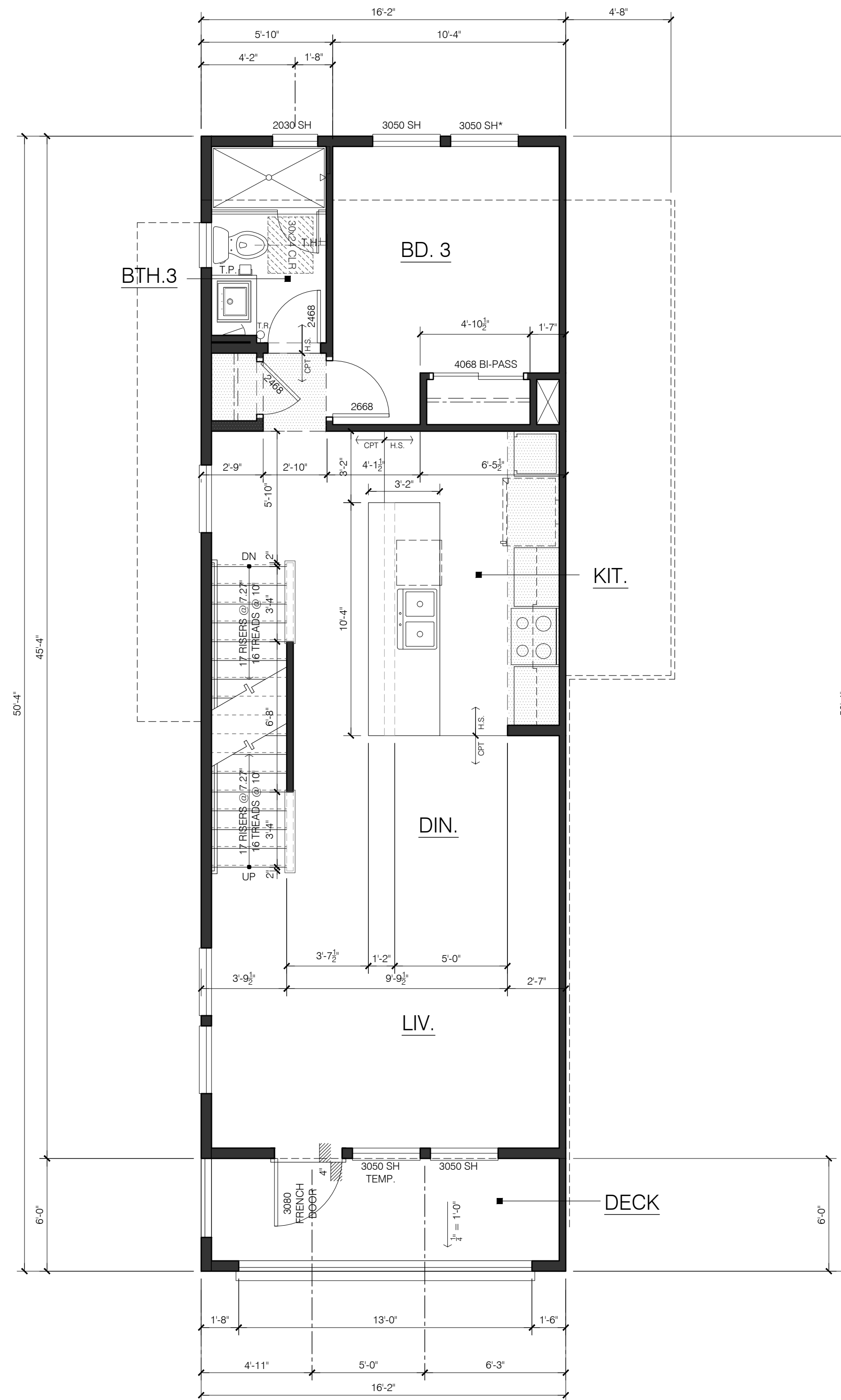
DATE: 08.21.2023

PROJECT: 317062.00



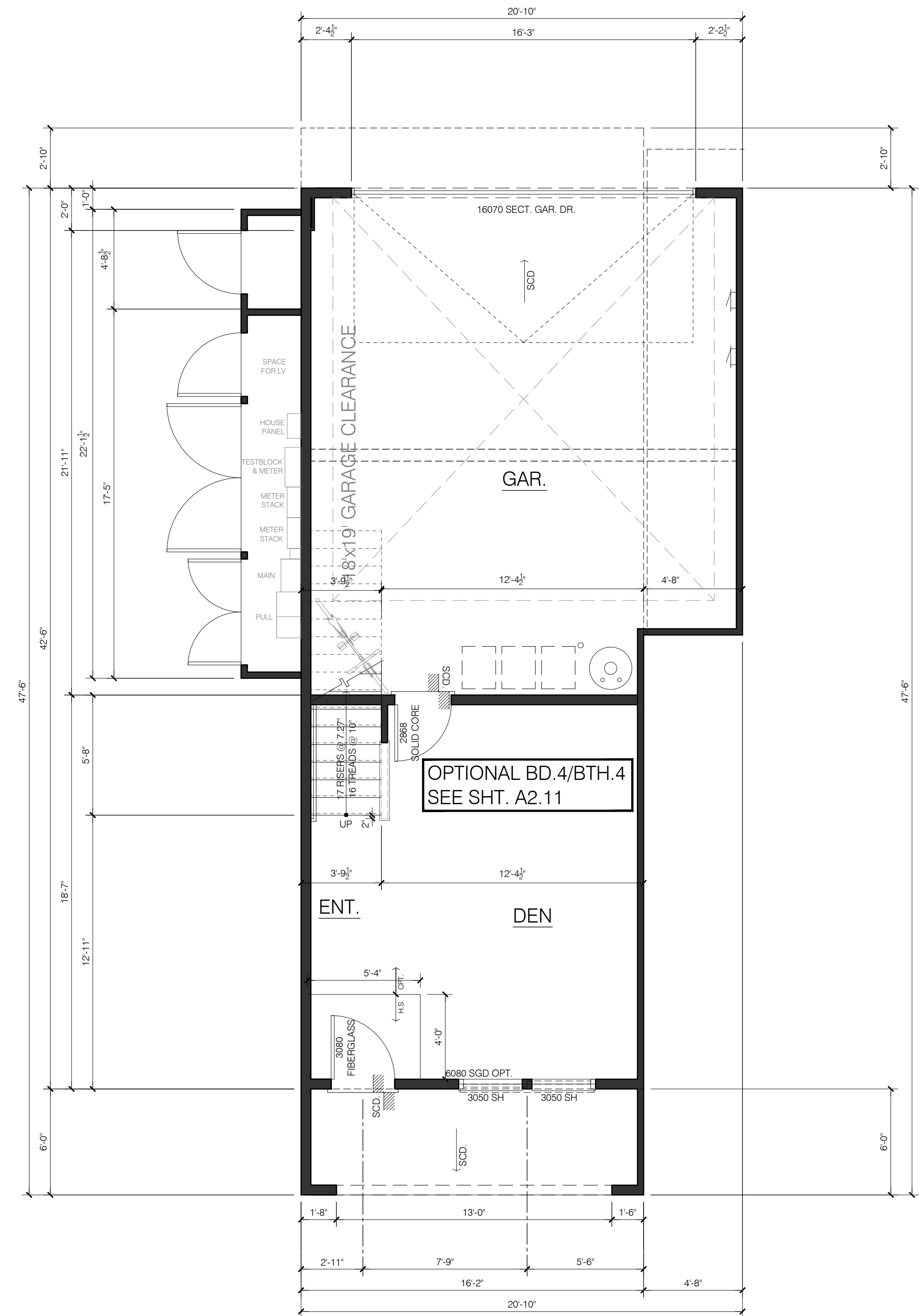
PLAN 2 END - METER CLOSET 5-7 UNIT

UPPER LIVING: 702 SQ. FT.



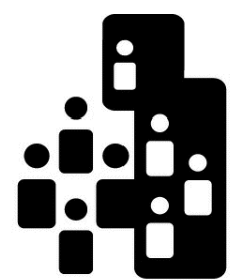
PLAN 2 END - METER CLOSET 5-7 UNIT

MAIN LIVING: 733 SQ. FT.
TOTAL LIVING: ±1697 SQ. FT.



PLAN 2 END - METER CLOSET 5-7 UNIT

GROUND LIVING: 279 SQ. FT.
GARAGE: 507 SQ. FT.



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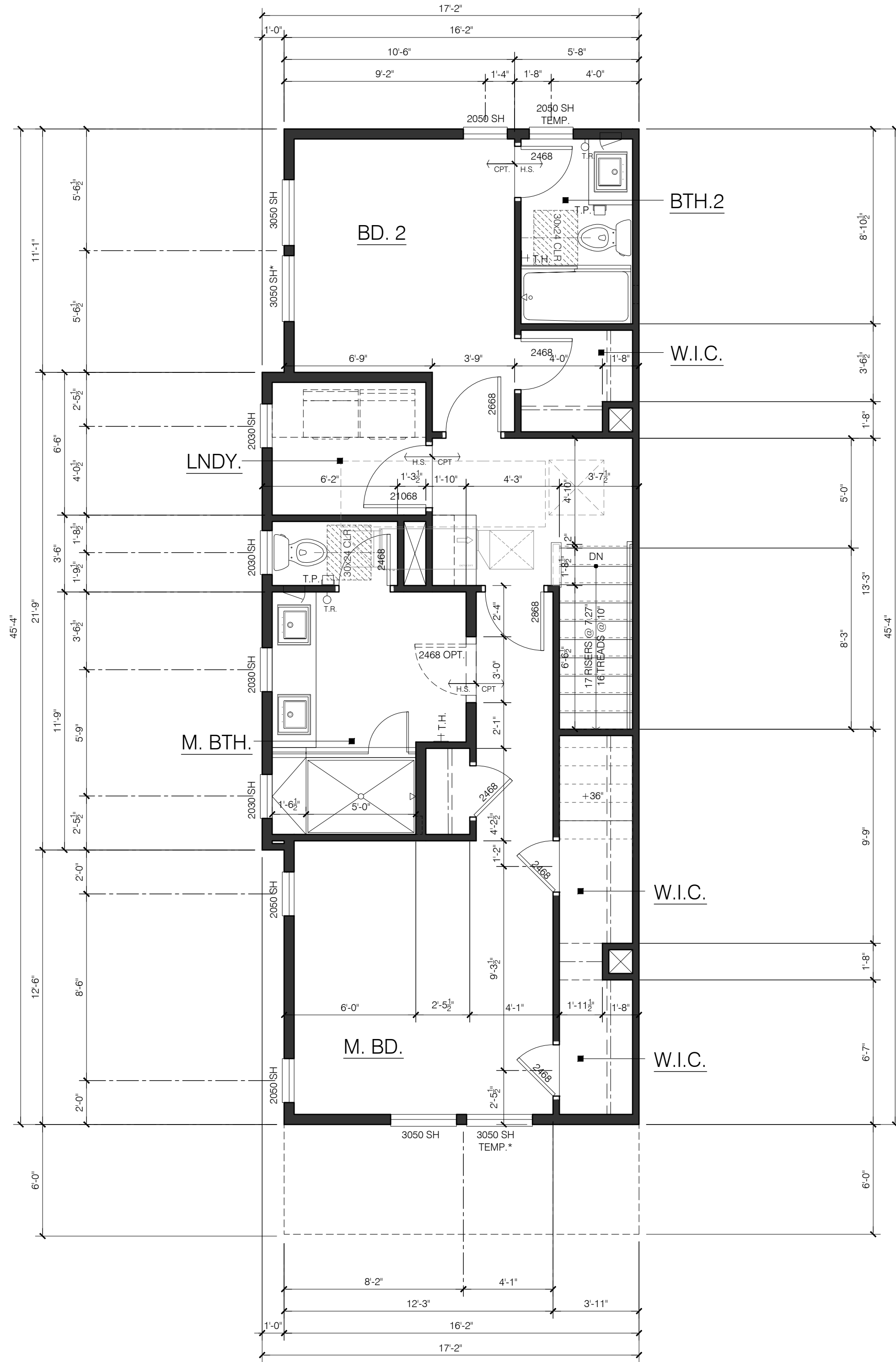
PLAN 2 END METER CLOSET - 5-7 UNIT

A2.7

SCALE: 1/4" = 1'-0"

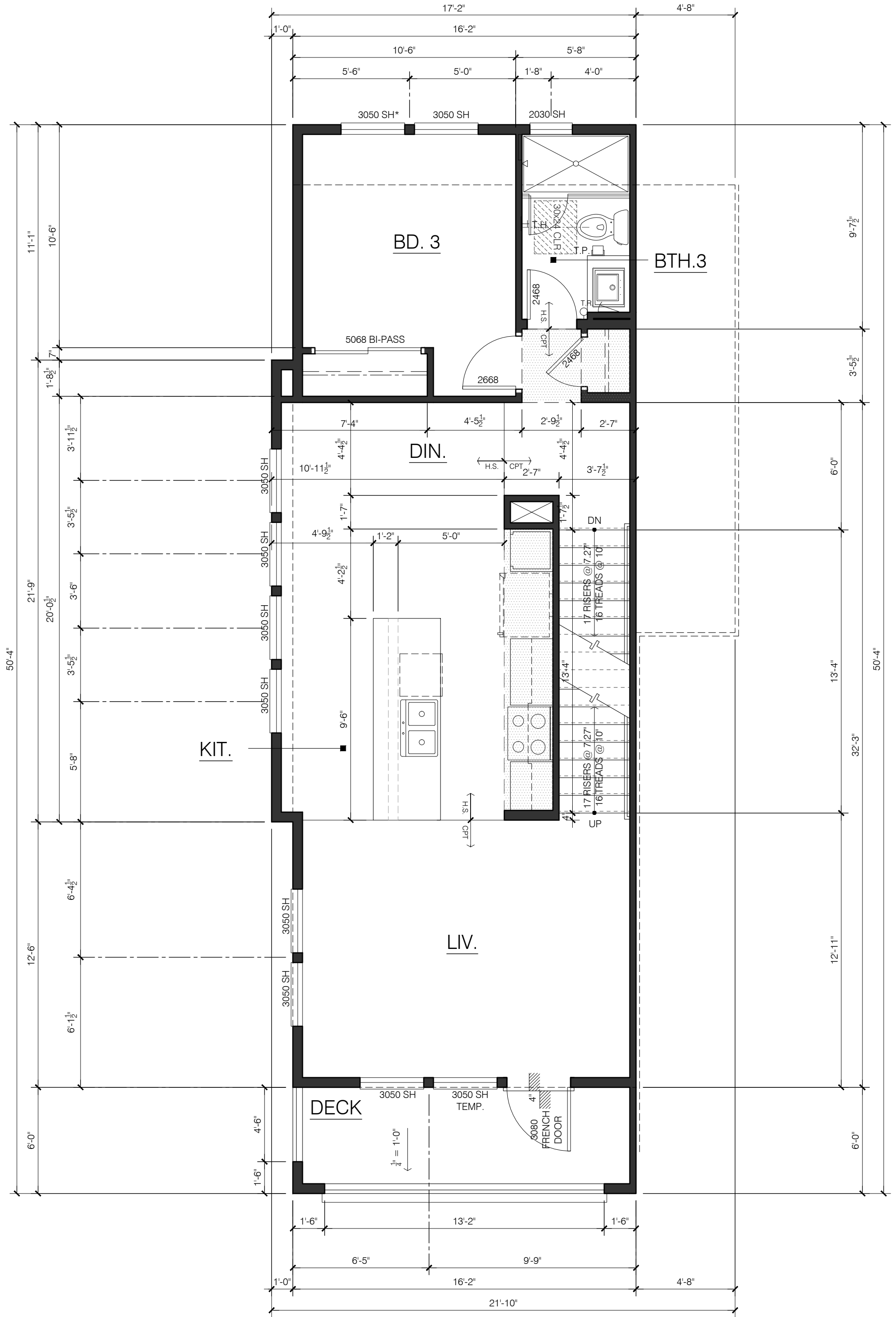
DATE: 08.21.2023

PROJECT: 317062.00



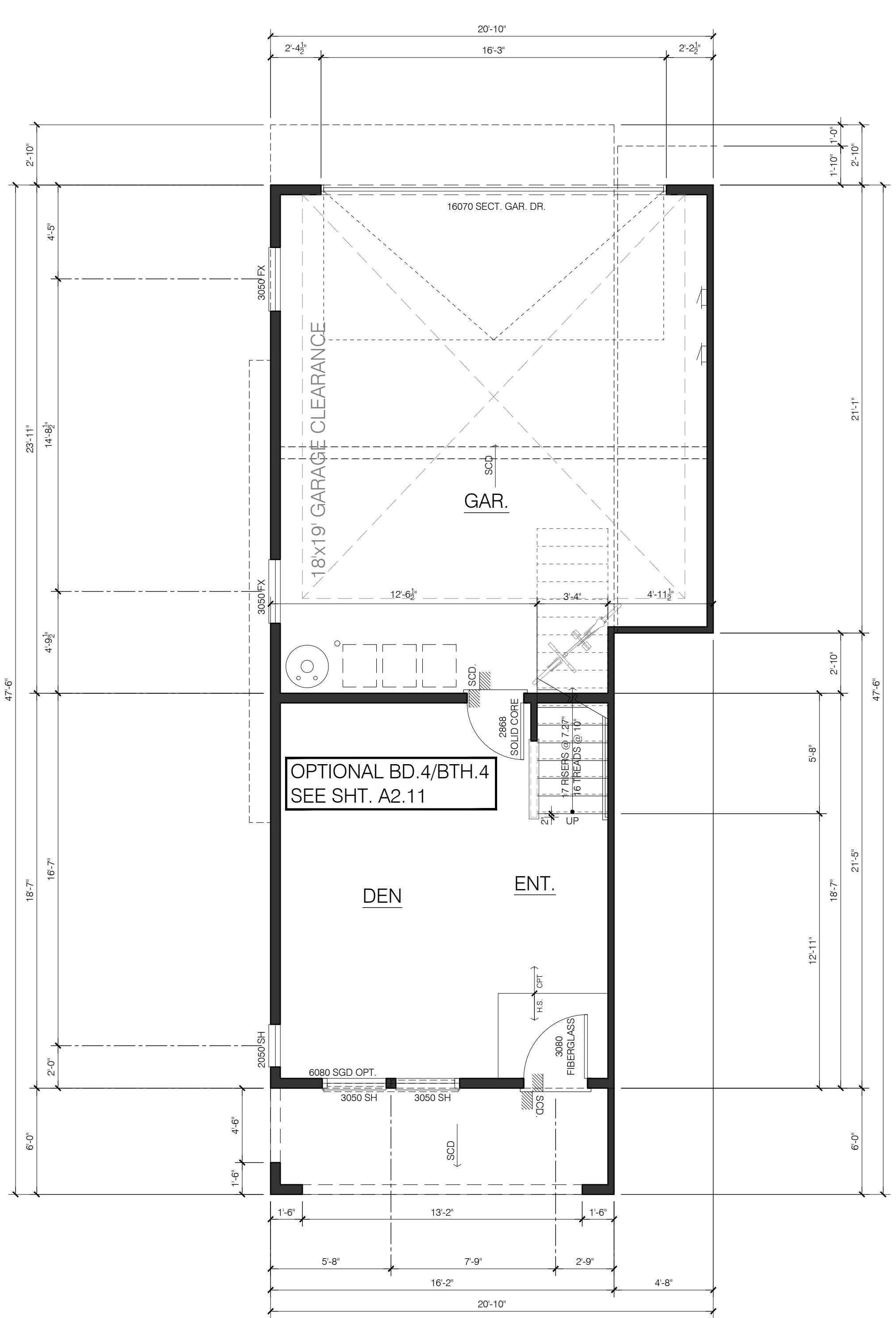
UPPER FLOOR PLAN

PLAN 2X
UPPER LIVING: 725 SQ. FT.



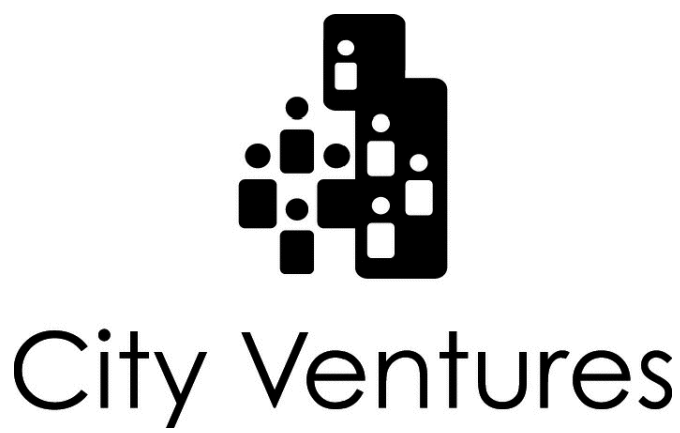
MAIN FLOOR PLAN

PLAN 2X
MAIN LIVING: 755 SQ. FT.
TOTAL LIVING: ±1760 SQ. FT.

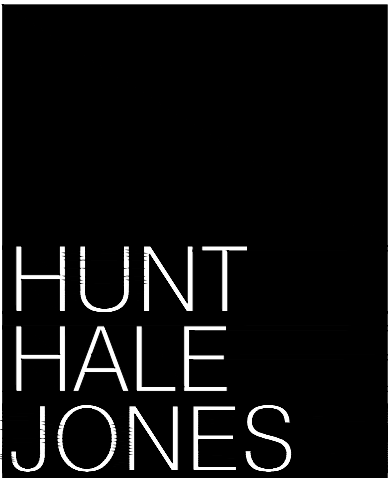


GROUND FLOOR PLAN

PLAN 2X
GROUND LIVING: 280 SQ. FT.
GARAGE: 506 SQ. FT.



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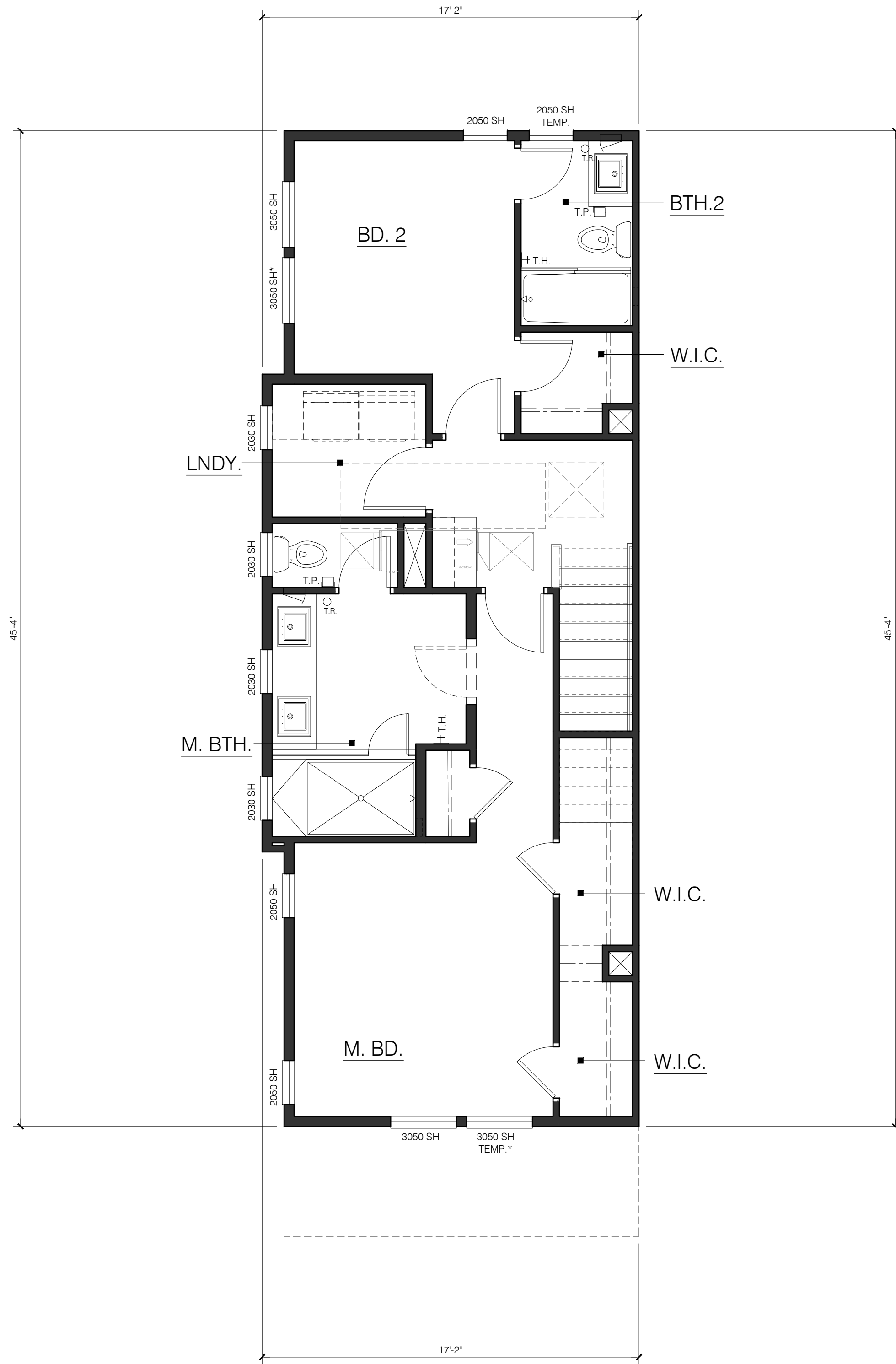
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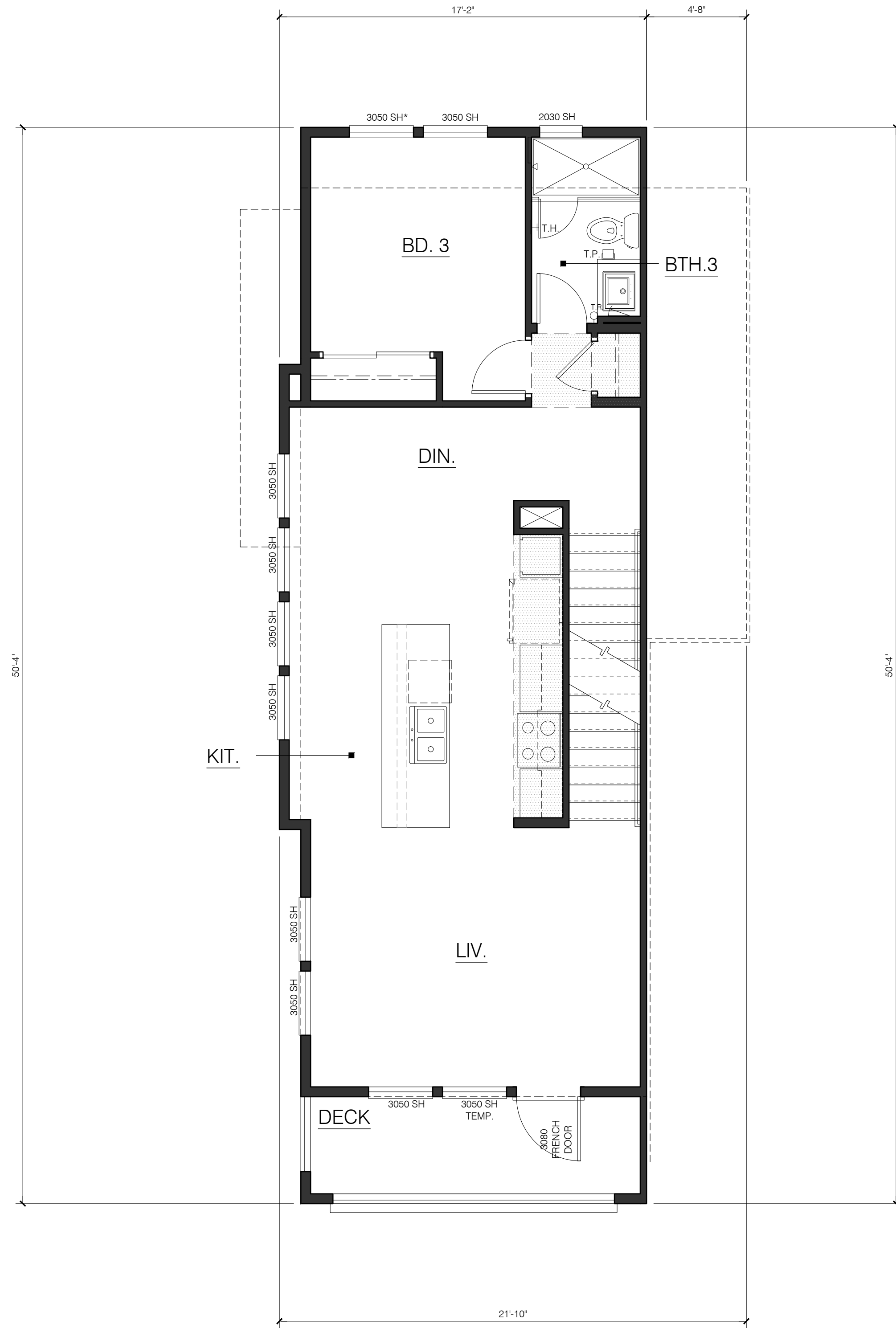
PLAN 2X
A2.8
SCALE: 1/4" = 1'-0"
DATE: 08.21.2023
PROJECT: 317062.00



UPPER FLOOR PLAN

FOR ADDITIONAL INFORMATION
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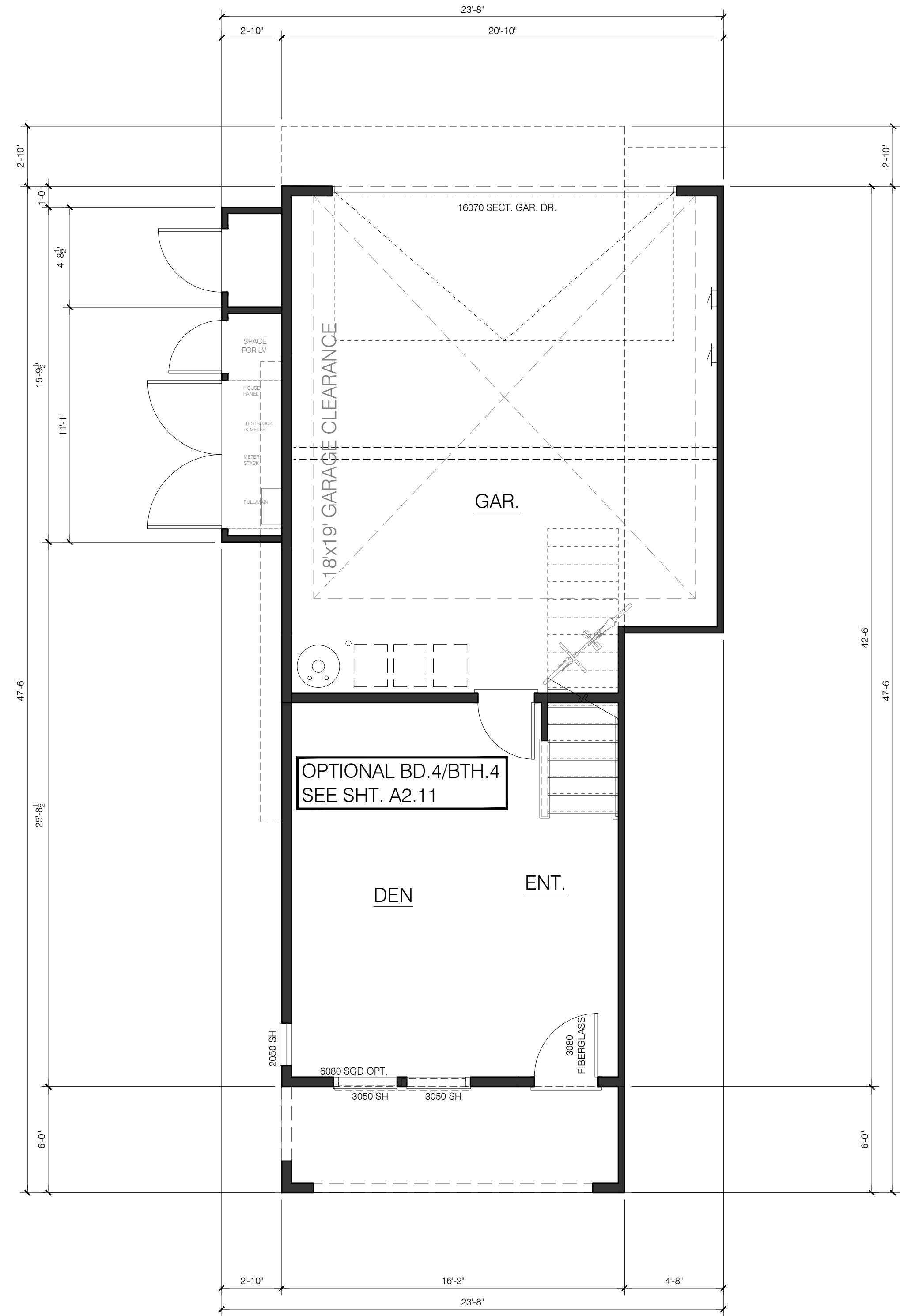
PLAN 2X - METER CLOSET 3-4 UNIT UPPER LIVING: 725 SQ. FT.



MAIN FLOOR PLAN

FOR ADDITIONAL INFORMATION
NOT SHOWN, SEE A2.8

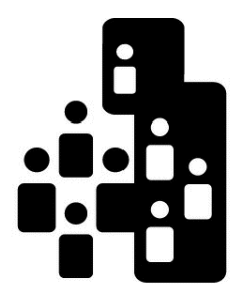
PLAN 2X - METER CLOSET 3-4 UNIT MAIN LIVING: 755 SQ. FT.
TOTAL LIVING: ±1760 SQ. FT.



GROUND FLOOR PLAN

FOR ADDITIONAL INFORMATION
NOT SHOWN, SEE A2.8

PLAN 2X - METER CLOSET 3-4 UNIT GROUND LIVING: 280 SQ. FT.
GARAGE: 506 SQ. FT.



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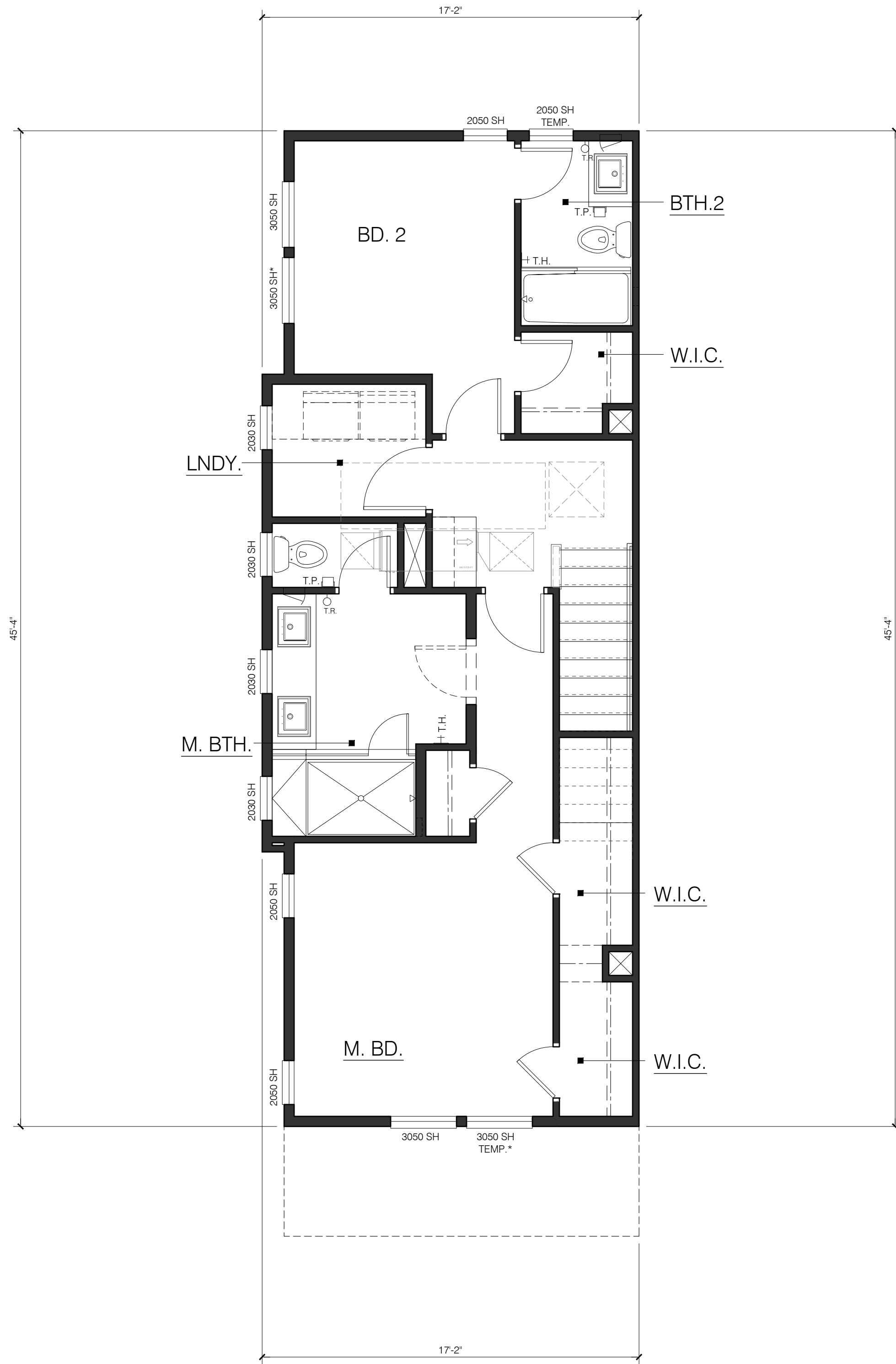
PLAN 2X METER CLOSET - 3-4 UNT

A2.9

SCALE: 1/4" = 1'-0"

DATE: 08.21.2023

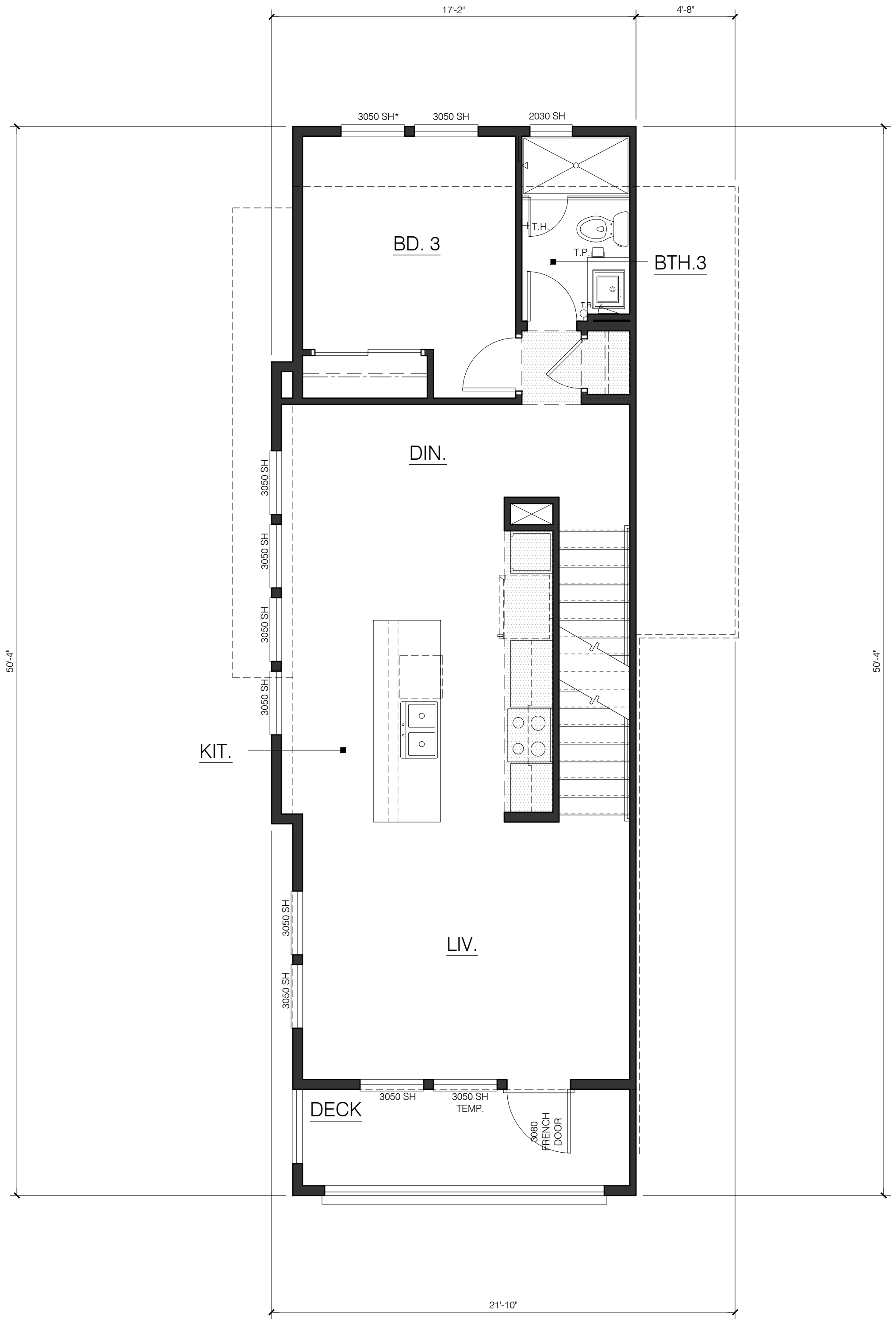
PROJECT: 317062.00



UPPER FLOOR PLAN

FOR ADDITIONAL INFORMATION
NOT SHOWN, SEE A2.8

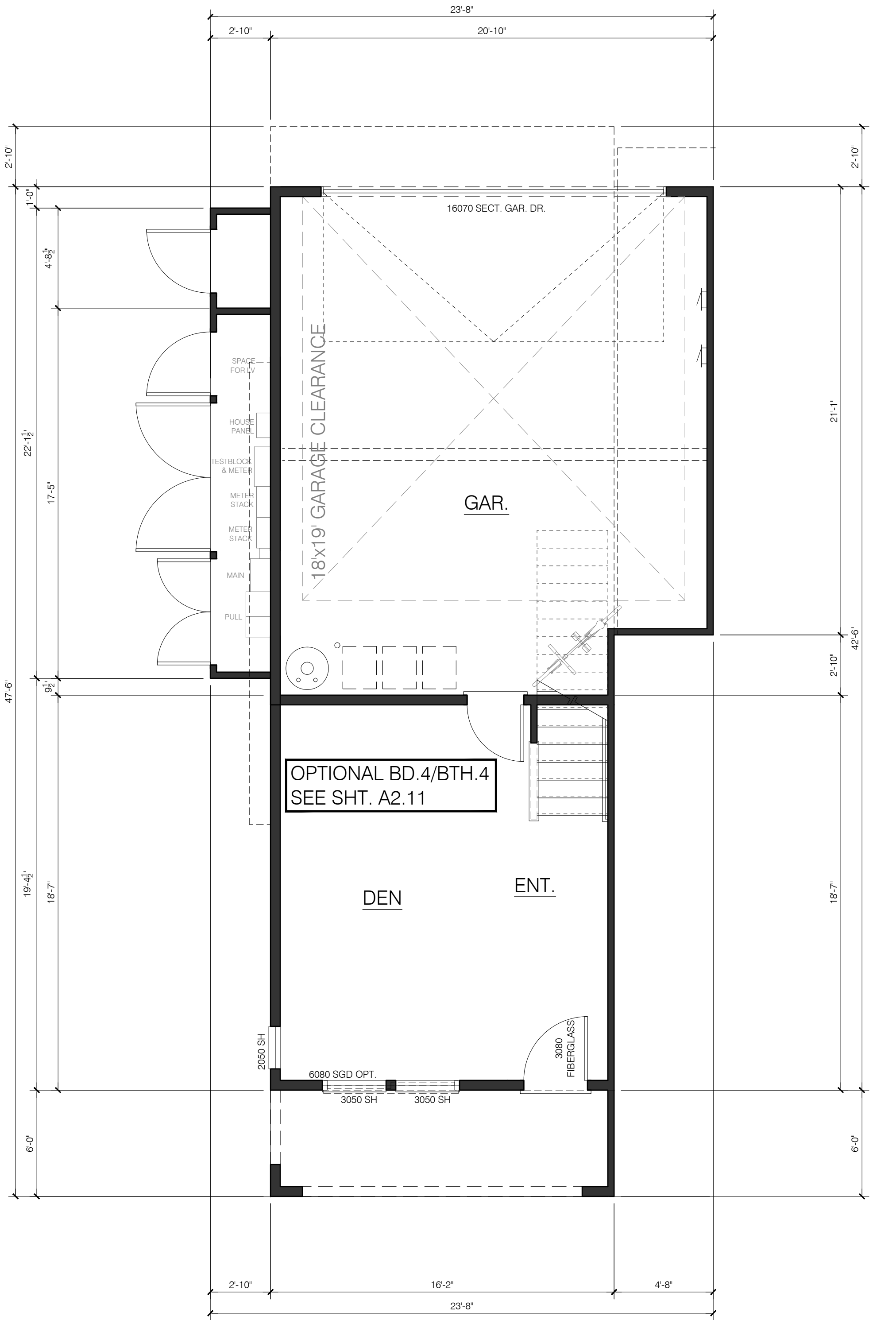
PLAN 2X - METER CLOSET 5-7 UNIT UPPER LIVING: 725 SQ. FT.



MAIN FLOOR PLAN

FOR ADDITIONAL INFORMATION
NOT SHOWN, SEE A2.8

PLAN 2X - METER CLOSET 5-7 UNIT MAIN LIVING: 755 SQ. FT.
TOTAL LIVING: ±1760 SQ. FT.



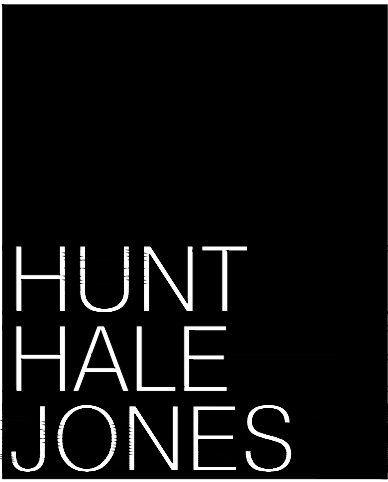
GROUND FLOOR PLAN

FOR ADDITIONAL INFORMATION
NOT SHOWN, SEE A2.8

PLAN 2X - METER CLOSET 5-7 UNIT GROUND LIVING: 280 SQ. FT.
GARAGE: 506 SQ. FT.



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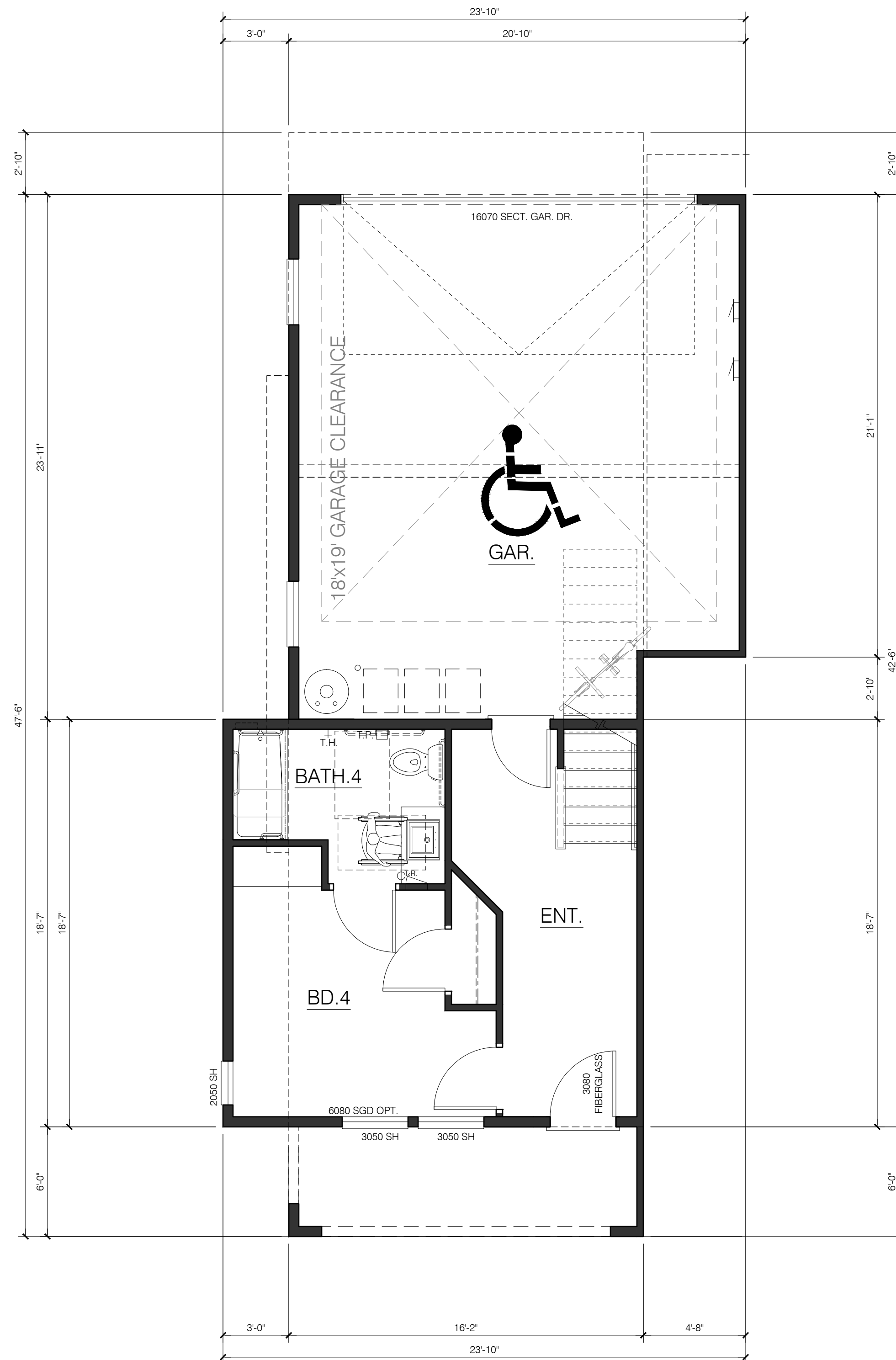
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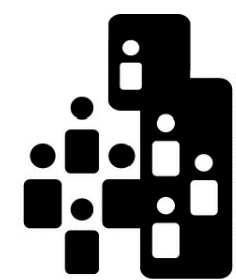
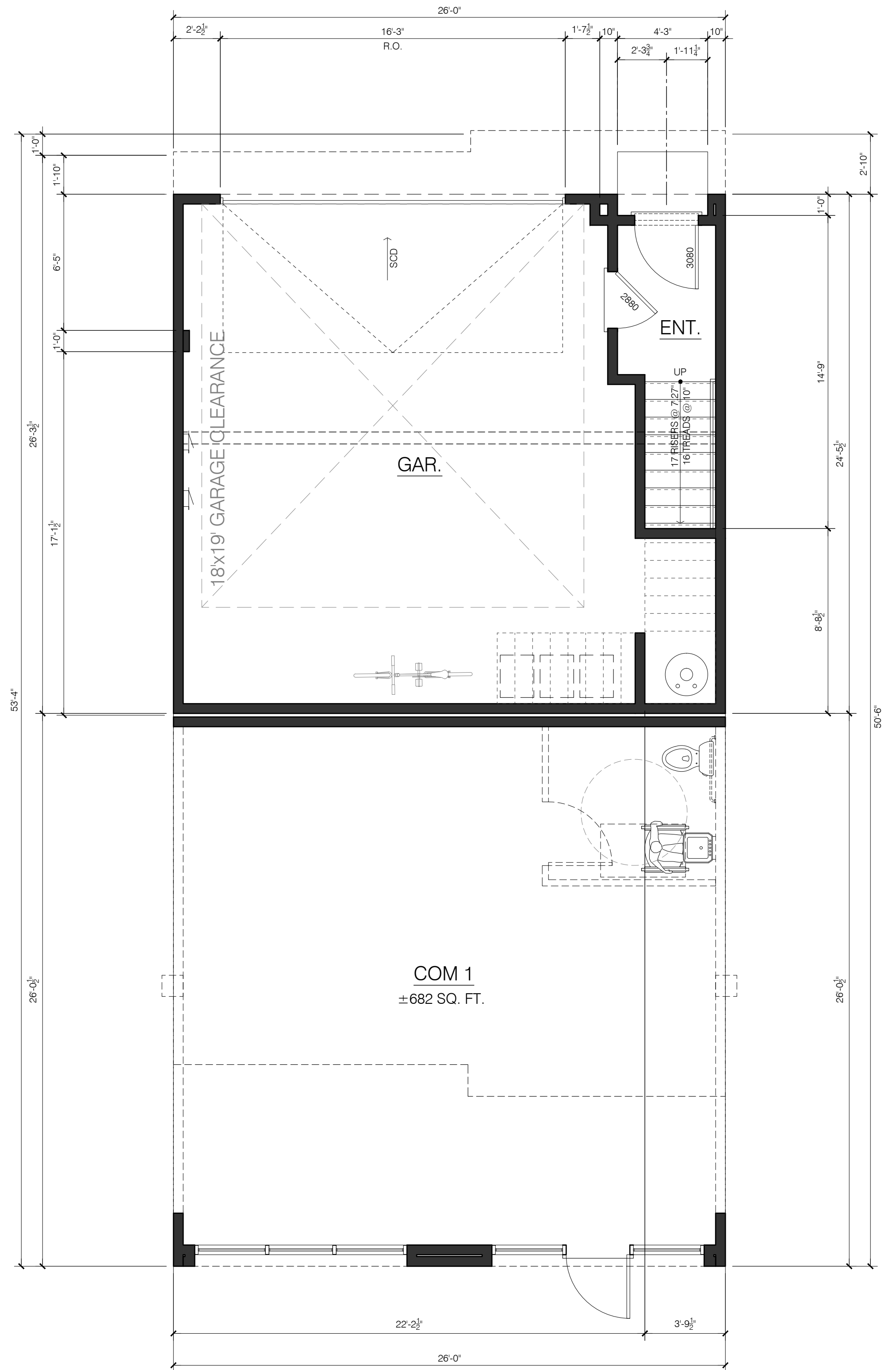
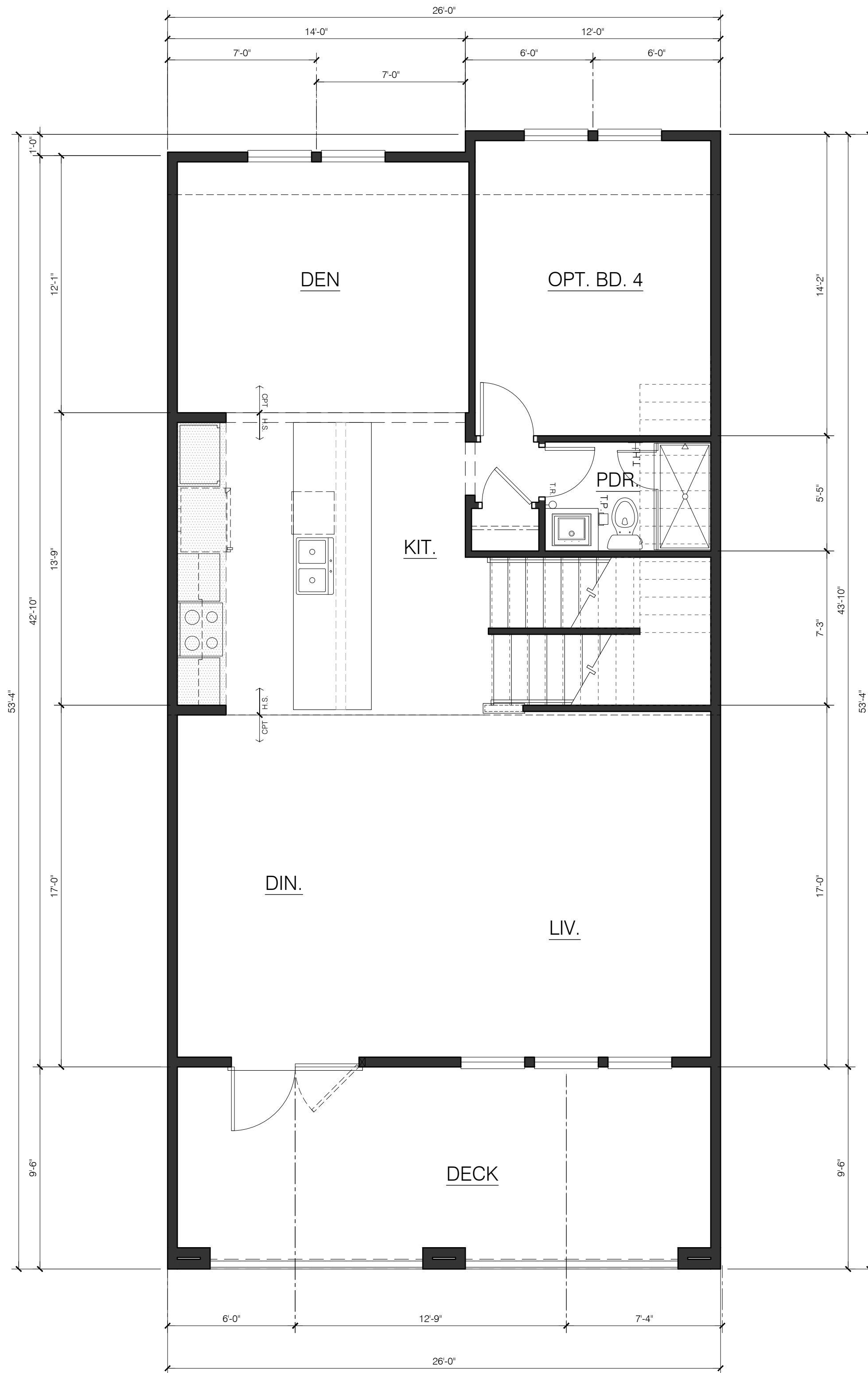
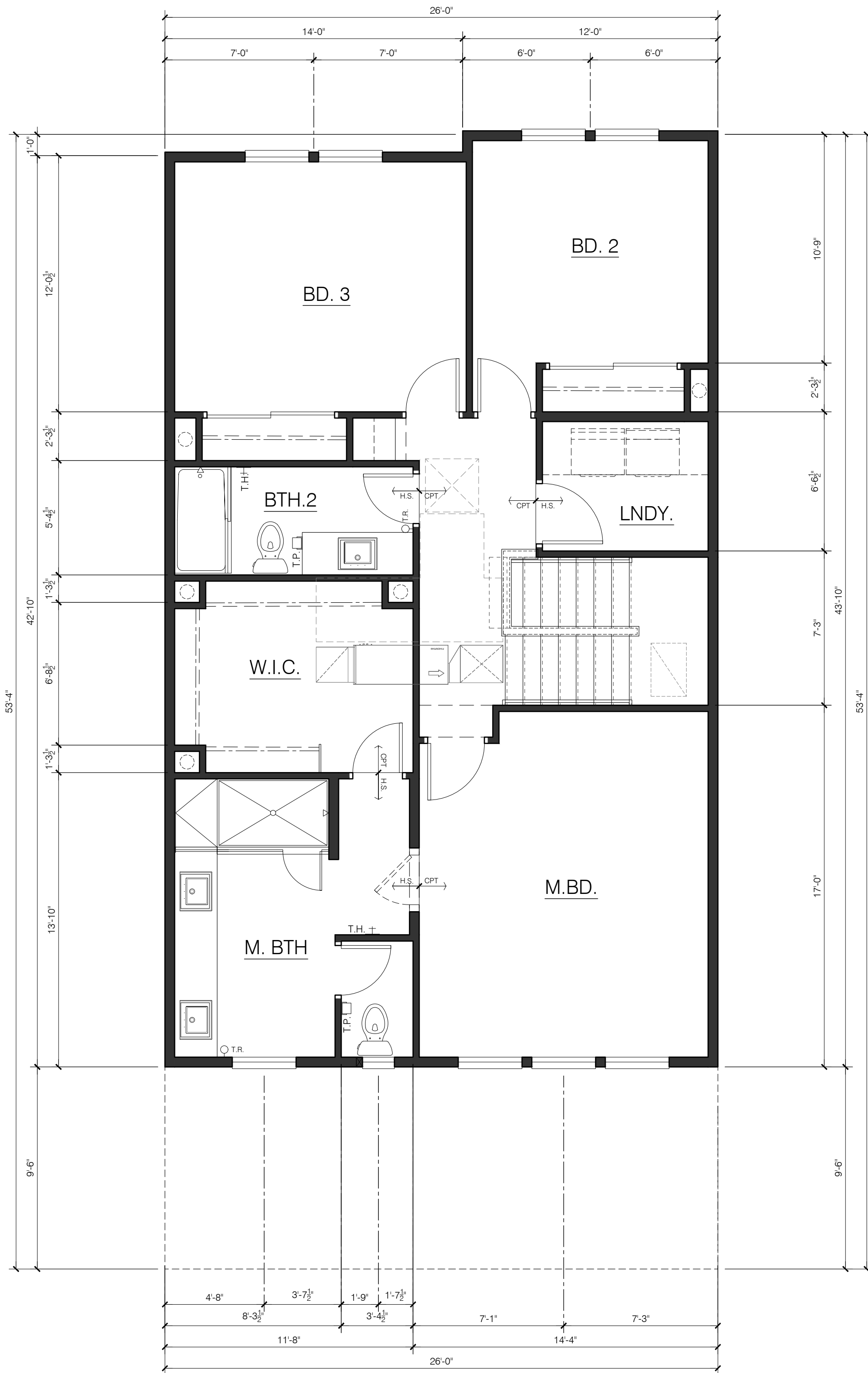


PLAN 2X METER CLOSET - 5-7 UNT

A2.10

SCALE: 1/4" = 1'-0"
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PLAN 3

A2.12

SCALE: 1/4" = 1'-0"

DATE: 08.21.2023

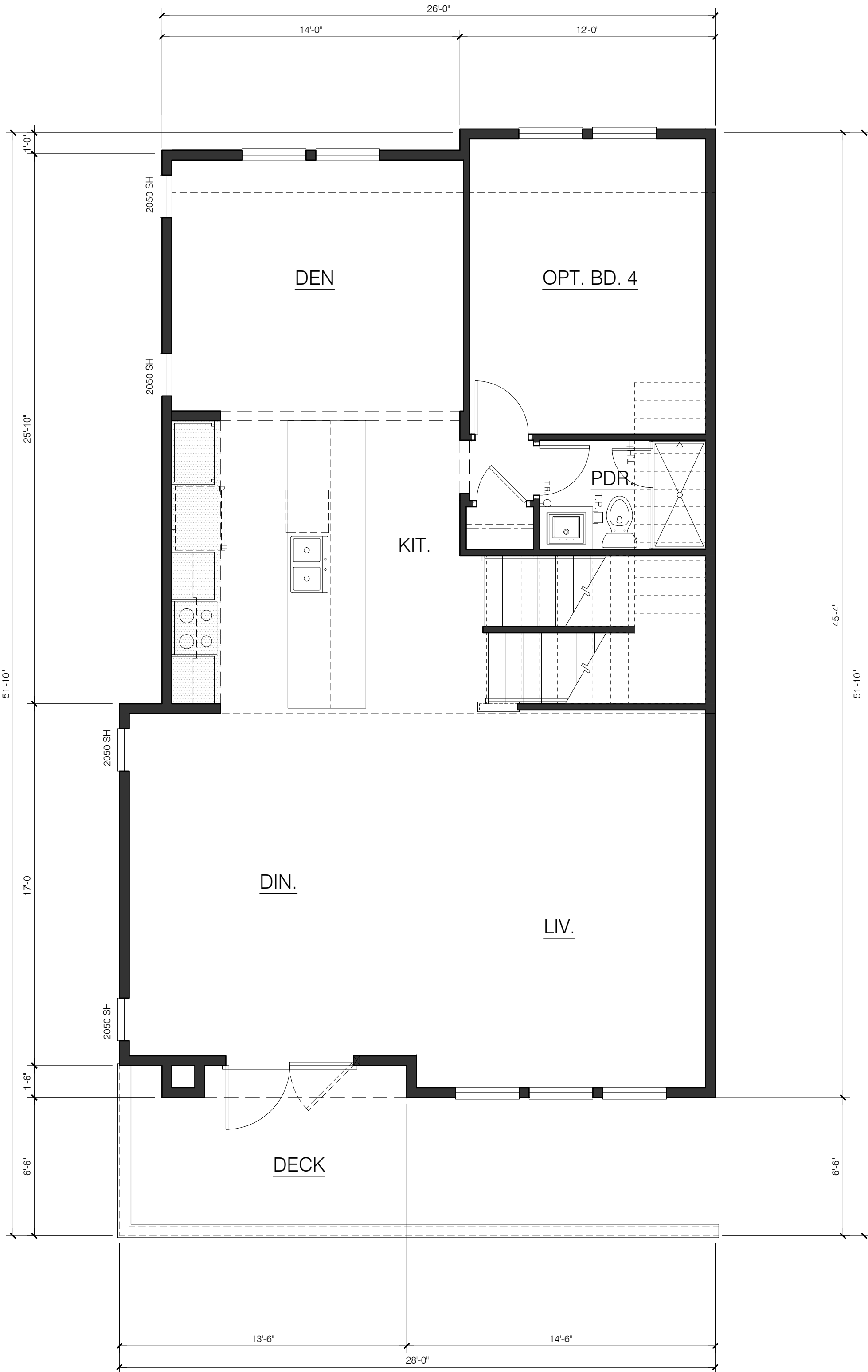
PROJECT: 317062.00



UPPER FLOOR PLAN

PLAN 3 END

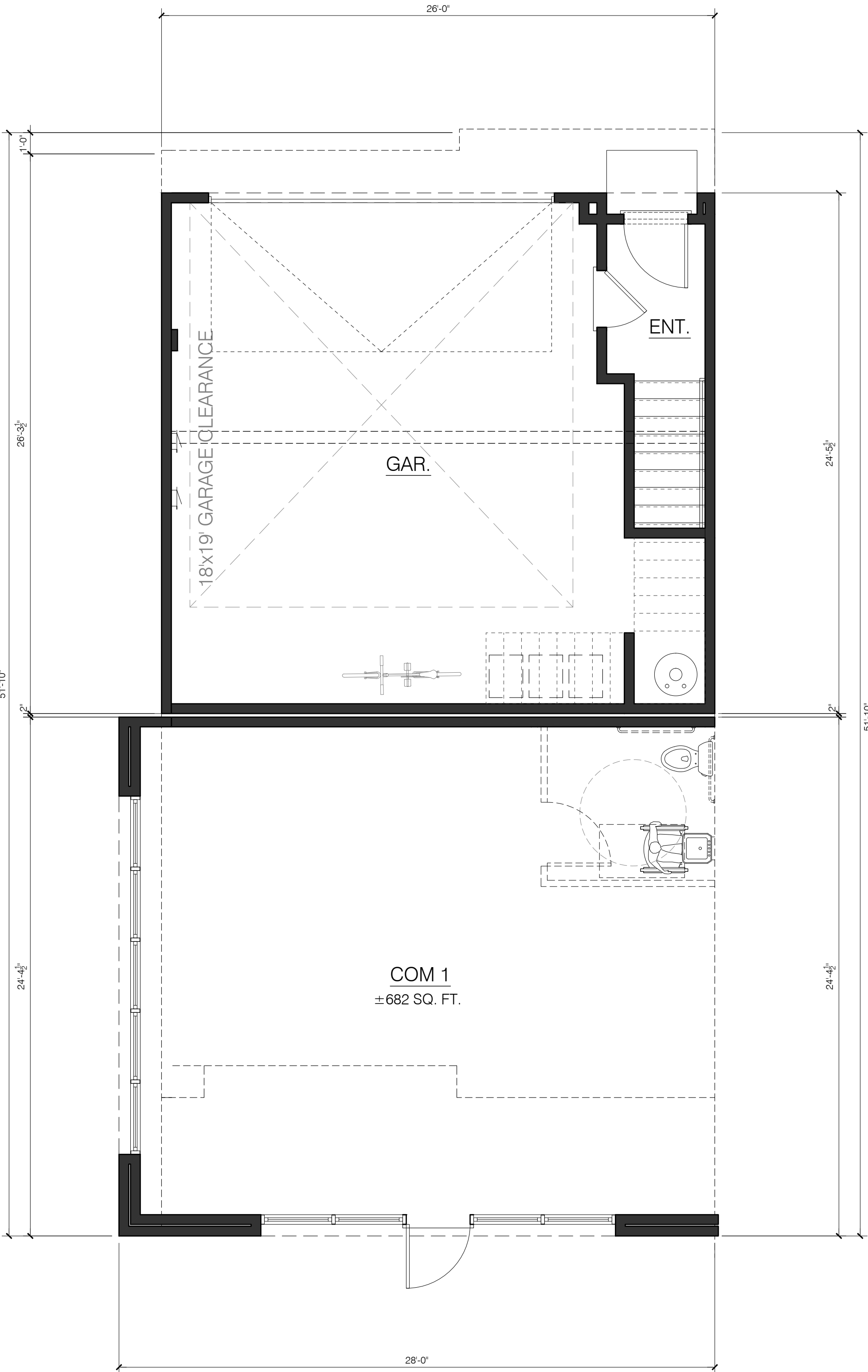
UPPER LIVING: 1060 SQ. FT.



MAIN FLOOR PLAN

PLAN 3 END

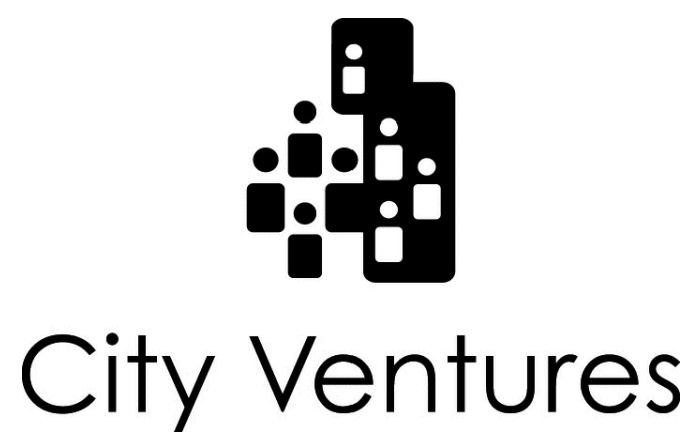
MAIN LIVING: 1190 SQ. FT.
TOTAL LIVING: ±2310 SQ. FT.
DECK: 202 SQ. FT.



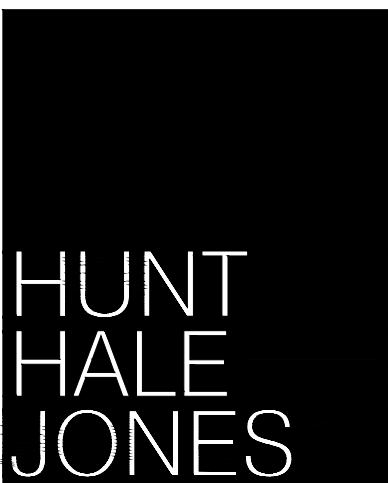
GROUND FLOOR PLAN

PLAN 3 END

GROUND LIVING: 71 SQ. FT.
GARAGE: 565 SQ. FT.



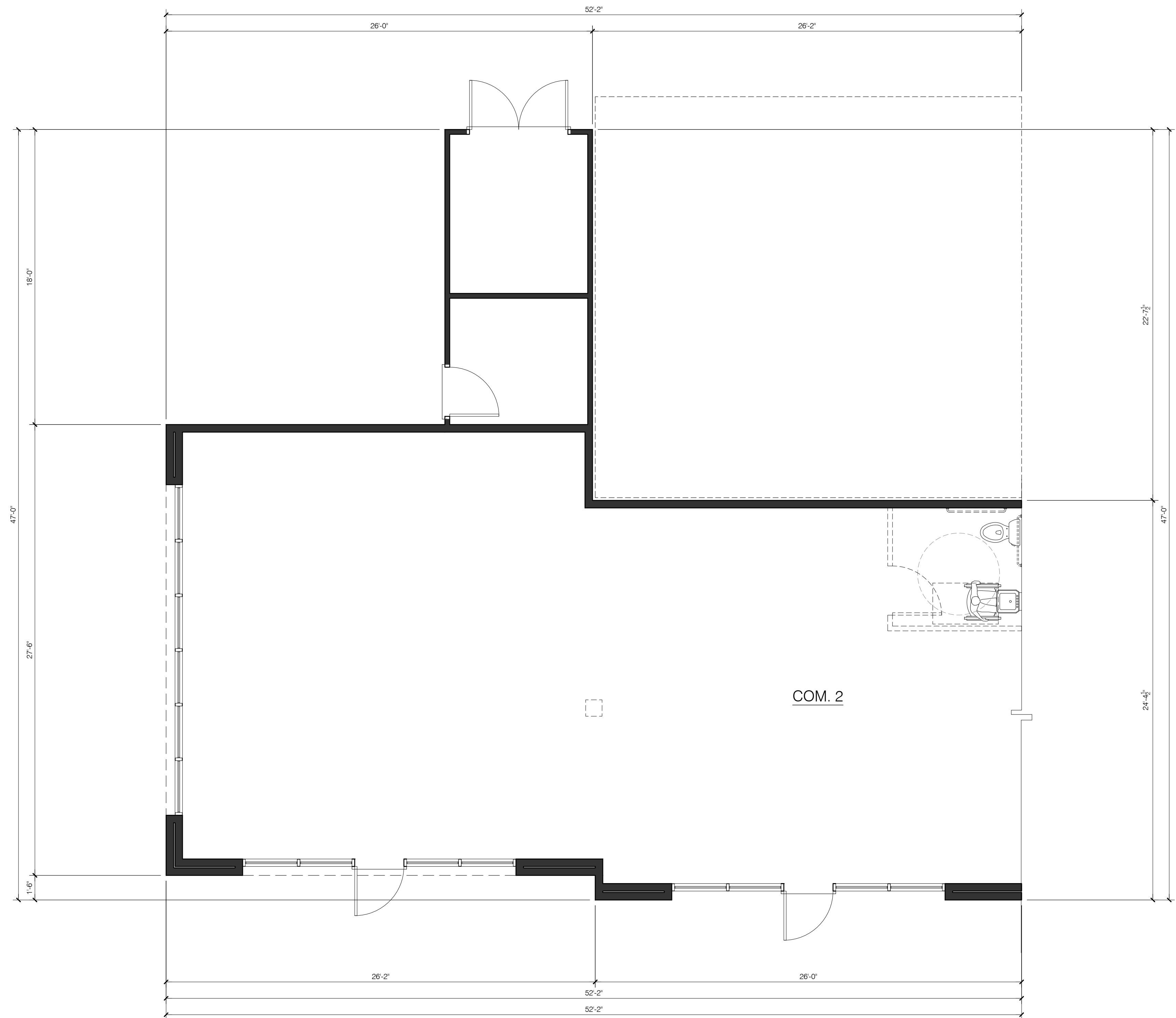
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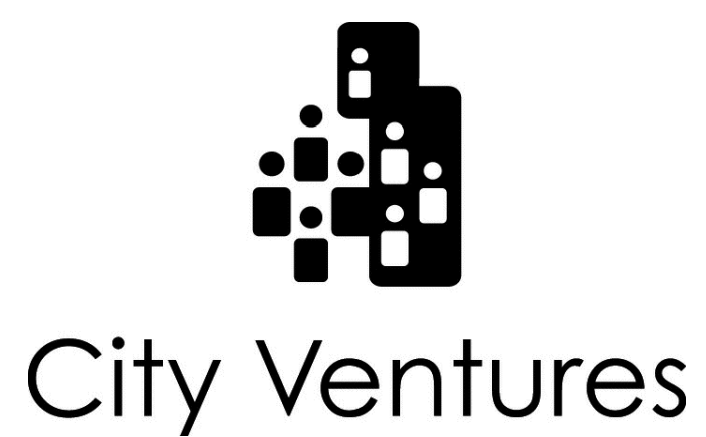
PLAN 3 END
A2.13
SCALE: 1/4" = 1'-0"
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GROUND FLOOR PLAN

COMMERCIAL END CRNR

GROUND AREA: ±1353 SQ. FT.



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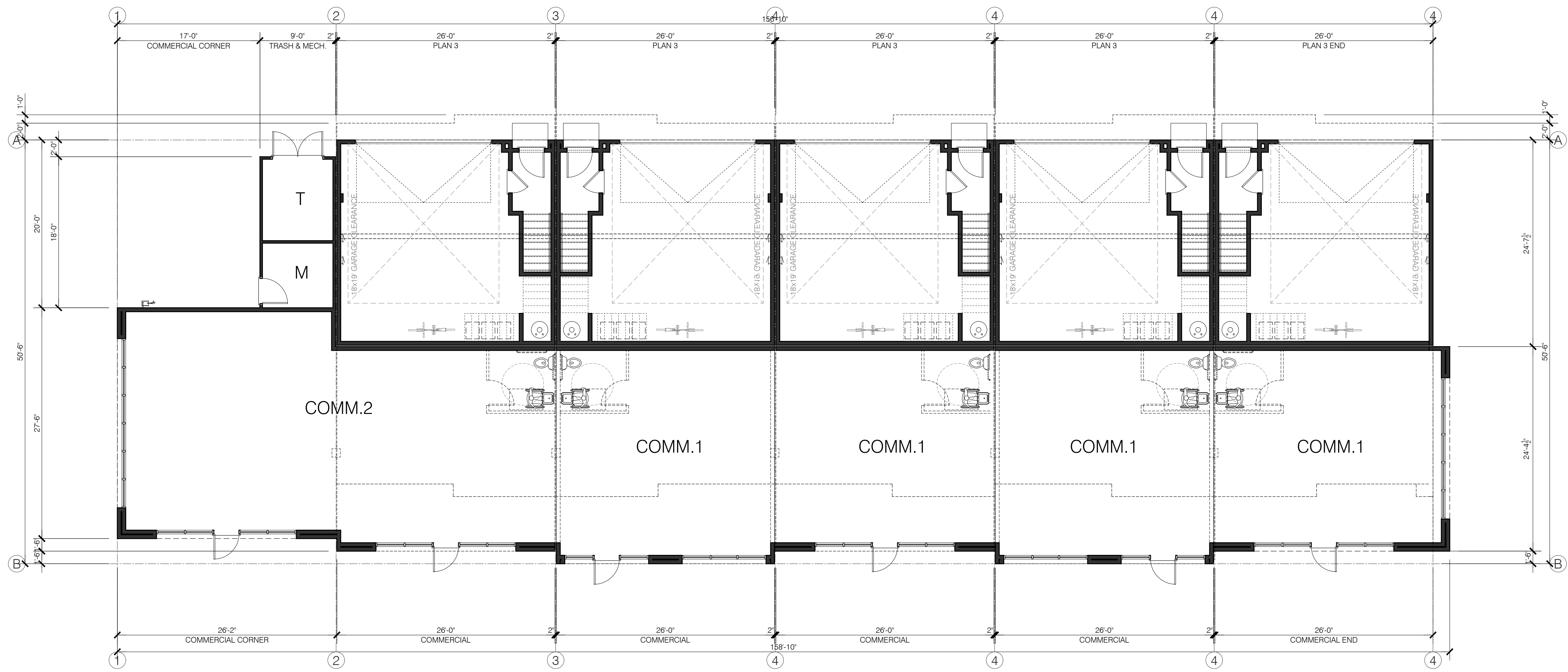
COMMERCIAL END CRNR

A2.14

SCALE: 1/4" = 1'-0"

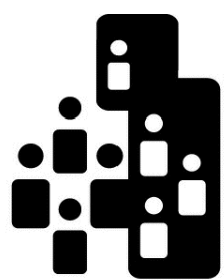
DATE: 08.21.2023

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GROUND FLOOR PLAN

BLDG. 1

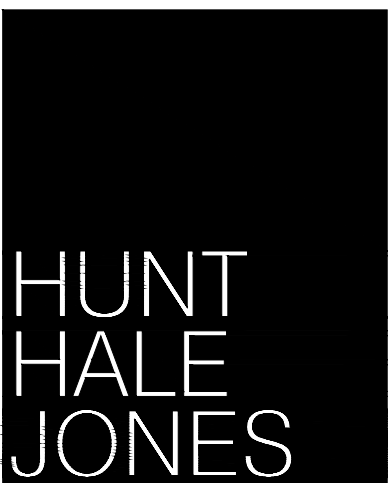


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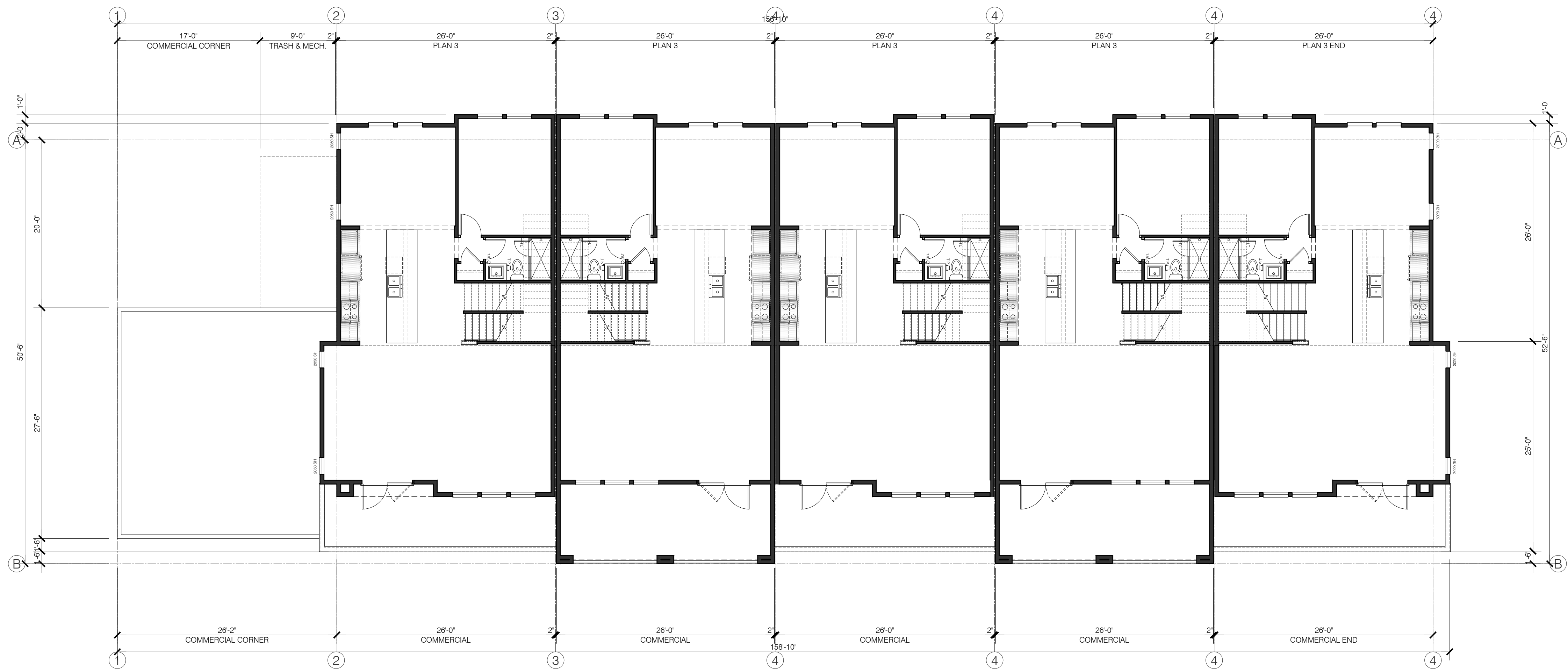
BLDG. 1 GROUND FLOOR PLAN

A3.1.1

SCALE: 1/8" = 1'-0"

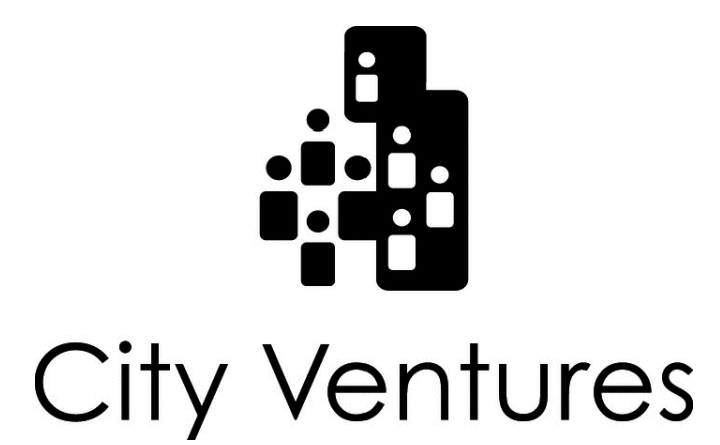
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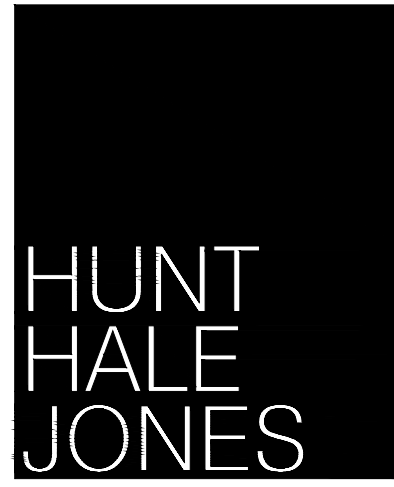


MAIN FLOOR PLAN

BLDG. 1



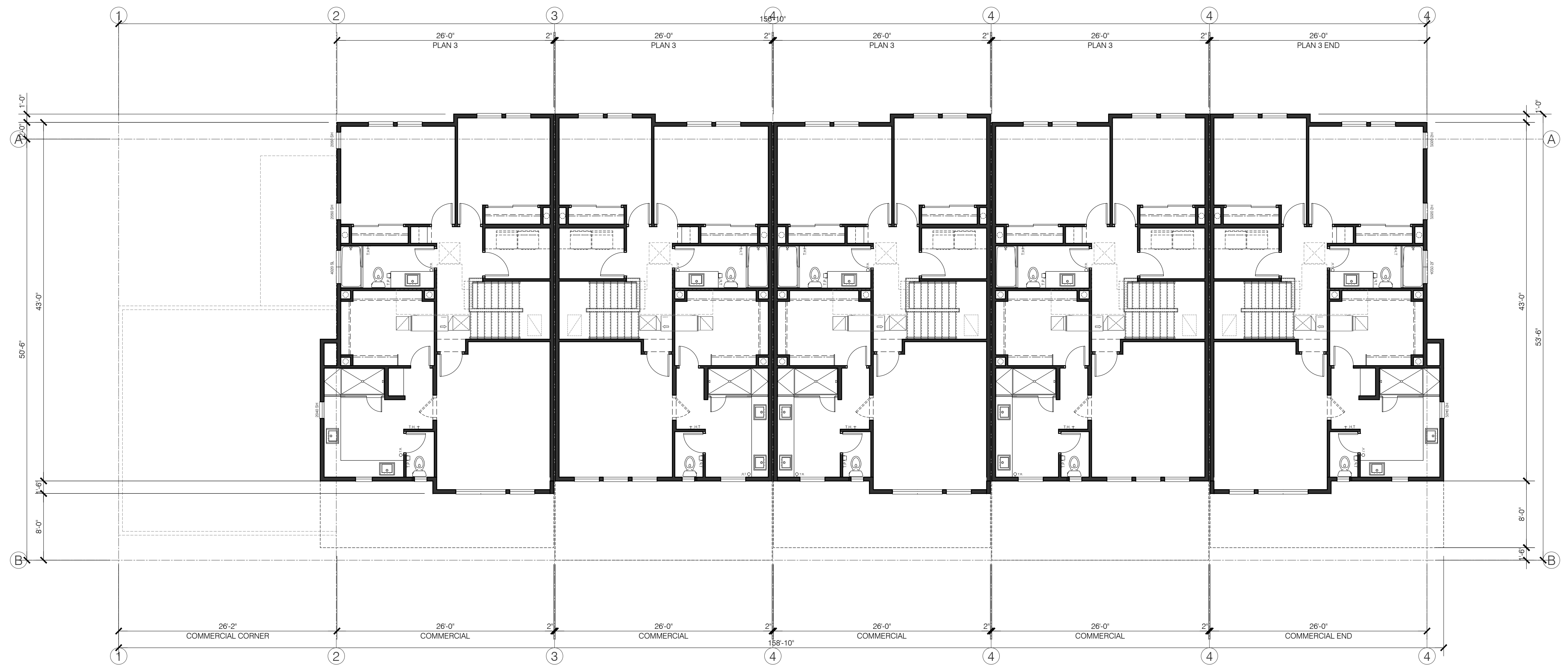
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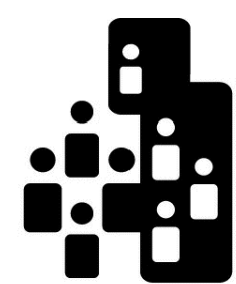


BLDG. 1 MAIN FLOOR PLAN
A3.1.2
SCALE: 1/8" = 1'-0"
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UPPER FLOOR PLAN

BLDG. 1



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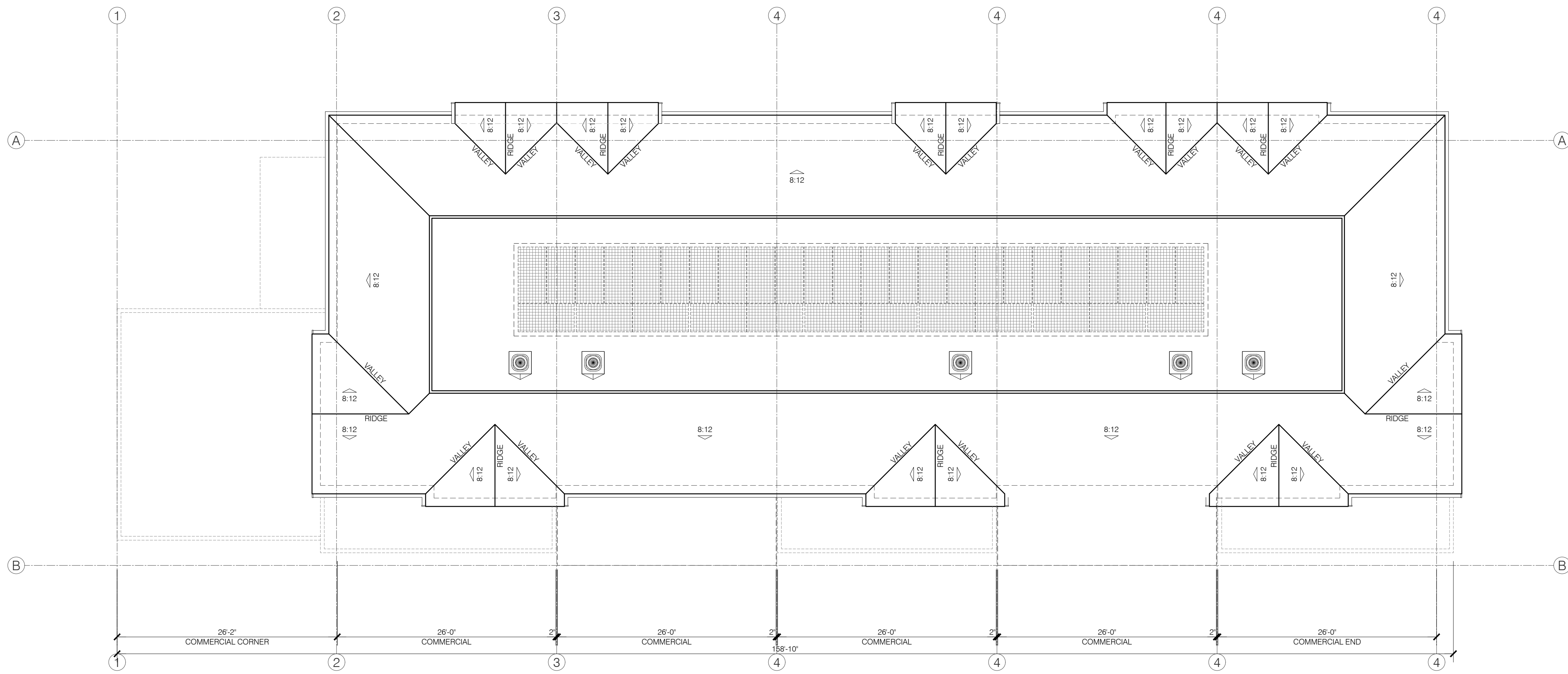
BLDG. 1 UPPER FLOOR PLAN

A3.1.3

SCALE: 1/8" = 1'-0"

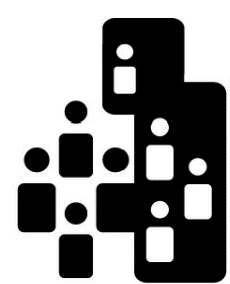
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ROOF PLAN

BLDG. 1

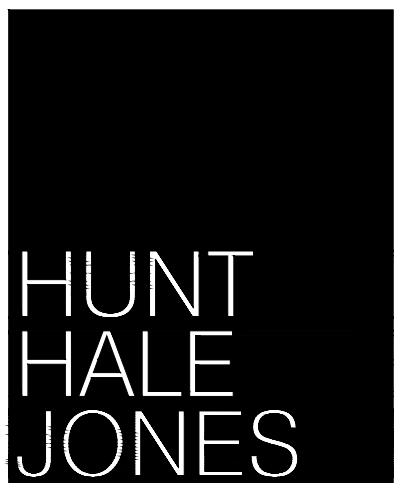


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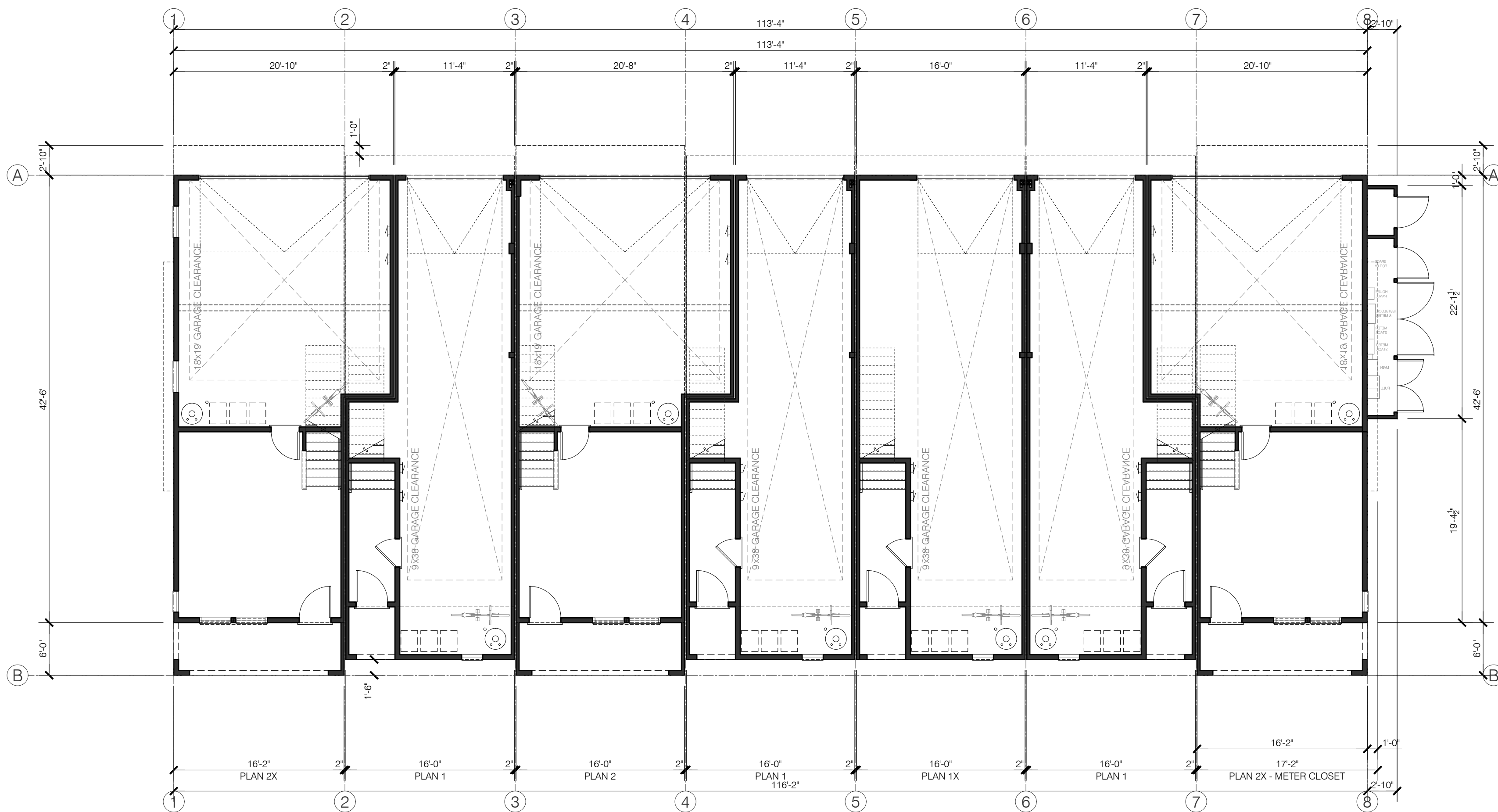
BLDG. 1 ROOF PLAN

A3.1.4

SCALE: 1/8" = 1'-0"

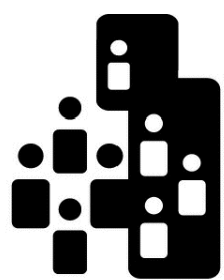
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GROUND FLOOR PLAN

BLDG. 2

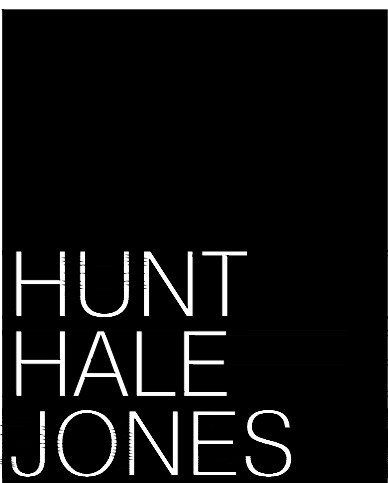


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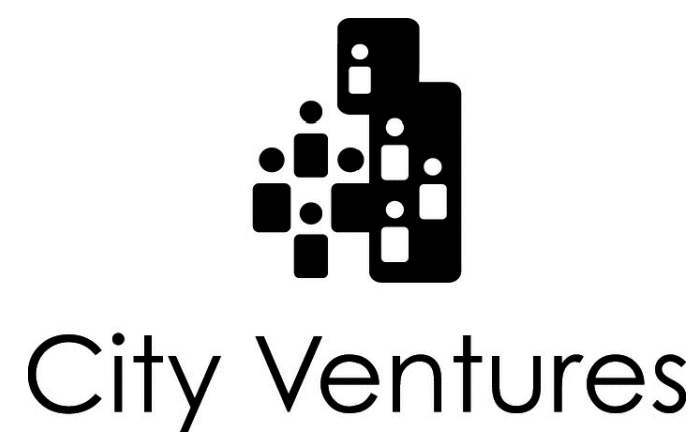
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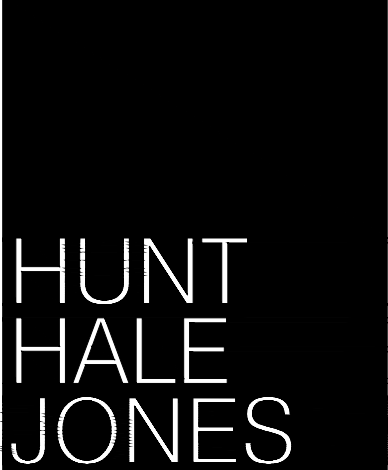
BLDG. 2 GROUND FLOOR PLAN

A3.2.1

SCALE: 1/8" = 1'-0"
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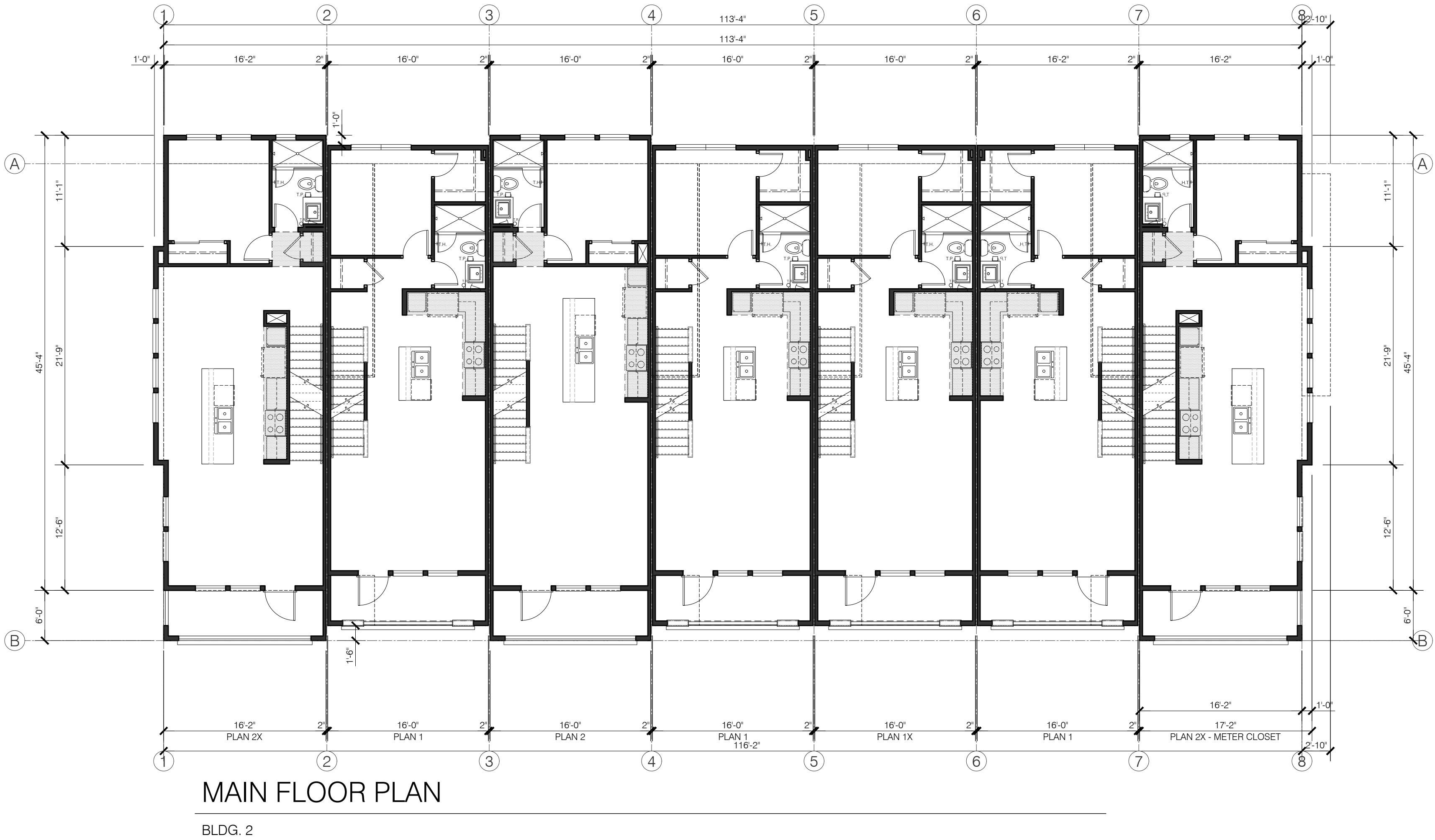
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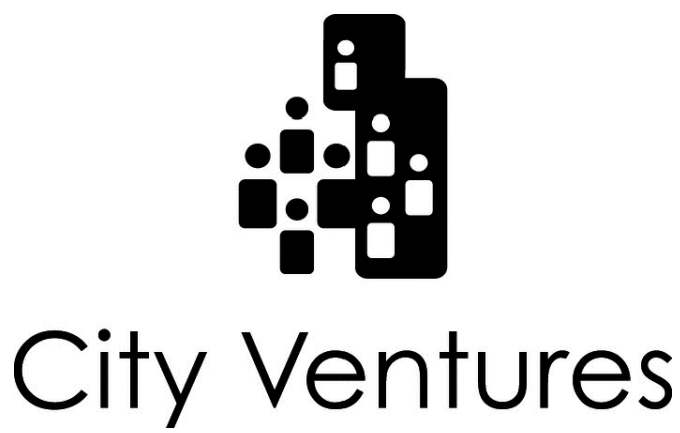
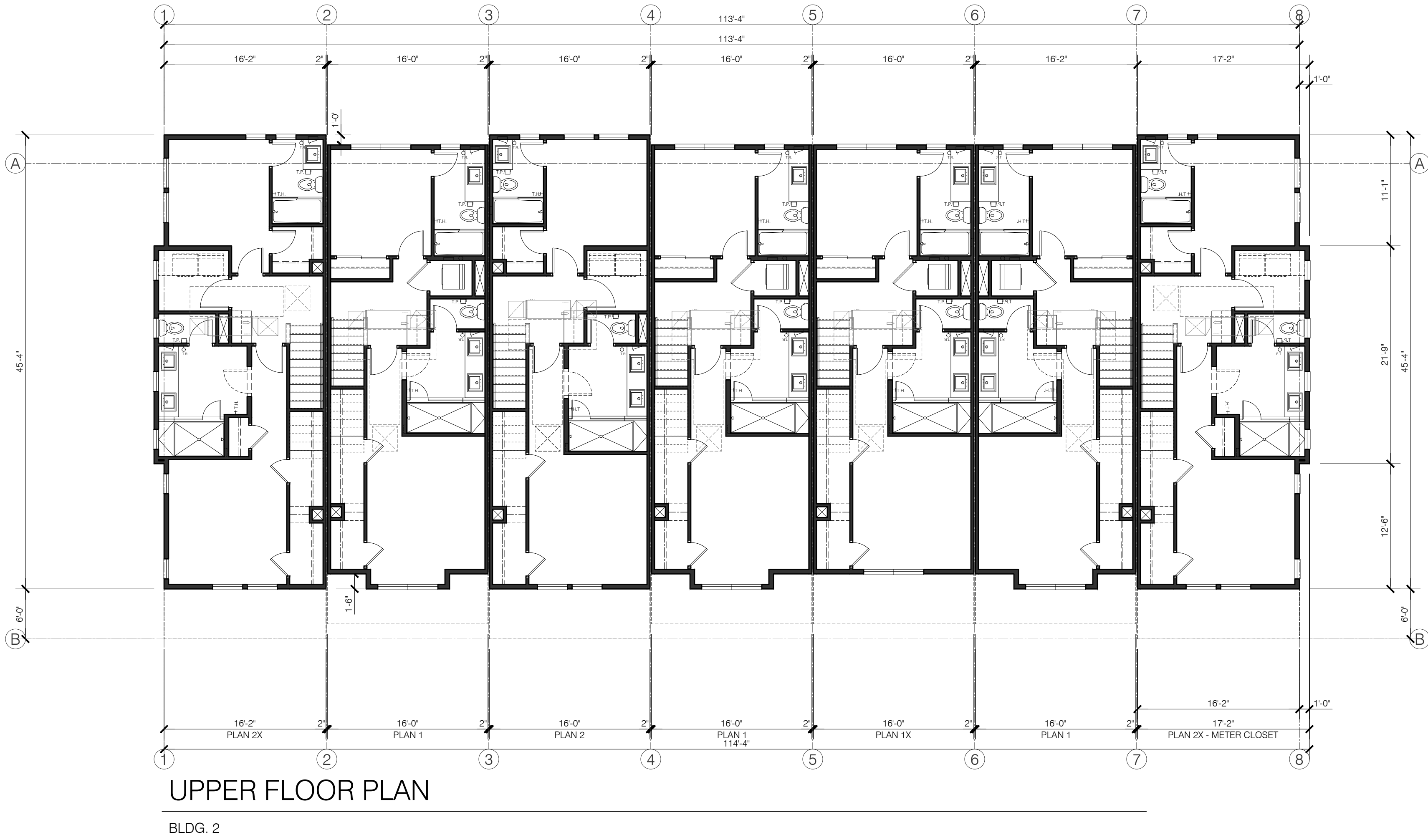
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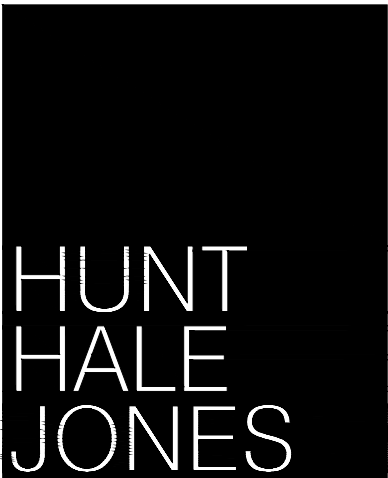
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BLDG. 2 MAIN FLOOR PLAN
A3.2.2
SCALE: 1/8" = 1'-0"
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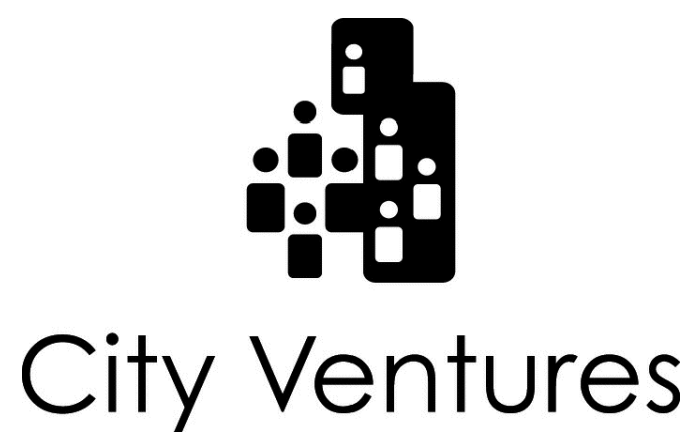
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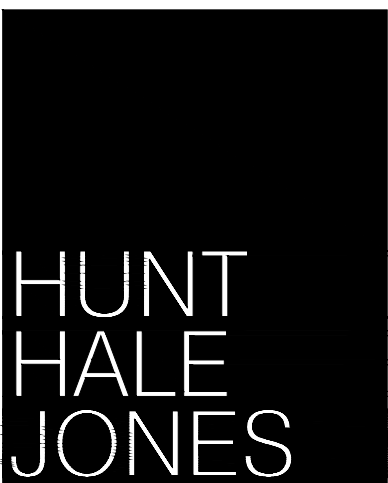
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BLDG. 2 UPPER FLOOR PLAN
A3.2.3
SCALE: 1/8" = 1'-0"
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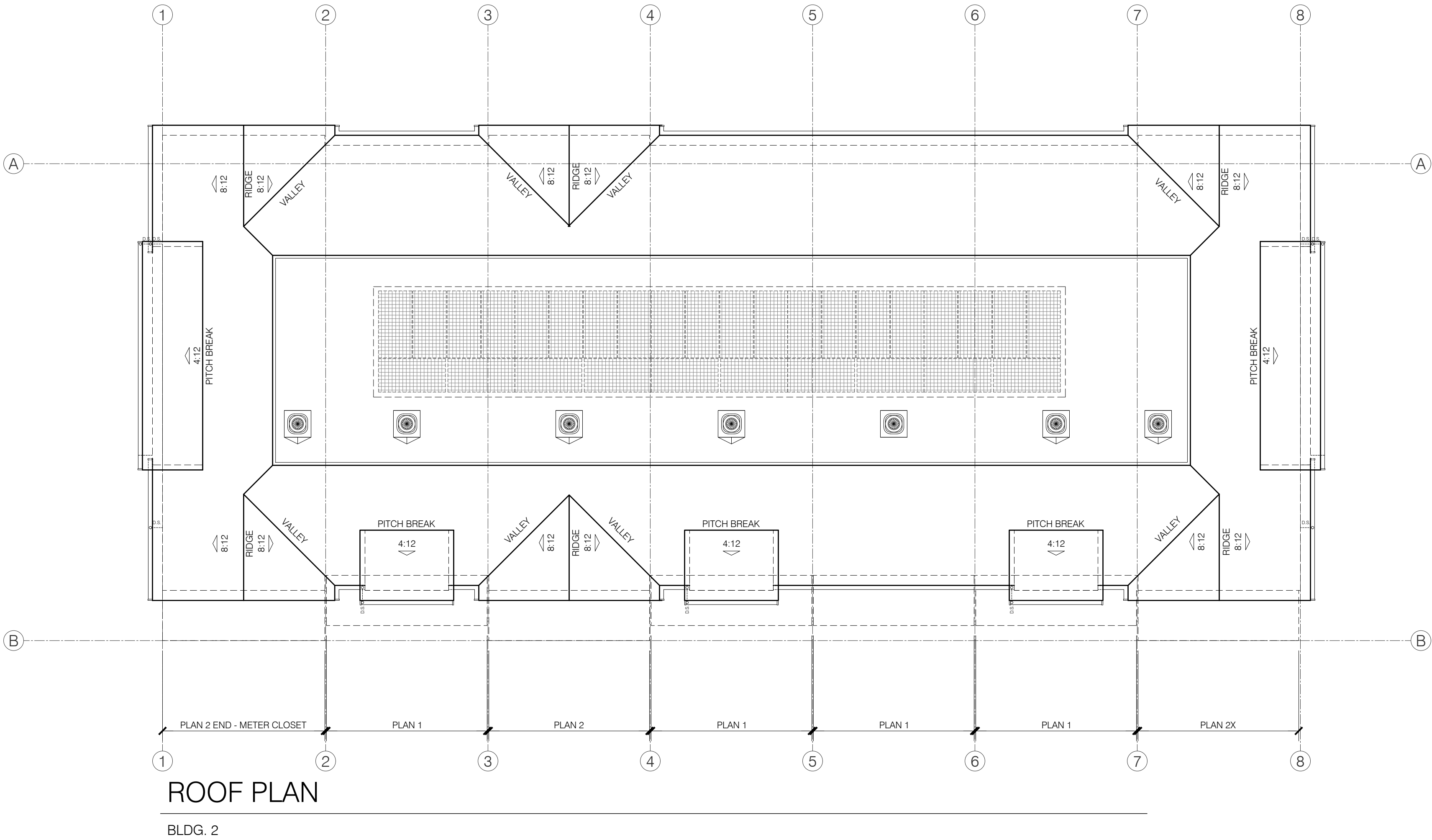
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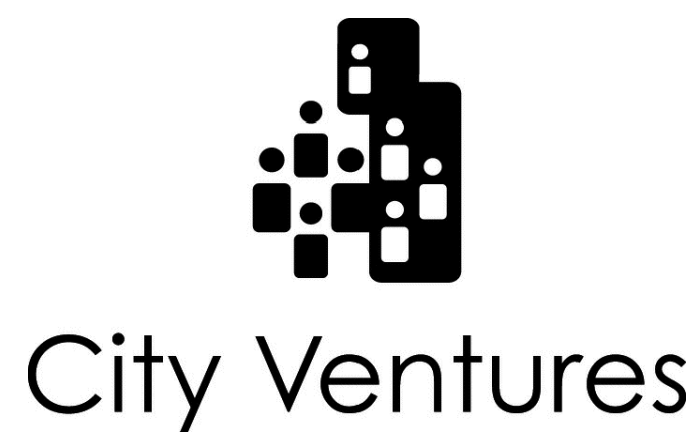
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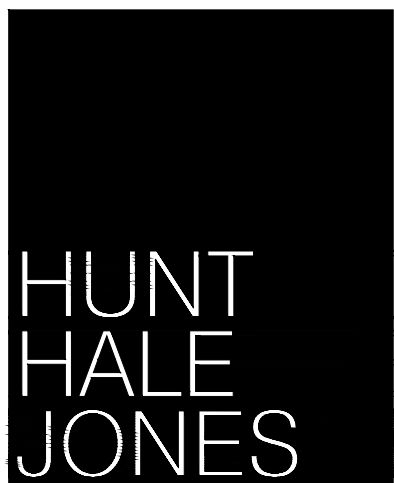
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BLDG. 2 ROOF PLAN
A3.2.4
SCALE: 1/8" = 1'-0"
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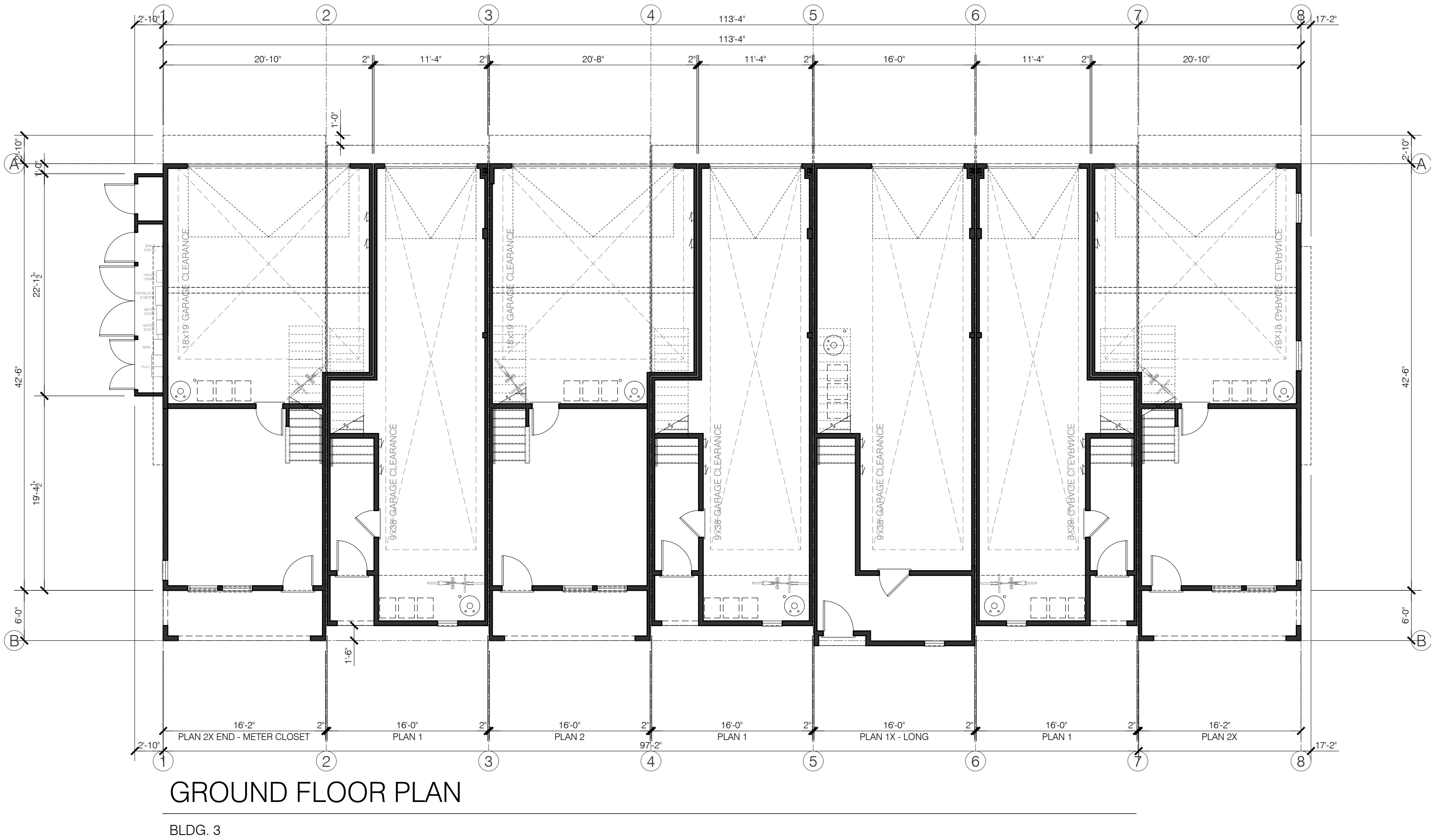
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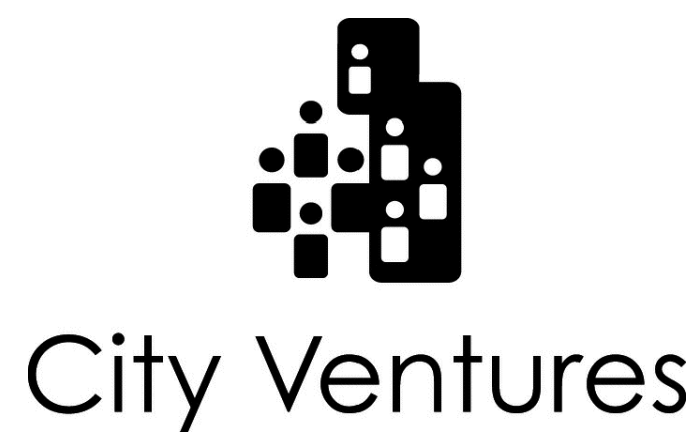
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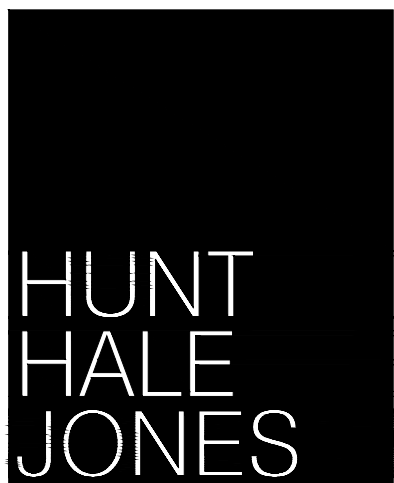
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BLDG. 3 GROUND FLOOR PLAN
A3.3.1
SCALE: 1/8" = 1'-0"
DATE: 08.21.2023
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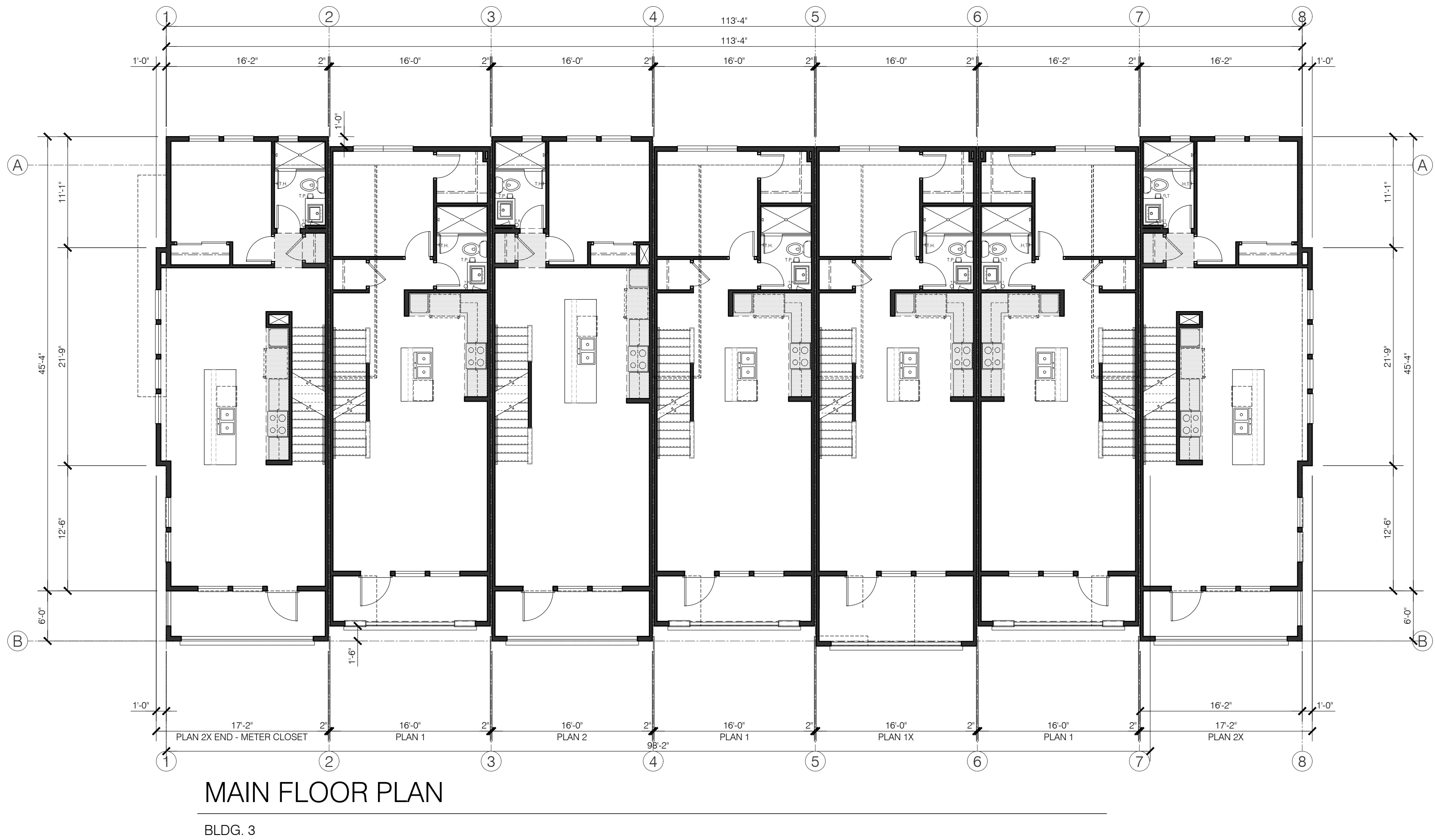
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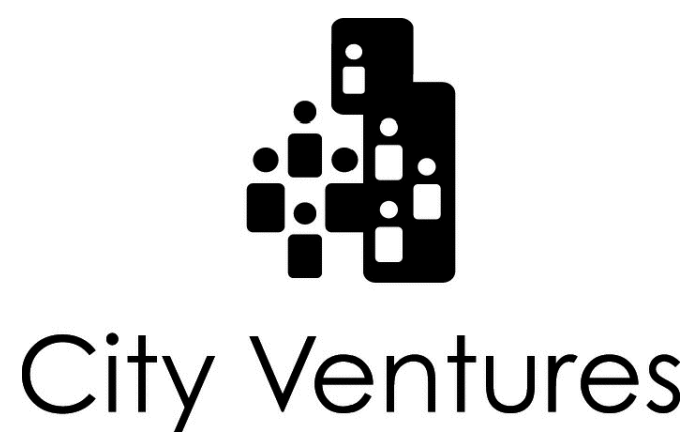
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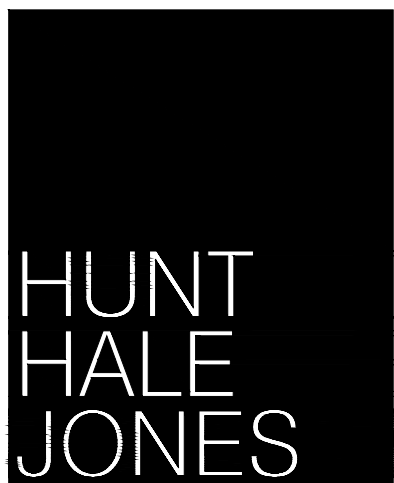
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BLDG. 3 MAIN FLOOR PLAN
A3.3.2
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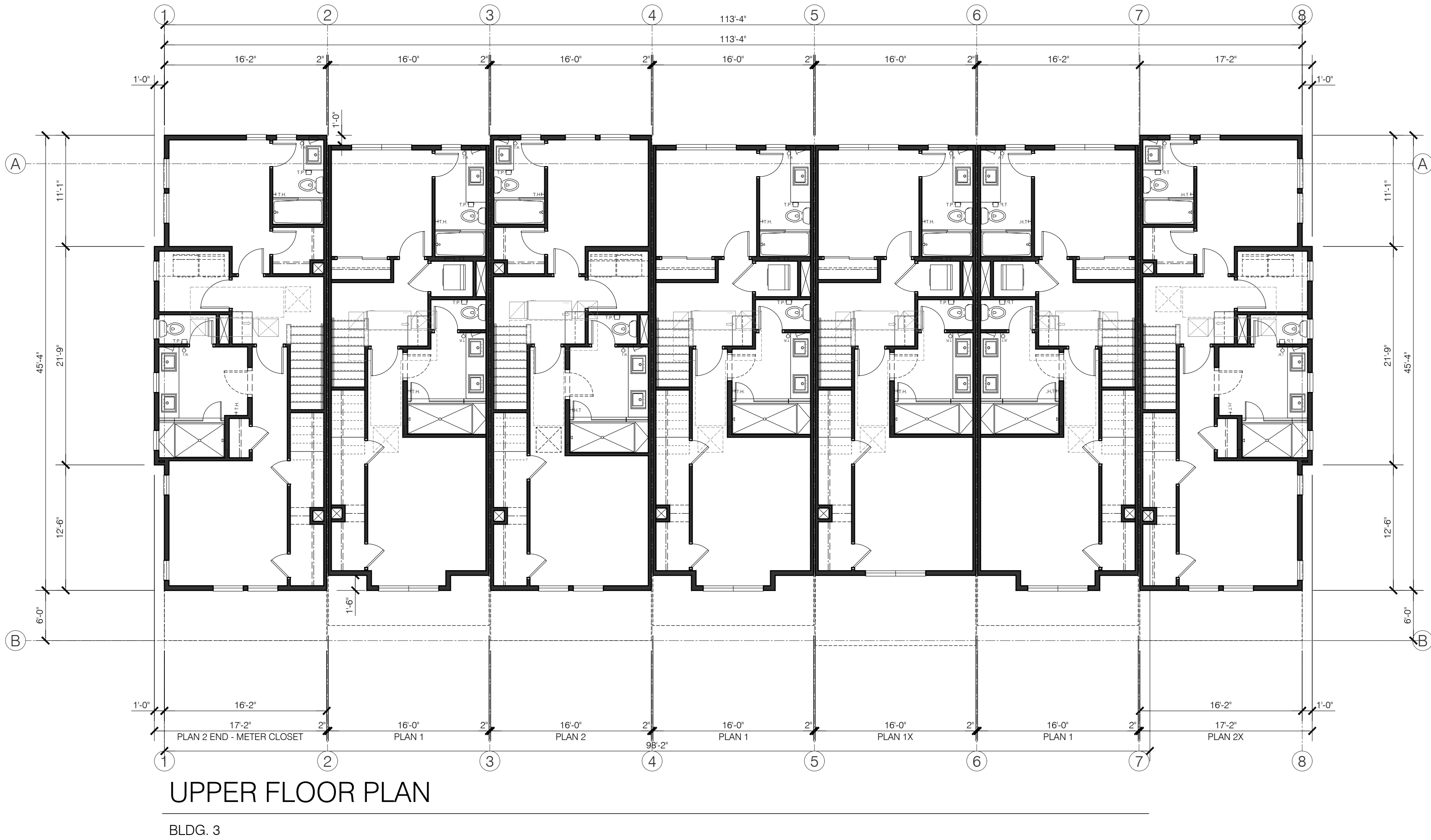
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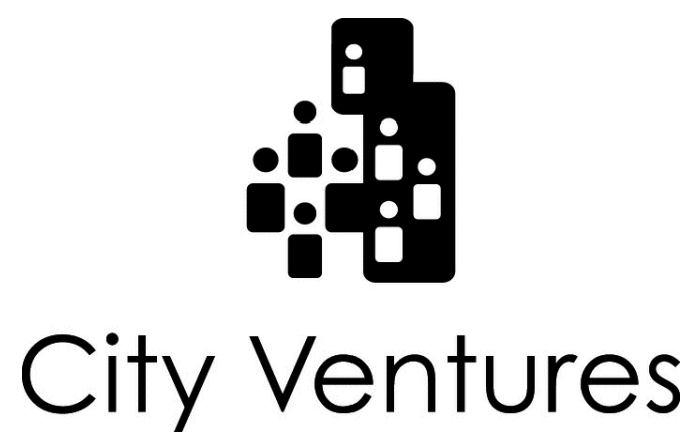
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FILE NUMBER
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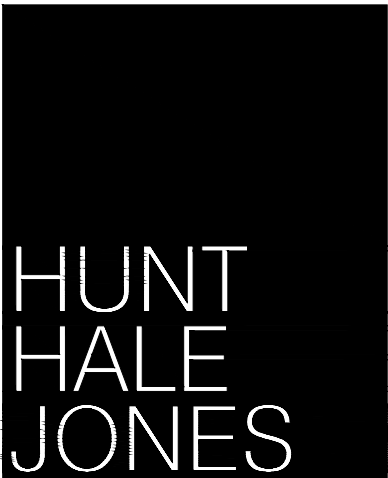
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BLDG. 3 UPPER FLOOR PLAN
A3.3.3
SCALE: 1/8" = 1'-0"
DATE: 08.21.2023
PROJECT: 317062.00





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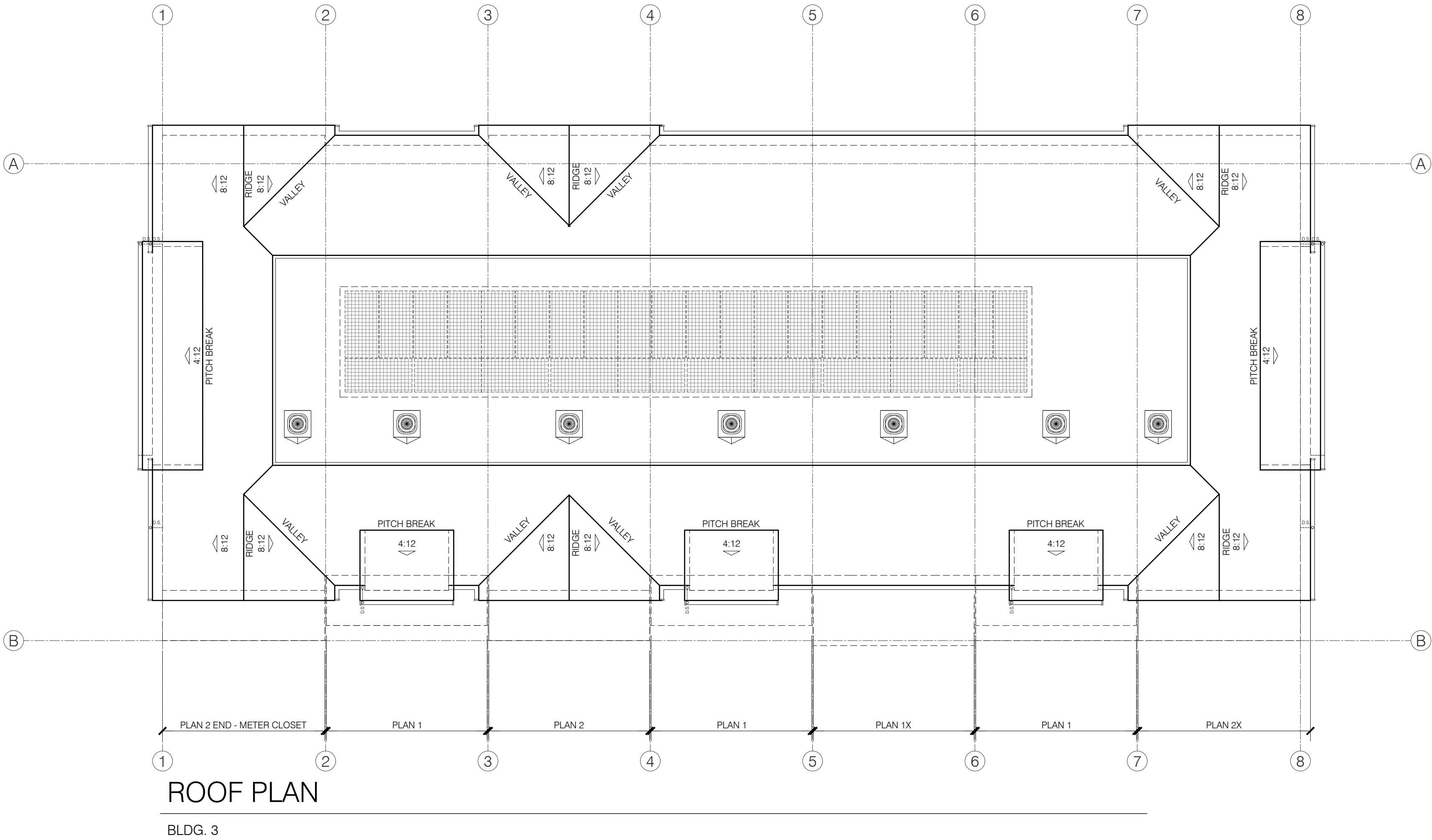
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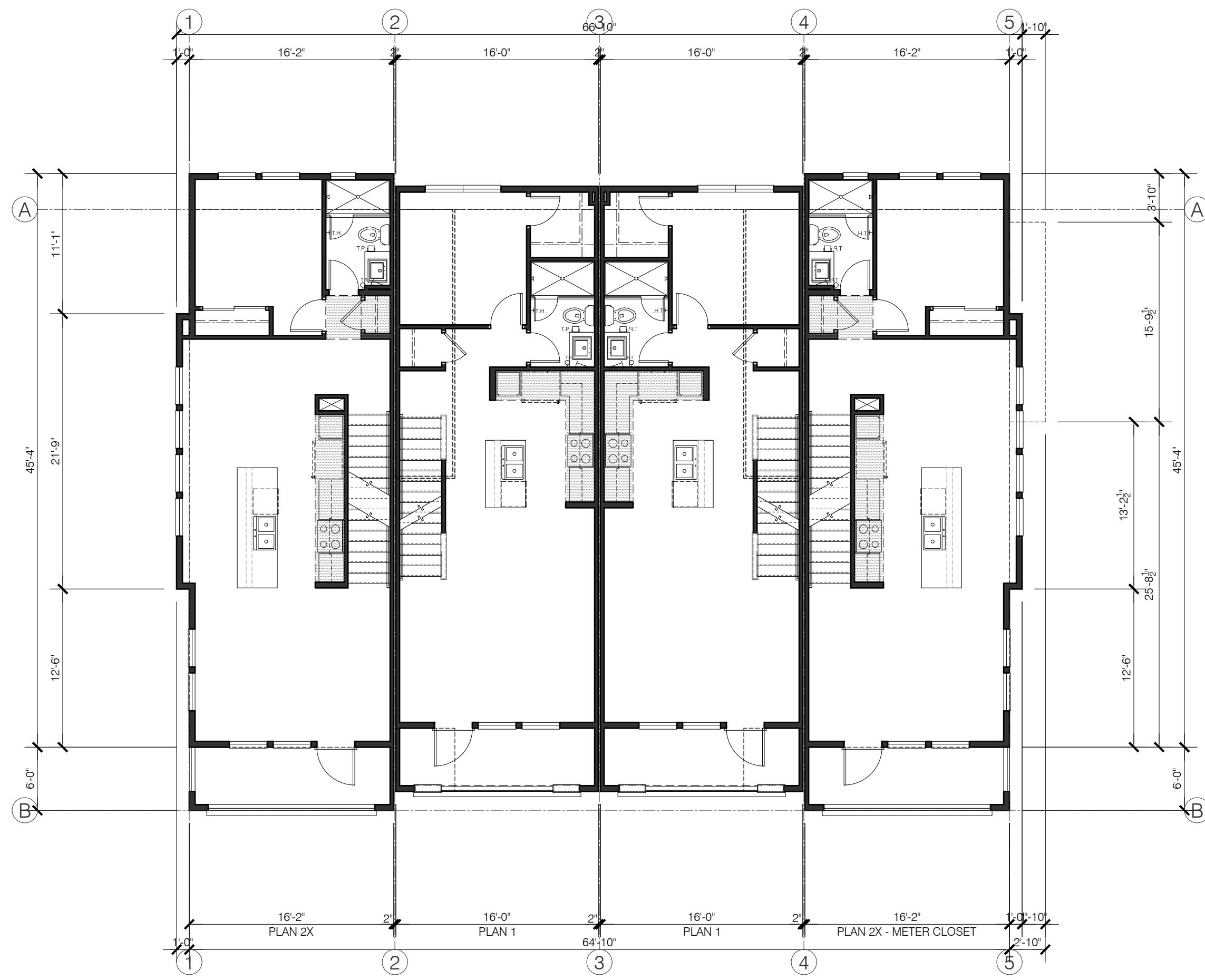
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FILE NUMBER

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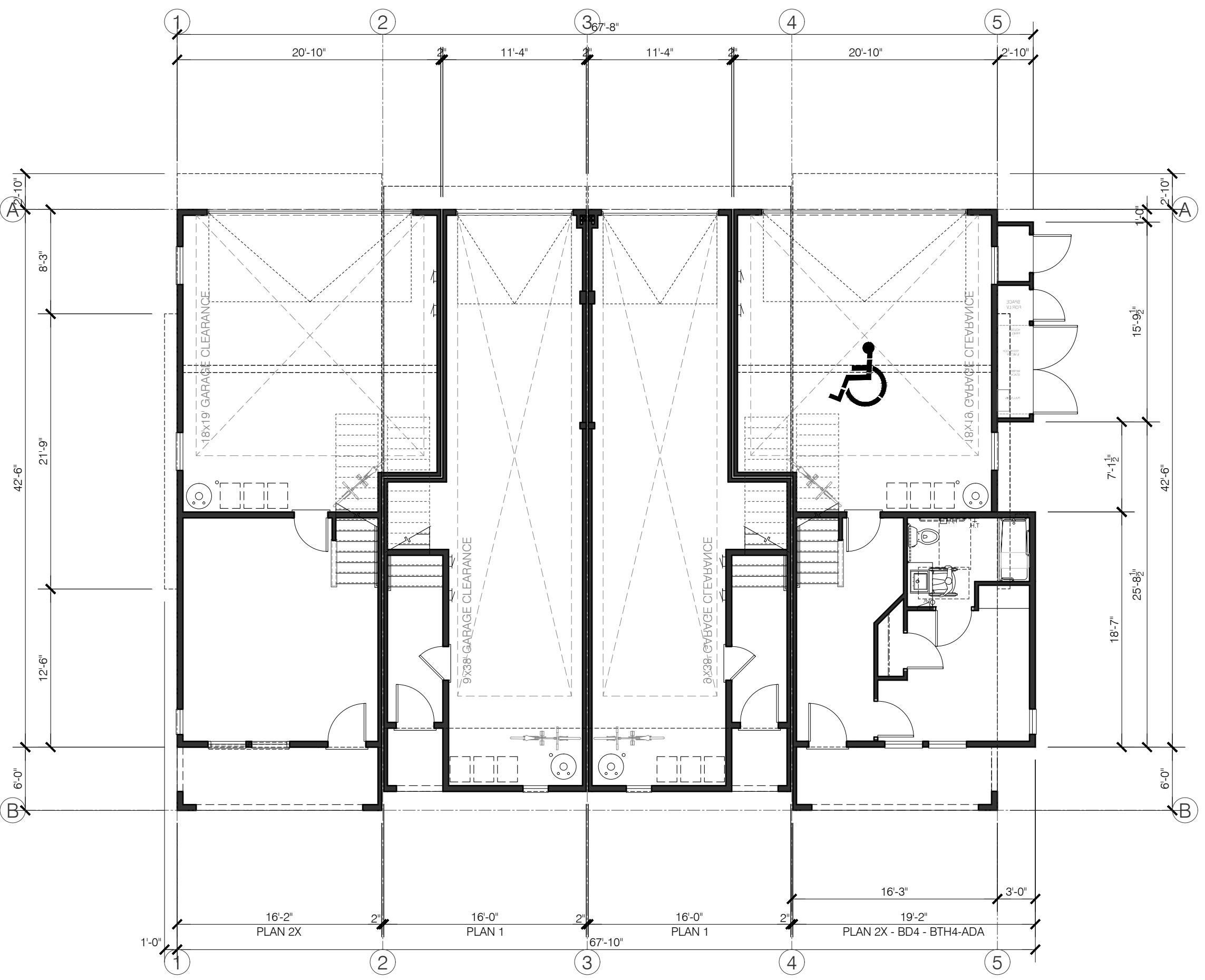
BLDG. 3 ROOF PLAN
A3.3.4
SCALE: 1/8" = 1'-0"
DATE: 08.21.2023
PROJECT: 317062.00





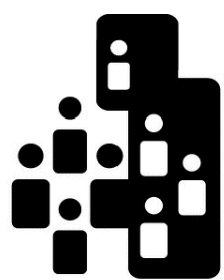
MAIN FLOOR PLAN

BLDG. 4



GROUND FLOOR PLAN

BLDG. 4

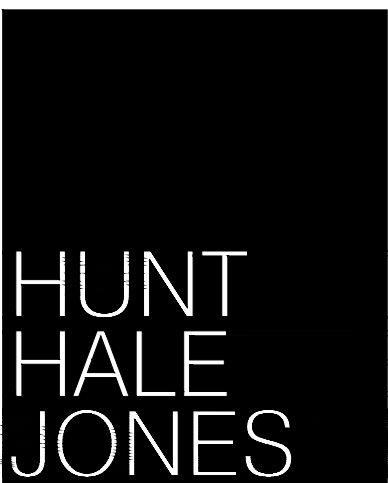


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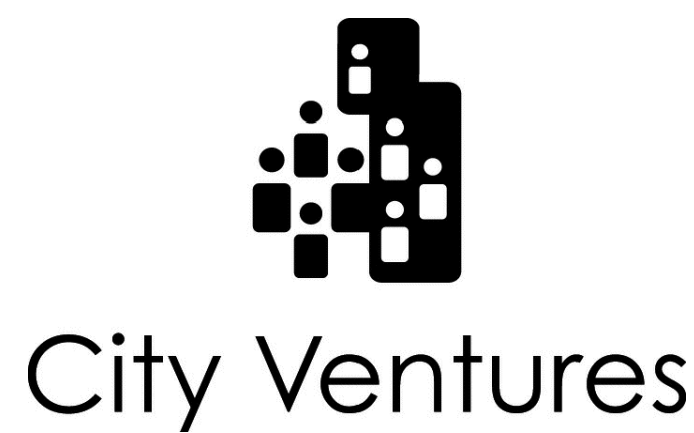
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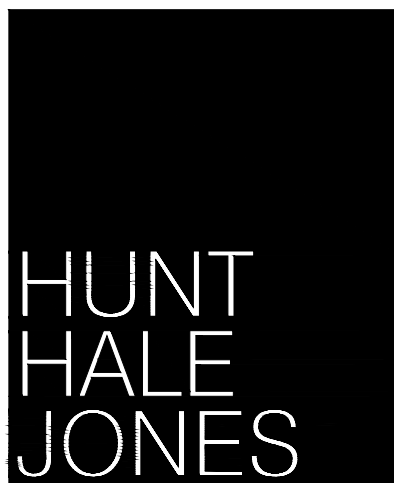
BLDG. 4 GROUND - MAIN FLOOR PLAN

A3.4.1

SCALE: 1/8" = 1'-0"
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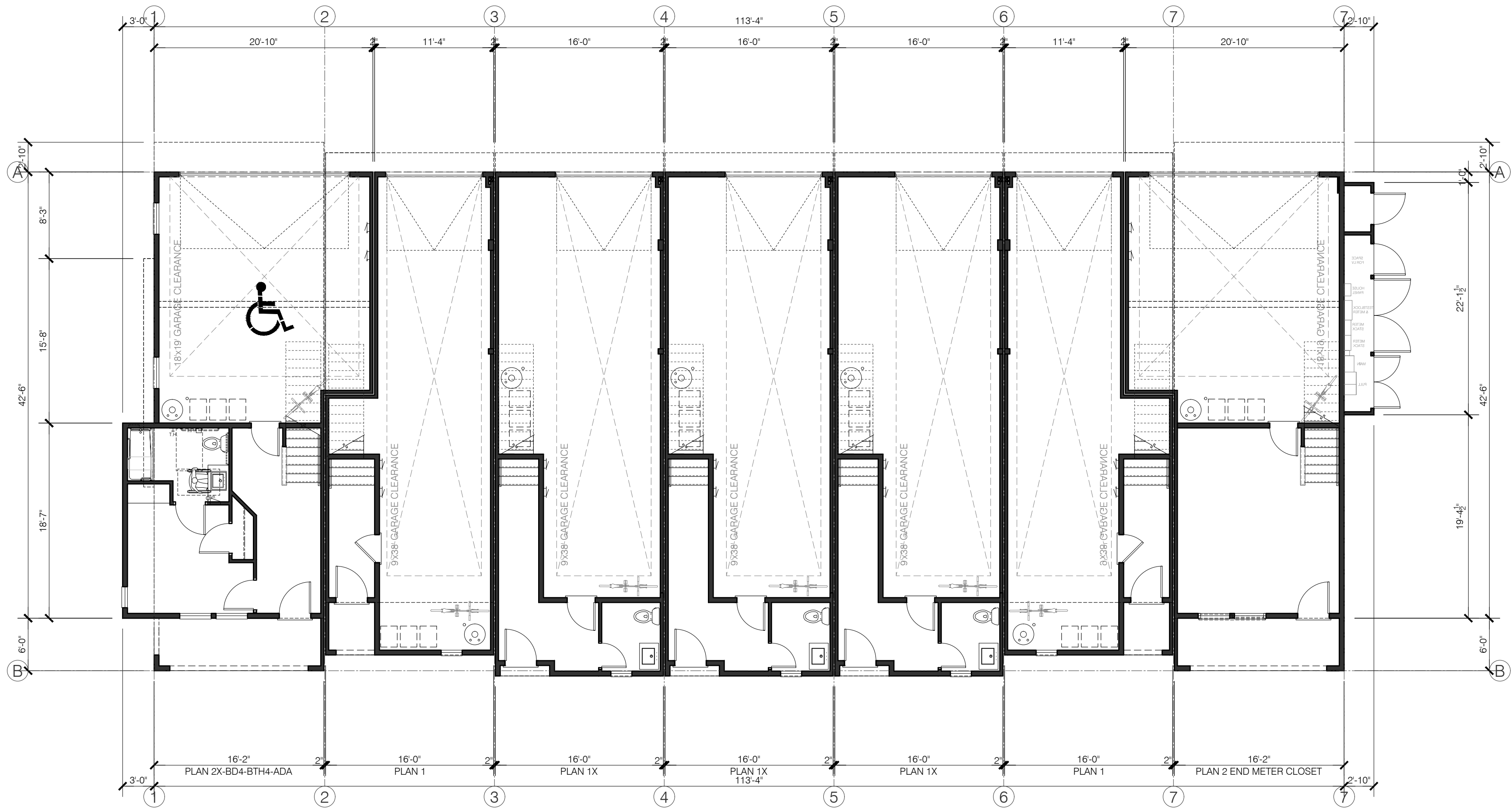
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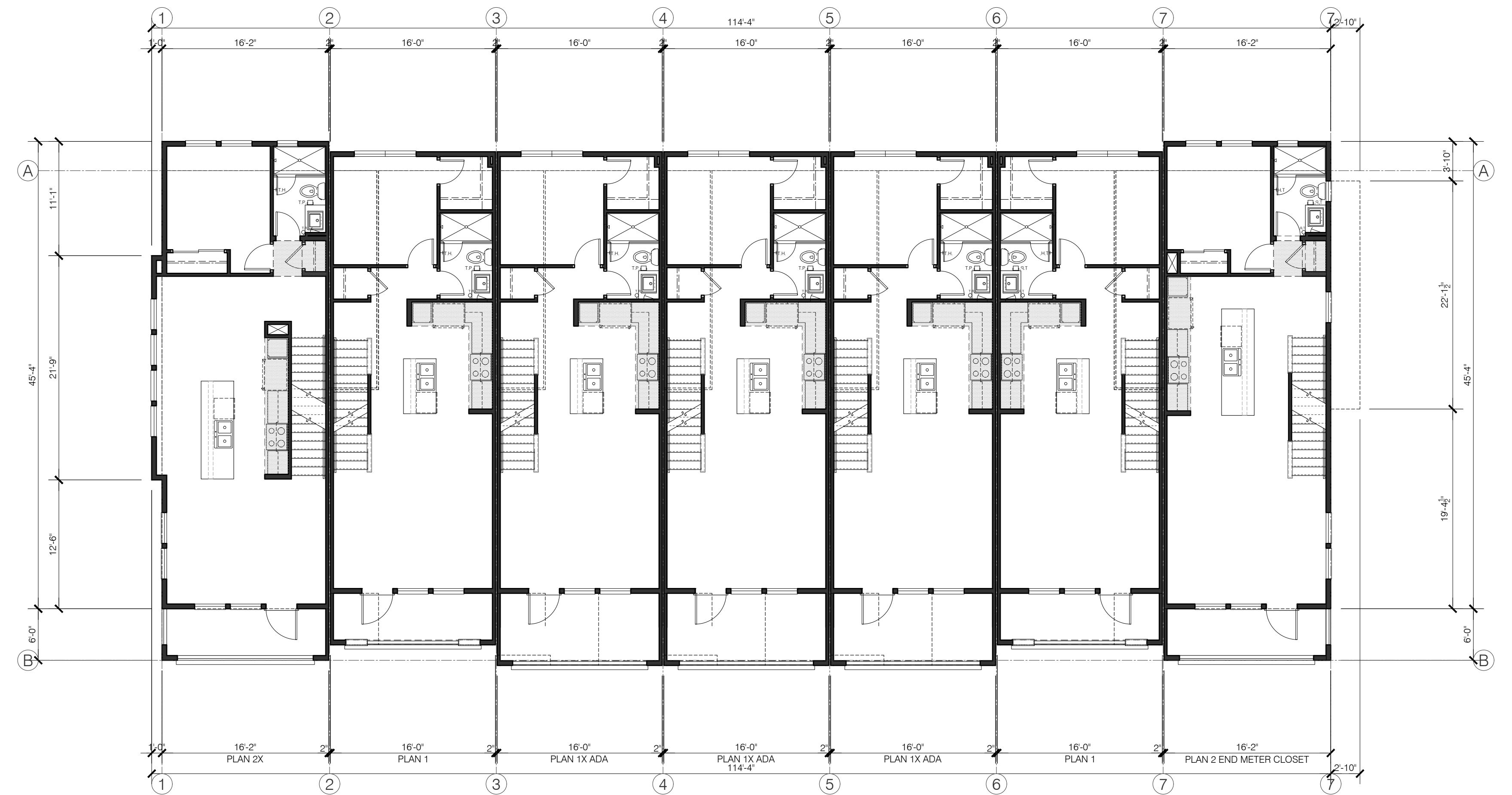
PLANNING OFFICIAL

BLDG. 5 GROUND FLOOR PLAN
A3.5.1
SCALE: 1/8" = 1'-0"
DATE: 08.21.2023
PROJECT: 317062.00



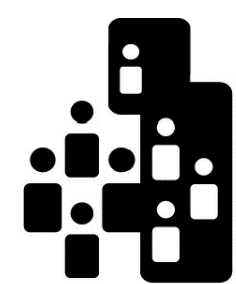
GROUND FLOOR PLAN

BLDG. 5



MAIN FLOOR PLAN

BLDG. 5



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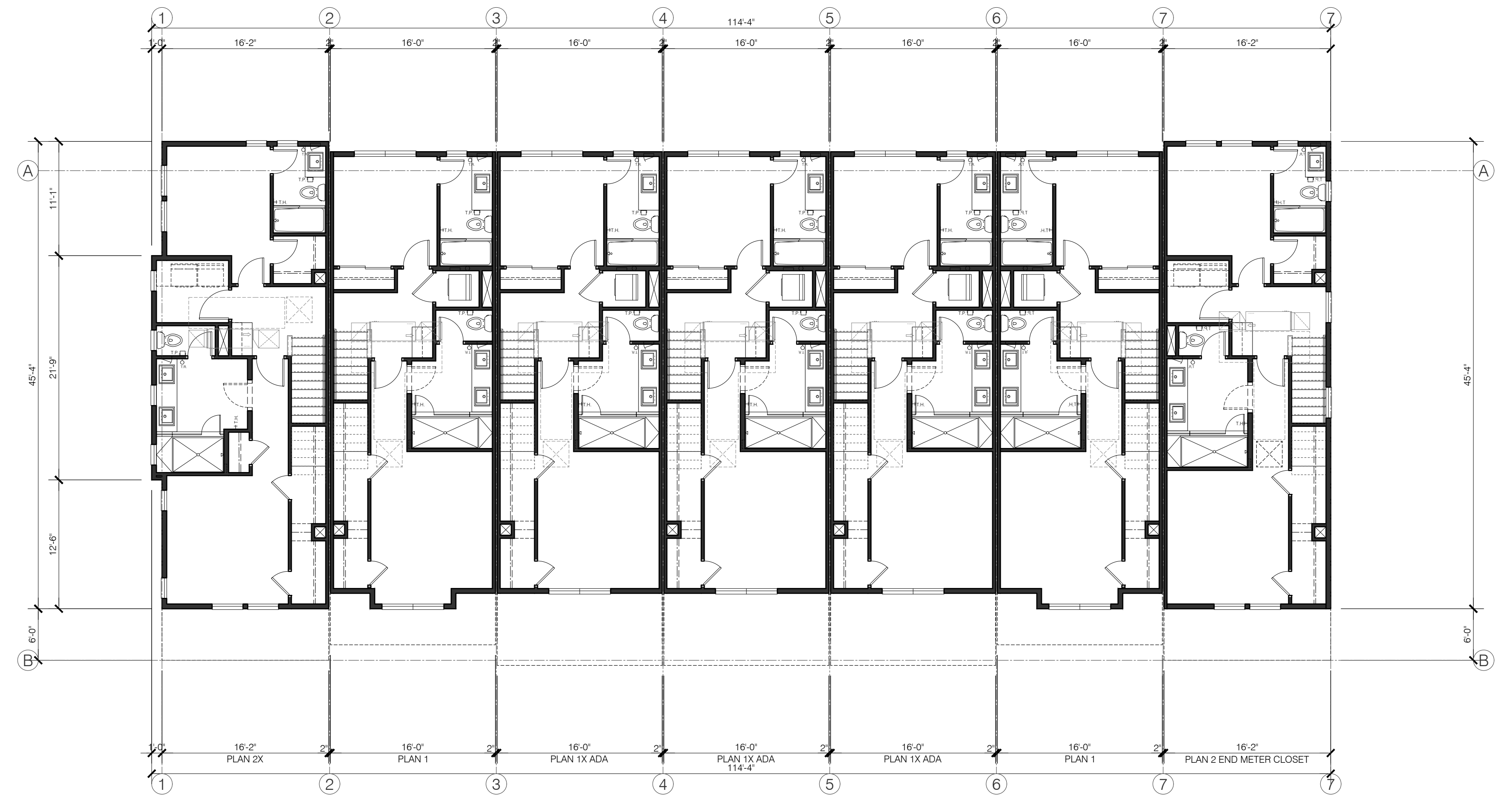
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A3.5.2

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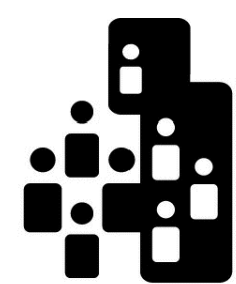
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UPPER FLOOR PLAN

BLDG. 5



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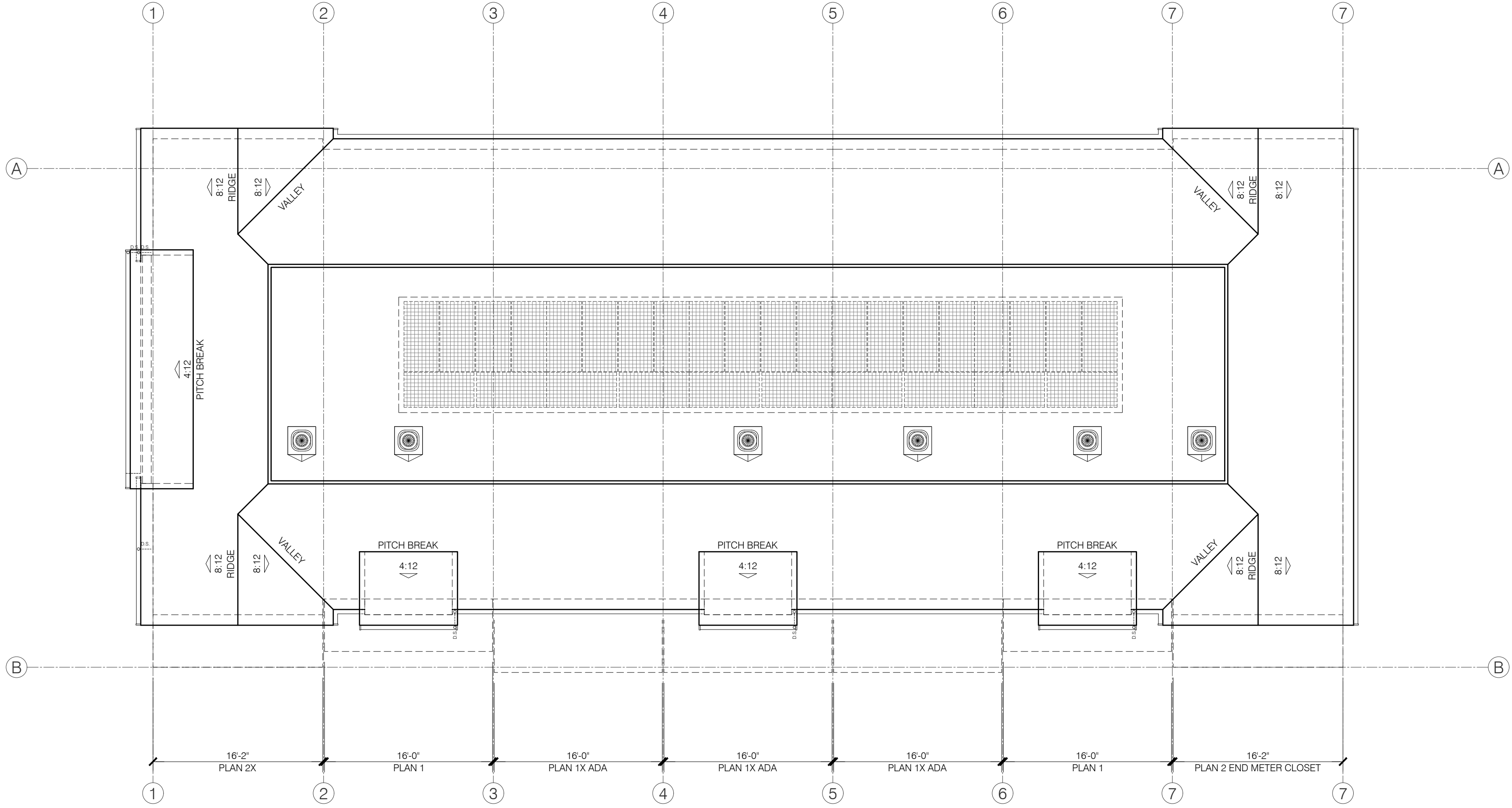
BLDG. 5 UPPER FLOOR PLAN

A3.5.3

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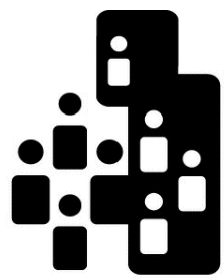
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ROOF PLAN

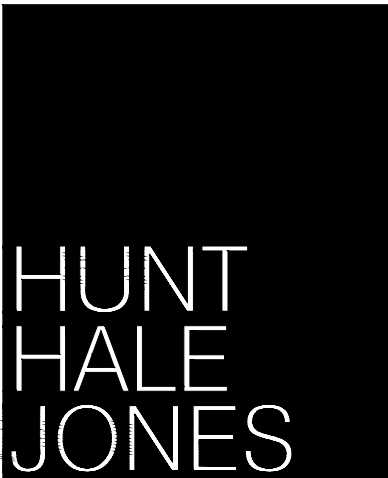
BLDG. 5



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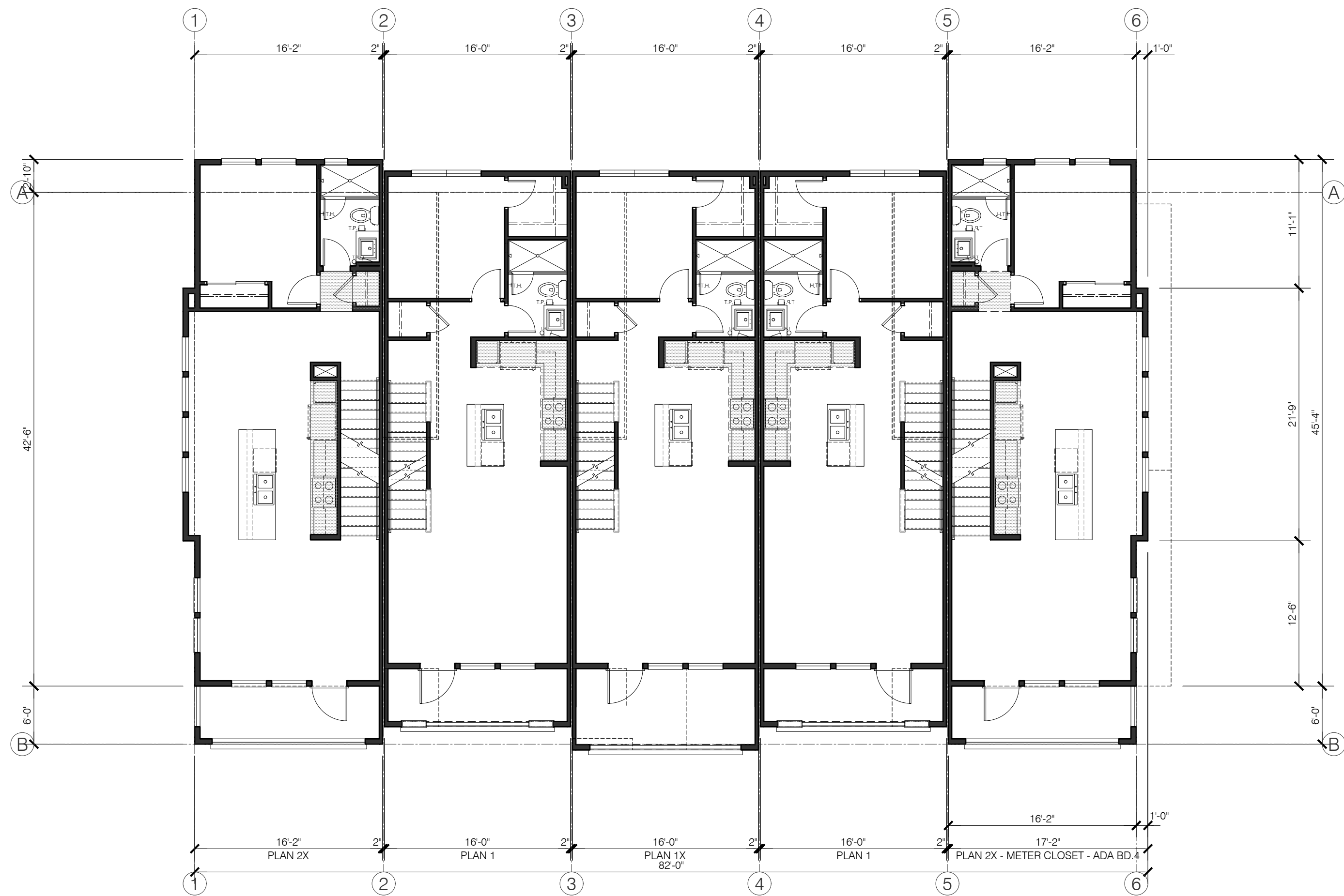
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BLDG. 5 ROOF PLAN

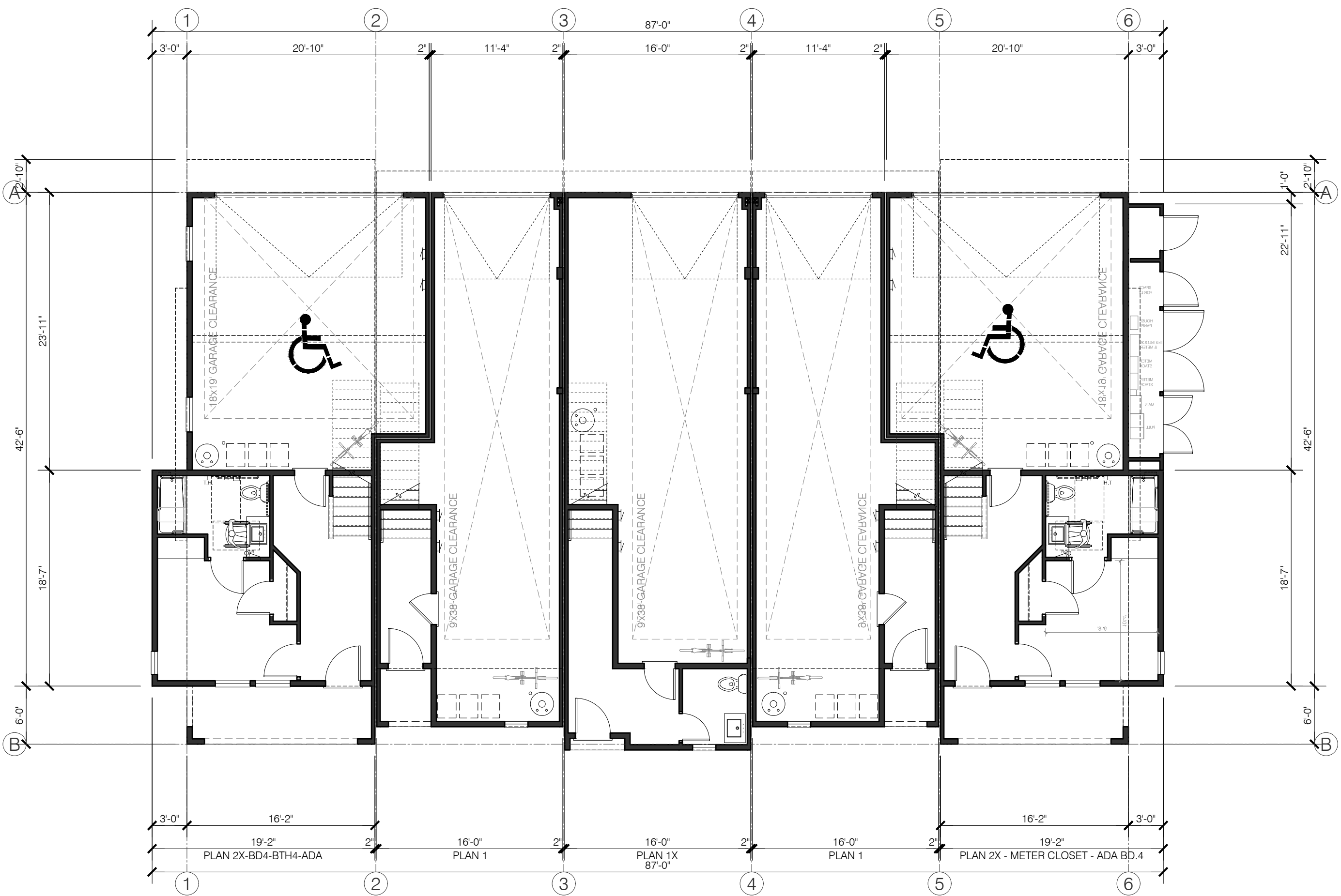
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PROJECT: 317062.00



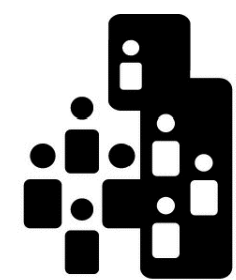
MAIN FLOOR PLAN

BLDG. 6



GROUND FLOOR PLAN

BLDG. 6

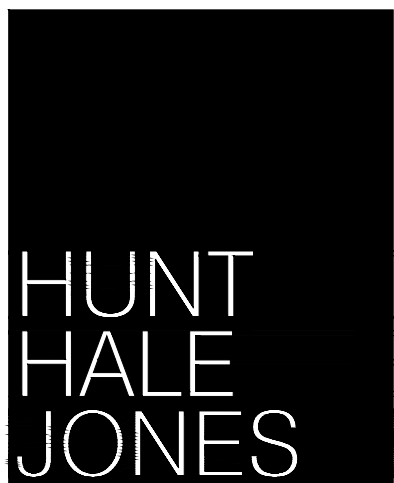


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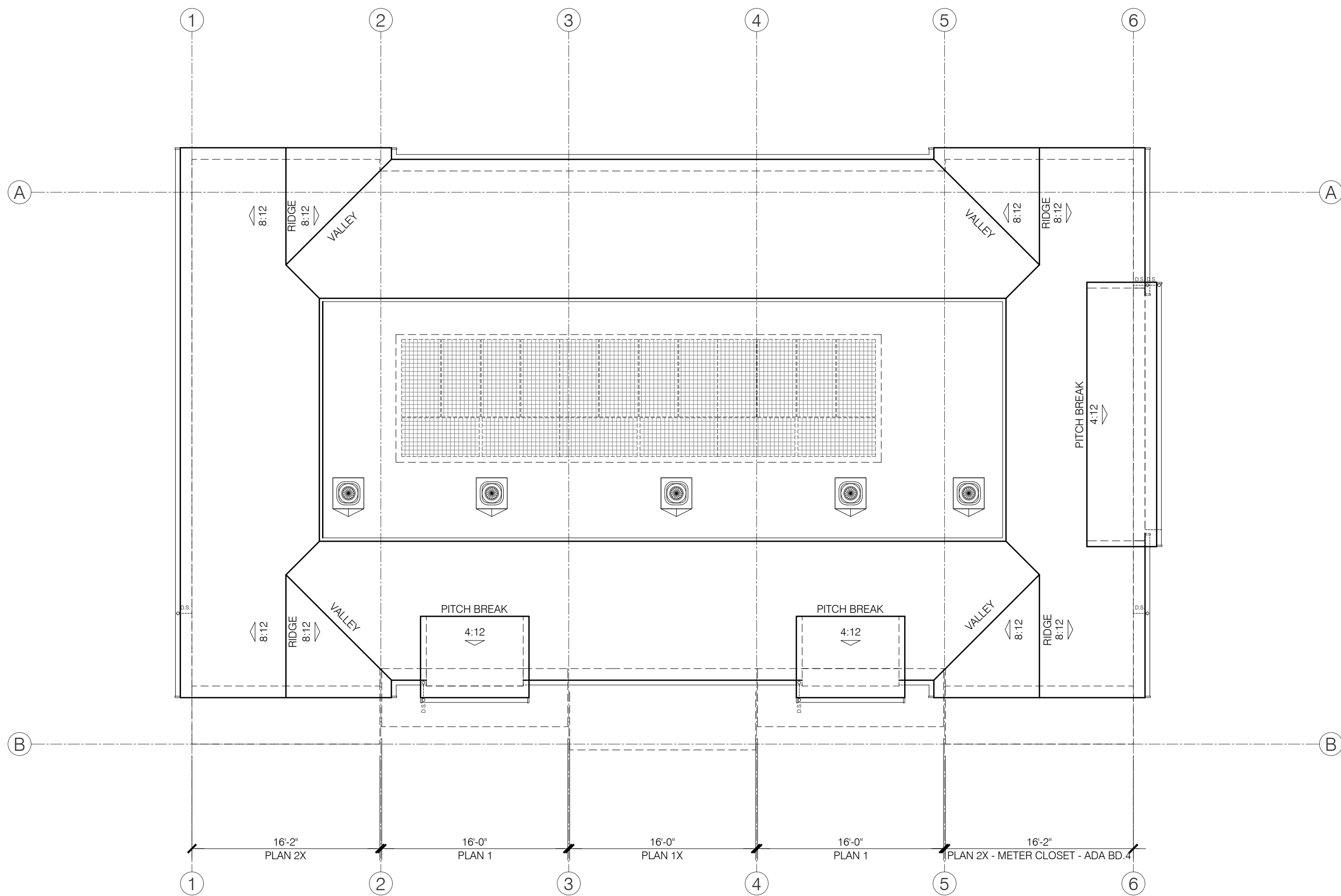
BLDG. 6 GROUND - MAIN FLOOR PLAN

A3.6.1

SCALE: 1/8" = 1'-0"

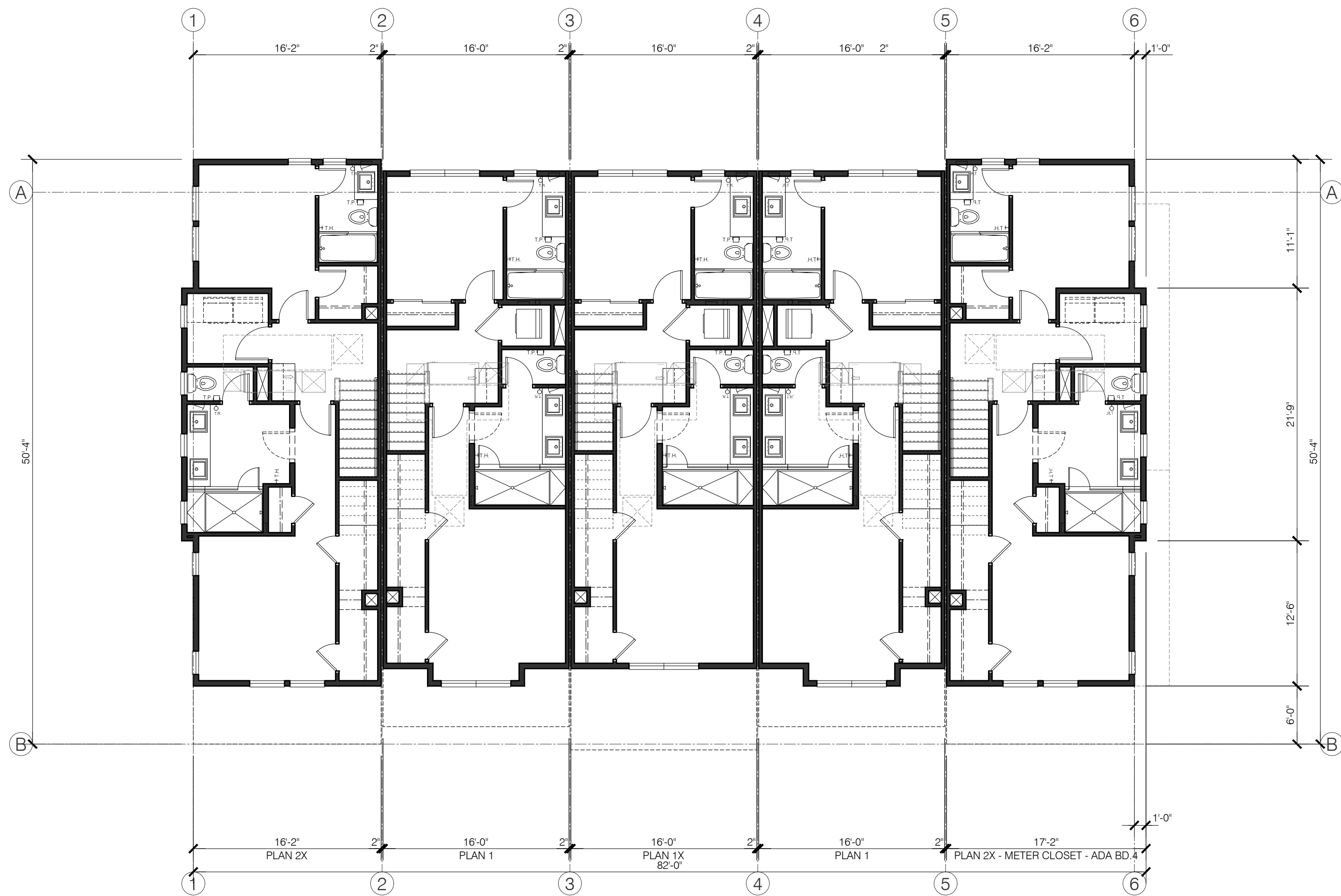
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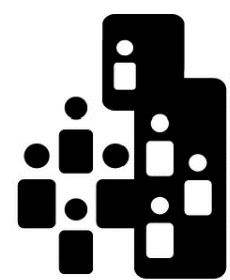
ROOF PLAN

BLDG. 6



UPPER FLOOR PLAN

BLDG. 6

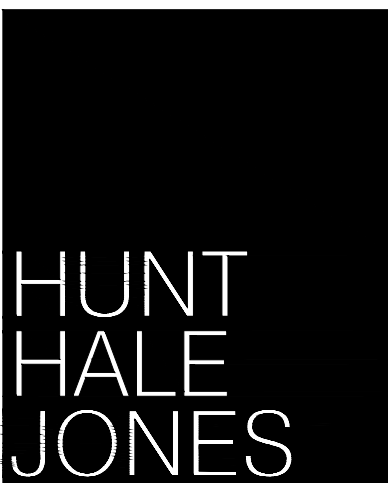


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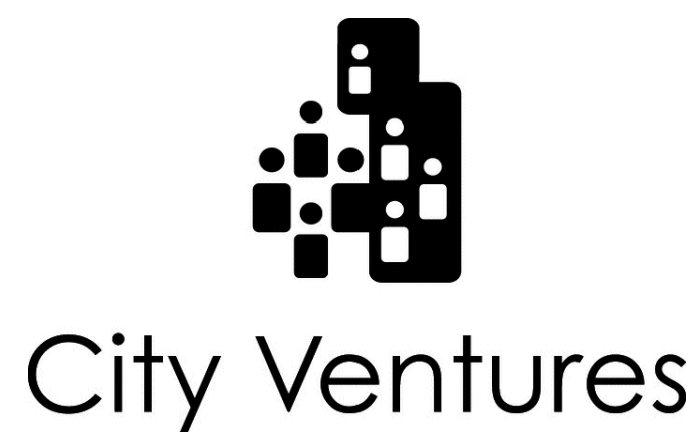
BLDG. 6 UPPER FLOOR PLAN & ROOF PLAN

A3.6.2

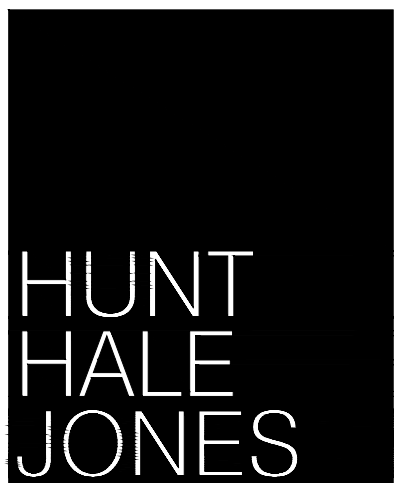
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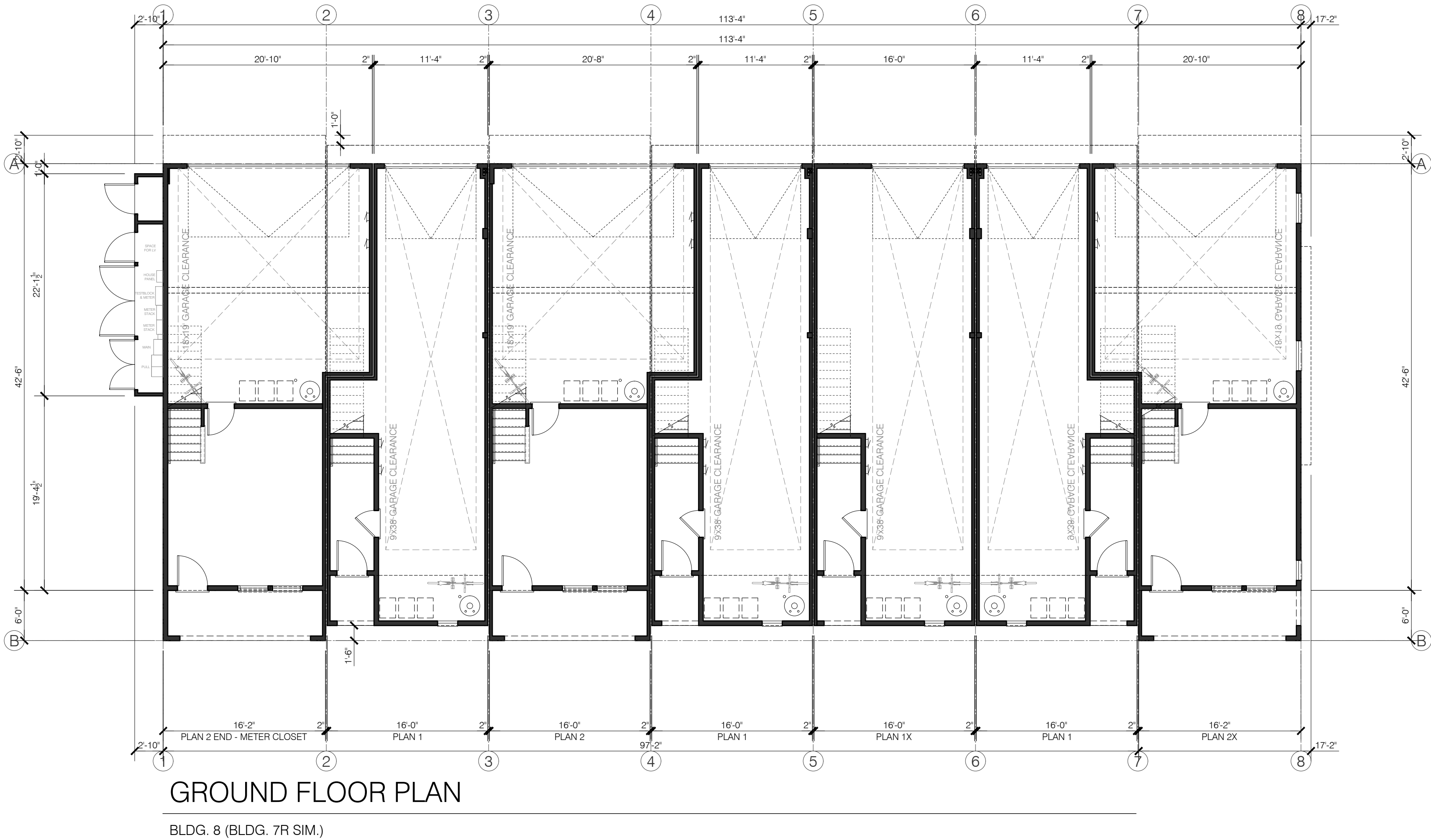
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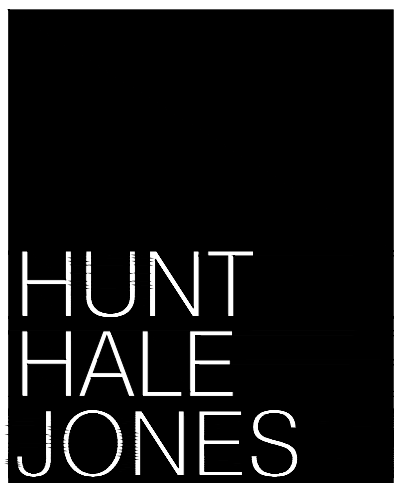
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BLDG. 8 (7R SIM.) GROUND FLOOR PLAN
A3.7.1
SCALE: 1/8" = 1'-0"
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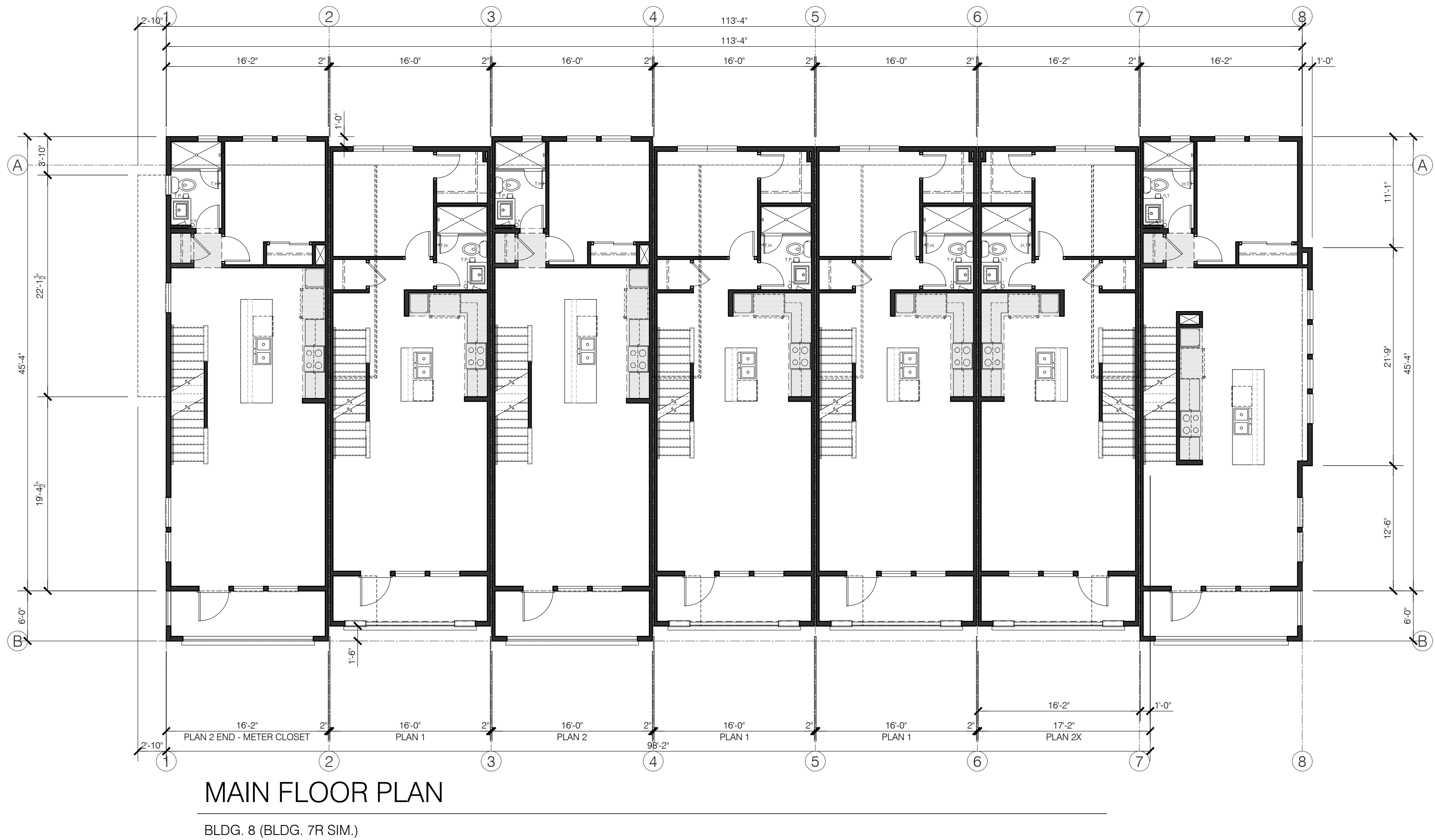
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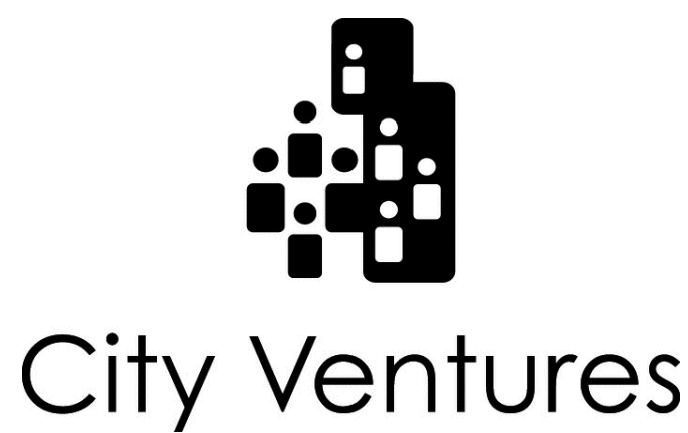
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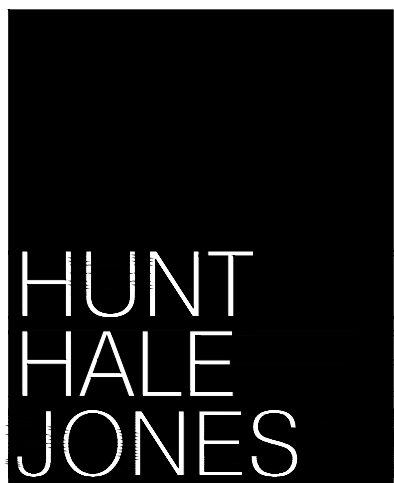
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BLDG. 8 (7R SIM.) MAIN FLOOR PLAN
A3.7.2
SCALE: 1/8" = 1'-0"
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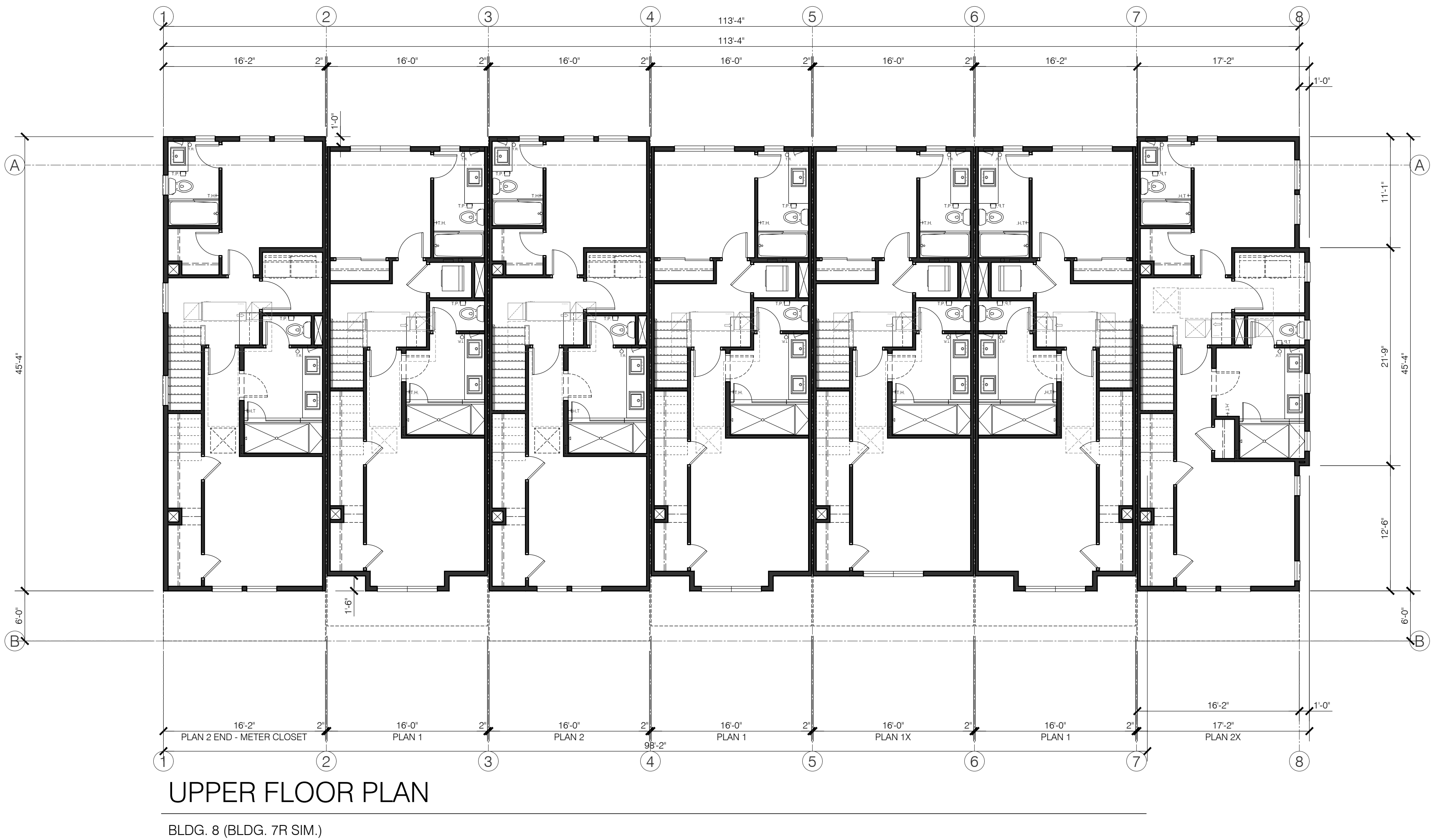
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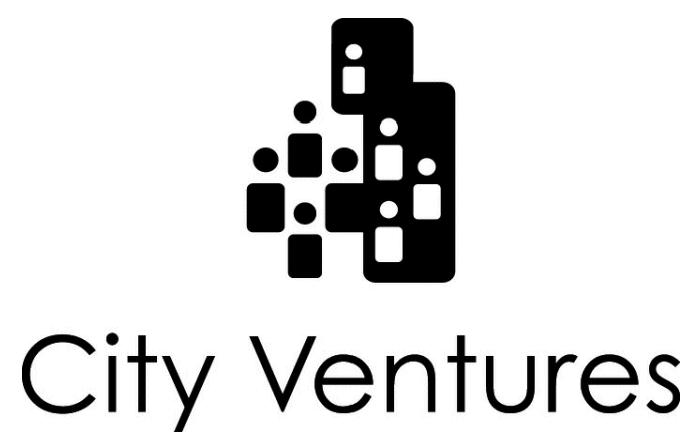
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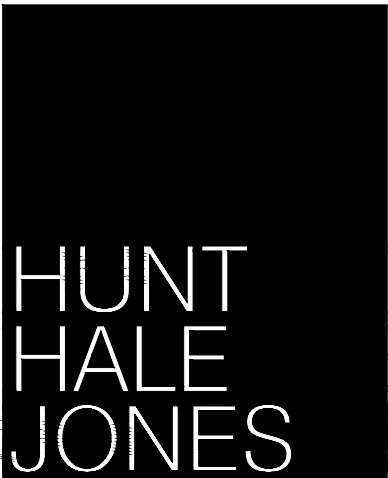
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BLDG. 8 (7R SIM.) UPPER FLOOR PLAN
A3.7.3
SCALE: 1/8" = 1'-0"
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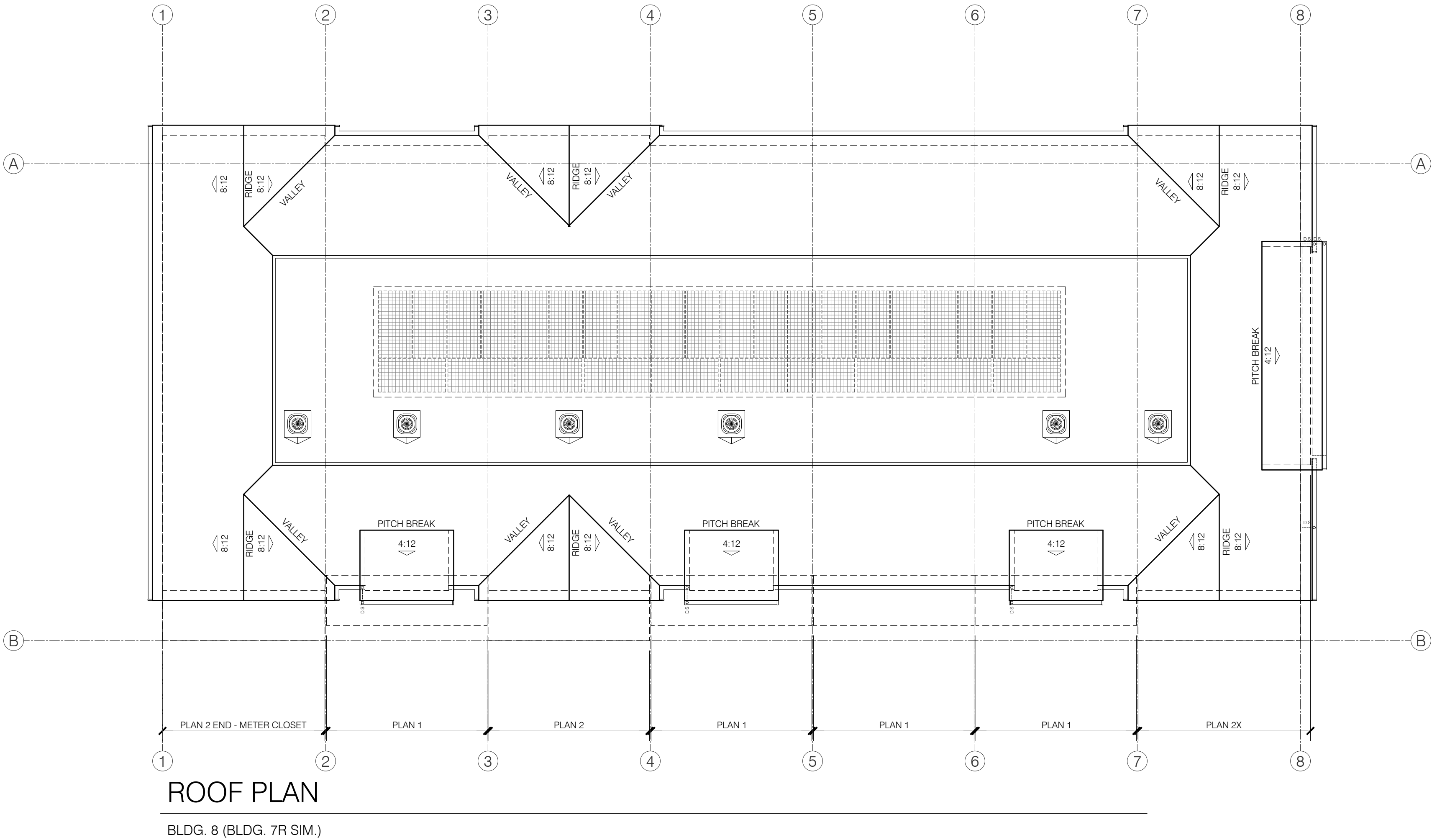
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BLDG. 8 (7R SIM.) ROOF PLAN
A3.7.4
SCALE: 1/8" = 1'-0"
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POST STYLE AT
DECK



RAKE PROFILE
W/CORBEL & KICKER



WINDOW TRIM PROFILE



EAVE PROFILE



RAILING STYLE



FRONT ELEVATION - ARCHITECTURAL IMAGERY

BLDG. 10



OR EQUAL

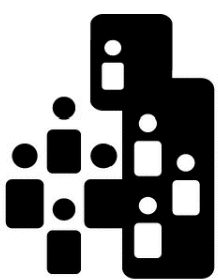
Suspense Outdoor LED Wall Sconce

By Modern Forms

OUTDOOR LIGHT STYLE (RESIDENTIAL
AND COMMERCIAL STOREFRONT)



DOOR PROFILE

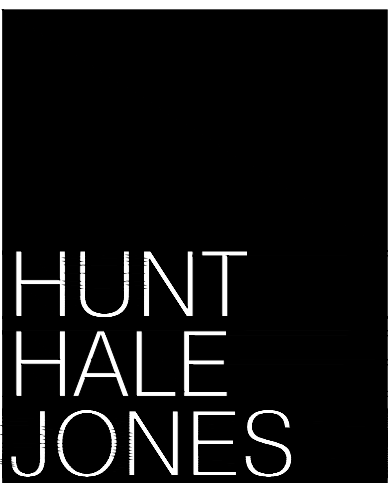


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ARCHITECTURAL IMAGERY

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SCALE: N.T.S.

DATE: 08.21.2023

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SCHEME 1 (MIXED -USE)		
ITEM	MANUFACTURER	COLOR & NAME
BODY 1	SHERWIN WILLIAMS	9166, DRIFT OF MIST
BODY 2	SHERWIN WILLIAMS	7067, CITYSCAPE
WINDOW /DOOR TRIM	SHERWIN WILLIAMS	7008, ALABASTER
FRONT DOOR & ACCENT (RAILING, BRACKETS, FRENCH DOORS, ETC.)	SHERWIN WILLIAMS	7069, IRON ORE
WINDOWS	MILGARD	WHITE
ROOF SHINGLE - COMPOSITION	CERTAINTEED	WEATHERED WOOD
BRICK	EL DORADO	TUNDRA BRICK - LATIGO

SCHEME 2 (RESIDENTIAL)		
ITEM	MANUFACTURER	COLOR & NAME
BODY 1	SHERWIN WILLIAMS	7008, ALABASTER
BODY 2	SHERWIN WILLIAMS	7016, MINDFUL GRAY
ACCENT (TRIM, GARAGE BRACKETS, RAILINGS, FRENCH DOORS, ETC.)	SHERWIN WILLIAMS	7067, CITYSCAPE
FRONT DOOR #1	SHERWIN WILLIAMS	0073, CHARTREUSE
FRONT DOOR #2	SHERWIN WILLIAMS	0019, FESTOON AQUA
FRONT DOOR #3	SHERWIN WILLIAMS	0069, ROSE TAN
WINDOWS	MILGARD	WHITE
ROOF SHINGLE - COMPOSITION	CERTAINTEED	WEATHERED WOOD

SCHEME 3 (RESIDENTIAL)		
ITEM	MANUFACTURER	COLOR & NAME
BODY 1	SHERWIN WILLIAMS	7016, MINDFUL GRAY
BODY 2	SHERWIN WILLIAMS	7008, ALABASTER
ACCENT (TRIM, GARAGE BRACKETS, RAILINGS, FRENCH DOORS, ETC.)	SHERWIN WILLIAMS	7067, CITYSCAPE
FRONT DOOR #1	SHERWIN WILLIAMS	0073, CHARTREUSE
FRONT DOOR #2	SHERWIN WILLIAMS	0019, FESTOON AQUA
FRONT DOOR #3	SHERWIN WILLIAMS	0069, ROSE TAN
WINDOWS	MILGARD	WHITE
ROOF SHINGLE - COMPOSITION	CERTAINTEED	WEATHERED WOOD

SCHEME 4 (RESIDENTIAL)		
ITEM	MANUFACTURER	COLOR & NAME
BODY	SHERWIN WILLIAMS	7008, ALABASTER
ACCENT (TRIM, GARAGE BRACKETS, RAILINGS, FRENCH DOORS, ETC.)	SHERWIN WILLIAMS	7067, CITYSCAPE
FRONT DOOR #1	SHERWIN WILLIAMS	0073, CHARTREUSE
FRONT DOOR #2	SHERWIN WILLIAMS	0019, FESTOON AQUA
FRONT DOOR #3	SHERWIN WILLIAMS	0069, ROSE TAN
WINDOWS	MILGARD	WHITE
ROOF SHINGLE - COMPOSITION	CERTAINTEED	WEATHERED WOOD

ORIGINAL COLORS SELECTED BY
AT DESIGN CONSULTING, INC.



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MORGAN HILL, CALIFORNIA

CITY OF MORGAN HILL

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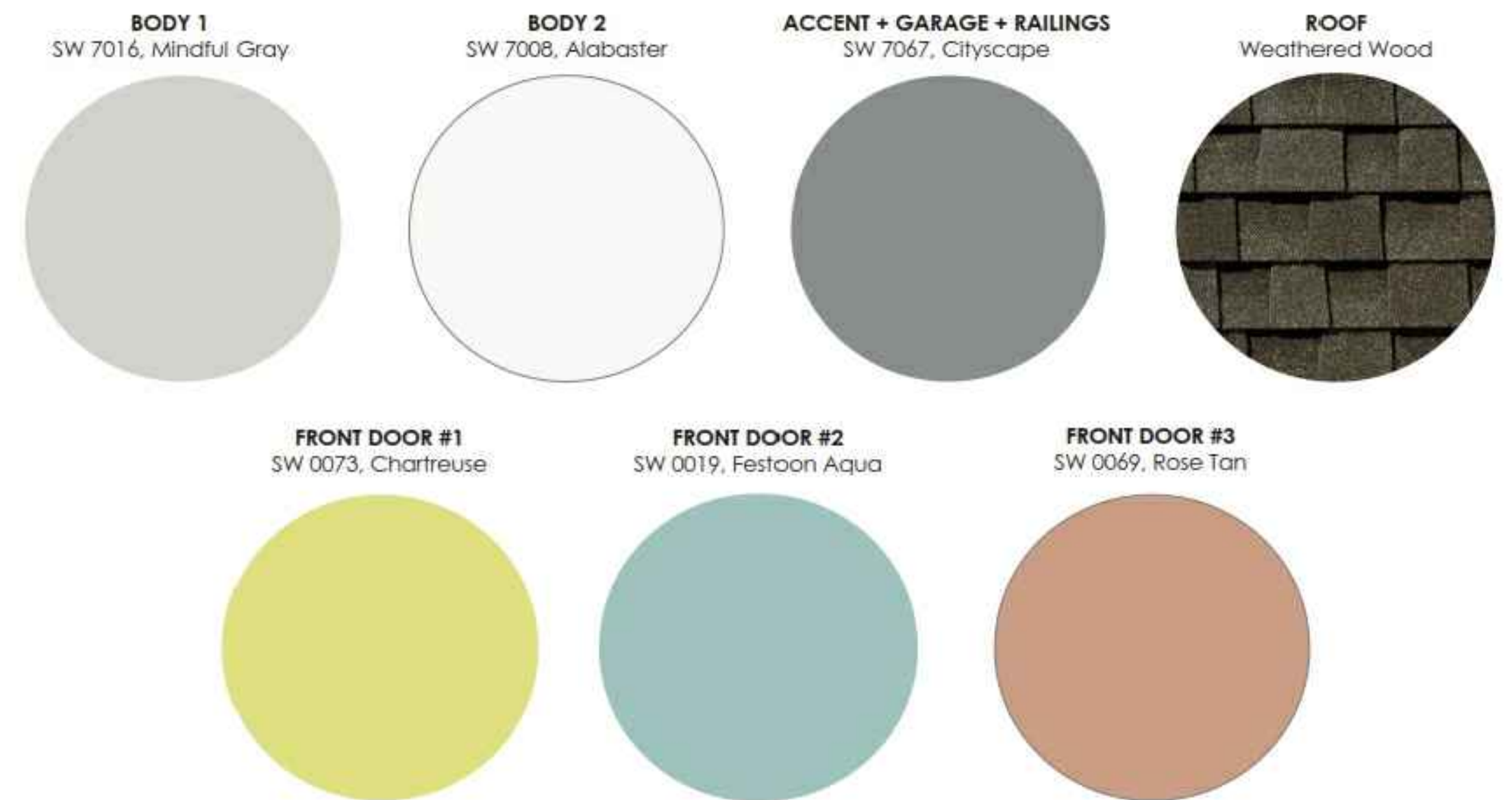
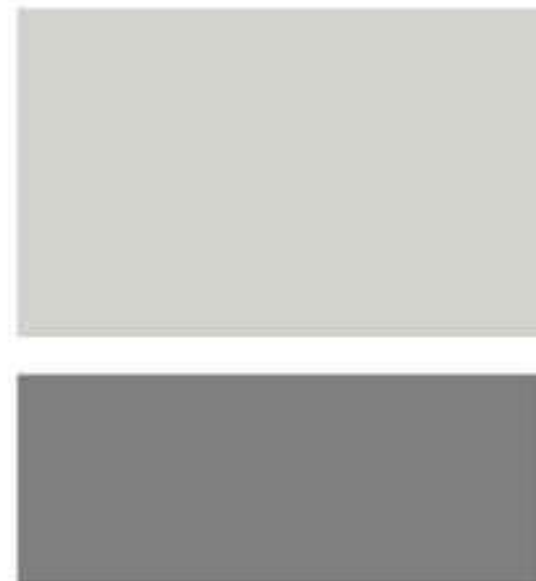
EXTERIOR COLORS & MATERIALS SPECIFICATIONS

CM0.1

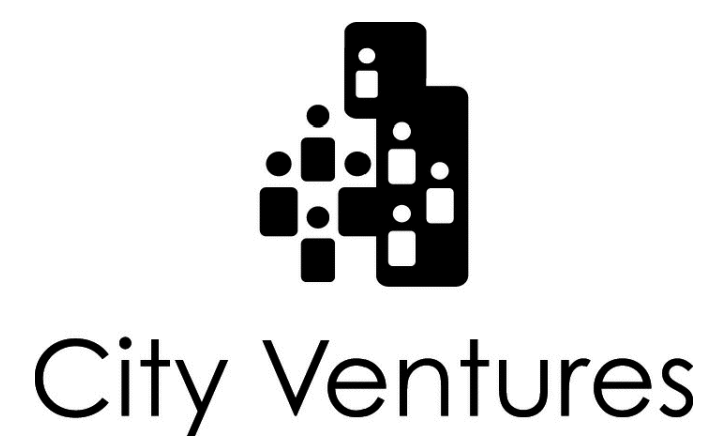
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EXTERIOR COLORS & INSPIRATION IMAGERY

CM0.2

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PROJECT: 317062.00