

PLANNING APPLICATION FOR
MARCH CAPITAL MANAGEMENT
16175 JACQUELINE COURT
CITY OF MORGAN HILL, CA 95037

RMW

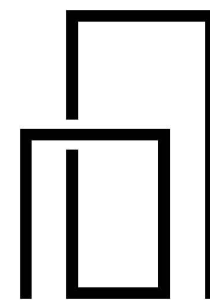
RMW
Architecture
Interiors

1718 Third Street
Suite 101
Sacramento
California 95811

Office
916 449-1400

rmw.com

OWNER / DEVELOPER:



**MARCH
CAPITAL
MANAGEMENT**

2040 WEBSTER STREET
SAN FRANCISCO, CA 94115

PRELIMINARY DESIGN DOCUMENTS FOR:

**NEW INDUSTRIAL/
MANUFACTURING BUILDING**

16175 JACQUELINE COURT
MORGAN HILL, CA 95037

approved for the owner by :

approved for the architect by :

issue :	description :	date :
A	ISSUED FOR PLANNING REVIEW	06-07-2023

GENERAL CONTRACTOR:



RENDERING OF BUILDING NORTHEAST CORNER

PROJECT NARRATIVE:

THIS IS A NEW 35,384 S.F. ONE STORY INDUSTRIAL / MANUFACTURING BUILDING. SCOPE OF WORK INCLUDES NEW PARKING LOT, HARDSCAPE, AND LANDSCAPING AND SITE IMPROVEMENTS AS NEEDED.

VICINITY MAP:



PROJECT TEAM:

DEVELOPER MARCH CAPITAL MANAGEMENT 2040 WEBSTER STREET SAN FRANCISCO, CA 94115	PETE GORENCE pete@marchcapitalfund.com
ARCHITECT: RMW ARCHITECTURE & INTERIORS 1718 3RD STREET, SUITE 101 SACRAMENTO, CA 95811 P:916-449-1400 x405	JEFF LEONHARDT, PROJECT ARCHITECT, PROJECT DESIGNER & LEED AP jeleonhardt@rmw.com
CIVIL ENGINEER: LEA & BRAZE ENGINEERING INC. 1723 HAMILTON AVE., STE. 101 SAN JOSE, CA 95125 P:510-887-4086	JOHN HALBOM jhalbom@leabraze.com
LANDSCAPE DESIGNER KLA, INC. 151 N. NORLIN STREET SONORA, CA 95370 P: 209-532-2856	TOM HOLLOWAY tom@kla-ca.com

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* DENOTES A SHEET TO BE PRINTED IN FULL COLOR

**CITY OF MORGAN HILL
PLAN APPROVED**

**THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION**

ON 10/31/2023

SR2023-0003

FILE NUMBER

Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

drawn by : DD plot date : 06-07-2023

checked by : JDL

stamp



scale : AS NOTED

project number : 2234072

COVER SHEET

sheet no. :

A00.1



E: EAST ELEVATION



D: EAST ELEVATION



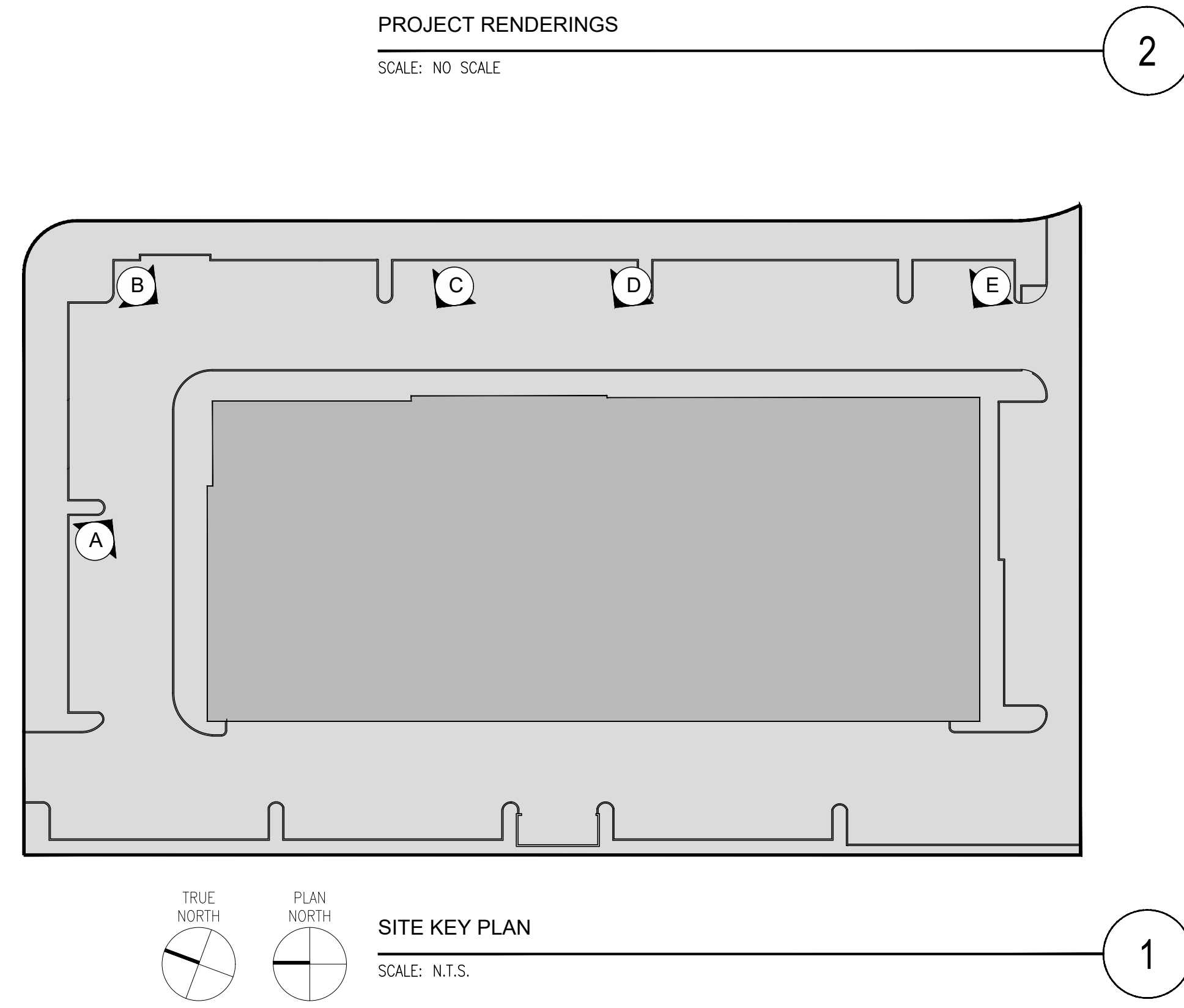
C: EAST ELEVATION AND ENTRY



B: NORTHEAST CORNER



A: NORTH ELEVATION



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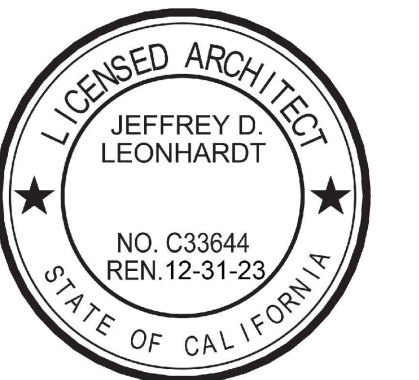
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PROJECT
RENDERINGS

sheet no. :

A00.2



9 LOOKING EAST TOWARDS SITE



10 LOOKING NORTH TOWARDS SITE



5 LOOKING WEST FROM ROUNDABOUT AT JACQUELINE CT.



6 LOOKING SOUTH FROM ROUNDABOUT AT JACQUELINE CT.



7 LOOKING SOUTH TOWARDS ROUNDABOUT AT JACQUELINE CT.



8 LOOKING WEST FROM DRIVEWAY AT JACQUELINE CT.



1 LOOKING EAST FROM BARRETT AVE.



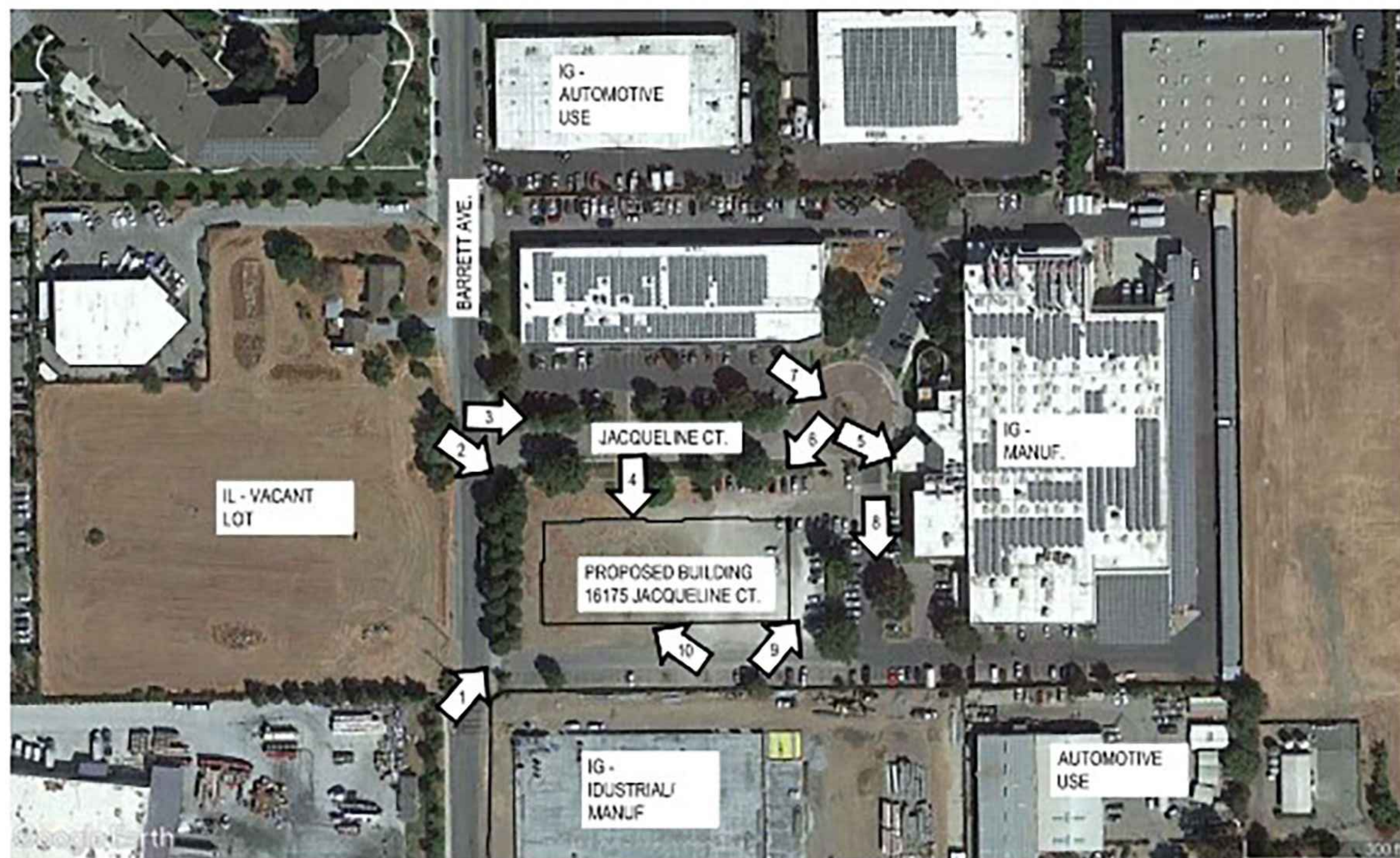
2 LOOKING SOUTH FROM BARRETT AVE.



3 LOOKING SOUTH EAST FROM ENTRANCE TO JACQUELINE CT.



4 LOOKING SOUTH FROM JACQUELINE CT.



REFERENCE SITE PLAN
SCALE: N.T.S.

1

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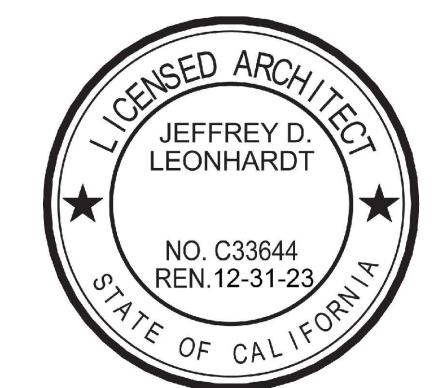
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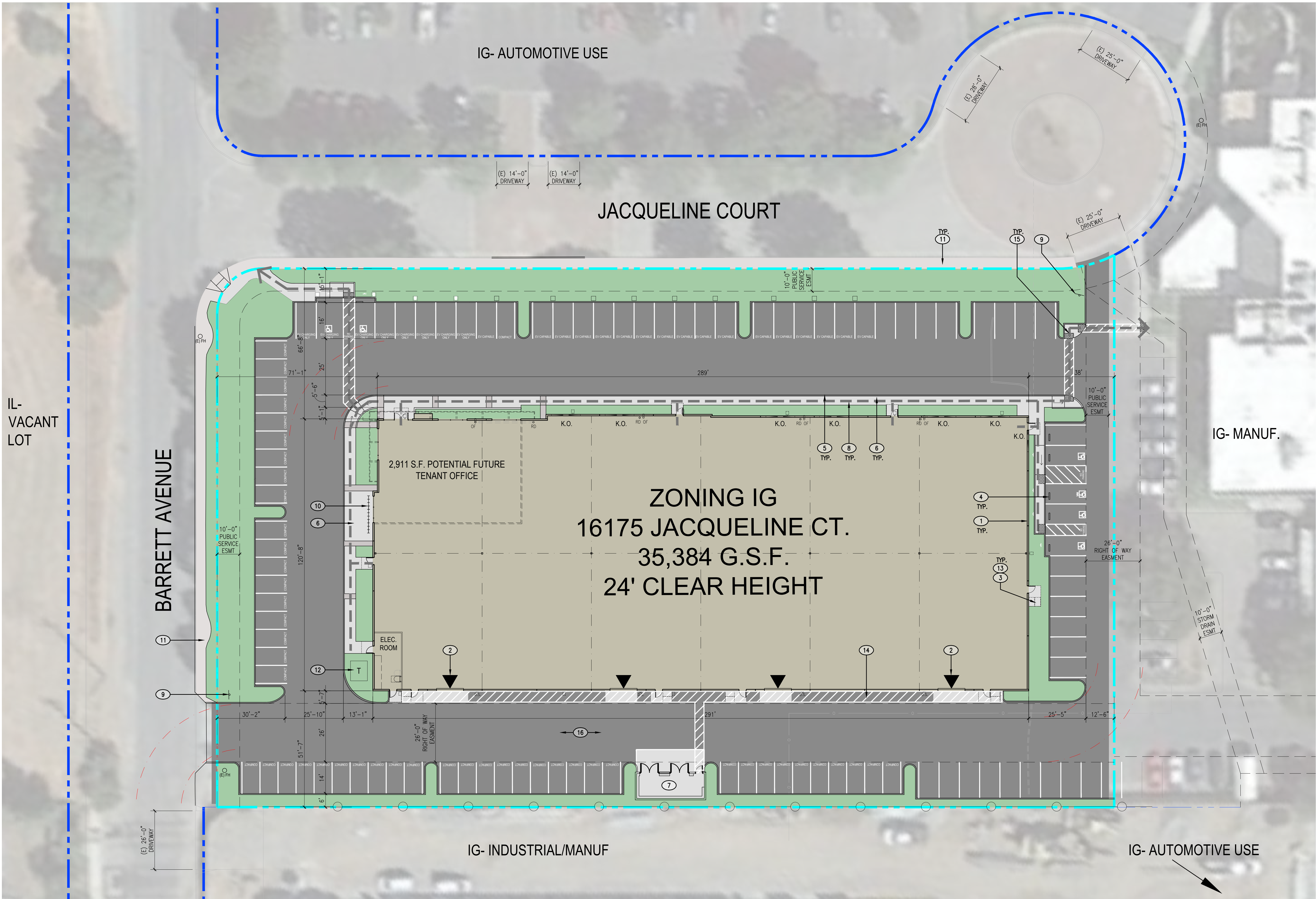
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EXISTING SITE
NEIGHBORHOOD
CONTEXT PHOTOS

sheet no. :

A00.3



IL-
VACANT
LOT

BARRETT AVENUE

IG- AUTOMOTIVE USE

JACQUELINE COURT

IG- MANUF.

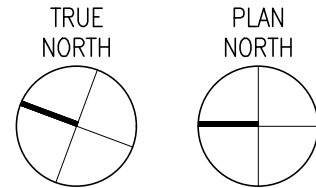
IG- INDUSTRIAL/MANUF

IG- AUTOMOTIVE USE

ZONING IG
16175 JACQUELINE CT.
35,384 G.S.F.
24' CLEAR HEIGHT

2,911 S.F. POTENTIAL FUTURE
TENANT OFFICE

ELEC.
ROOM



SITE PLAN

SCALE: 1" = 20'-0"

PROJECT SUMMARY:

APN:	817-32-058
ZONING:	GENERAL INDUSTRIAL (IG)
SITE AREA:	96,076 G.S.F. / 2.18 ACRES
BUILDING AREA:	35,384 G.S.F.
PER TABLE 18.26.2	
BUILDING COVERAGE:	37.2% (80% ALLOWED)
FLOOR AREA RATIO:	0.37 (0.60 ALLOWED)
BUILDING HEIGHT:	31'-8" (50'-0" ALLOWED)
REQUIRED SETBACKS:	
FRONT (STREET):	30'
REAR:	20'
SIDE:	15'
PROPOSED SETBACKS:	
FRONT AT JACQUELINE CT:	65'-1"
FRONT AT BARRETT AVE:	67'-7"
SIDE AT SOUTHWEST:	51'-1"
SIDE AT SOUTHEAST:	39'-7"

PARKING ANALYSIS:

VEHICLE PARKING PROVIDED:	
STANDARD STALLS:	25
COMPACT STALLS:	49
ADA ACCESSIBLE STALLS:	6 (5 REQUIRED PER 2022 CBC 11B-208.2) (INCLUDES 2 REQUIRED ACCESSIBLE EV CHARGING STALLS)
EV CHARGING STALLS:	4 (6 REQUIRED PER 2022 CAL GREEN TABLE 5.106.5.3.1)
STANDARD STALLS:	1 (1 REQUIRED PER 2022 CBC TABLE 11B-228.3.2.1)
ACCESSIBLE STANDARD STALLS:	1 (1 REQUIRED PER 2022 CBC TABLE 11B-228.3.2.1)
ACCESSIBLE VAN STALLS:	6
TOTAL:	25 (25 REQUIRED PER 2022 CAL GREEN TABLE 5.106.5.3.1) (INCLUDES 6 STALLS WITH INSTALLED EVSE PER 2022 CAL GREEN TABLE 5.106.5.3.1)
TOTAL EV CAPABLE:	103
TOTAL PARKING PROVIDED:	76
TOTAL PARKING REQUIRED:	10 STALLS
(REQUIRED PARKING = 2,911 S.F. OFFICE @ 3.33/1000 = 10 STALLS + 32,838 S.F. MANUFACTURING @ 2.01/1000 = 66 STALLS)	
BICYCLE SHORT TERM PARKING:	11 REQUIRED / 11 PROVIDED
(10% OF AUTO SPACES)	
BICYCLE LONG TERM PARKING:	6 REQUIRED / 6 PROVIDED AT TIME OF FUTURE T.I.
(1 PER 20 AUTO SPACES)	
INTERIOR SHOWER/LOCKER FACILITIES TO BE PROVIDED AT TIME OF FUTURE TENANT IMPROVEMENTS.	

SITE LEGEND:

BUILDING AREA	ASPHALT AREA
SITE CONCRETE	LANDSCAPE AREA
EXISTING PROPERTY LINE	12' X 14' GRADE LEVEL O.H. SECTIONAL ROLL UP DOOR
	FIRE DEPARTMENT TURN RADIUS

KEYNOTES:

- CONCRETE TILT-UP EXTERIOR WALLS. SEE EXTERIOR ELEVATIONS ON A03.1 AND FLOOR PLAN ON A02.1.
- 12' X 14' GRADE LEVEL O.H. SECTIONAL ROLL UP DOOR
- EXTERIOR MAN DOORS SHALL HAVE 5'-0" MIN. DEEP X 5'-2" MIN. WIDE LEVEL LANDING AT EXTERIOR SIDE OF DOOR. AREA OF LEVEL LANDING TO EXTEND 2'-0" MIN. PAST THE STRIKE SIDE OF THE DOOR, TYP. SLOPE OF LEVEL LANDING TO NOT EXCEED 2% SLOPE LANDING AWAY FROM DOOR A MINIMUM OF 1%.
- CONCRETE WHEEL STOPS, SEE CIVIL DRAWINGS.
- TYPICAL 6" TALL X 6" WIDE CONCRETE CURBS, SEE CIVIL DRAWINGS
- NEW CONCRETE PEDESTRIAN WALKS. ASSUME ALL SIDEWALKS TO BE ACCESSIBLE PATH OF TRAVEL. SLOPE NOT TO EXCEED 1:20 (5%) IN DIRECTION OF TRAVEL. CROSS SLOPE NOT TO EXCEED 1:50 (2%) WHERE PARKING OVERHANG OCCURS, INCREASE WIDTH OF SIDEWALK TO 6'-0" MIN.
- TRASH ENCLOSURE, SEE DETAILS 1 & 2/A01.3
- DASHED GRAY LINE INDICATES ACCESSIBLE PATH OF TRAVEL; CONTRASTING PAVING MATERIAL WHERE ROUTE CROSSES PARKING/DRIVE AISLES
- LOCATION OF SITE ENTRY SIGN REGARDING PARKING IN ACCESSIBLE PARKING STALLS. SEE DETAIL 13/A01.3
- BICYCLE RACKS, SEE LANDSCAPE DRAWINGS. INTERIOR SHOWER/LOCKER FACILITIES TO BE PROVIDED AT TIME OF FUTURE TENANT IMPROVEMENTS.
- EXISTING SIDEWALK TO REMAIN
- ELECTRICAL TRANSFORMER
- DASH-DOT INDICATES AREA OF ASSISTED RESCUE PER CBC 1009.7
- PAINTED 4" WIDE DIAGONAL STRIPING INDICATING ACCESSIBLE PATH OF TRAVEL TO TRASH ENCLOSURE.
- DETECTABLE WARNING SURFACE, TYPICAL WHERE INDICATED; REFER TO DETAILS 12 & 18/A01.3.
- TRASH/RECYCLING VEHICLE ROUTE (SAME AS FIRE/EMERGENCY VEHICLE ACCESS, SEE A01.2)

PLANNING NOTES

- MONUMENT SIGNS ARE UNDER SEPARATE PERMIT AND SUBMITTED AFTER DESIGN REVIEW APPROVAL

MORGAN HILL CODE OF ORDINANCES:

Chapter 15.40 - BUILDING SECURITY (LIGHT LEVELS)
Article III. - Nonresidential Buildings
15.40.240 - Doors
All exterior commercial doors, during the hours of darkness, shall be illuminated with a minimum of one foot-candle of light. All exterior bulbs shall be protected by vandalism-resistant covers.
15.40.310 - Open parking lots
Open parking lots and access thereto, for the use of the general public, shall be provided with a maintained average of two foot-candles and a minimum of five-tenths foot-candles maintained lighting on the parking surface from dusk until the beginning of business every operating day.

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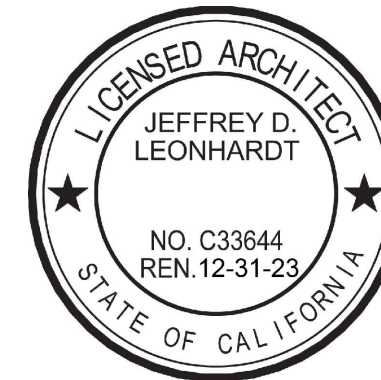
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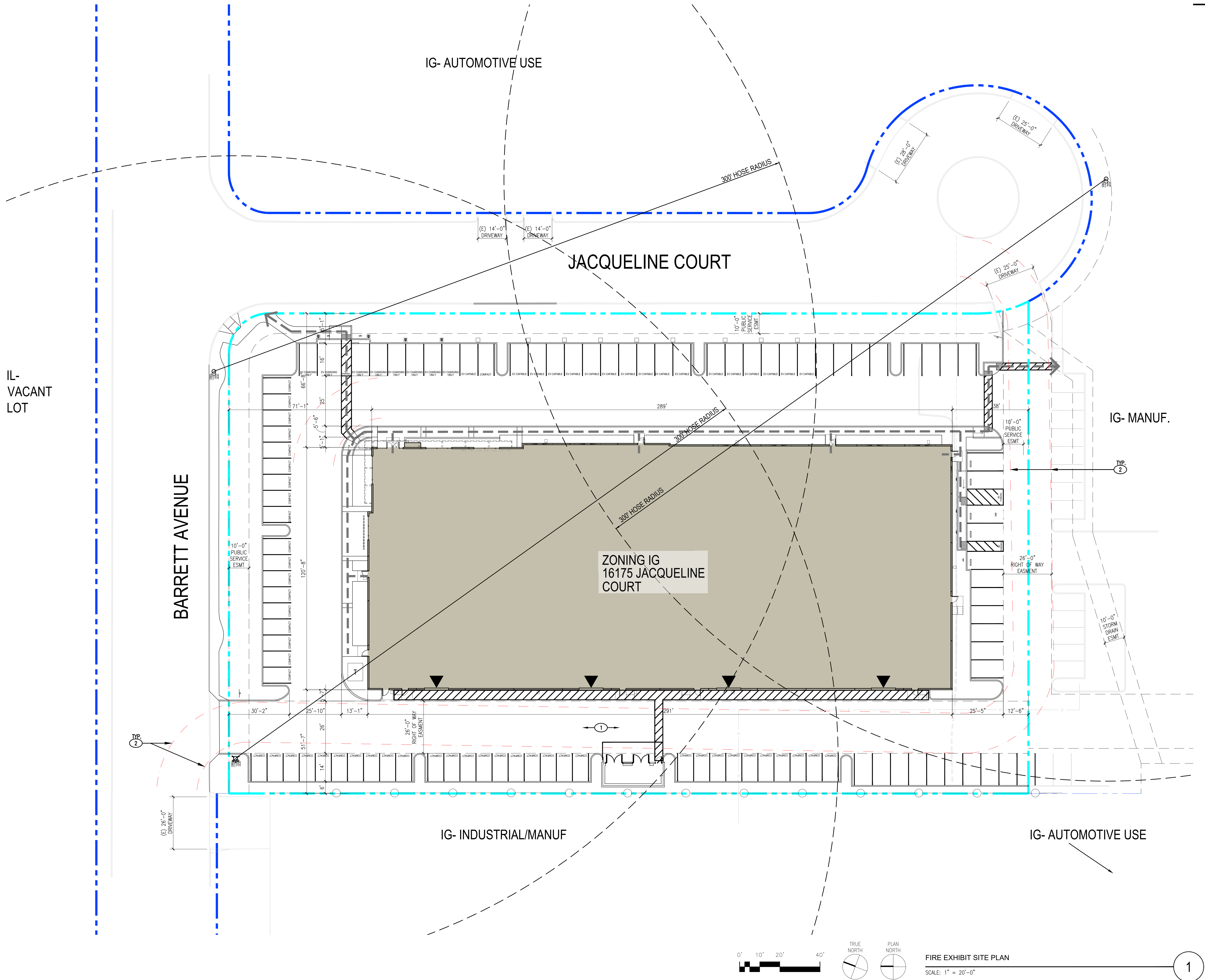
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SITE PLAN

sheet no. :

A01.1



FIRE NOTES:

REFER TO CITY OF MORGAN HILL FIRE DESIGN REQUIREMENTS AND SPECIFICATIONS:
<https://www.morganhill.ca.gov/DocumentCenter/View/10668/Fire-Details-and-Specs>

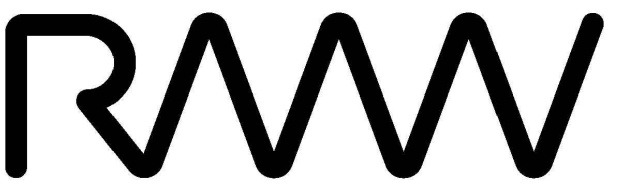
APPARATUS ACCESS:

ROAD DESIGN:

- Minimum clear width: The minimum clear width of fire department access roads shall be 20 ft. Modifications to the design or width of a fire access road, or additional access road(s) may be required when the fire code official determines that access to the site or a portion thereof may become compromised due to emergency operations or nearby natural or manmade hazards (flood prone areas, railway crossings, bridge failures, hazardous material-related incidents, etc.) The width of secondary access roads may be reduced to less than 20 feet provided turnouts are installed adjacent to the roadway every 500 feet with a minimum dimension of 10 feet wide and 40 feet long or as otherwise determined by the fire code official.
- Access and loading: Facilities, buildings or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved fire apparatus access road (including bridges and culverts) with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds (34050 kg) or as otherwise determined by the fire code official.
- Minimum clear height: Vertical clearance required over vehicular access roads and driveways shall be 13'6".
- Grades: Maximum Grade shall not exceed 15% (6.75 degrees).
- Turn Radius (circulating): The minimum outside turning radius is 42 feet for required access roadways. Greater radius up to 60 feet may be required where the Fire Prevention Division determines that Ladder Truck access is required. Circulating refers to travel along a roadway without dead ends.
- Turning Radius (Cul-de-sacs): The minimum outside turning radius is 36 feet. Use of cul-de-sacs is not acceptable where it is determined by the Fire Prevention Division that Ladder Truck access is required, unless greater turning radius is provided.
- Turnarounds: Turnarounds are required for all dead end roadways with a length in excess of 150 feet. The turnaround details shown in this document are intended to provide a general design concept only. Modifications or variations of these designs may be approved by the Fire Prevention Division on a case-by-case basis. All turnaround designs submitted for Fire Department review shall meet all previously stated requirements. These details are applicable when a 36-foot minimum turning radius for dead ends is specified. These details are not applicable where turning radius greater than 36 feet is specified or when a circulating radius is specified.
- Deadends: Dead-end fire apparatus access roads in excess of 150 feet (45720 mm) shall be provided with width and turnaround provisions as determined by the fire code official.
- Parking: When parking is permitted on streets, in both residential/commercial applications, it shall conform to the following:
 - Parking is permitted on both sides of the street with street widths of 36 feet or more
 - Parking is permitted on one side of the street with street widths 28-35 feet
 - No parking is permitted when street widths are less than 28 feetNOTE: Rolled curbs can be part of the curb/sidewalk and used to increase the roadway width with approval from the fire code official. Additional requirements may apply for buildings 30 feet in height or greater. See requirements under AERIAL FIRE APPARATUS ACCESS ROADS.
- Access to a hydrant: Fire hydrants located on a public or private street, or on-site, shall have unobstructed clearance of not less than 30 feet (15 feet either side of hydrant), in accordance with California vehicle code 22514. Marking shall be per California vehicle code 22500.1.
- Traffic calming: Traffic calming devices and the design thereof shall be approved by the fire code official prior to installation.
- Alternate paving material: Alternative paving materials such as 'Grass Crete', turf block or similar type material may be used for emergency vehicle access (EVA) under certain conditions. The submittal shall include the design criteria based upon the imposed load of fire apparatus as identified in item 2, Access and Loading. the EVA shall:
 - Be marked. The lane at the curb delineated with lights, bollards, paint, contrasting material, etc.
 - Be structurally sound to preclude movement or disbanding with soil movement.
 - Be field tested by the contractor in the presence of the fire code official. Testing may include driving the EVA by a weight verified vehicle. Prior to final approval, the engineer of record (civil or soils engineer) shall certify the installation.

FIRE APPARATUS ROADWAY SIGNS

Where required by the Fire Code Official, fire apparatus access roads shall be designated and marked as a fire lane as set forth in Section 22500.1 of the California Vehicle Code. The designation shall be indicated (1) by a sign posted immediately adjacent to, and visible from, the designated place clearly stating in letters not less than one inch in height that the place is a fire lane, (2) by outlining or painting the place in red and, in contrasting color, marking the place with the words "FIRE LANE", which are clearly visible from a vehicle, or (3) by a red curb or red paint on the edge of the roadway upon which is clearly marked the words "FIRE LANE".



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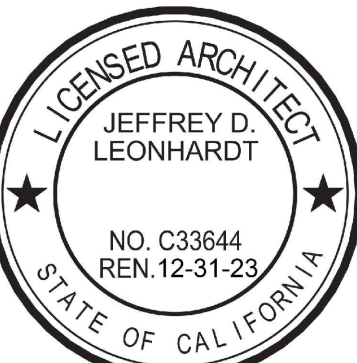
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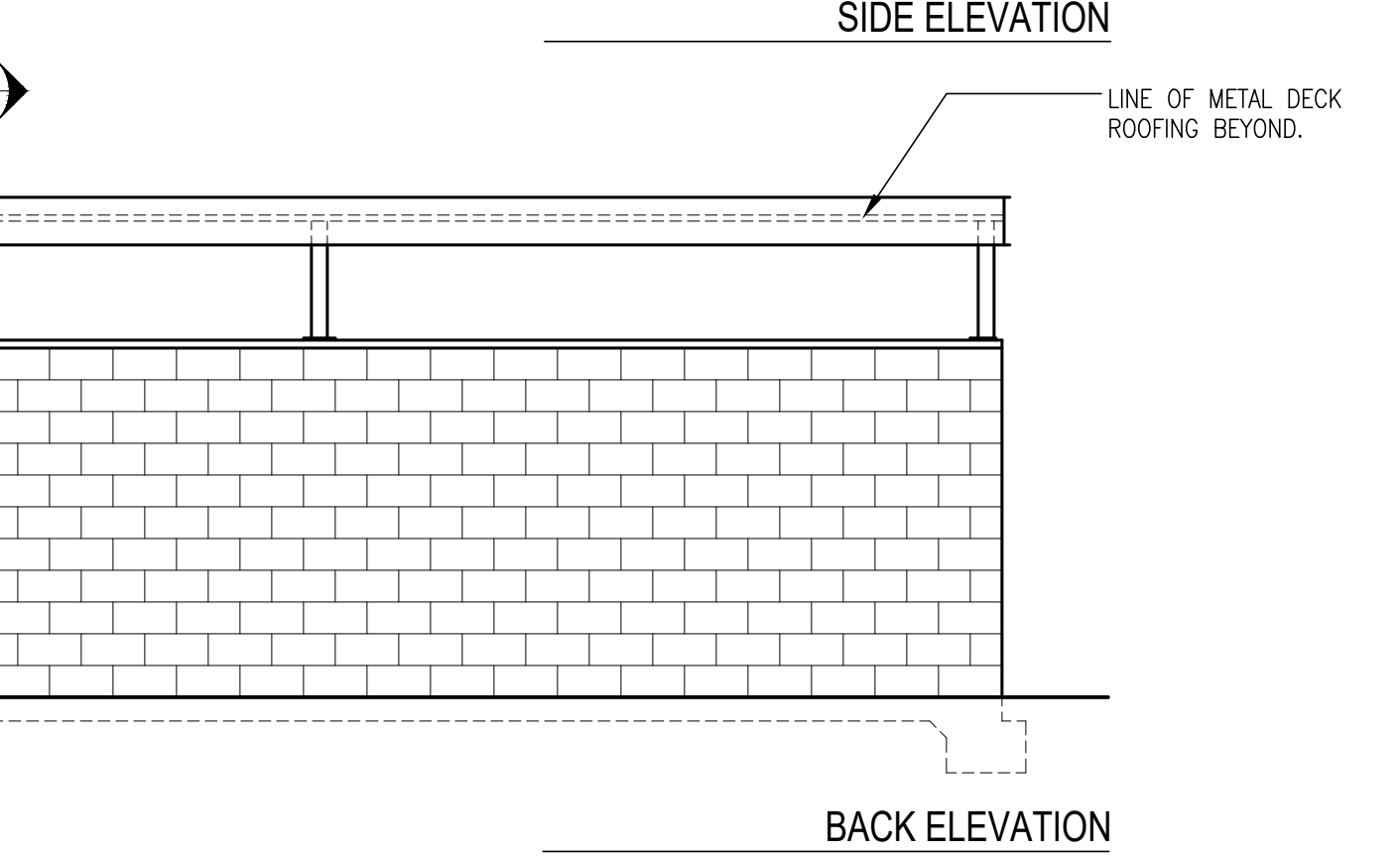
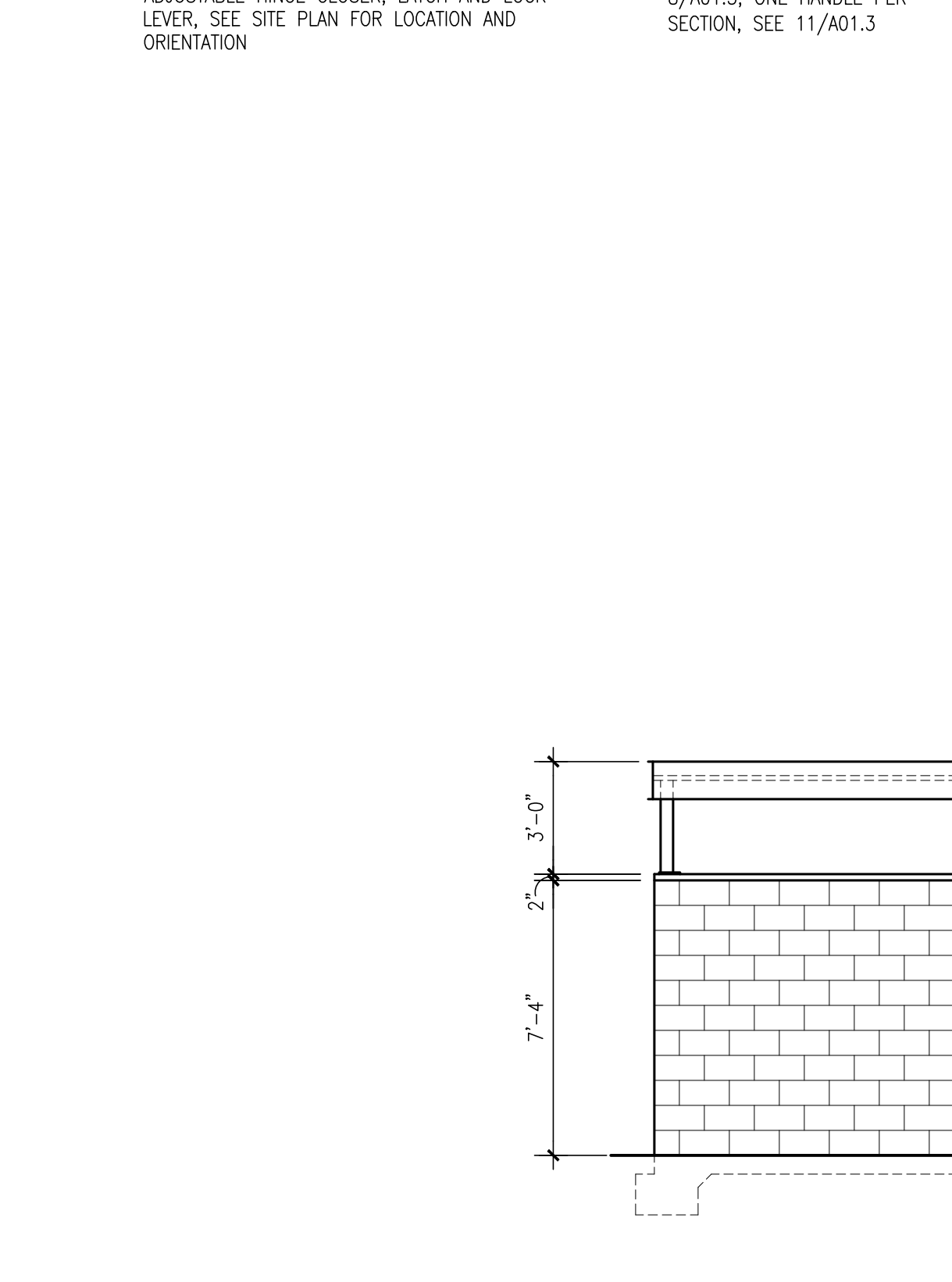
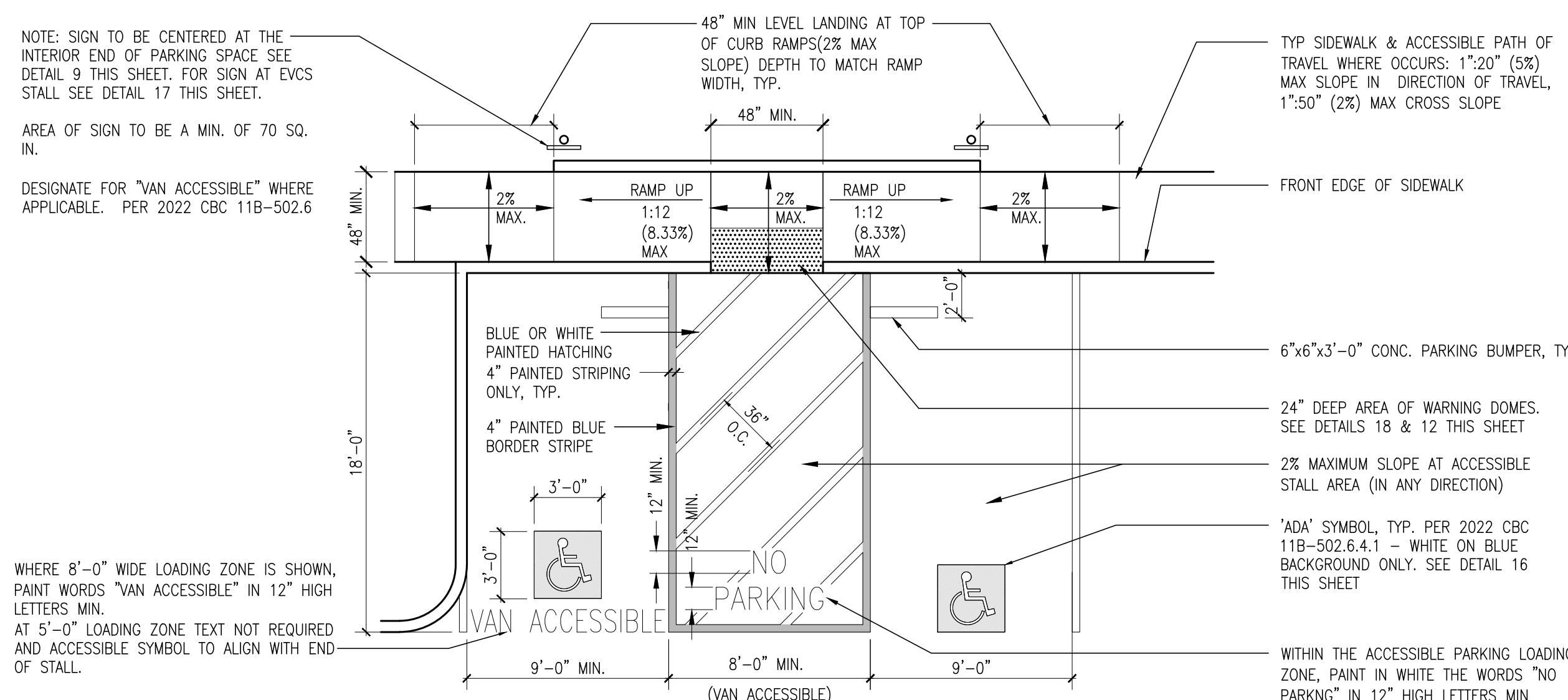
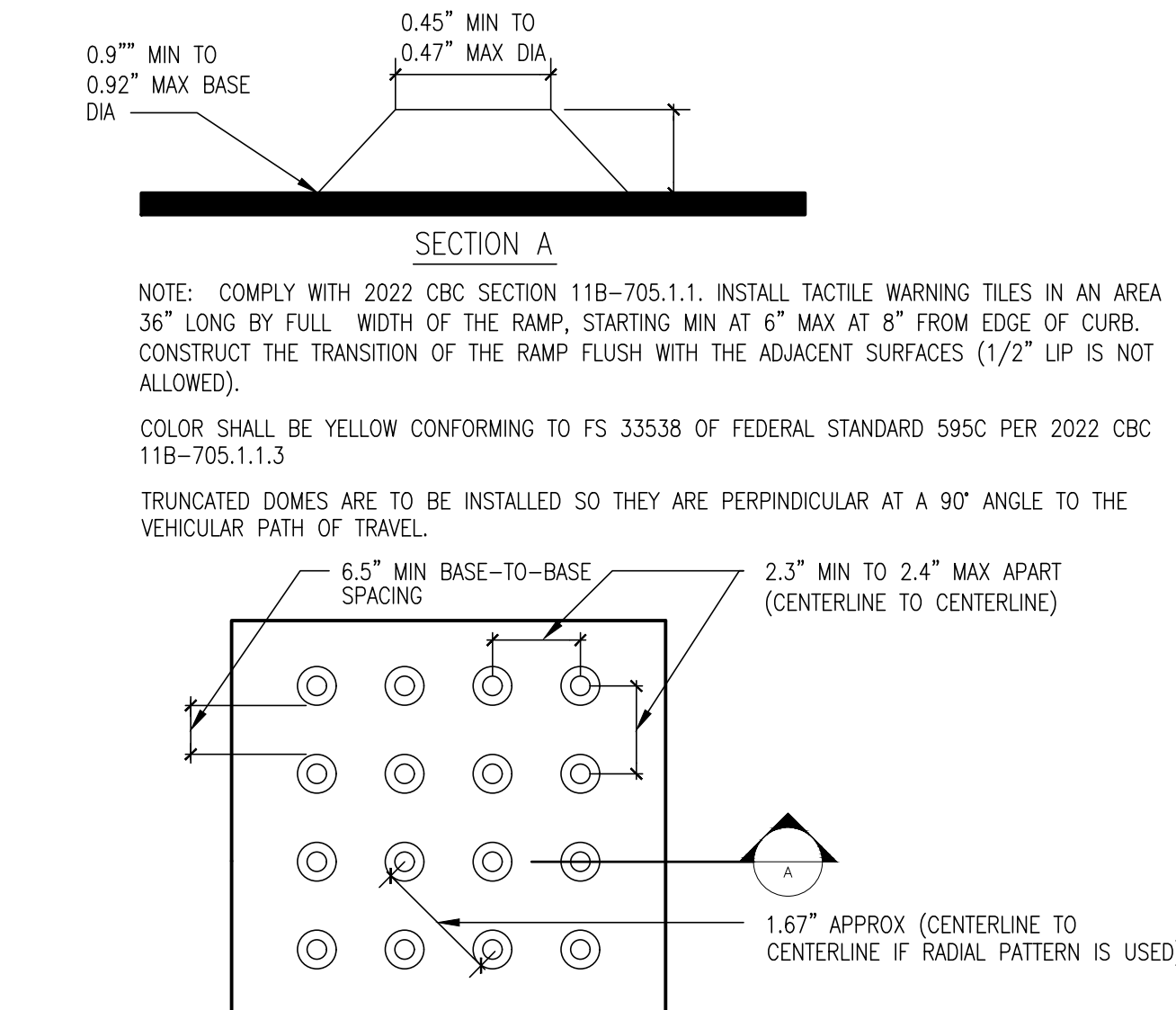
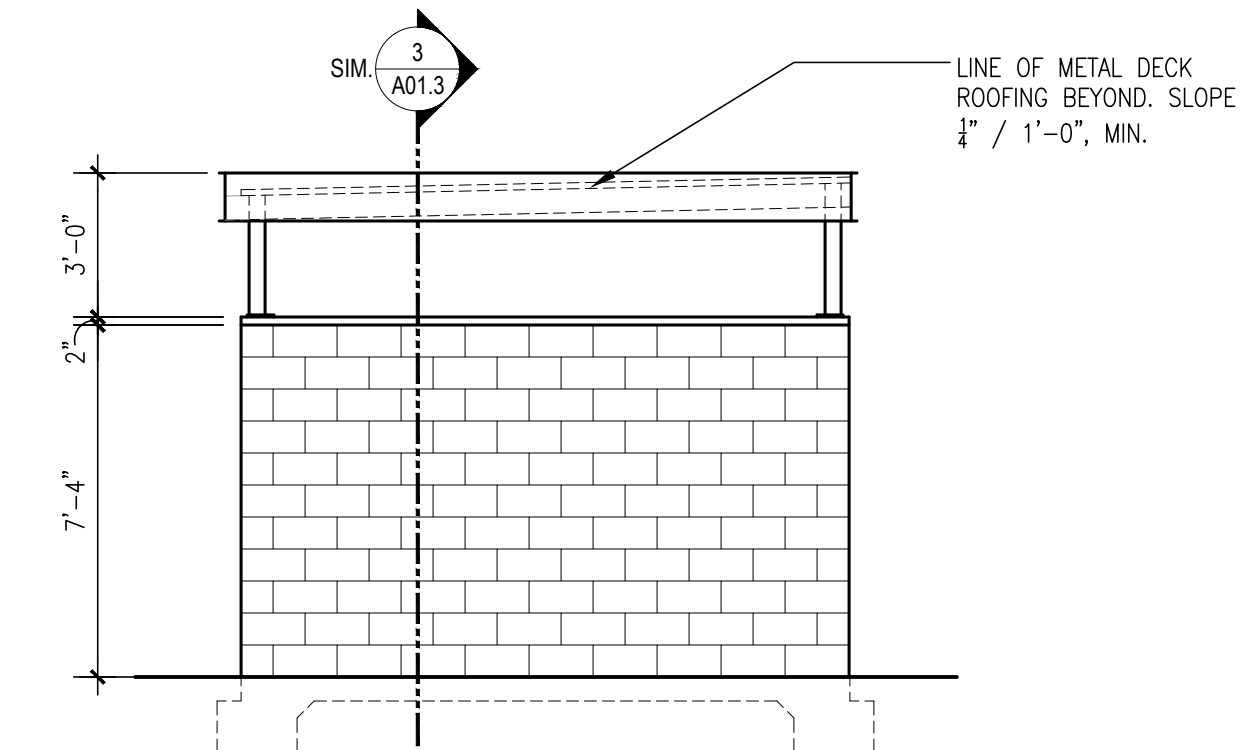
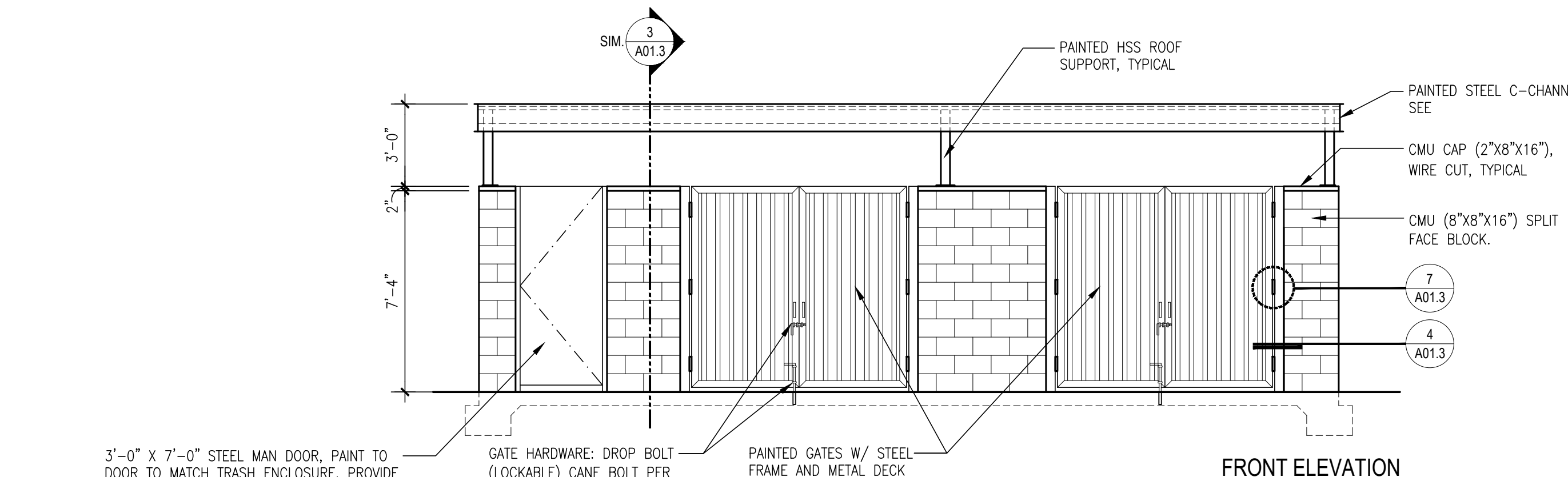
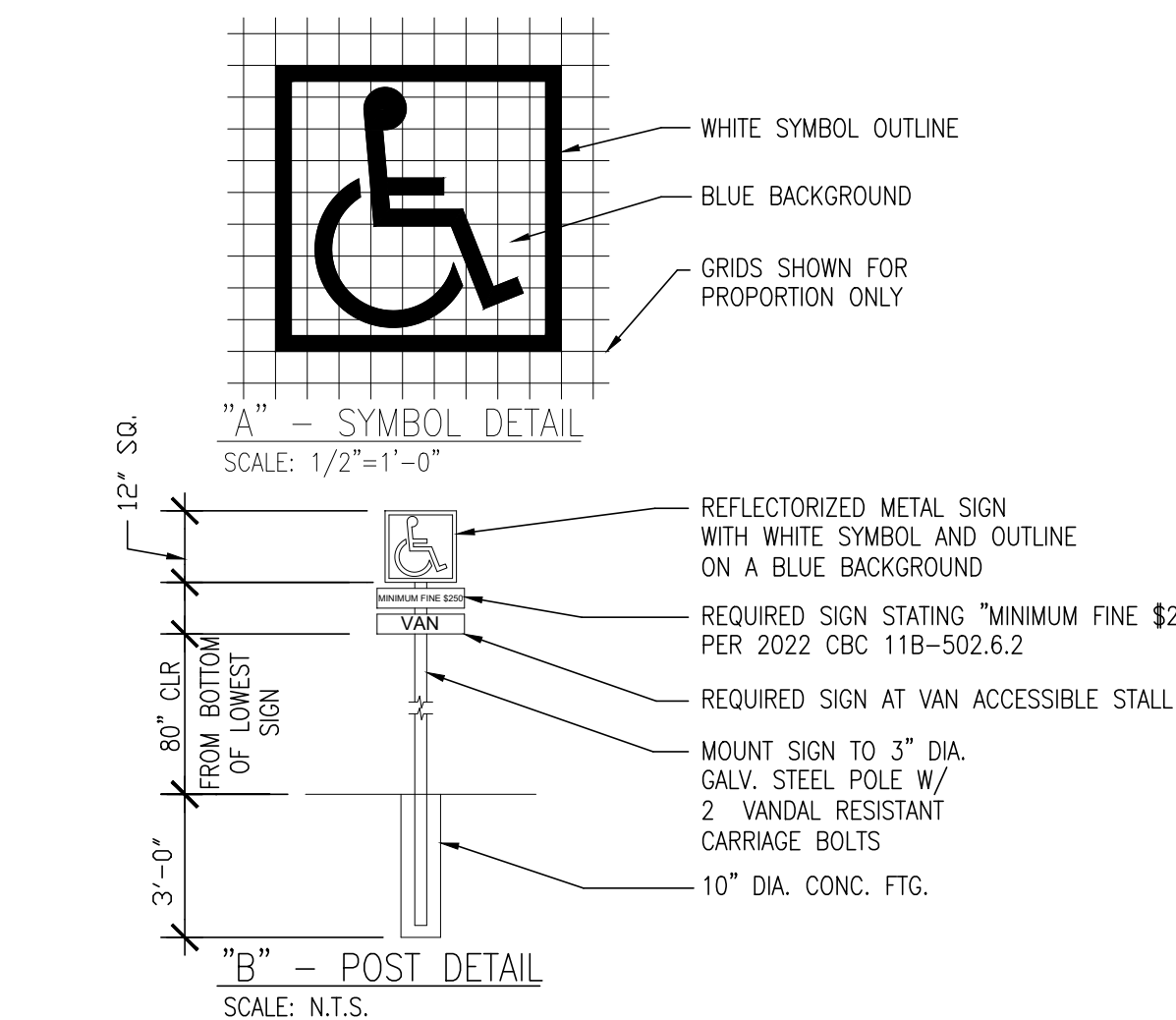
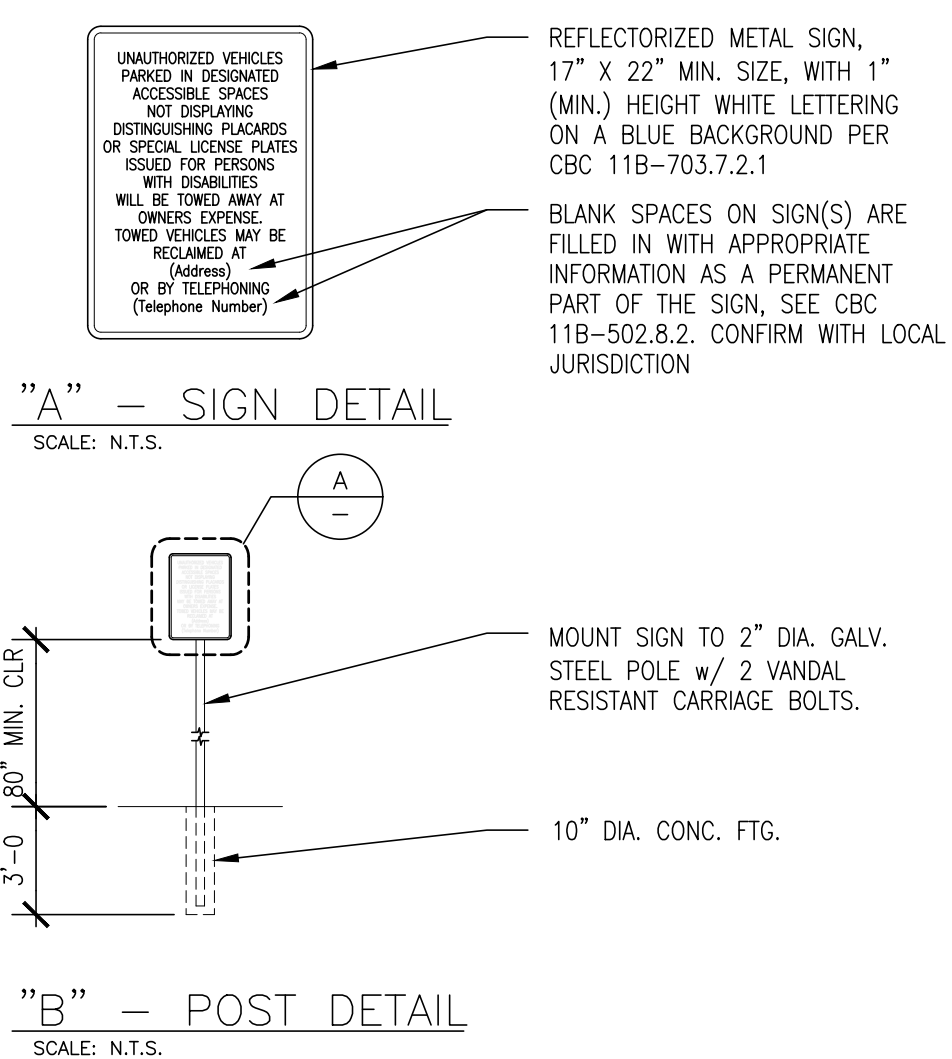
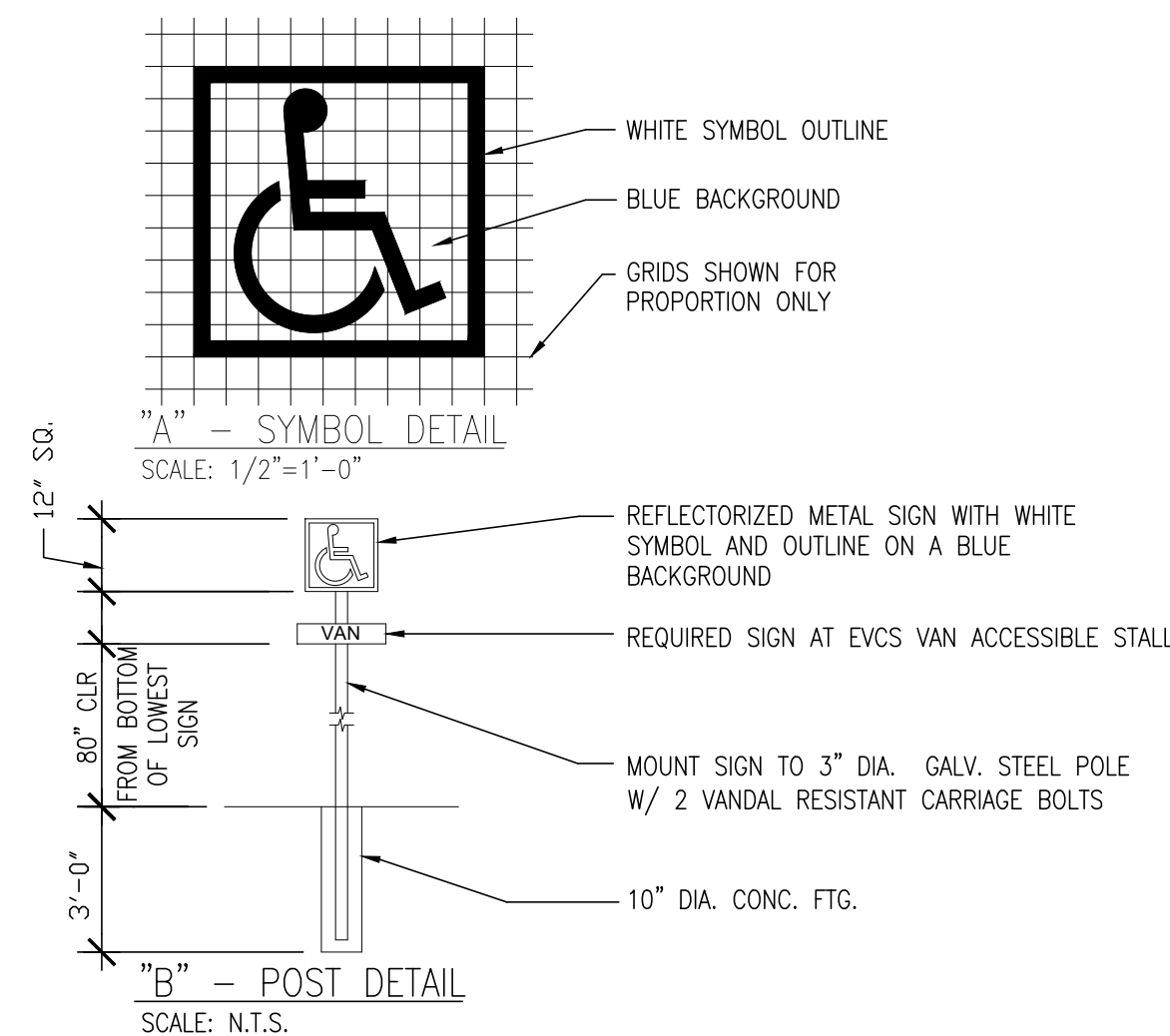
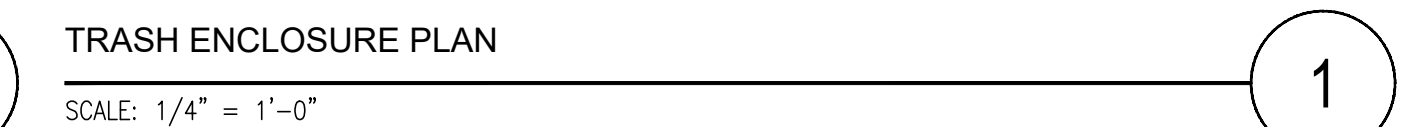
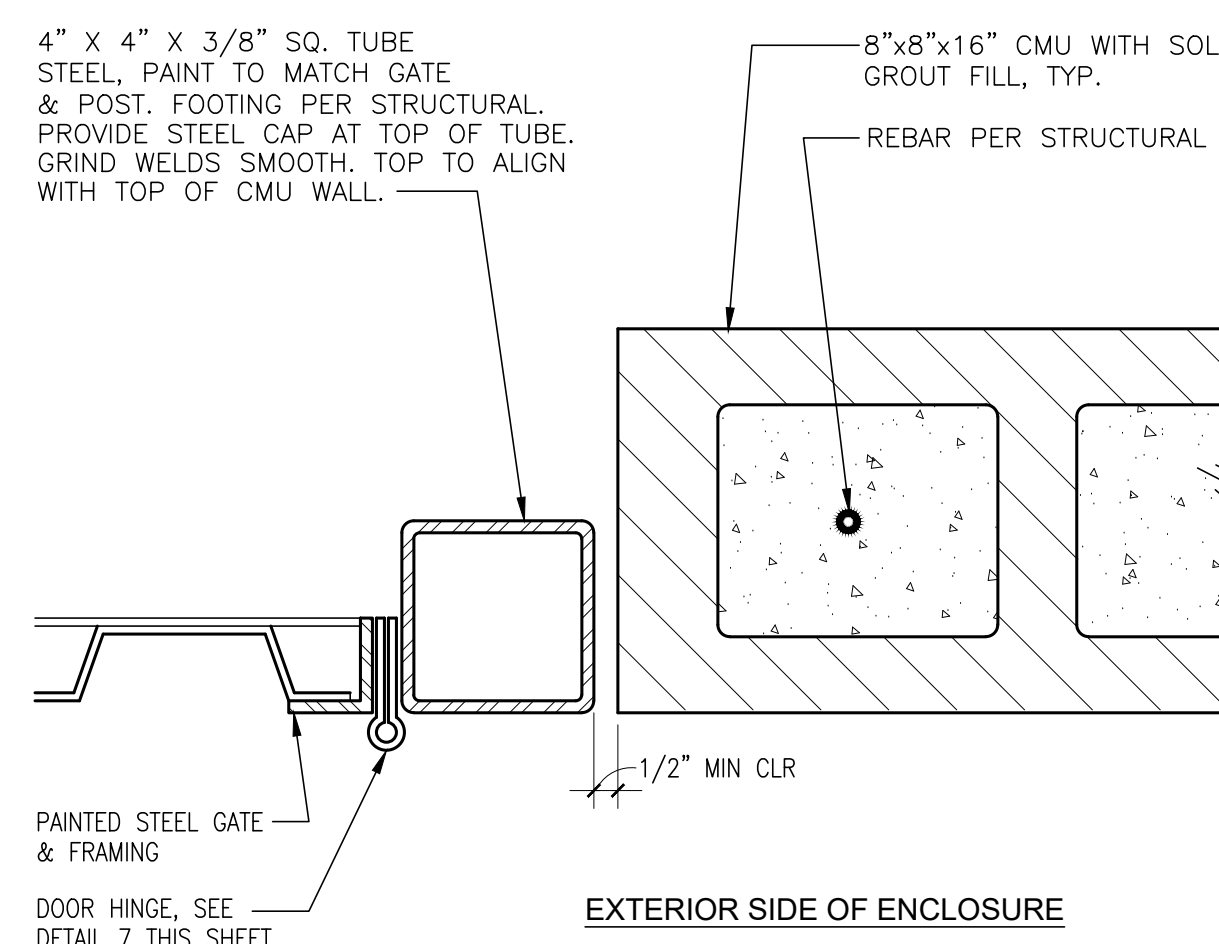
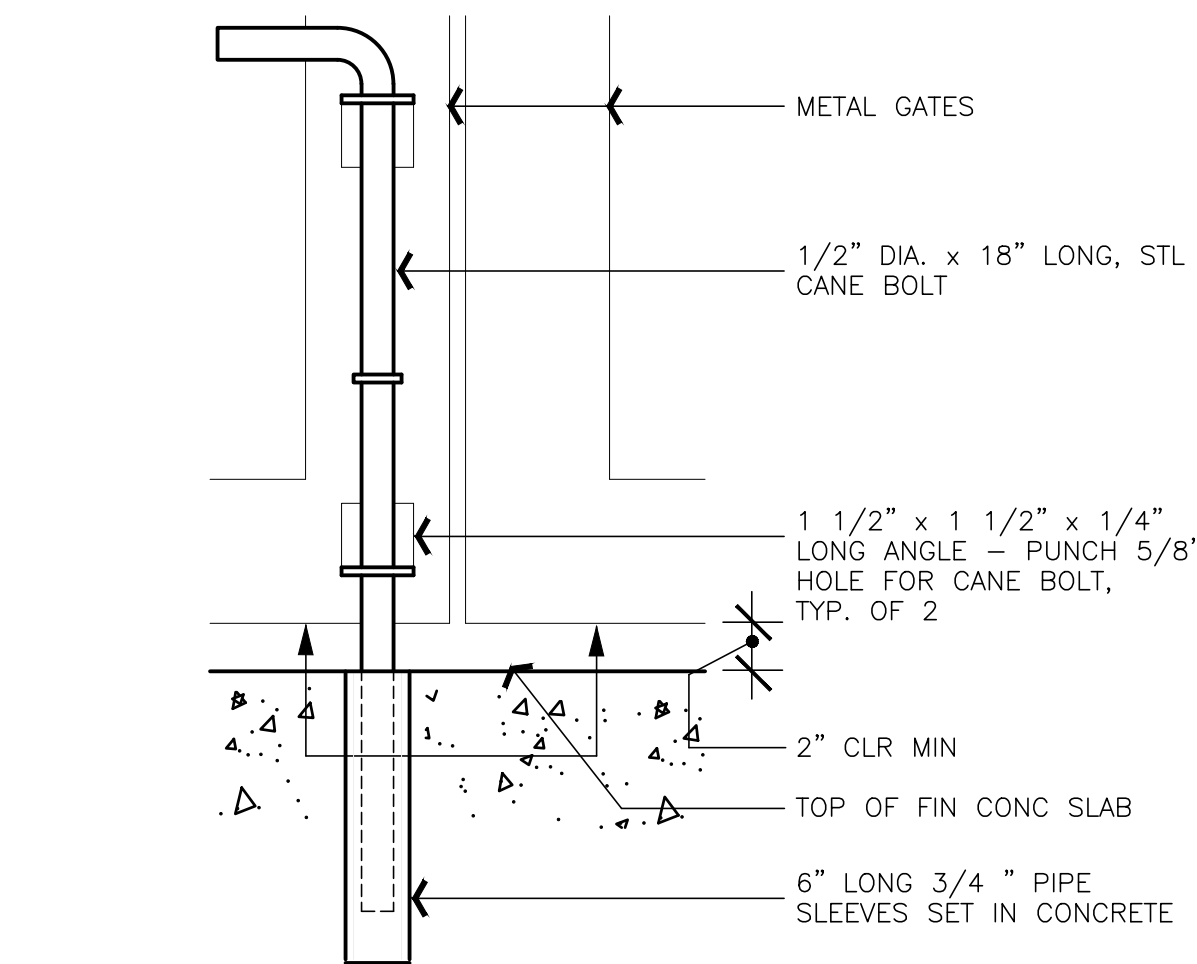
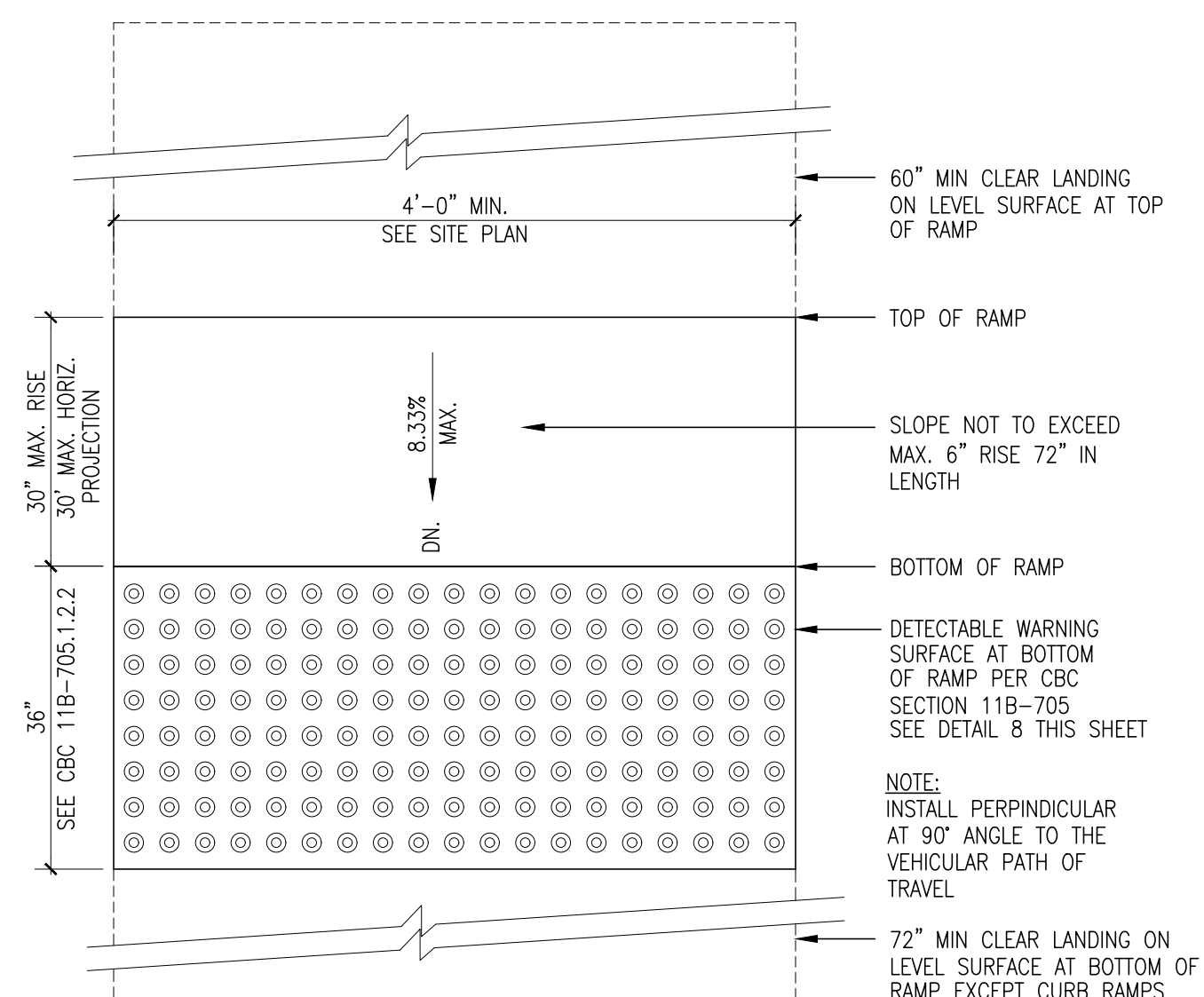
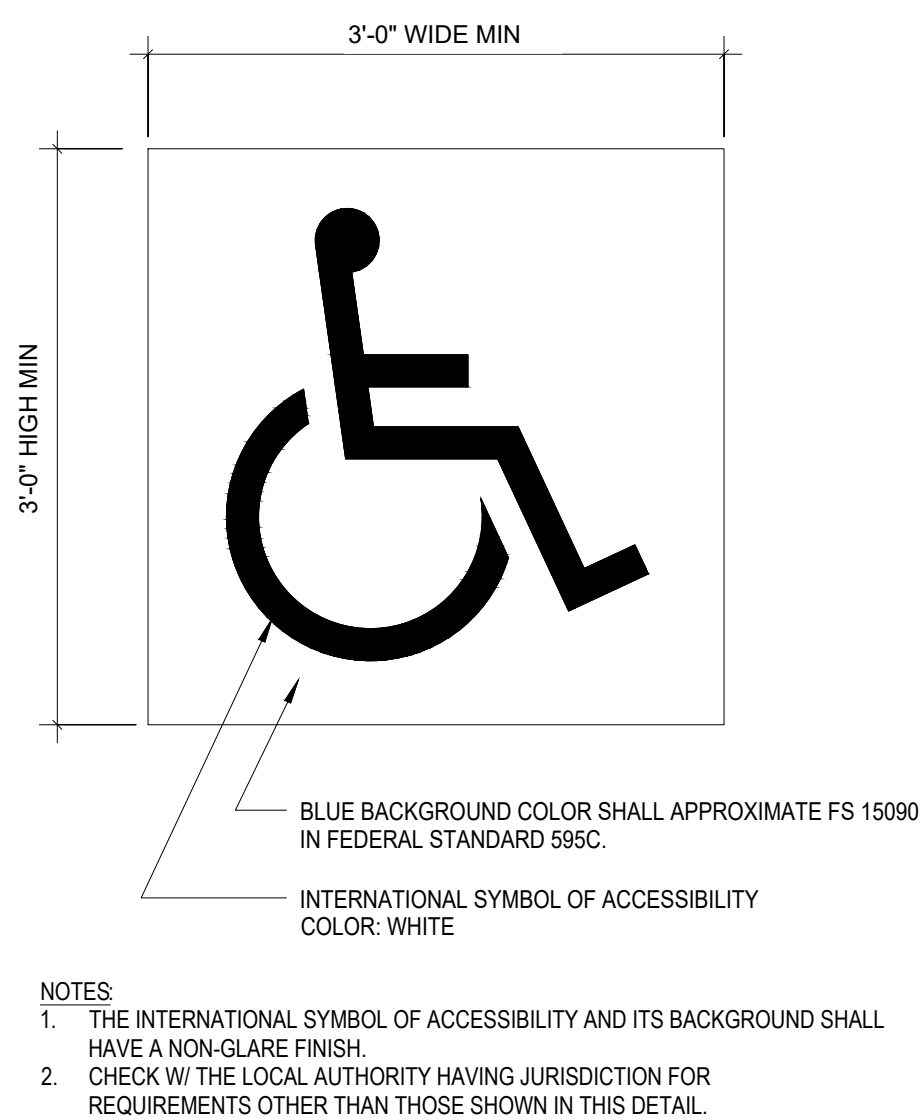
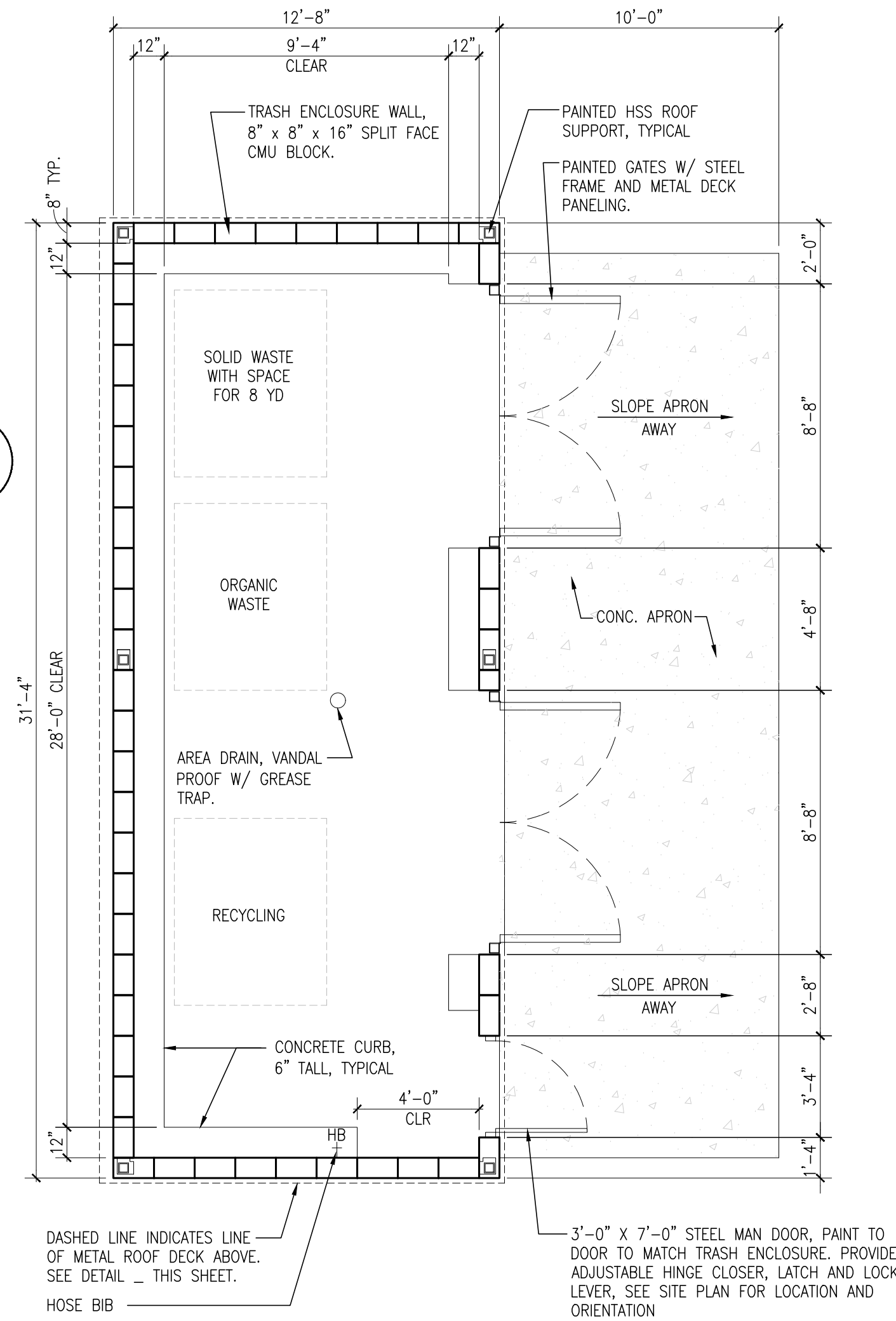
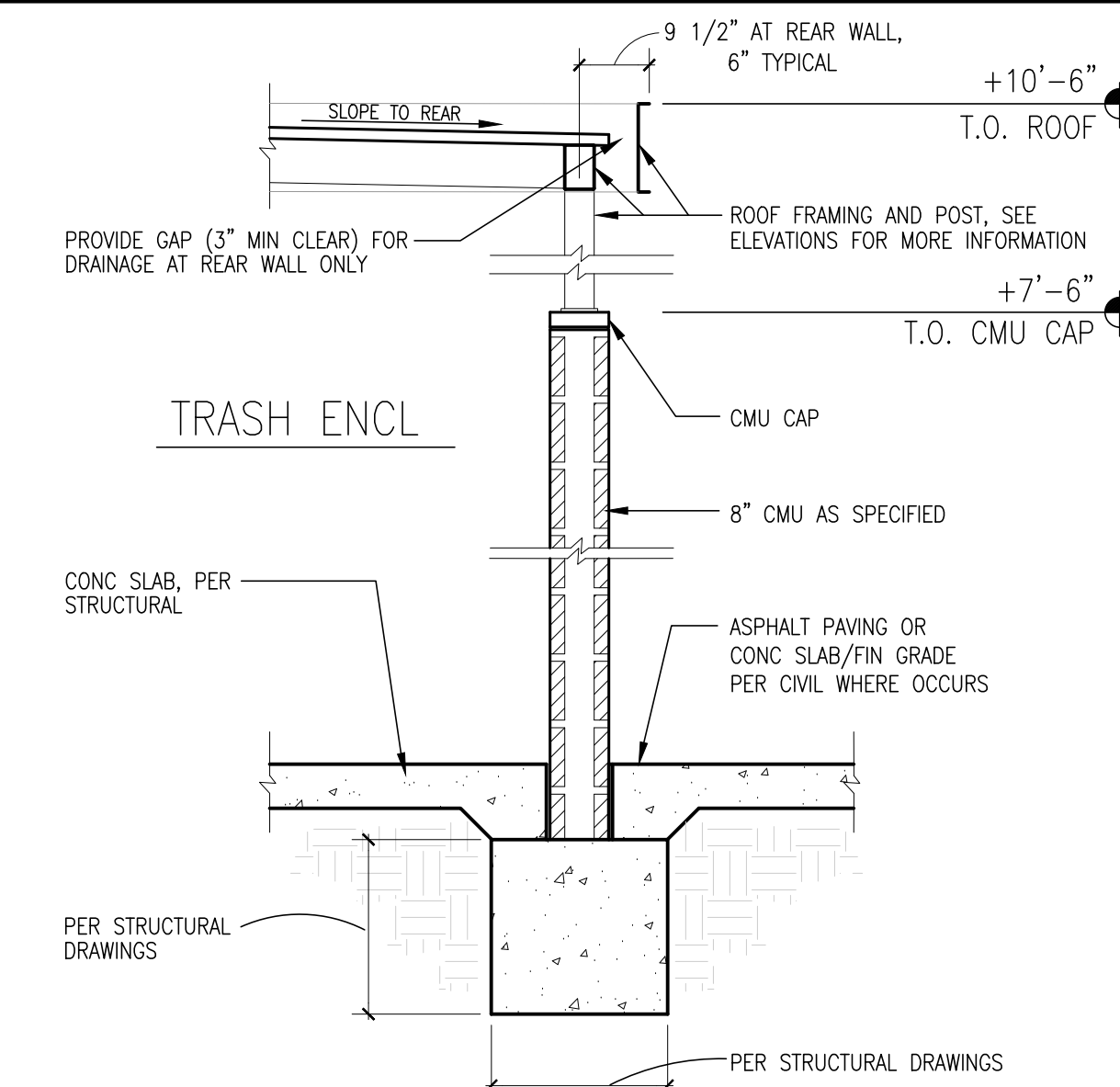
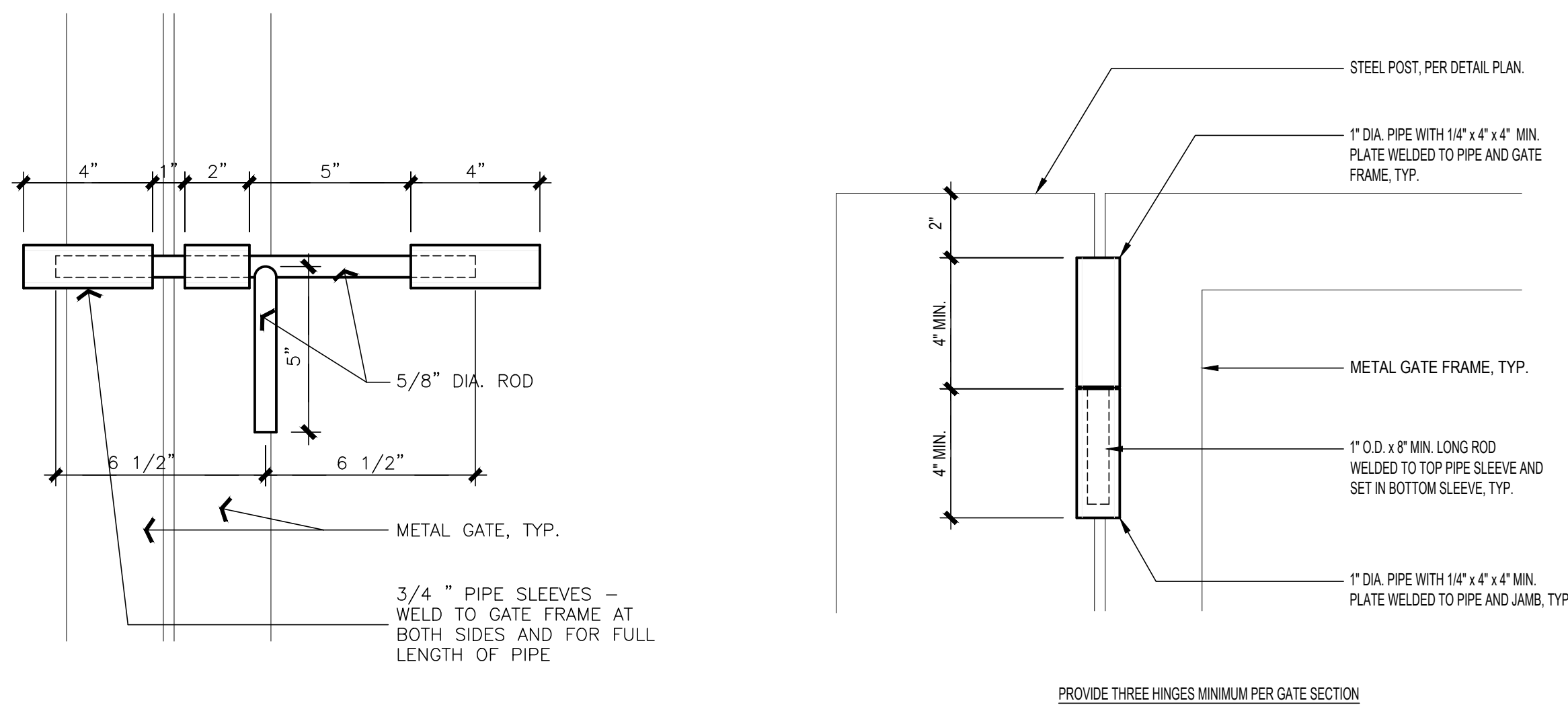
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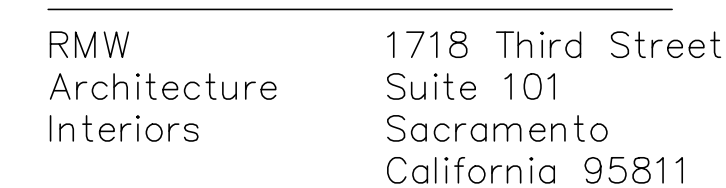
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FIRE EXHIBIT SITE PLAN

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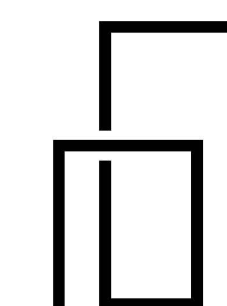




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MANAGEMENT

2040 WEBSTER STREET
SAN FRANCISCO, CA 94115

PRELIMINARY DESIGN DOCUMENTS FOR:

NEW INDUSTRIAL/
MANUFACTURING BUILDING

16175 JACQUELINE COURT
MORGAN HILL, CA 95037

approved for the owner by :

approved for the architect by :

issue :	description :	date :
A	ISSUED FOR PLANNING REVIEW	06-07-202

CITY OF MORGAN HILL
PLAN APPROVED

**THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION**

ON 10/31/2023

SR2023-00003

FILE NUMBER

Roshni Saxena
Assistant Planner

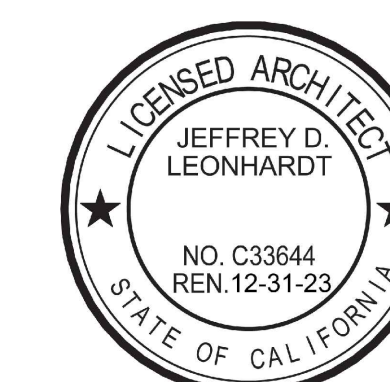
PLANNING OFFICIAL

GENERAL CONTRACTOR:

drawn by : DD plot date : 06-07-2023

checked by : JDL

stamp



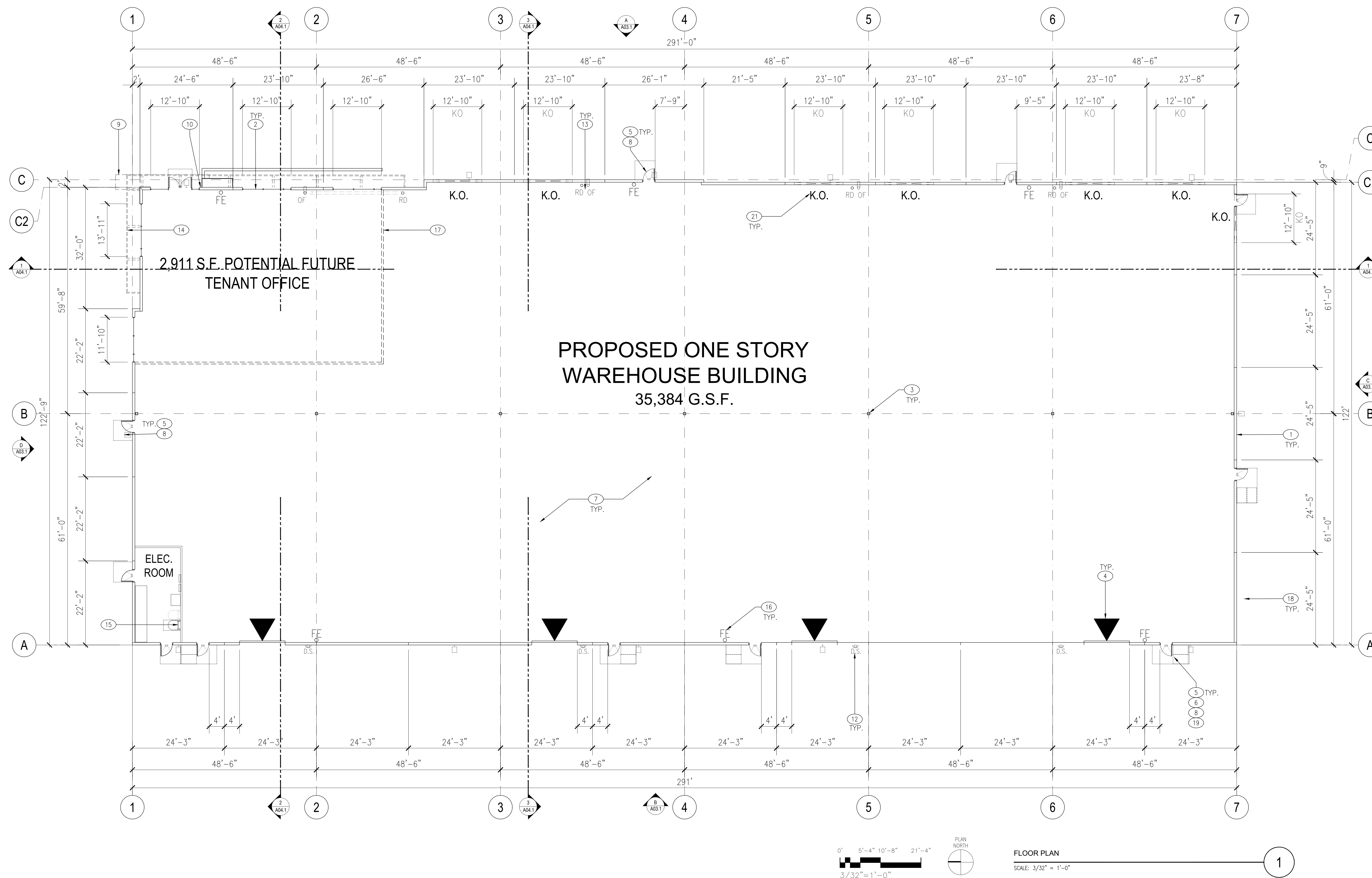
scale : AS NOTED

project number : 2234072

FLOOR PLAN

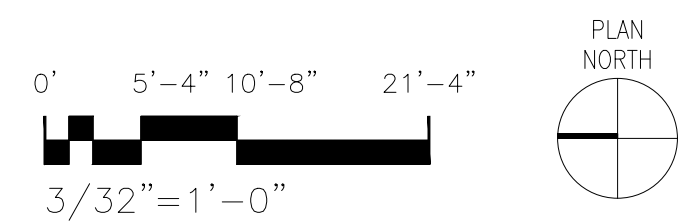
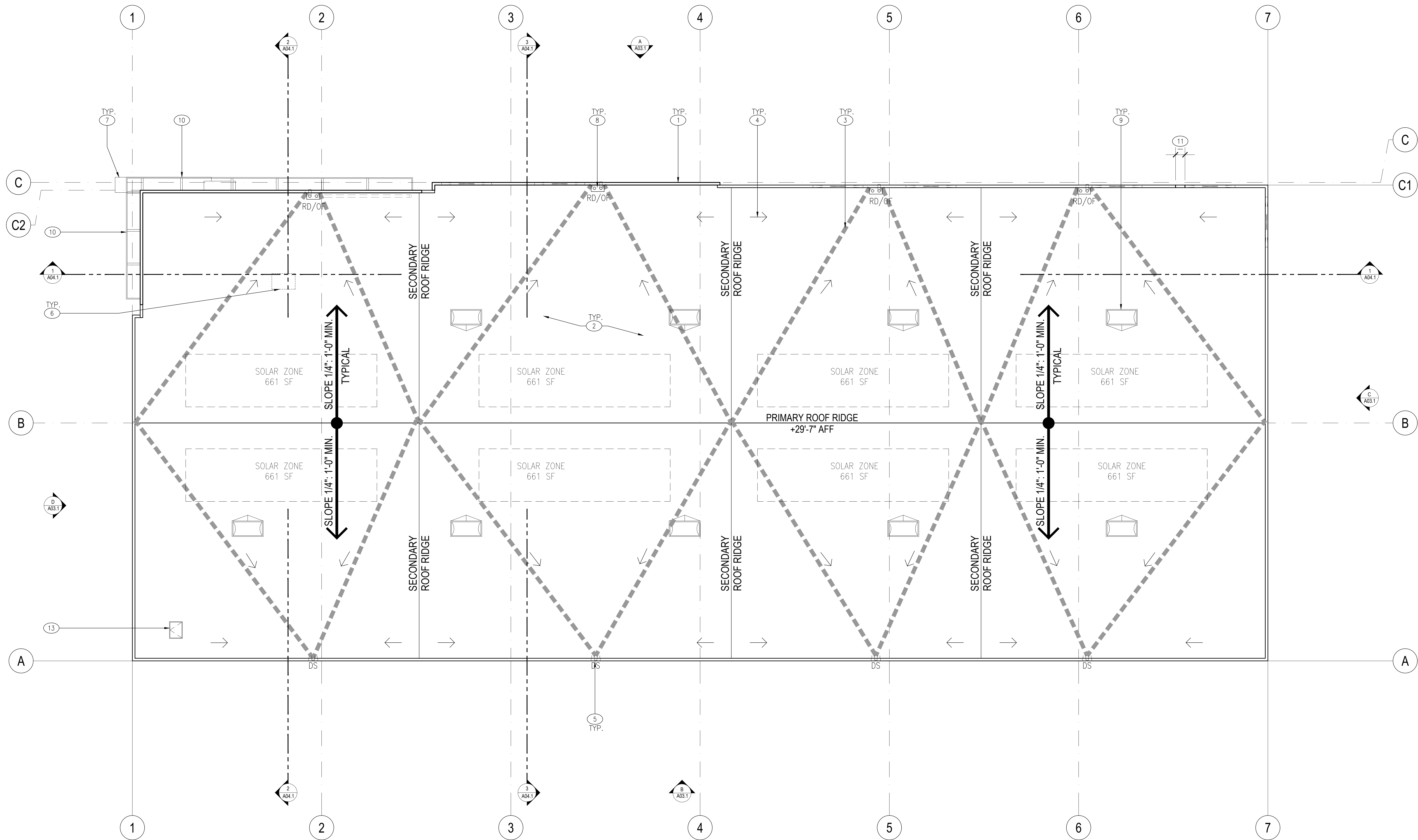
sheet no.

A02.1



KEYNOTES:

- | | | | |
|----|--|----|---|
| 1 | CONCRETE TILT-UP EXTERIOR WALL WITH 3/4" X 3/4" DOUBLE CHAMFER REVEALS AND A MULTICOLOR PAINT PALETTE. SEE EXTERIOR ELEVATIONS A03.1. | 12 | "D.S." INDICATES SURFACE MOUNTED DOWNSPOUT FROM SCUPPER ABOVE, TYP. |
| 2 | TINTED GLAZING IN ALUMINUM FRAMES TYP. SEE EXTERIOR ELEVATIONS A03.1. | 13 | "RD" & "OF" TEXT INDICATES LOCATION OF INTERNAL ROOF DRAIN AND OVERFLOW FROM ROOF DRAIN/OVERFLOW ABOVE. OVERFLOW TO DAYLIGHT THRU WALL PANEL +12" AFF. TYPICAL. PAINT TO MATCH WALL COLOR. SEE EXTERIOR ELEVATIONS A03.1. |
| 3 | TYPICAL STEEL STRUCTURAL COLUMN | 14 | DECORATIVE PAINTED STEEL FRAMING. SEE EXTERIOR ELEVATIONS, A03.1. |
| 4 | 12' X 14' GRADE LEVEL O.H. SECTIONAL ROLL UP DOOR | 15 | ROOF ACCESS LADDER |
| 5 | TYPICAL 3' X 7' STEEL MAN DOOR, WHERE DOORS ARE SHOWN AT GLAZING, DOORS TO BE STOREFRONT DOORS | 16 | FIRE EXTINGUISHER INDICATED BY "FE", MINIMUM TYPE 2A-10BC, VERIFY TYPE AND LOCATION WITH FIRE MARSHAL PRIOR TO INSTALLATION. |
| 6 | EXTERIOR AREA OF ASSISTED RESCUE PER CBC 1009.7, SEE SITE PLAN FOR ADDITIONAL INFORMATION. | 17 | DASHED LINES INDICATE WALLS OF POTENTIAL FUTURE OFFICE AREA |
| 7 | CONCRETE SLAB | 18 | WALL MOUNTED LIGHTS |
| 8 | EXTERIOR MAN DOORS SHALL HAVE 5'-0" MIN. DEEP X 5'-2" MIN. WIDE LEVEL LANDING AT EXTERIOR SIDE OF DOOR. AREA OF LEVEL LANDING TO EXTEND 2'-0" MIN. PAST THE STRIKE SIDE OF THE DOOR, TYP. SLOPE OF LEVEL LANDING TO NOT EXCEED 2%. SLOPE LANDING AWAY FROM DOOR A MINIMUM OF 1%. | 19 | SURFACE MOUNTED EMERGENCY LIGHT FIXTURE CENTERED ABOVE DOOR, TYP. AT ALL EXTERIOR DOORS, SEE PHOTOMETRIC DRAWINGS. |
| 9 | PAINTED STEEL CANOPY ABOVE. SEE EXTERIOR ELEVATIONS A03.1. | 20 | SEAL WALL, SEE EXTERIOR ELEVATIONS A03.1 FOR MORE INFORMATION |
| 10 | FIRE DEPARTMENT APPROVED "KNOX BOX" AT BUILDING ENTRIES ASSUMING SIX TENANTS, MOUNT AT +6'-0" AFF. CONFIRM LOCATION, MOUNTING HEIGHT AND ALL OTHER CRITERIA WITH THE FIRE DEPARTMENT. | 21 | "K.O." AND DASHED LINES INDICATE LOCATION OF KNOCKOUT PANEL |



ROOF PLAN
SCALE: 3/32" = 1'-0"

KEYNOTES:

- 1 LINE OF TYPICAL PARAPET WALL
- 2 TYPICAL LOW SLOPE ROOF AS INDICATED. ROOF ASSEMBLY CONSISTS OF A TPO WHITE "COOL ROOF" SINGLE PLY SYSTEM OVER STRUCTURAL SHEATHING ON SLOPED STRUCTURAL FRAMING.
- 3 THICK DASHED GRAY LINE INDICATES WARPED ROOF AREA
- 4 INDICATES DIRECTION OF ROOF SLOPE, $\frac{1}{4}$ " PER FOOT SLOPE MINIMUM, TYPICAL
- 5 PAINTED METAL SCUPPER WITH DOWNSPOUT BELOW. SEE EXTERIOR ELEVATIONS. "DS" TEXT INDICATES LOCATION OF DOWNSPOUT.
- 6 POTENTIAL LOCATION OF FUTURE ROOF TOP EQUIPMENT.
- 7 STEEL ENTRY CANOPY BELOW, SEE FLOOR PLAN AND EXTERIOR ELEVATIONS.
- 8 INTERNAL ROOF DRAIN AND ROOF OVERFLOW
- 9 INDICATES LOCATION OF 4' X 8' SELF-CURBING DUAL DOME SKYLIGHT. PROVIDE SHAPED FOAM CRICKET AT HIGH SIDE(S) OF SKYLIGHT CURB TO PROVIDE SLOPE FOR DRAINAGE.
- 10 PAINTED STEEL DECORATIVE FRAMING, SEE FLOOR PLAN AND EXTERIOR ELEVATIONS.
- 11 STEPPED PARAPET; SEE EXTERIOR ELEVATIONS A03.1
- 12 DASHED LINES INDICATE AREA AVAILABLE FOR FUTURE PHOTOVOLTAIC PANEL ENERGY SYSTEM; CAPACITY TO MEET TIER-1 ON-SITE RENEWABLE ENERGY GENERATION CREDIT PER LEED ANALYSIS REPORT
- 13 ROOF ACCESS HATCH AND LADDER FROM BELOW

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ON 10/31/2023

SR2023-0003

FILE NUMBER

Roshni Saxena
Assistant Planner


PLANNING OFFICIAL

GENERAL CONTRACTOR:

drawn by : DD plot date : 06-07-2023

checked by : JDL

stamp



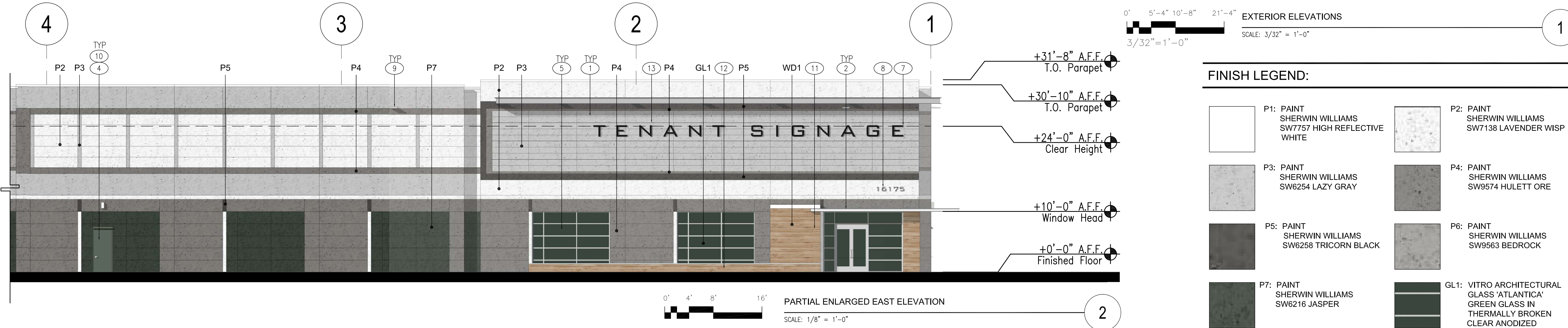
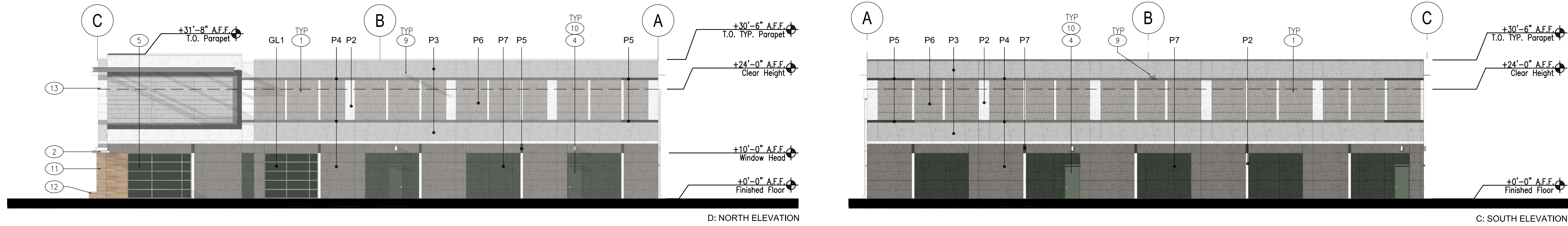
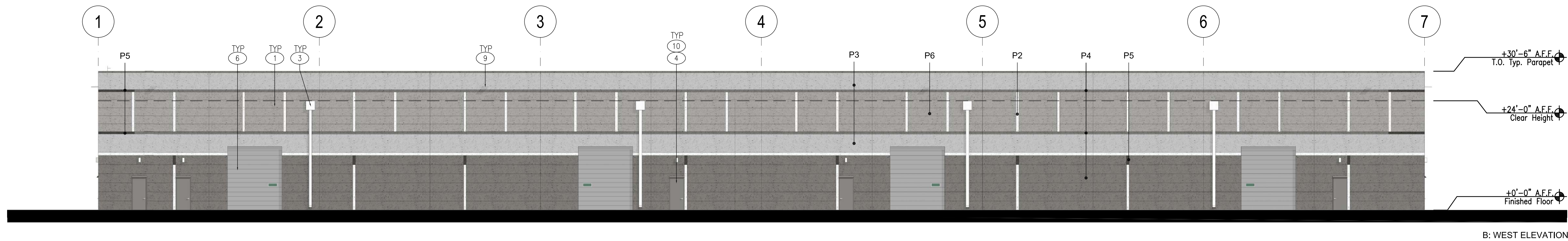
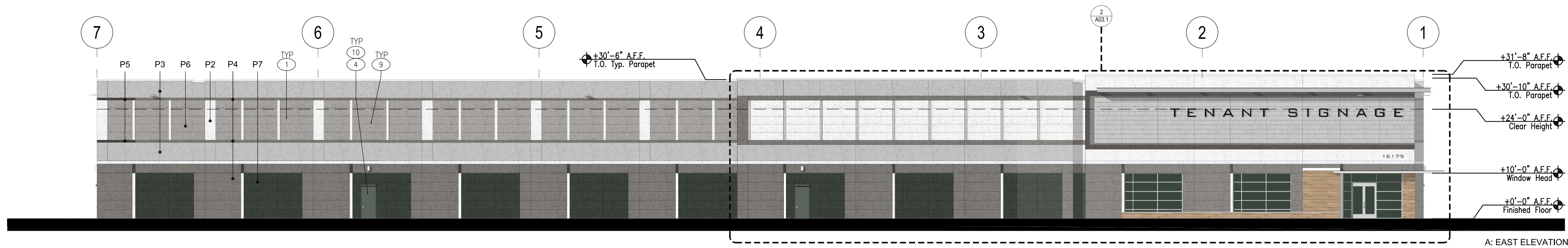
scale : AS NOTED

project number : 2234072

ROOF PLAN

sheet no. :

A02.2



KEYNOTES:	
① TYPICAL SITE CAST, CONCRETE TILT-UP PANELS WITH 3/4" REVEALS AND A MULTI COLOR COATING SYSTEM.	⑩ SURFACE MOUNTED EMERGENCY LIGHT FIXTURE CENTERED ABOVE DOOR, TYP. AT ALL EXTERIOR DOORS, SEE PHOTOMETRIC DRAWINGS.
② PAINTED STEEL ENTRY CANOPY	⑪ ENTRY PILASTER WITH WOOD FINISH
③ PAINTED METAL SURFACE MOUNTED SCUPPERS AND DOWNSPOUTS.	⑫ SEAT WALL WITH WOOD FINISH. TOP OF WALL +1'-6" A.F.F.
④ TYPICAL 3' X 7' STEEL MAN DOOR, WHERE DOORS ARE SHOWN AT GLAZING, DOORS TO BE STOREFRONT DOORS	⑬ DECORATIVE PAINTED STEEL FRAMING.
⑤ TYPICAL WINDOW SYSTEM: DUAL PANE GLAZING IN 2" X 4" (NOMINAL) THERMALLY BROKEN, CLEAR ANODIZED ALUMINUM FRAMES. GLAZING TO BE TINTED WITH LOW-E COATING. SEE FINISH SCHEDULE. STOREFRONT DOORS TO MATCH WINDOW SYSTEM.	
⑥ 12' X 14' GRADE LEVEL O.H. SECTIONAL ROLL UP DOOR	
⑦ TENANT SIGNAGE: UNDER SEPARATE PERMIT AT TIME OF TENANT IMPROVEMENTS	
⑧ ADDRESS SIGNAGE SHALL MEET BUILDING, FIRE AND SHERIFF DEPT REQUIREMENTS.	
⑨ SURFACE MOUNTED LIGHT FIXTURE. SEE PHOTOMETRIC DRAWINGS.	

0' 5'-4" 10'-8" 21'-4"
3/32" = 1'-0"
EXTERIOR ELEVATIONS
SCALE: 3/32" = 1'-0"

FINISH LEGEND:

P1: PAINT SHERWIN WILLIAMS SW7757 HIGH REFLECTIVE WHITE	P2: PAINT SHERWIN WILLIAMS SW7138 LAVENDER WISP
P3: PAINT SHERWIN WILLIAMS SW6254 LAZY GRAY	P4: PAINT SHERWIN WILLIAMS SW9574 HULETT ORE
P5: PAINT SHERWIN WILLIAMS SW6258 TRICORN BLACK	P6: PAINT SHERWIN WILLIAMS SW9563 BEDROCK
P7: PAINT SHERWIN WILLIAMS SW6216 JASPER	GL1: VITRO ARCHITECTURAL GLASS 'ATLANTICA' GREEN GLASS IN THERMALLY BROKEN CLEAR ANODIZED ALUMINUM FRAMES
WD1: WOOD VENEER	

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Roshni Saxena
Assistant Planner

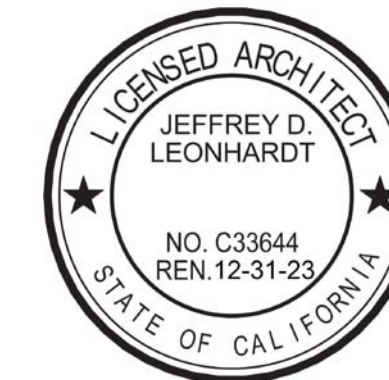
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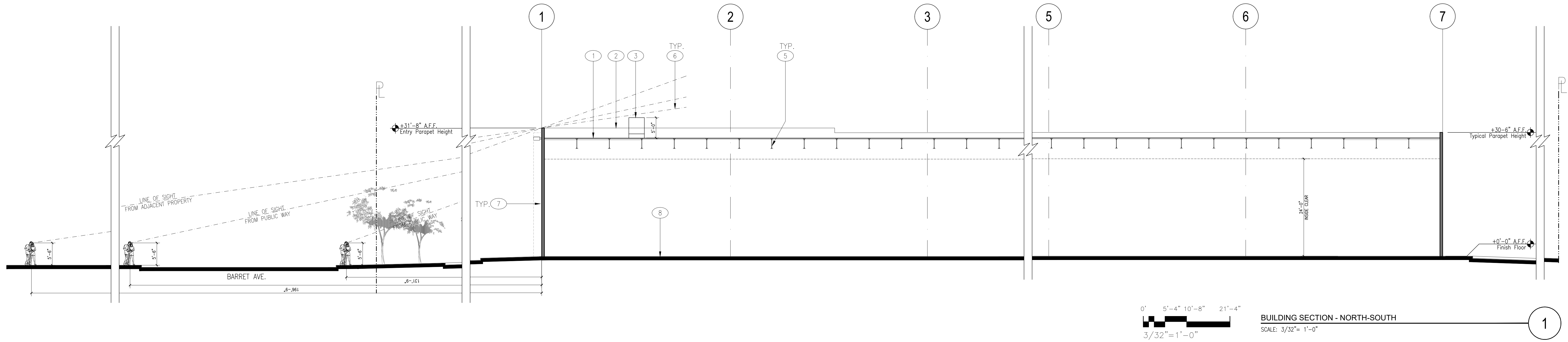
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**EXTERIOR
ELEVATIONS**

sheet no. :

A03.1



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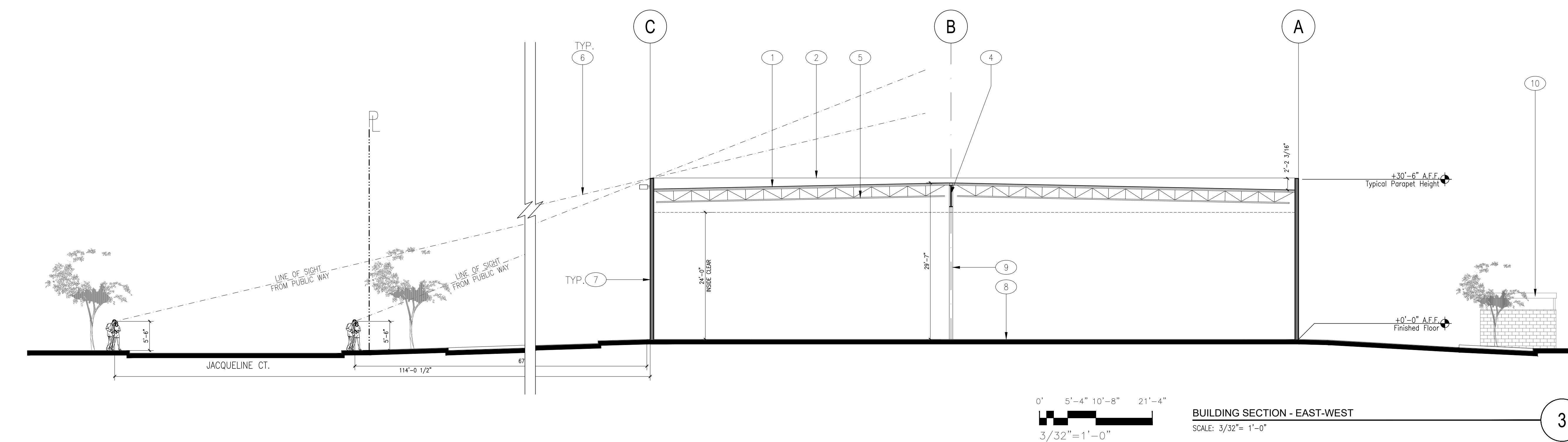
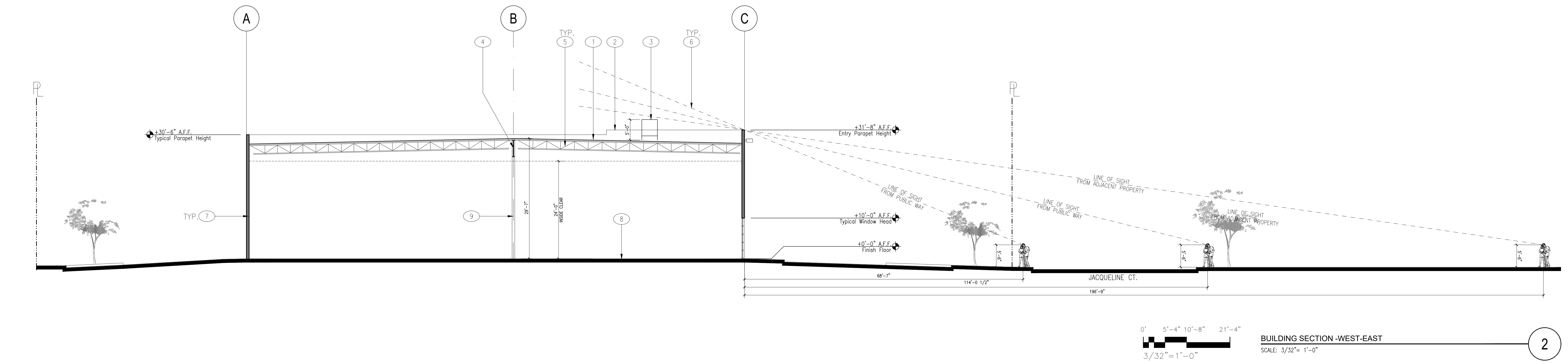
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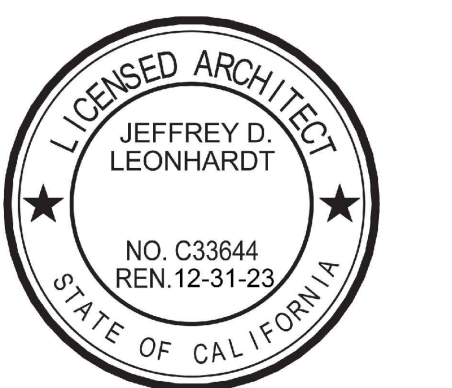
KEYNOTES:

- 1 TPD ROOFING MEMBRANE OVER STRUCTURAL SHEATHING AND FRAMING, SEE A02.2
- 2 LINE OF PARAPET BEYOND
- 3 POTENTIAL LOCATION OF FUTURE ROOF MOUNTED MECHANICAL EQUIPMENT.
- 4 ROOF GIRDERS.
- 5 ROOF TRUSSES.
- 6 LINE OF SIGHT FROM FROM THE ADJACENT PUBLIC WAY.
- 7 CONCRETE TILT-UP EXTERIOR WALLS, TYPICAL.
- 8 CONCRETE FLOOR SLAB AND FOOTING.
- 9 STRUCTURAL STEEL COLUMNS, TYPICAL.
- 10 TRASH ENCLOSURE. SEE DETAILS 1 & 2/A01.3.

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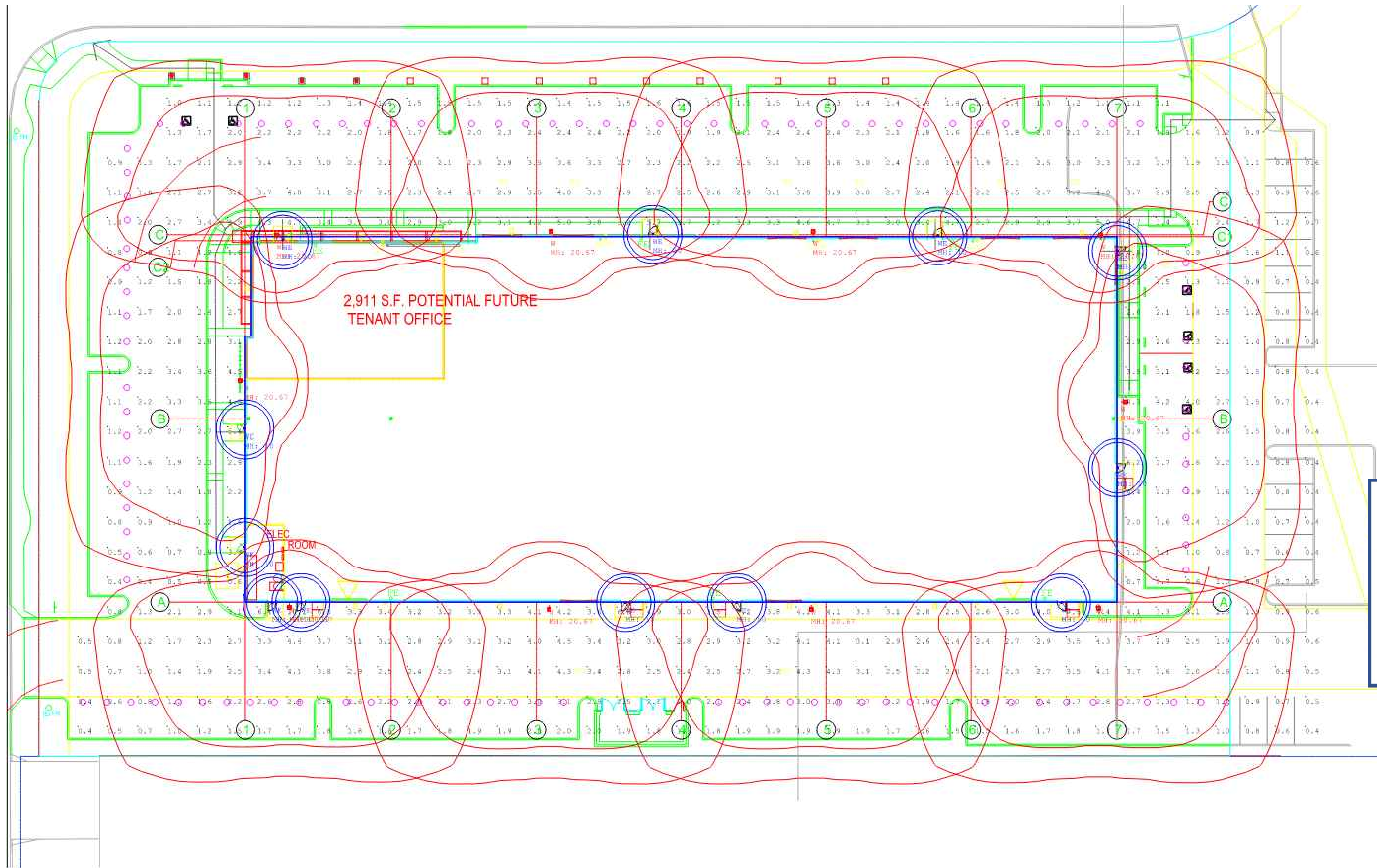
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**BUILDING
SECTIONS**

sheet no. :

A04.1



Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	LLD	LDD	BF	Description
	10	W	SINGLE	19431	0.900	1.000	0.900	1.000	PRV-PA2B-740-U-T4W
	12	WE	SINGLE	707	0.900	1.000	0.900	1.000	CORE WL-3_4_6-DIRECT-83CRI-70-SQUARE SX

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING LOT	Illuminance	Fc	2.28	10.1	0.4	5.70	25.25

All values shown are maintained horizontal Footcandles at grade level. The lighting calculations provided in this report approximate the light levels expected within the space as defined and are based on the information provided to Cal Lighting. Please verify the data to assure the accuracy of the report. Cal Lighting is not responsible for light output of lamps and ballasts, or design variables.



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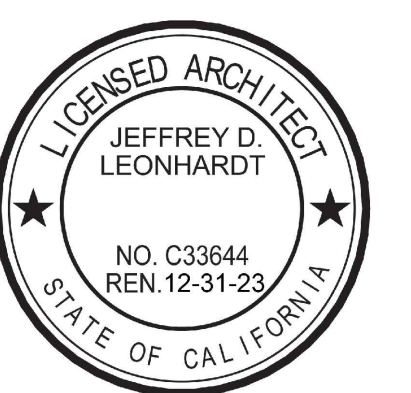
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PHOTOMETRIC
PLAN

sheet no. :

PH-1

PRELIMINARY PLANS

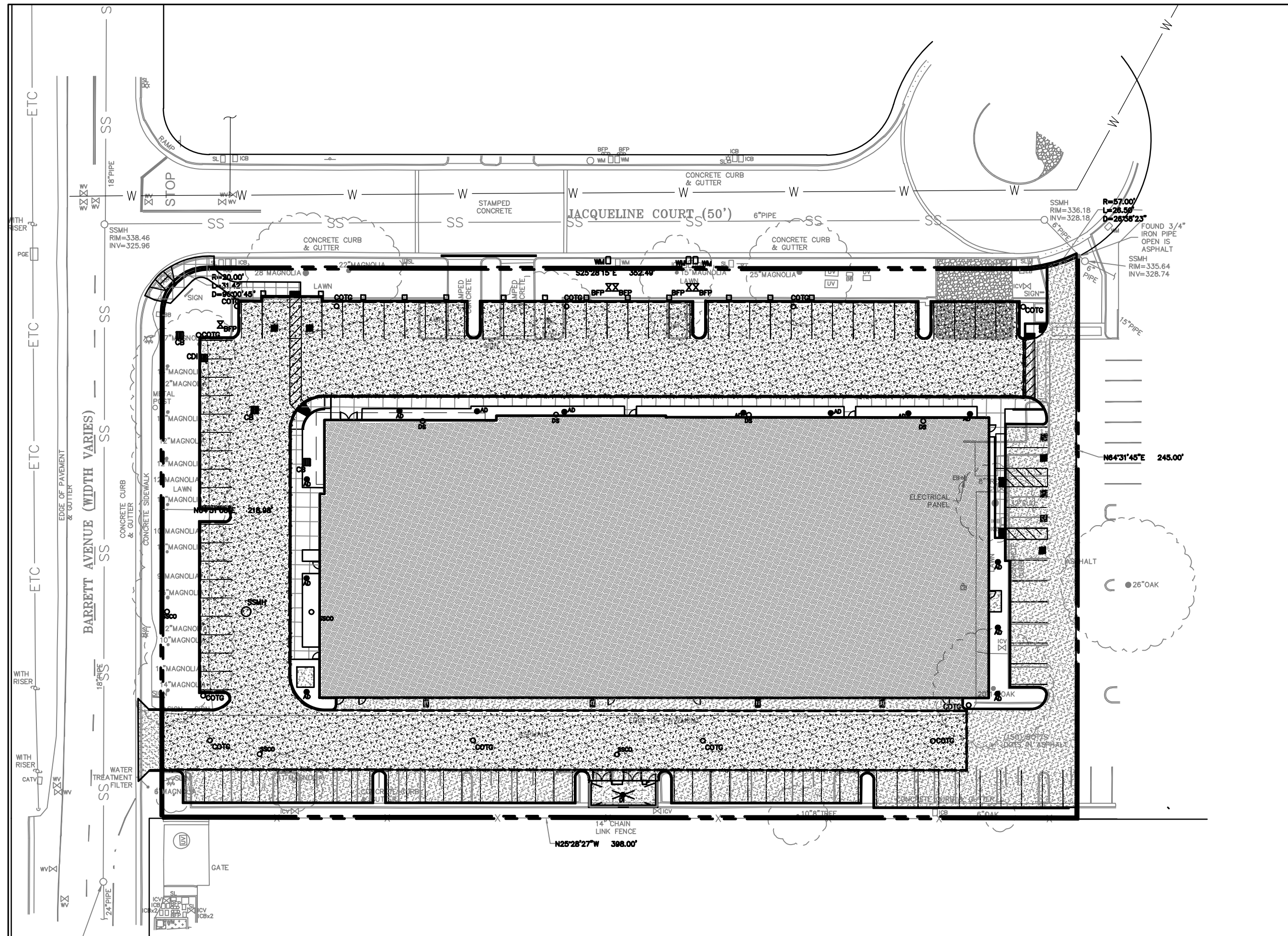
16175 JACQUELINE COURT

MORGAN HILL, CALIFORNIA

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	RETAINING WALL
---	---	LANDSCAPE RETAINING WALL
---	---	RAINWATER TIGHTLINE
---	---	SUBDRAIN LINE
---	---	TIGHTLINE
---	---	STORM DRAIN LINE
---	---	SANITARY SEWER LINE
---	---	WATER LINE
---	---	GAS LINE
---	---	STORM DRAIN PRESSURE LINE
---	---	SANITARY SEWER PRESSURE LINE
---	---	JOINT TRENCH
---	---	SET BACK LINE
---	---	CONCRETE VALLEY GUTTER
---	---	EARTHEN SWALE
---	---	CATCH BASIN
---	---	JUNCTION BOX
---	---	AREA DRAIN
---	---	CURB INLET
---	---	STORM DRAIN MANHOLE
---	---	FIRE HYDRANT
---	---	SANITARY SEWER MANHOLE
---	---	STREET SIGN
---	---	SPOT ELEVATION
---	---	FLOW DIRECTION
---	---	DEMOLISH/REMOVE
---	---	BENCHMARK
---	---	CONTOURS
---	---	TREE TO BE REMOVED
---	---	TREE PROTECTION FENCING

ABBREVIATIONS

AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	MAX	MAXIMUM
ACC	ACCESSIBLE	MH	MANHOLE
AD	AREA DRAIN	MIN	MINIMUM
BC	BEGINNING OF CURVE	MON.	MONUMENT
B & D	BEARING & DISTANCE	MRO	METERED RELEASE OUTLET
BM	BENCHMARK	(N)	NEW
BUB	BUBBLER BOX	NO.	NUMBER
BW/FG	BOTTOM OF WALL/FINISH GRADE	NOT TO SCALE	NOT TO SCALE
CB	CATCH BASIN	O.C.	OVER CENTER
C & G	CURB AND GUTTER	O/	OVER
C	CENTER LINE	(PA)	PLANTING AREA
CPP	CORRUGATED PLASTIC PIPE (SMOOTH INTERIOR)	PED	PEDESTRIAN
CO	CLEANOUT	PIV	POST INDICATOR VALVE
COTG	CLEANOUT TO GRADE	PSS	PUBLIC SERVICES EASEMENT
CONC	CONCRETE	R	PROPERTY LINE
CONST	CONSTRUCT or -TION	PP	POWER POLE
CONC COR	CONCRETE CORNER	PUE	PUBLIC UTILITY EASEMENT
CY	CUBIC YARD	PVC	POLYVINYL CHLORIDE
D	DIAMETER	R	RADIUS
DI	DROP INLET	RCR	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE	RIM	RIM ELEVATION
EA	EACH	RW	RAINWATER
EC	END OF CURVE	R/W	RIGHT OF WAY
EG	EXISTING GRADE	S	SLOPE
EL	ELEVATIONS	S.A.D.	SEE ARCHITECTURAL DRAWINGS
EP	EDGE OF PAVEMENT	SAN	SANITARY
EQ	EQUIPMENT	SD	STORM DRAIN
EW	EACH WAY	SDM	STORM DRAIN MANHOLE
(E)	EXISTING	SHT	SHEET
FC	FACE OF CURB	S.L.D.	SEE LANDSCAPE DRAWINGS
FF	FINISHED FLOOR	SPEC	SPECIFICATION
FG	FINISHED GRADE	SS	SANITARY SEWER
FH	FIRE HYDRANT	SSCO	SANITARY SEWER CLEANOUT
FL	FLOW LINE	SSMH	SANITARY SEWER MANHOLE
FS	FINISHED SURFACE	ST	STREET
GA	GAGE OR GAUGE	STA	STATION
GB	GRADE BREAK	STD	STANDARD
HDPE	HIGH DENSITY CORRUGATED POLYETHYLENE PIPE	STR	STRUCTURAL
HORIZ	HORIZONTAL	T	TELEPHONE
HI PT	HIGH POINT	TC	TOP OF CURB
H&T	HUB & TACK	TOW	TOP OF WALL
ID	INSIDE DIAMETER	TEMP	TEMPORARY
INV	INVERT ELEVATION	TP	TOP OF PAVEMENT
JB	JUNCTION BOX	TW/FG	TOP OF WALL/FINISH GRADE
JT	JOINT TRENCH	TYP	TYPICAL
JP	JOINT UTILITY POLE	VC	VERTICAL CURVE
L	LENGTH	VCP	VITRIFIED CLAY PIPE
LNDG	LANDING	VERT	VERTICAL
		W/	WITH
		W.W.	WATER LINE
		WM	WATER METER
		WWF	WELDED WIRE FABRIC



RETAINING WALL NOTES

- TW/FG REPRESENTS FINISHED EARTHEN GRADE OR PAVEMENT ELEVATION AT TOP OF WALL. NOT ACTUAL TOP OF WALL MATERIAL. BW/FG REPRESENTS FINISH EARTHEN GRADE OR PAVEMENT ELEVATION AT BOTTOM OF WALL. NOT INCLUDING FILL FOUNDATION. GRADES INDICATED ON THESE PLANS REFER TO THE FINISHED GRADES ADJACENT TO THE RETAINING WALL, NOT INCLUDING FOOTING, FREEBOARD, ETC.
- DIMENSIONS SHOWN IN BRACKETS SHOWN AS [X.X"] DENOTE THE EFFECTIVE WALL HEIGHT ONLY. THE ACTUAL WALL HEIGHT AND DEPTH MAY DIFFER DUE TO CONSTRUCTION REQUIREMENTS.
- REFER TO SPECIFIC WALL CONSTRUCTION DETAIL FOR STRUCTURAL ELEMENTS, FREEBOARD, AND EMBEDMENT.
- REFER TO ARCHITECTURAL, LANDSCAPE ARCHITECTURE, AND/OR STRUCTURAL PLANS FOR DETAILS, WALL ELEVATIONS, SUBDRAINAGE, WATERPROOFING, FINISHES, COLORS, STEEL REINFORCING, MATERIALS, ETC. PROVIDE CLIPS OR OTHER MEANS OF SECURING FINISH MATERIALS AS NECESSARY (WET SET INTO THE WALL).
- ALL RETAINING WALLS SHOULD HAVE A BACK-OF-WALL SUB-SURFACE DRAINAGE SYSTEM INCLUDING WEEPHOLES TO PREVENT HYDROSTATIC PRESSURE.
- SEE DETAIL SHEET FOR SPECIFIC INFORMATION.
- PROVIDE GUARDRAIL (WHERE APPLICABLE AND DESIGNED BY OTHERS) AS REQUIRED FOR GRADE SEPARATION OF 30 INCHES OR MORE MEASURED 5' HORIZONTALLY FROM FACE OF WALL, PER CBC.

ESTIMATED EARTHWORK QUANTITIES

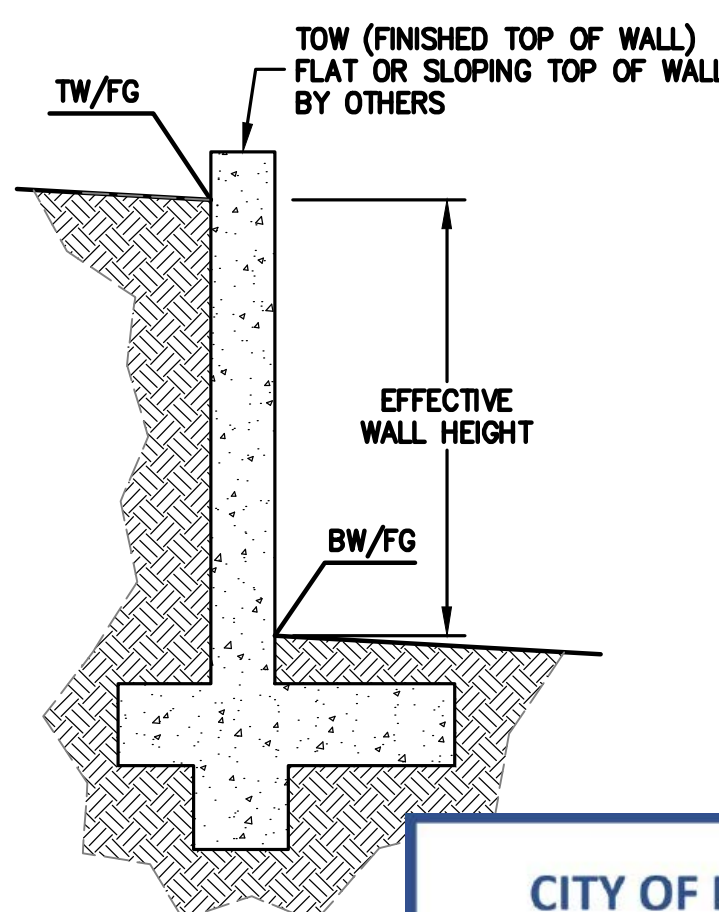
CUBIC YARDS	WITHIN BUILDING FOOTPRINT	OUTSIDE BUILDING FOOTPRINT	TOTAL CUBIC YARDS
CUT	780	1370	2150
FILL	0	20	20
EXPORT			2130

NOTE:

GRADING QUANTITIES REPRESENT BANK YARDAGE. IT DOES NOT INCLUDE ANY SWELLING OR SHRINKAGE FACTORS AND IS INTENDED TO REPRESENT IN-SITU CONDITIONS. QUANTITIES DO NOT INCLUDE OVER-EXCAVATION, TRENCHING, STRUCTURAL FOUNDATIONS OR PIERS, OR POOL EXCAVATION (IF ANY). NOTE ADDITIONAL EARTHWORKS, SUCH AS KEYWAYS OR BENCHING MAY BE REQUIRED BY THE GEOTECHNICAL ENGINEER IN THE FIELD AT TIME OF CONSTRUCTION. CONTRACTOR TO VERIFY QUANTITIES.

KEY MAP

1" = 40'



BENCHMARK

SANTA CLARA VALLEY WATER DISTRICT
BENCHMARK BM321
BRASS DISK ON TOP OF SIDEWALK;
3 FEET EAST OF WESTERLY CONCRETE
HEADWALL; AT THE NORTHWEST CORNER OF
800 MUNDSON AVENUE AND WEST LITTLE LLAGAS
CREEK; 300 FEET WEST FROM MONTEREY ROAD
ALONG NORTH SIDE EDMUNDSON AVENUE.
CITY OF MORGAN HILL
ELEVATION = 330.37
(NAVD 88 DATUM)

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

SITE BENCHMARK

SURVEY CONTROL POINT
MAG NAIL SET IN ASPHALT
ELEVATION = 337.99'
(NAVD 88 DATUM)

TREE NOTE

TREE SIZE, TYPE AND DRIP LINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.

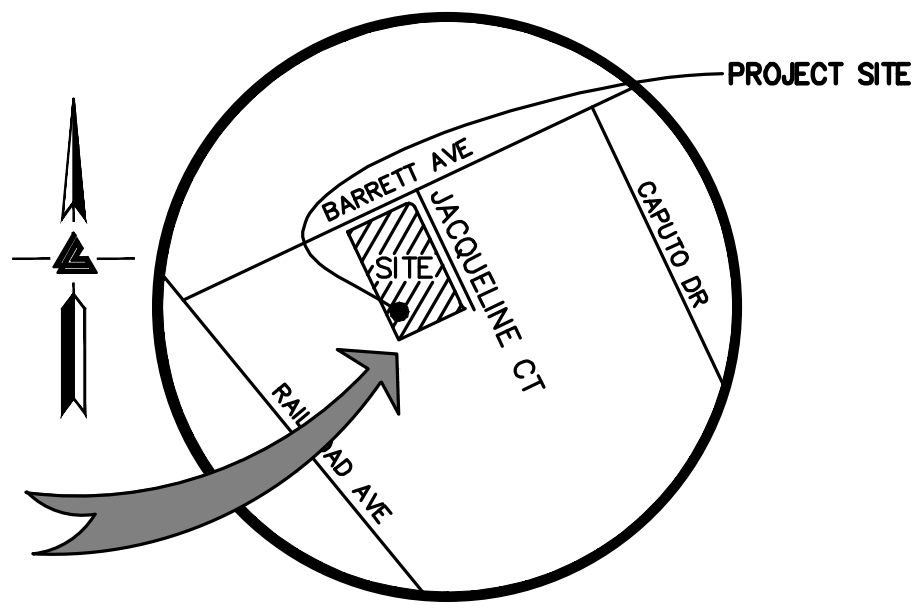


* BUILDING PAD NOTE:
ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

NOTE:
FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510) 887-4086 EXT 116.
aabaya@leabraz.com

VICINITY MAP

NTS



OWNER'S INFORMATION

OWNER: MARCH CAPITAL MANAGEMENT
16175 JACQUELINE COURT
MORGAN HILL, CA

APN: 817-32-058

REFERENCES

THIS GRADING AND DRAINAGE PLAN IS SUPPLEMENTAL TO:
1. TOPOGRAPHIC SURVEY BY LEA & BRAZE ENGINEERING, INC., ENTITLED:
"TOPOGRAPHIC SURVEY"
16175 JACQUELINE COURT
MORGAN HILL, CA
JOB# 2220957 SU

2. SITE PLAN BY ARC TEC ARCHITECTURAL TECHNOLOGIES ENTITLED:
"MARCH CAPITAL MANAGEMENT"
16175 JACQUELINE COURT
MORGAN HILL, CA

3. LANDSCAPE PLAN BY KLA, INC., ENTITLED
"16175 JACQUELINE COURT"
16175 JACQUELINE COURT
MORGAN HILL, CA

THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.

THE GROSS AREA OF THE SURVEYED LOT IS 95,076± SQUARE FEET / 2.18± ACRES

EASEMENT NOTE

EASEMENTS ARE SHOWN PER PRELIMINARY TITLE REPORT ISSUED BY FIRST AMERICAN TITLE COMPANY, ORDER NO. NCS-1051991-SC, DATED OCTOBER 28, 2021.

A RECIPROCAL INGRESS/EGRESS AND DRIVEWAY EASEMENT, RECORDED AS INSTRUMENT NUMBER 15297538, SANTA CLARA COUNTY RECORDS IS NOT SHOWN DUE TO PROXIMITY TO SUBJECT PROPERTY.

FEMA FLOOD NOTE

PROPERTY COMPLETELY OUT OF SPECIAL FLOOD HAZARD AREA (SFHA) PER CURRENT FLOOD INSURANCE RATE MAP.

SHEET INDEX

C-1.0	TITLE SHEET
C-2.0	PRELIMINARY GRADING & DRAINAGE PLAN
C-2.1	HORIZONTAL SITE SECTION
C-2.2	VERTICAL SITE SECTION
C-3.0	PRELIMINARY UTILITY PLAN
HYD-1	STORMWATER CONTROL PLAN
HYD-2	STORMWATER CONTROL PLAN



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS
REGIONAL OFFICES:
SAN JOSE
DUBLIN
HAYWARD
SAN JOSE
(510) 887-4086
WWW.LEABRAZE.COM

16175 JACQUELINE COURT
MORGAN HILL, CALIFORNIA

APN: 817-32-058

SANTA CLARA COUNTY

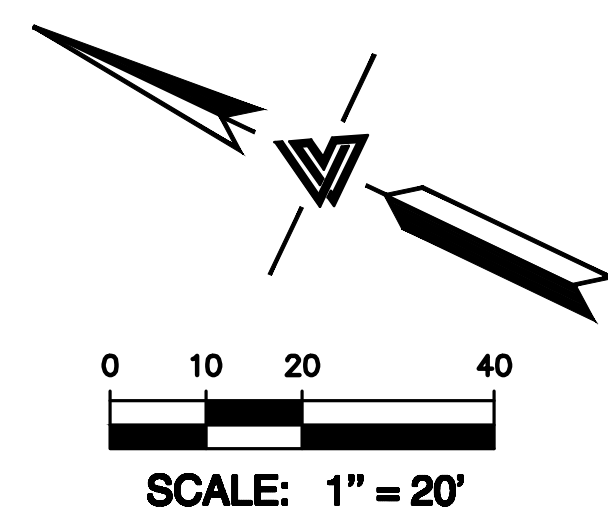
TITLE SHEET

PLAN CHECK #1	06-05-23	ZA
REVISIONS	BY	

JOB NO:	2222012
DATE:	12-07-22
SCALE:	AS NOTED
DESIGN BY:	ZA
CHECKED BY:	JH
SHEET NO:	

C-1.0

1 OF 7 SHEETS



The diagram illustrates five different pavement structures, each represented by a rectangular box with a unique internal pattern. To the right of each box is a label in parentheses followed by the structure name.

- (N) STRUCTURE:** A box filled with a dense, regular grid of small dots.
- (N) PERMEABLE ASPHALT:** A box filled with a dense, irregular pattern of small, dark, irregular shapes.
- (N) ASPHALT:** A box filled with a dense, irregular pattern of small, light-colored, irregular shapes.
- (N) CONCRETE PAVERS:** A box divided into a 3x3 grid of larger squares.
- (N) CONCRETE PAVING:** A box filled with a dense, irregular pattern of small, light-colored, irregular shapes.

**THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION**

ON 10/31/2023

SR2023-0003

FILE NUMBER

Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

NOTE:
FOR CONSTRUCTION STAKING
SCHEDULING OR QUOTATIONS
PLEASE CONTACT ALEX ABAYA
AT LEA & BRAZE ENGINEERING
(510)887-4086 EXT 116.
aabaya@leabraz.com

*** BUILDING PAD NOTE:**
ADJUST PAD LEVEL AS
REQUIRED. REFER TO
STRUCTURAL PLANS
FOR SLAB SECTION OR
CRAWL SPACE DEPTH
TO ESTABLISH PAD
LEVEL.



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS | LAND SURVEYORS

REGIONAL OFFICES:
ROSEVILLE
DUBLIN
SAN JOSE


MAIN OFFICE:
24295 INDUSTRIAL PKWY WEST
HAYWARD, CALIFORNIA 94545
(510) 887-4096

APN: 817-32-058

SANTA CLARA COUNTY

16175 JACQUELINE COURT
MORGAN HILL, CALIFORNIA

PRELIMINARY GRADING & DRAINAGE PLAN

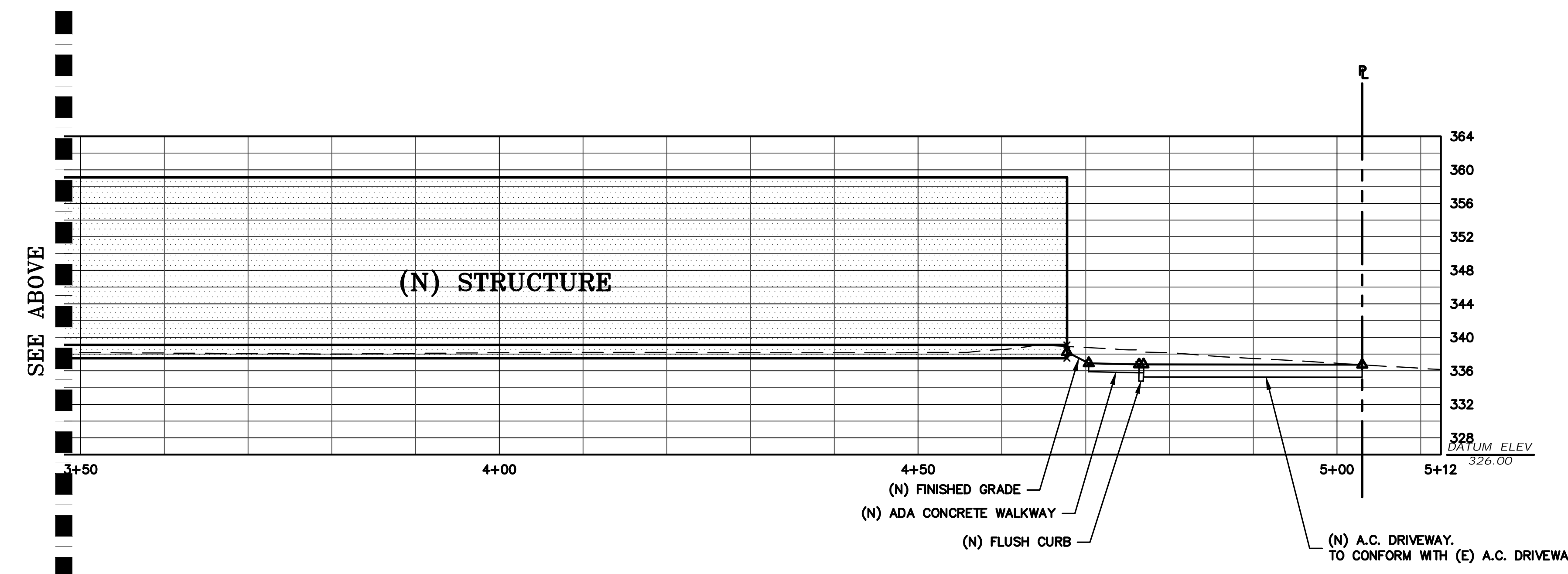
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REVISIONS	B'
JOB NO: 2222012	
DATE: 12-07-21	
SCALE: AS NOTED	
DESIGN BY: ZA	
CHECKED BY: JH	
SHEET NO:	

C-2.0



16175 JACQUELINE COURT
MORGAN HILL, CALIFORNIA

HORIZONTAL SITE SECTION



CITY OF MORGAN HILL

PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 10/31/2023


SR2023-0003

FILE NUMBER

Roshni Saxena
Assistant Planner



PLANNING OFFICIAL

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	PLAN CHECK 06-05-23 #1	ZA
REVISIONS		BY
JOB NO:		2222012
DATE:		12-07-22
SCALE:		AS NOTED
DESIGN BY:		ZA
CHECKED BY:		JH
SHEET NO:		

CITY OF MORGAN HILL

PLAN APPROVED

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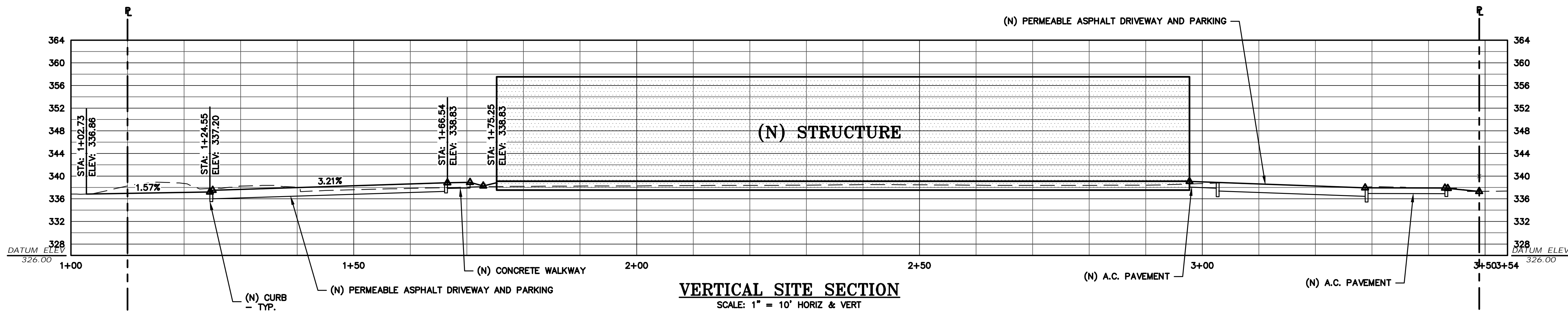
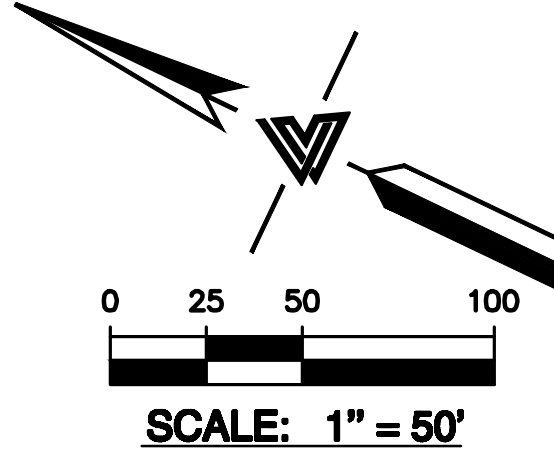
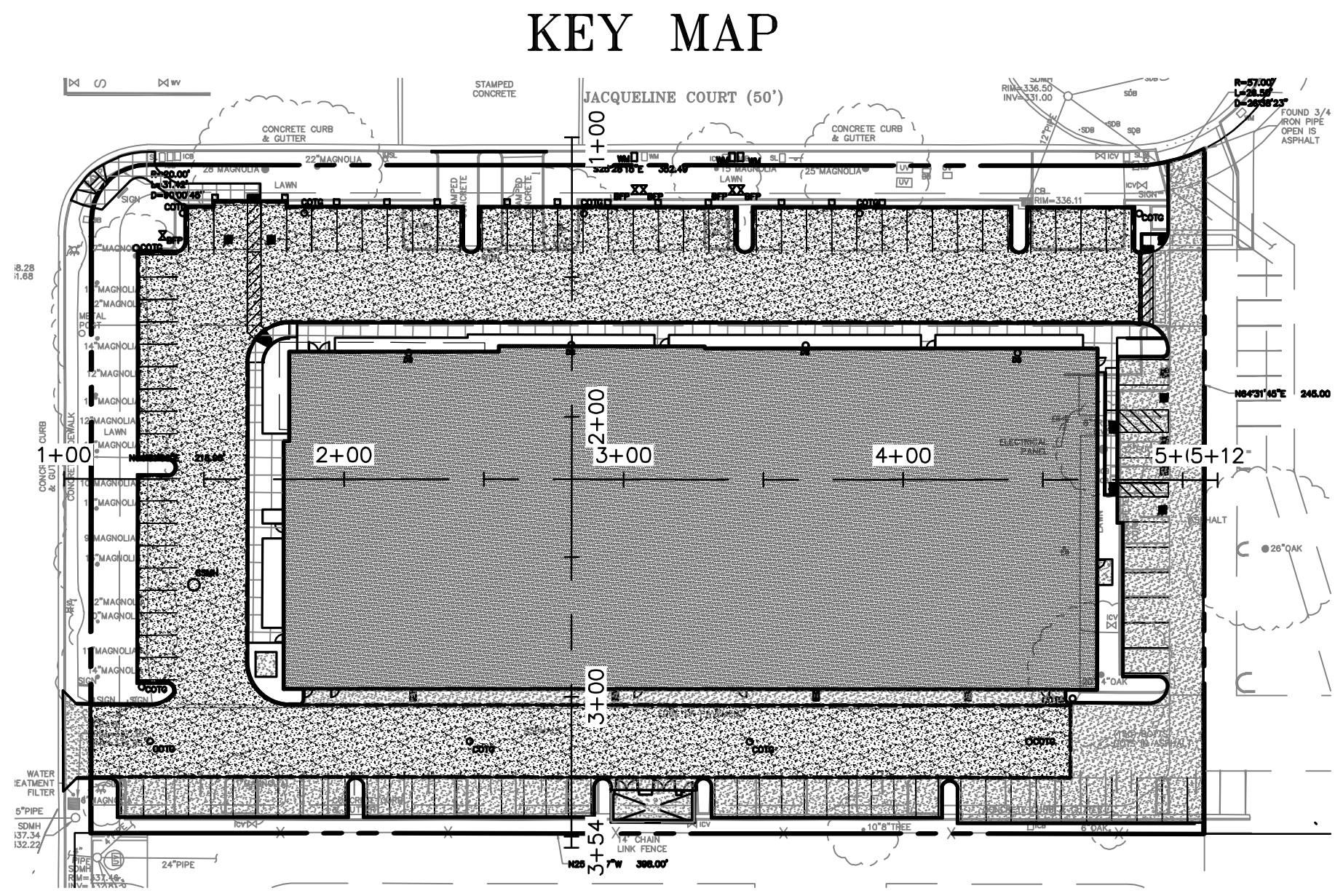
ON 10/31/2023

SR2023-0003

FILE NUMBER

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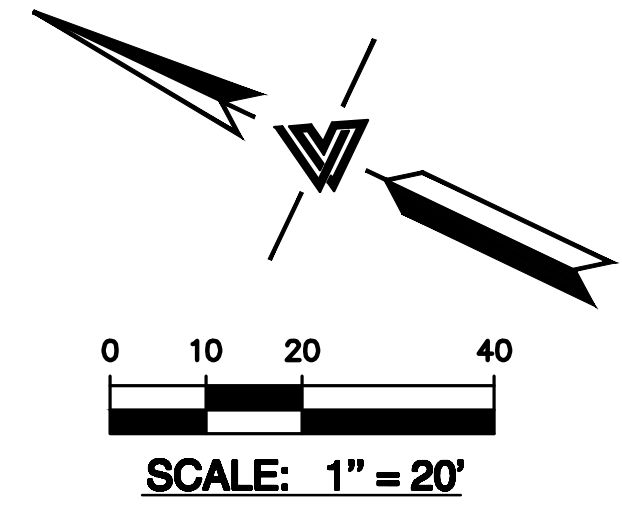
PLANNING OFFICIAL



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS
REGIONAL OFFICES:
DUBLIN, CALIFORNIA 94568
SAN JOSE, CALIFORNIA 95128
(510) 887-4086
WWW.LEABRAZE.COM

16175 JACQUELINE COURT
MORGAN HILL, CALIFORNIA
SANTA CLARA COUNTY
APN: 817-32-058

VERTICAL SITE SECTION	
PLAN CHECK #1	ZA
REVISIONS	BY
JOB NO:	2222012
DATE:	12-07-22
SCALE:	AS NOTED
DESIGN BY:	ZA
CHECKED BY:	JH
SHEET NO:	
C-2.2	
4 OF 7 SHEETS	



HATCH LEGEND

- (N) STRUCTURE
 - (N) PERMEABLE ASPHALT
 - (N) ASPHALT
 - (N) CONCRETE PAVERS
 - (N) CONCRETE PAVING

CITY OF MORGAN HILL
PLAN APPROVED

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PLAN CHECK #1	ZA
REVISIONS	BY

JOB NO: 2222012

DATE: 11-22-22

SCALE: AS NOTED

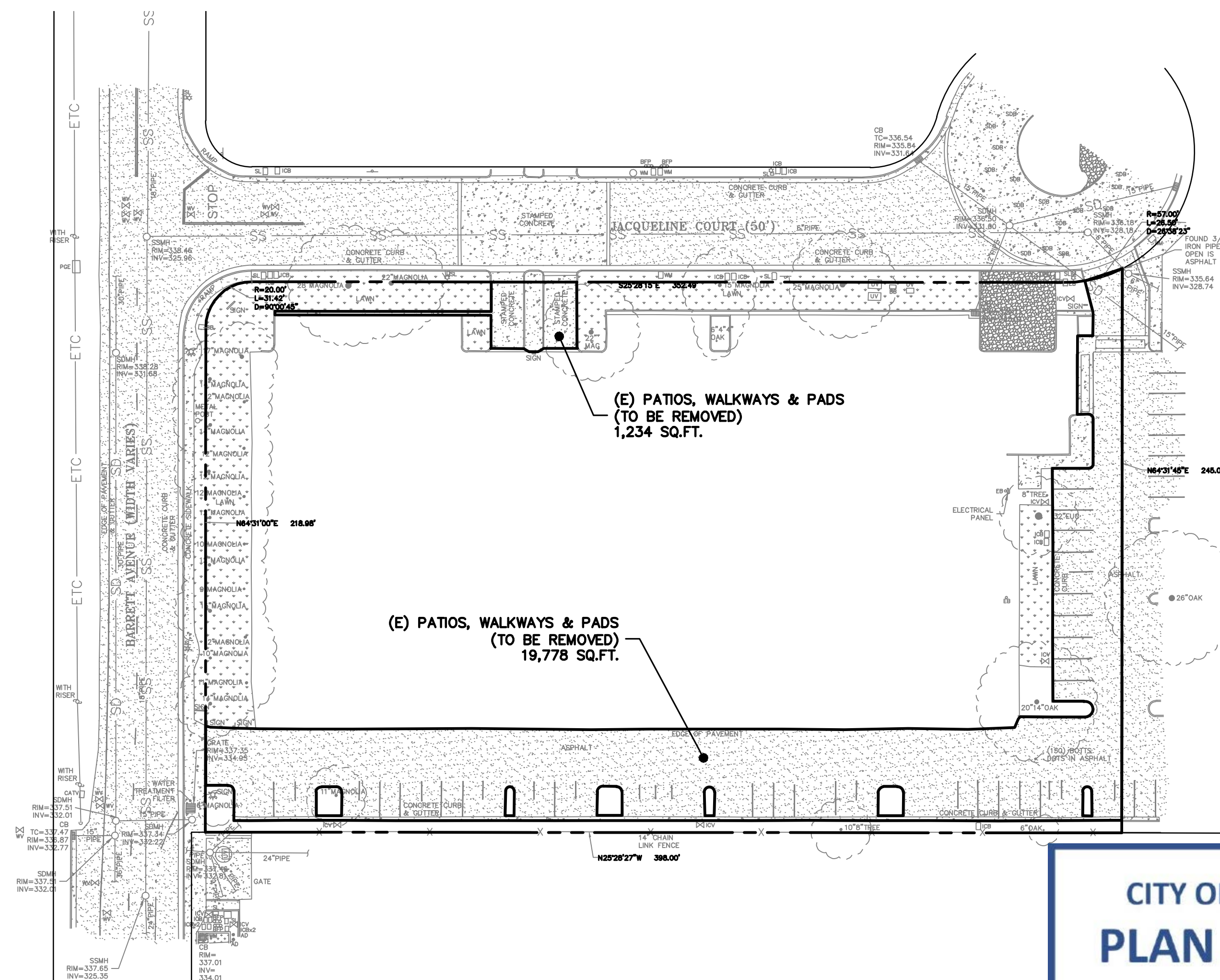
DESIGN BY: ZA

CHECKED BY: JH

SHEET NO:

HYD-1

6 OF 2 SHEETS



EXISTING

SITE DEVELOPMENT AREA SUMMARY TABLE (CIPS)				
2.A. ENTER THE PROJECT PHASE NUMBER (1, 2, 3 ETC. OR N/A IF NOT APPLICABLE)				N/A
2.B. TOTAL AREA OF THE SITE (ACRES)				2.183
2.C. TOTAL AREA OF SITE THAT WILL BE DISTURBED (ACRES)				2.183
COMPARISON OF IMPERVIOUS AND PERVIOUS SURFACES AT PROJECT SITE				
2.D. IMPERVIOUS SURFACES – IA	PRE-PROJECT EXISTING IA (SQ FT)	EXISTING IA RETAIN AS-IS (SQ FT)	EXISTING IA REPLACED WITH IA (SQ FT)	
SITE TOTALS				
TOTAL IA	d.1 21,012	d.2 0	d.3 0	
TOTAL NEW & REPLACED IA			d.6. (d.3+d.4) 50,725	
PUBLIC STREET TOTALS				
TOTAL PUBLIC STREETS IA	d.8 0	d.9 0	d.10 0	
TOTAL NEW & REPLACED PUBLIC STREETS IA			d.13 (d.10+d.11) 0	
TOTAL SITE & PUBLIC STREETS IA	d.14 (d.1+d.8) 0			
	REPLACEMENT OF IA REDEVELOPMENT PROJECTS (d.3/d.1)x100:			
2.E PERVIOUS AREAS – PA	PRE-PROJECT EXISTING PA (SQ FT)			
TOTAL PA	e.1 74,064			
2.F TOTAL AREA (IA + PA)	f.1 (d.14+e.1) 95,076			

CITY OF MORGAN HILL PLAN APPROVED

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ON 10/31/2023

SR2023-0003

FILE NUMBER

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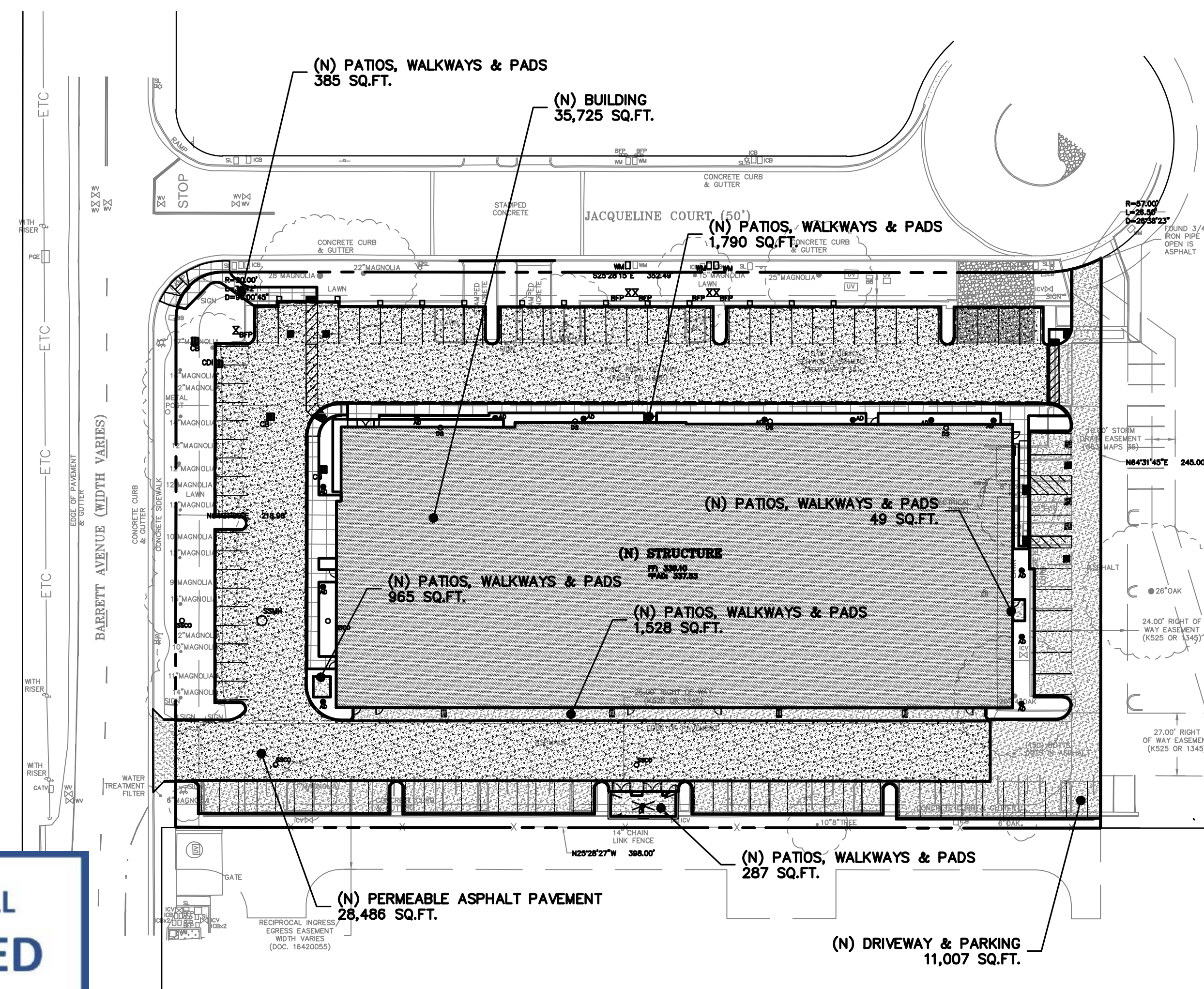
PLANNING OFFICIAL

MEASURES:

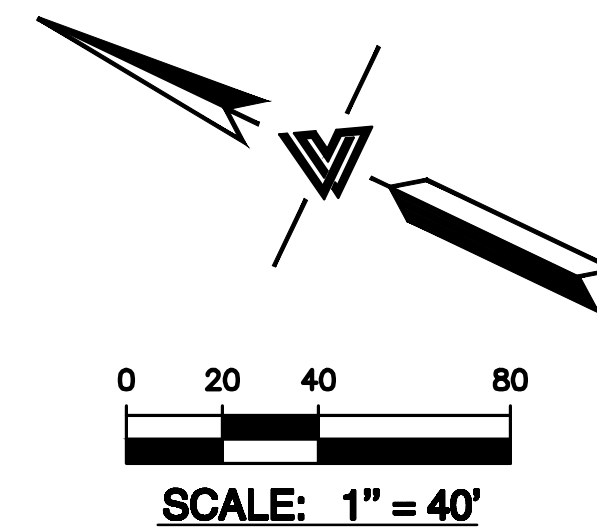
- CONNECT THE FOLLOWING FEATURES TO SANITARY SEWER:
 - COVERED TRASH/ RECYCLING ENCLOSURES.
 - INTERIOR PARKING STRUCTURES.
 - WASH AREA/ RACKS.
 - POOLS, SPAS, FOUNTAINS.
 - COVERED LOADING DOCKS AND MAINTENANCE BAYS.
 - PUMPED GROUNDWATER.
- BENEFICIAL LANDSCAPING.
- USE OF WATER EFFICIENT IRRIGATION SYSTEMS.
- MAINTENANCE (PAVEMENT SWEEPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING).
- STORM DRAIN LABELING.
- OTHER:

SITE DESIGN MEASURES:

- PROTECT EXISTING TREES, VEGETATION, AND SOIL.
- PRESERVE OPEN SPACE AND NATURAL DRAINAGE PATTERNS.
- REDUCE EXISTING IMPERVIOUS SURFACES.
- CREATE NEW PERVIOUS AREAS:
- LANDSCAPING
 - PARKING STALLS.
 - WALKWAYS AND PATIOS.
 - EMERGENCY VEHICLE ACCESS.
 - PRIVATE STREETS AND SIDEWALKS.
- DIRECT RUNOFF FROM ROOFS, SIDEWALKS, PATIOS TO LANDSCAPED AREAS.
- CLUSTER STRUCTURES/PAVEMENT.
- PLANT TREES ADJACENT TO AND IN PARKING AREAS AND ADJACENT TO OTHER IMPERVIOUS AREAS.
- PARKING:
 - ON TOP OF OR UNDER BUILDINGS.
 - NOT PROVIDED IN EXCESS OF CODE.



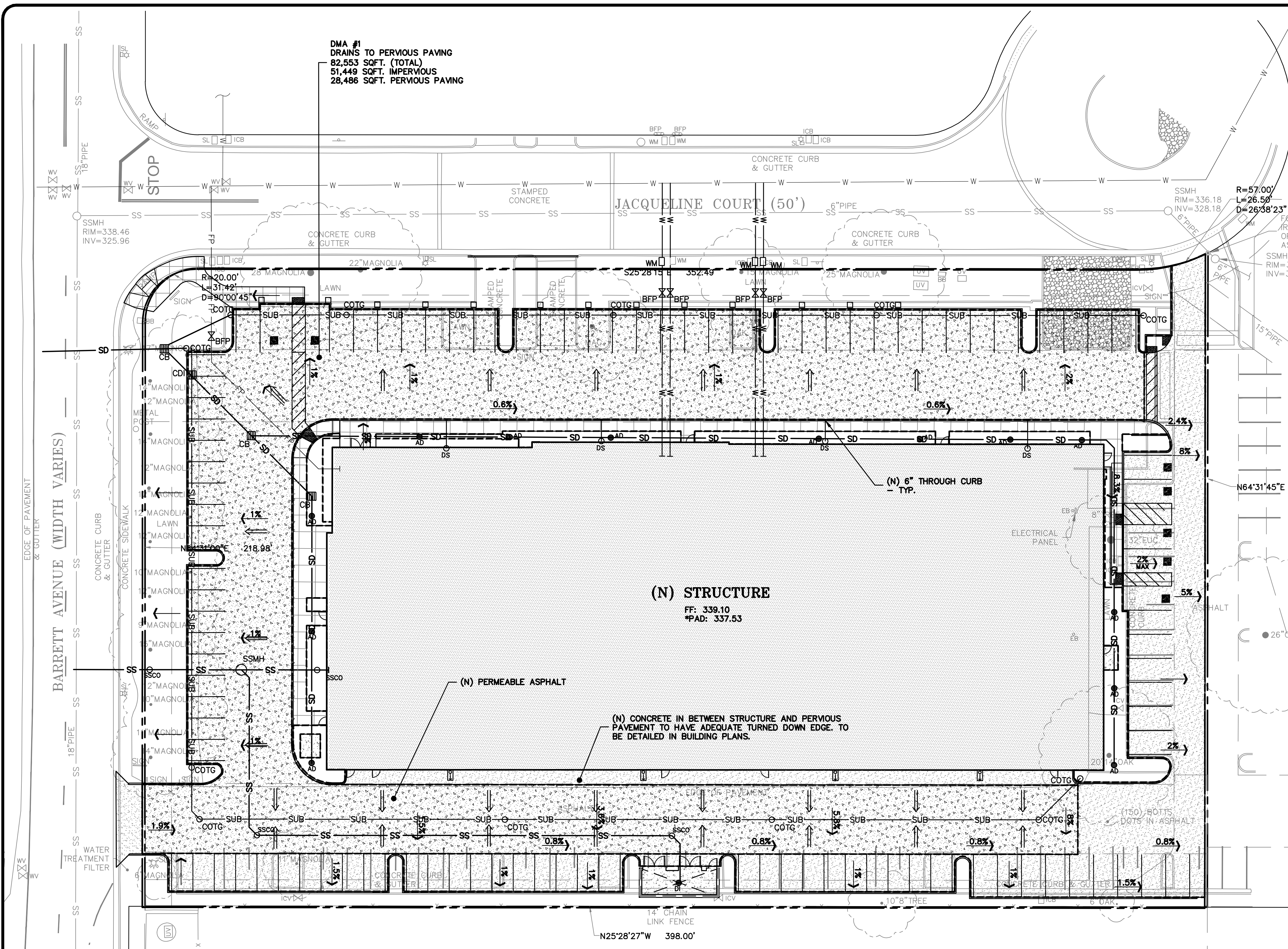
PROPOSED



STANDARD STORMWATER CONTROL NOTES:

- STANDING WATER SHALL NOT REMAIN IN THE TREATMENT MEASURES FOR MORE THAN FIVE DAYS. TO PREVENT MOSQUITO GENERATION. SHOULD ANY MOSQUITO ISSUES ARISE, CONTACT THE SANTA CLARA VALLEY VECTOR CONTROL DISTRICT (DISTRICT). MOSQUITO LARVICIDES SHALL BE APPLIED ONLY WHEN ABSOLUTELY NECESSARY, AS INDICATED BY THE DISTRICT, AND THEN ONLY BY A LICENSED PROFESSIONAL OR CONTRACTOR. CONTACT INFORMATION FOR THE DISTRICT IS PROVIDED BELOW.
- DO NOT USE PESTICIDES OR OTHER CHEMICAL APPLICATIONS TO TREAT DISEASED PLANTS. CONTROL WEEDS OR REMOVE UNWANTED GROWTH. EMPLOY NON-CHEMICAL CONTROLS (BIOLOGICAL, PHYSICAL AND CULTURAL CONTROLS) TO TREAT A PEST PROBLEM. PRUNE PLANTS PROPERLY AND AT THE APPROPRIATE TIME OF YEAR. PROVIDE ADEQUATE IRRIGATION FOR LANDSCAPE PLANTS. DO NOT OVER WATER.

ONSITE IMPERVIOUS SURFACE INFORMATION				
TOTAL SITE AREA =	95,076 SQUARE FEET = 2.183 ACRES			
IMPERVIOUS AND PERVIOUS PAVEMENT AREAS=	80,222 SQUARE FEET = 1.842 ACRES			
DISTURBED AREA =	95,076 SQUARE FEET = 2.183 ACRES			
IMPERVIOUS AREAS	EXISTING (sq-ft.)	REMOVED (sq-ft.)	NEW (sq-ft.)	PROPOSED (sq-ft.)
RESIDENCE	0	0	35,725	35,725
DRIVEWAY AND PARKING	19,778	19,778	11,007	11,007
PATIOS, WALKWAYS AND PADS	1,234	1,234	5,004	5,004
MISC.	0	0	0	0
TOTAL IMPERVIOUS AREA	21,012	21,012	51,736	51,736
SEMI-PERVIOUS AREAS				
PERMEABLE ASPHALT PAVEMENT	0	0	28,486	28,486
TOTAL SEMI-PERVIOUS AREA	0	0	28,486	28,486
TOTAL DEVELOPED AREA	21,012	21,012	80,222	80,222
NET CHANGE IN DEVELOPED AREA	+59,210 SQ.FT. NET INCREASE			
TOTAL PERVIOUS PAVEMENT	28,486			
TOTAL IMPERVIOUS PAVEMENT	51,736			
HALF OF TOTAL IMPERVIOUS PAVEMENT	25,868			
PERVIOUS > HALF OF TOTAL IMPERVIOUS PAVEMENT?	Yes			



DMA #1
DRAINS TO PERVIOUS PAVING
82,553 SQFT. (TOTAL)
51,449 SQFT. IMPERVIOUS
28,486 SQFT. PERVIOUS PAVING

SIZING FOR VOLUME BASED TREATMENT

DMA #	1
A=	80086 s.f.
Impervious Area =	51736 s.f.
Pervious Pavement Area =	28350 s.f.
MAPsite =	21
MAPgage =	19.5
P6(gage) =	0.76
Correction Factor =	1.0769
P6(site) =	P6(gage) x Correction Factor
P6(site) =	0.8185 in
Cw=	0.8581/3 - 0.7812 + 0.7741 + 0.04
Determine Watershed Runoff Coefficient	
Regression Factor (a)	a = 1.963 (48 hour draw down)
Po = a x Cw x P6(site)	
Po =	0.7163 in.
Design Volume =	Po x A x 1ft/12in
Design Volume =	4780.1 ft^3

SELF RETAINING (PERVIOUS PAVEMENT)

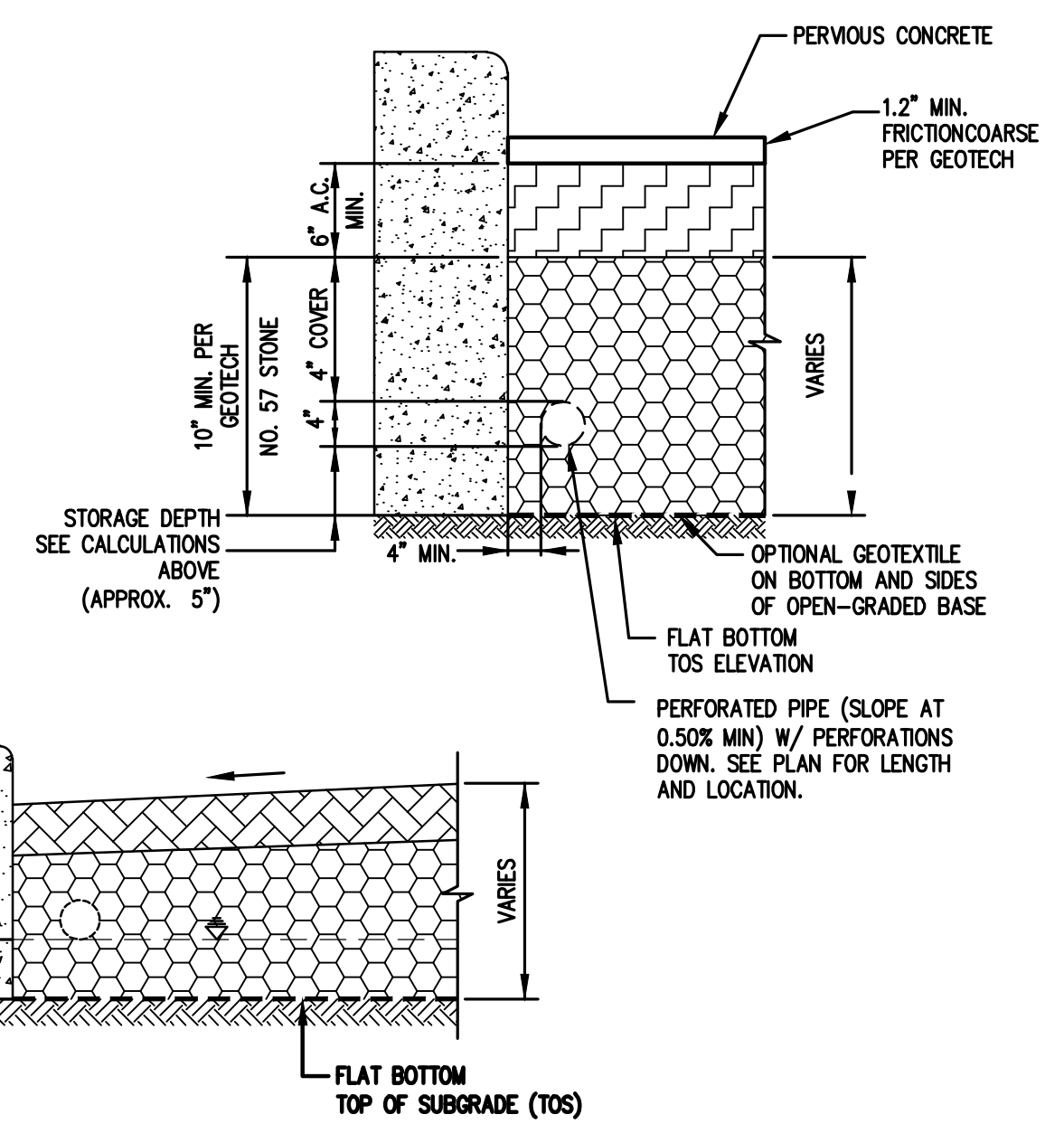
Porosity of Rock*	Min. Storage Depth Required (in)	Perviousness**
0.40	5.06	Yes

Minimum Storage Depth = Design Volume (c.f.) / Pervious Pavement Area (s.f.) / rock

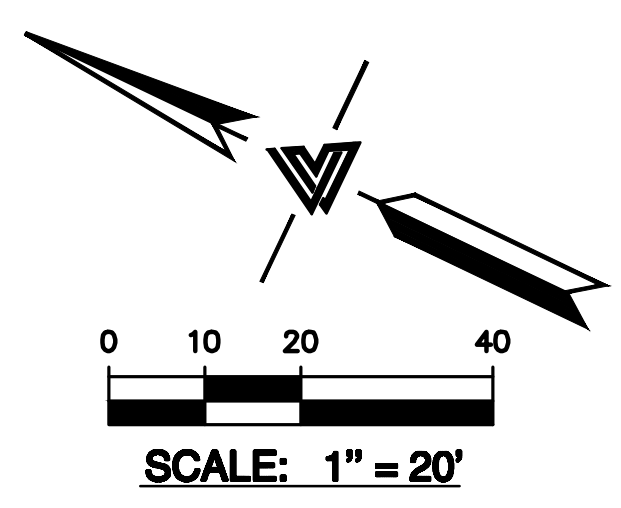
* Porosity of Class II Permeable = 0.4 based on SCVURPPP training.
** If value = "No" increase size of pervious pavement.

PERVIOUS CONCRETE REQUIREMENTS
CONTRACTOR OR PERMITEE SHALL:

- PROVIDE CERTIFICATION FROM THE CONCRETE MANUFACTURER THAT THE CONCRETE MEETS THE REQUIREMENTS OF THE C3 STORMWATER HANDBOOK FOR PERVIOUS PAVERS. THIS INCLUDES, BUT IS NOT LIMITED TO, HAVING A MINIMUM SURFACE INFILTRATION RATE OF 100"/HR WHEN TESTED IN ACCORDANCE WITH ASTM C1701.
- ONLY CONTRACTORS HOLDING CERTIFICATION OF COMPLETION FROM THE NATIONAL READY MIX CONCRETE ASSOCIATION (NRMA) SHALL INSTALL THE CONCRETE AND AT LEAST ONE FOREMAN WITH THIS CERTIFICATION MUST BE ON THE JOB SITE AT ALL TIMES DURING CONCRETE INSTALLATION.
- PROTECT THE EXCAVATED AREA FOR FROM EXCESSIVE COMPACTION DUE TO CONSTRUCTION TRAFFIC AND PROTECT THE FINISHED PAVEMENT FROM CONSTRUCTION TRAFFIC.



PERVIOUS ASPHALT CONCRETE (AC) WITH VERTICAL CURB & SUBDRAIN
NTS



TREATMENT CONTROL MEASURE SUMMARY TABLE									
DMA #	TCM #	Location	Treatment Type	LID or Non-LID	Sizing Method	Drainage Area (s.f.)	Impervious Area (s.f.)	Pervious Area (Permeable Pavement) (s.f.)	% Onsite Area Treated by LID or Non-LID TCM
1	1	Onsite	Pervious pavement w/ underdrain	LID	1B. Volume	82,484	51,736	28,486	0
Totals:						82,484	51,736	28,486	0

**CITY OF MORGAN HILL
PLAN APPROVED**

**THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION**

ON 10/31/2023

SR2023-0003

FILE NUMBER

Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS
REGIONAL OFFICES:
MAIN OFFICE: 16175 JACQUELINE COURT, MORGAN HILL, CALIFORNIA 95056
SAN JOSE OFFICE: 1000 AVENUE 86, SAN JOSE, CALIFORNIA 95128
(510) 887-4086
WWW.LEABRAZE.COM

**16175 JACQUELINE COURT
MORGAN HILL, CALIFORNIA**

**STORMWATER
CONTROL PLAN**

PLAN CHECK #1	03-28-23	ZA
REVISIONS		BY

JOB NO:	2222012
DATE:	11-22-22
SCALE:	AS NOTED
DESIGN BY:	ZA
CHECKED BY:	JH
SHEET NO:	

HYD-2
7 OF 2 SHEETS

CITY OF MORGAN HILL PLAN APPROVED

THIS PLAN WAS APPROVED BY THE PLANNING DIVISION

ON 10/31/2023

SR2023-0003

FILE NUMBER

Roshni Saxena Assistant Planner

PLANNING OFFICIAL

GENERAL CONSULTANT:

KLA LANDSCAPE ARCHITECTURE PLANNING KLA, Inc. 151 N. Norlin St., Sonoma Co. 95370 (209)532-2856 www.kla-ca.com

drawn by : NAB plot date : KLA 22-2488

checked by : TWH

stamp



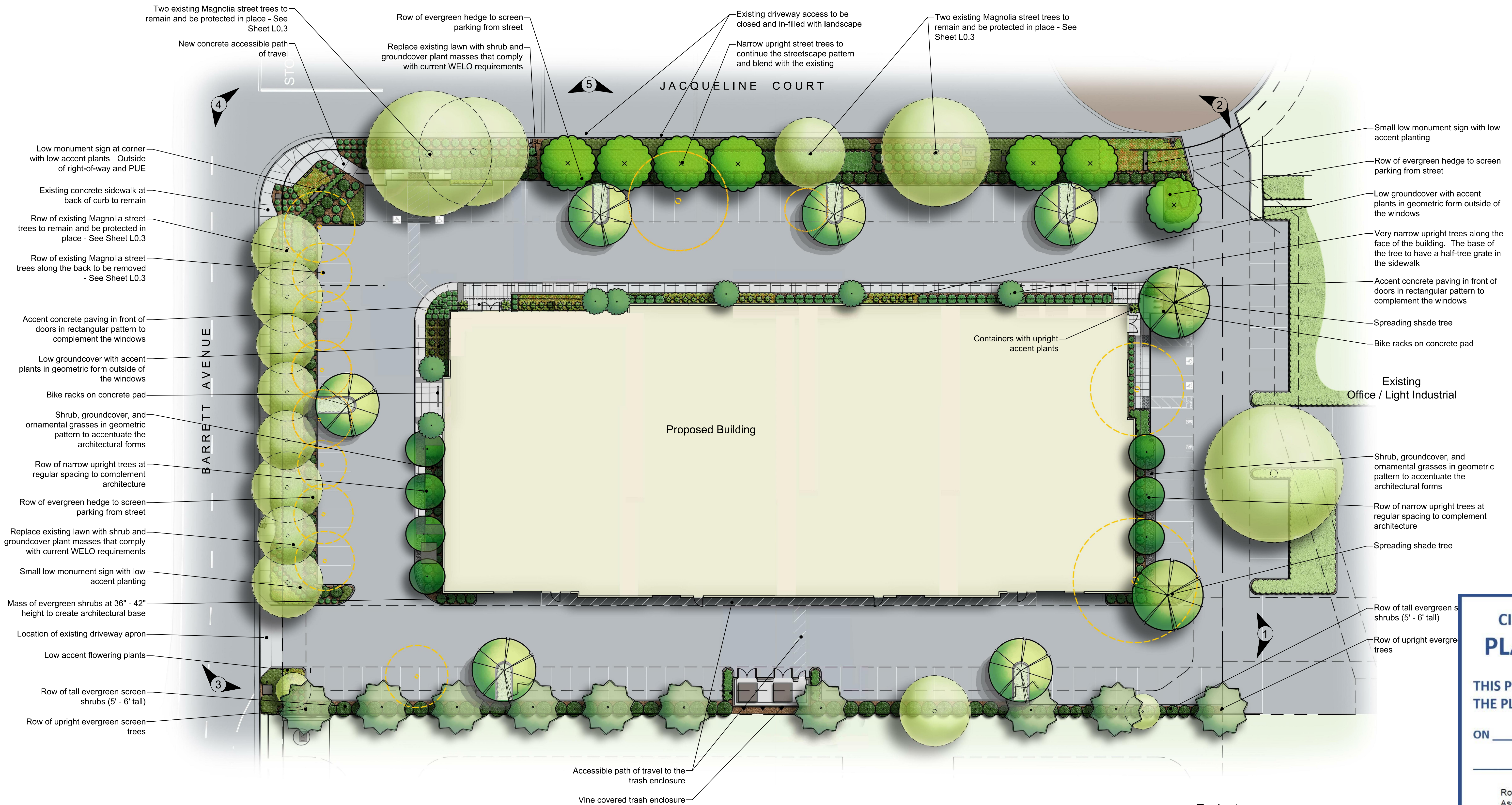
scale : AS NOTED

project number : 2234072

Preliminary Landscape Plan

sheet no. :

L0.1



Existing Site Photos



① SouthWest Corner



② SouthEast Corner



③ NorthWest Corner



④ NorthEast Corner



⑤ Jacqueline Court looking west

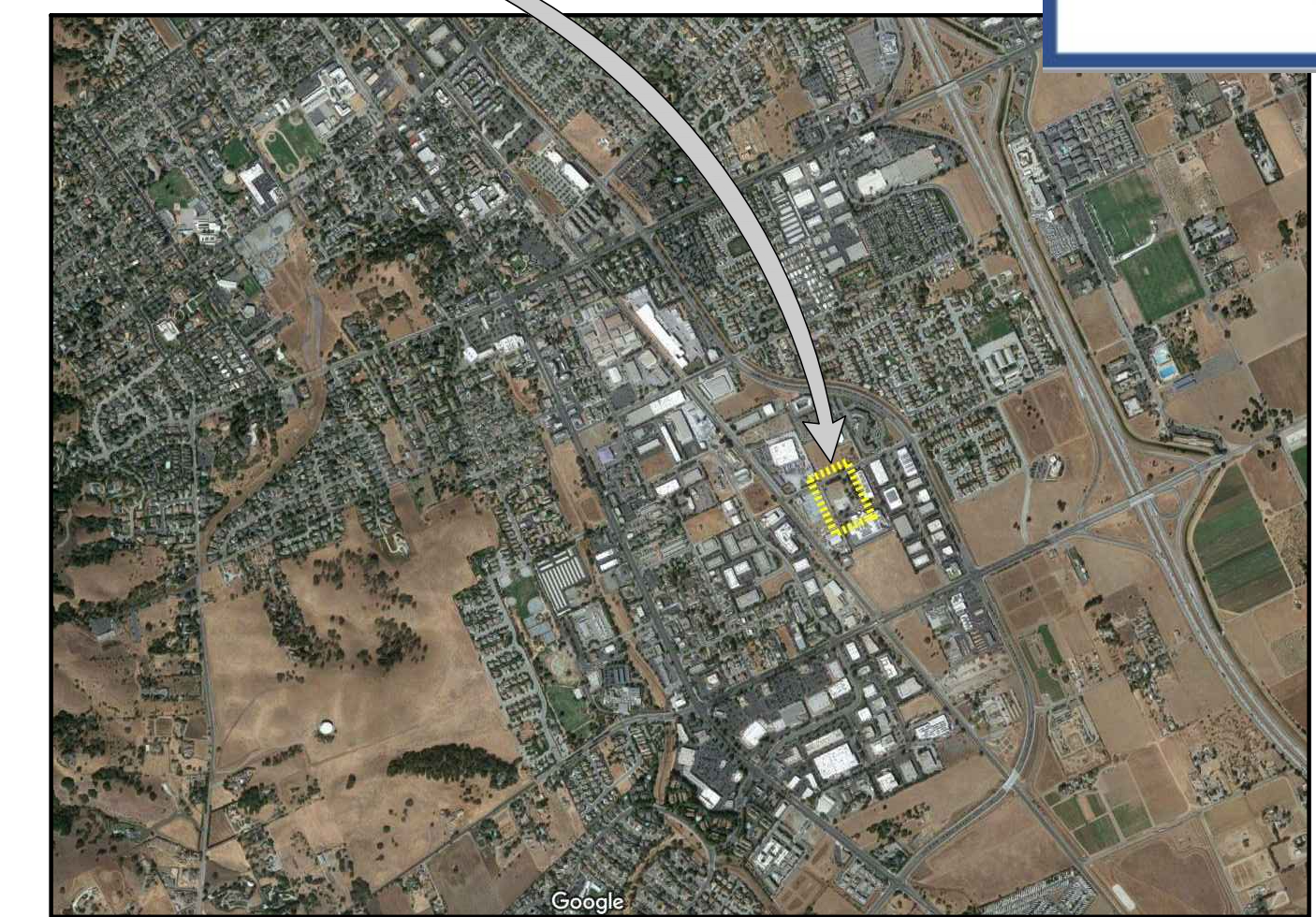
Landscape Concept

The landscape design concept for the 16175 Jacqueline Court site is to provide an enjoyable and aesthetic space for the users that fits within the existing landscape framework of the site and the surrounding area. Plant material has been selected that performs well in the special conditions of the Morgan Hill (Sunset Zone #14).

The new facility will occupy an area previously used as an open dirt lot. Low Water Use hardy trees, shrubs and groundcover are proposed for the majority of the site with minimal Medium Water Use shrubs and groundcovers in the landscape at the building entries. The landscape (and associated irrigation) will be designed to be compliant with City of Morgan Hill's Water Efficient Landscape Ordinance.

Considerations have been provided in selection of plant material that respects the needs of users of the site. Clear and secure view corridors have been provided to ensure safety of the customers entering the building as well as vehicular traffic moving around the site.

Project Location



Aerial Map



Aerial Map

CITY OF MORGAN HILL PLAN APPROVED

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GENERAL CONSULTANT:



KLA, Inc. 151 N. Norfin St., Sonoma Ca. 95370 (209)532-2856 www.kla-ca.com

drawn by : NAB plot date : KLA 22-2488

checked by : TWH

stamp



scale : AS NOTED

project number : 2234072

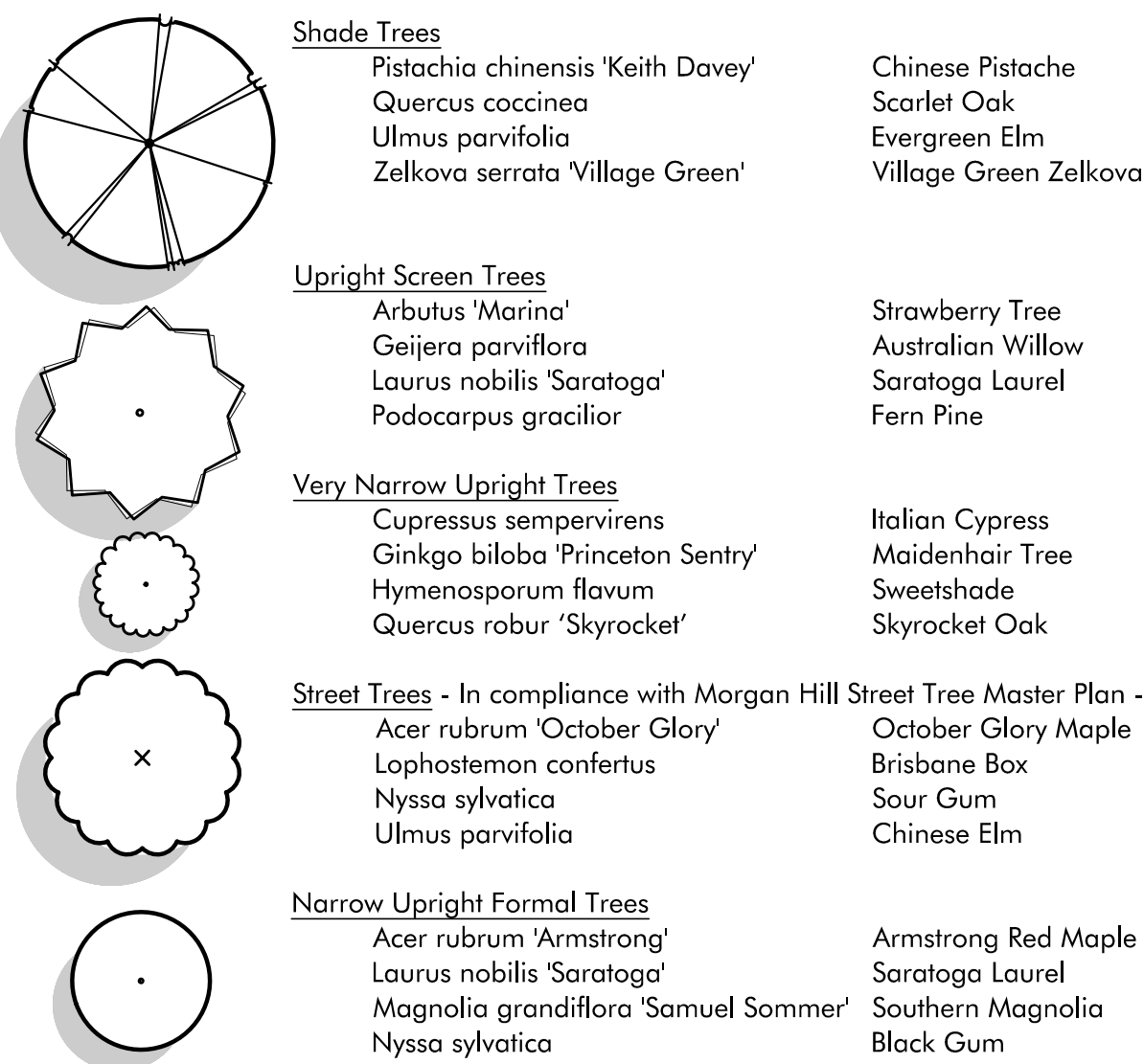
Preliminary Planting Plan

sheet no. :

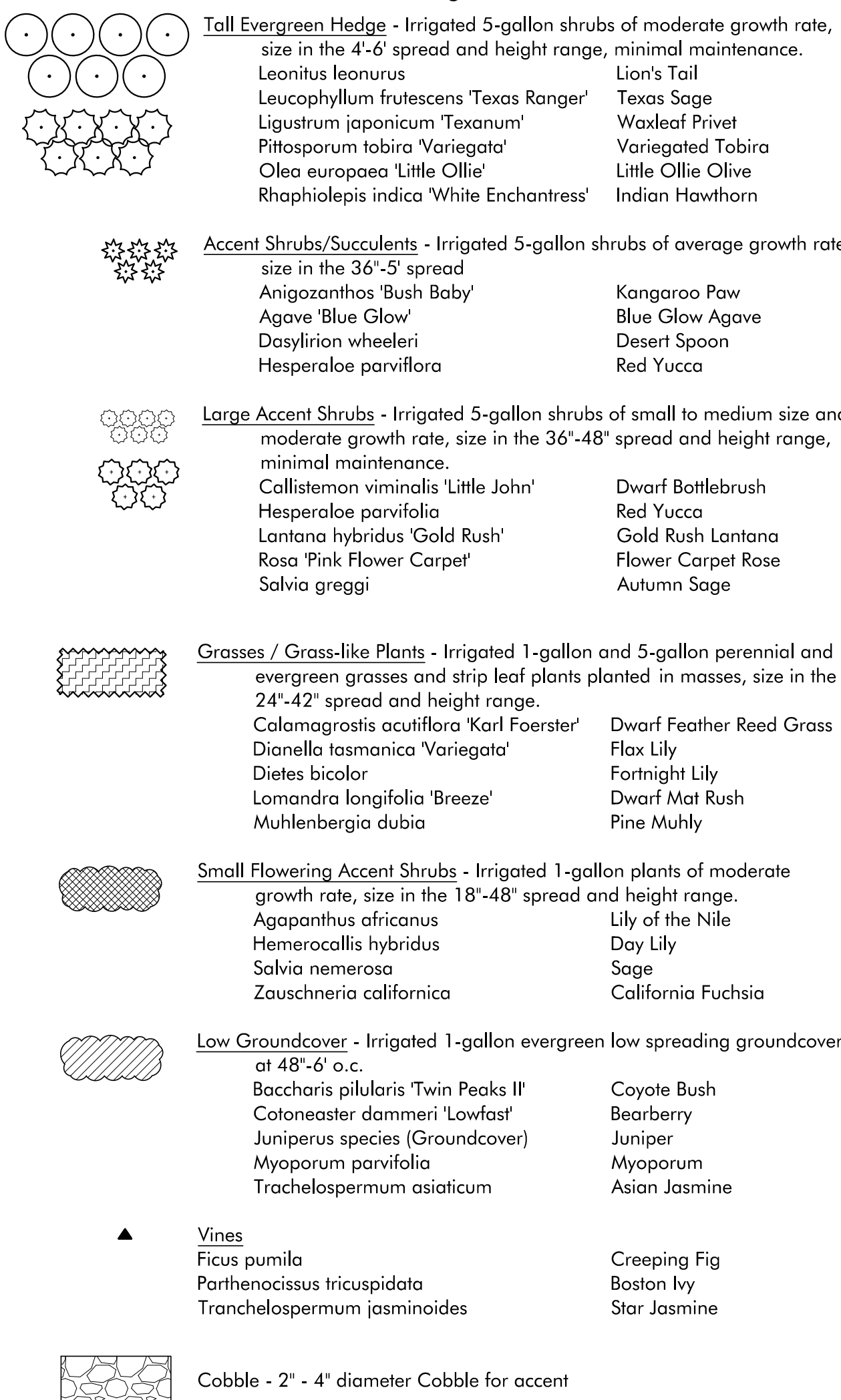
L0.2

Preliminary Plant Palette

Trees

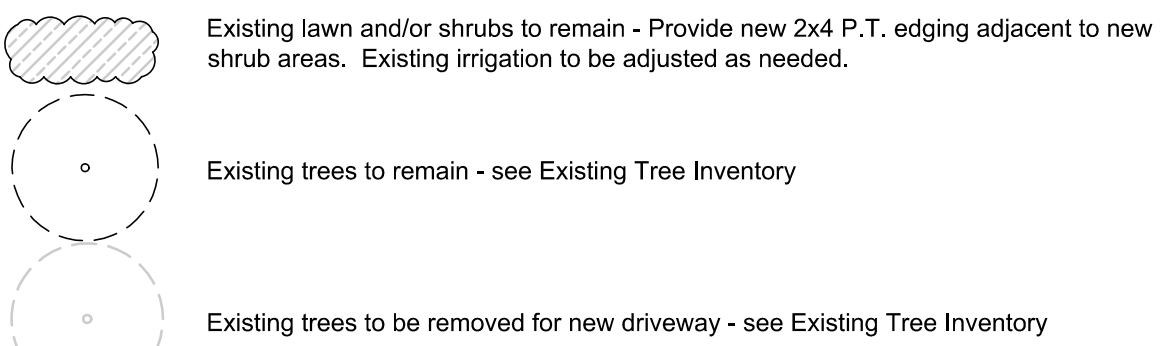


Shrub and Groundcover Zoning



Non-Living Groundcover

Mulch to be evenly distributed throughout all shrub and groundcover areas (not turf and Fescue) unless otherwise noted on plans. Mulch to be nitrogen stabilized, max. 3/4", recycled material installed at min. 3" depth. Contractor to provide sample for approval prior to installation. "Grillo-Hair" is not acceptable unless specifically noted for slope areas.



This plan represents the design style and theme of the landscape design and planting. These plans are preliminary and may change through the design process. The final planting plan may not contain all of the above plants in the sizes as shown. Additionally some new plant species may be used in the final design. This plan does however indicate the quantity of trees and the overall level of landscape development that will be carried through with the final design.

Final landscape design shall meet City of Morgan Hill codes and requirements as well as Project Specific Conditions of Approval. Final design is subject to approval through the building permit review process.

Preliminary Planting Note

The Preliminary Plant Palette represents a sampling of the types of shrubs, groundcovers, and vines that we anticipate to be appropriate for the location as well as the design style and overall theme. This is the list from which plant selection will be drawn from. Not all plants listed within this plant palette will be used in the final design and some plants not listed may be introduced. However, the planting design intent will remain consistent with this plan and plant palette.

Tree Root Barriers

All trees denoted with the root barrier symbol and/or within five (5) feet of hardscape are to have DeepRoot Model #UB 18-2 root barriers installed along the inside edge of the adjacent sidewalk or curb. Length of linear root barrier shall be 16 linear feet (8 panels) and shall be centered on tree.

Root Solutions RS-18 may be used as an alternate. 1(800)554-0914

WELO Water Use Calculations

The following calculations represent the intended hydrozones and water usage as designed with this Preliminary Landscape Plan. As we move through the design process we anticipate minor adjustments/revisions of these calculations. However, compliance with WELO code requirements will always remain.

Hydzone	Area of Plant	Water Use	Plant Factor	Hydzone Area	%	Type of Irrigation	Irrigation Efficiency	ETWC
1	Shrubs	Medium	0.4	1,929 sf	11.8%	Drip Emitter	.81	29,235.1
2	Shrubs	Low	0.3	13,624 sf	83.4%	Drip Emitter	.81	154,859.5
3	Trees	Medium	0.4	775 sf	4.8%	Drip Emitter	.81	11,745.6
TOTAL								
				16,328 sf				
				225,497.8 gallon/year				
				195,840.1 gallon/year				
				Average Irrigation Efficiency				
				.81				

Irrigation

The perimeter of the site is currently serviced by an existing irrigation system. Portions of the existing system will be removed and/or replaced with new irrigation equipment where new site development occurs within the existing landscape. The entire site will be irrigated using a fully automatic system. The irrigation system will largely be low-volume design. The system will include in-line valves, quick couplers, and gate valves. Backflow devices shall be painted dark green.

The irrigation controller for the new irrigation system will be a 'Smart' ET-based controller from Rainbird, Hunter, Irritrol, or equal. A weather sensing device will be installed to interrupt watering times during rain of freeze. A complete irrigation design with these parameters will be provided with the improvement plans and will be compliant with the Water Efficient Landscape Ordinance.

Landscape Areas

Lawn:	0 sf	0%
Proposed Shrubs:	15,553 sf	100%
Total Site Landscape Area:	15,553 sf	100%

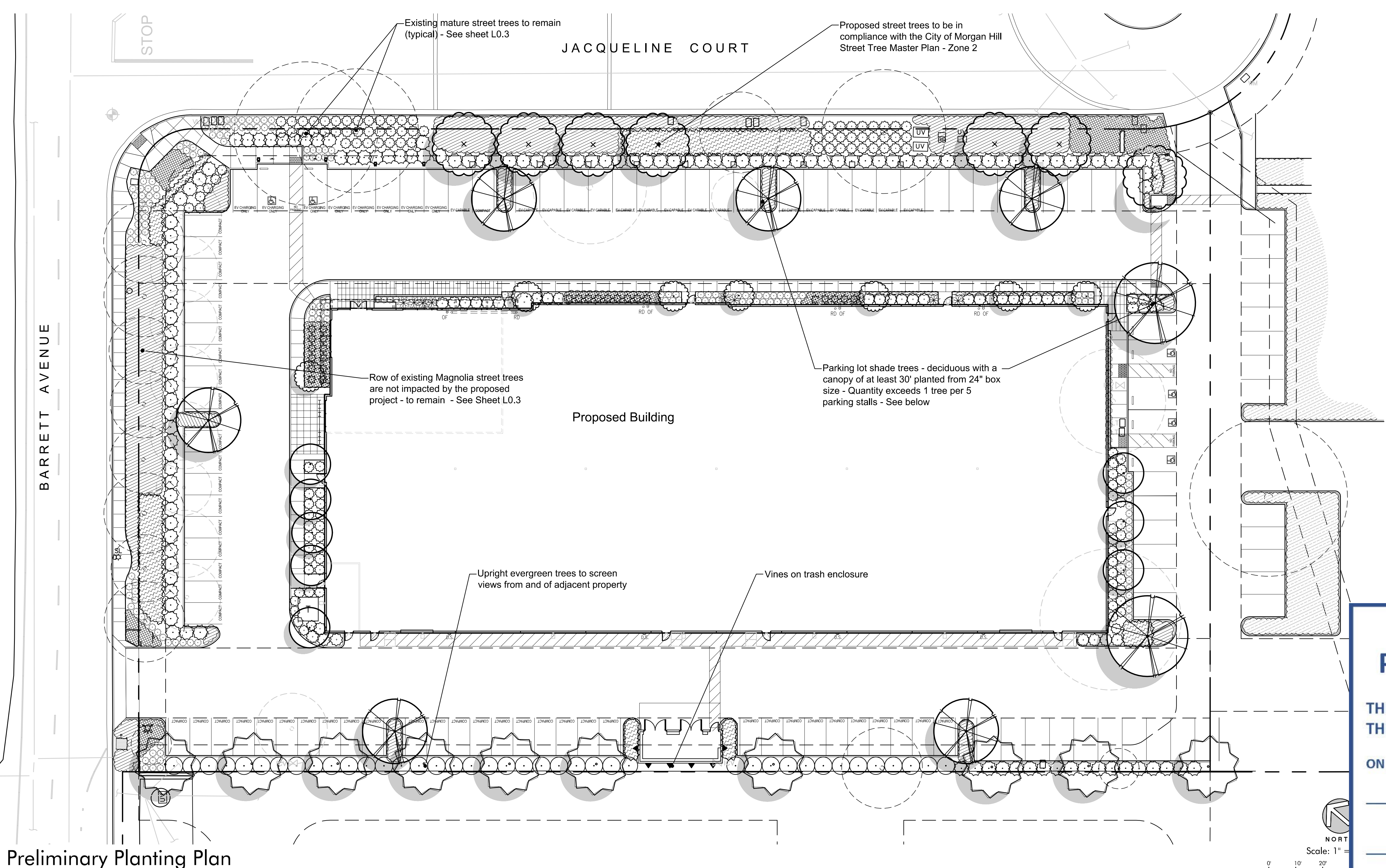
Size of Project Site:	95,079 sf
Percentage of Site in Landscape:	16.4%

Parking Lot Landscape Compliance

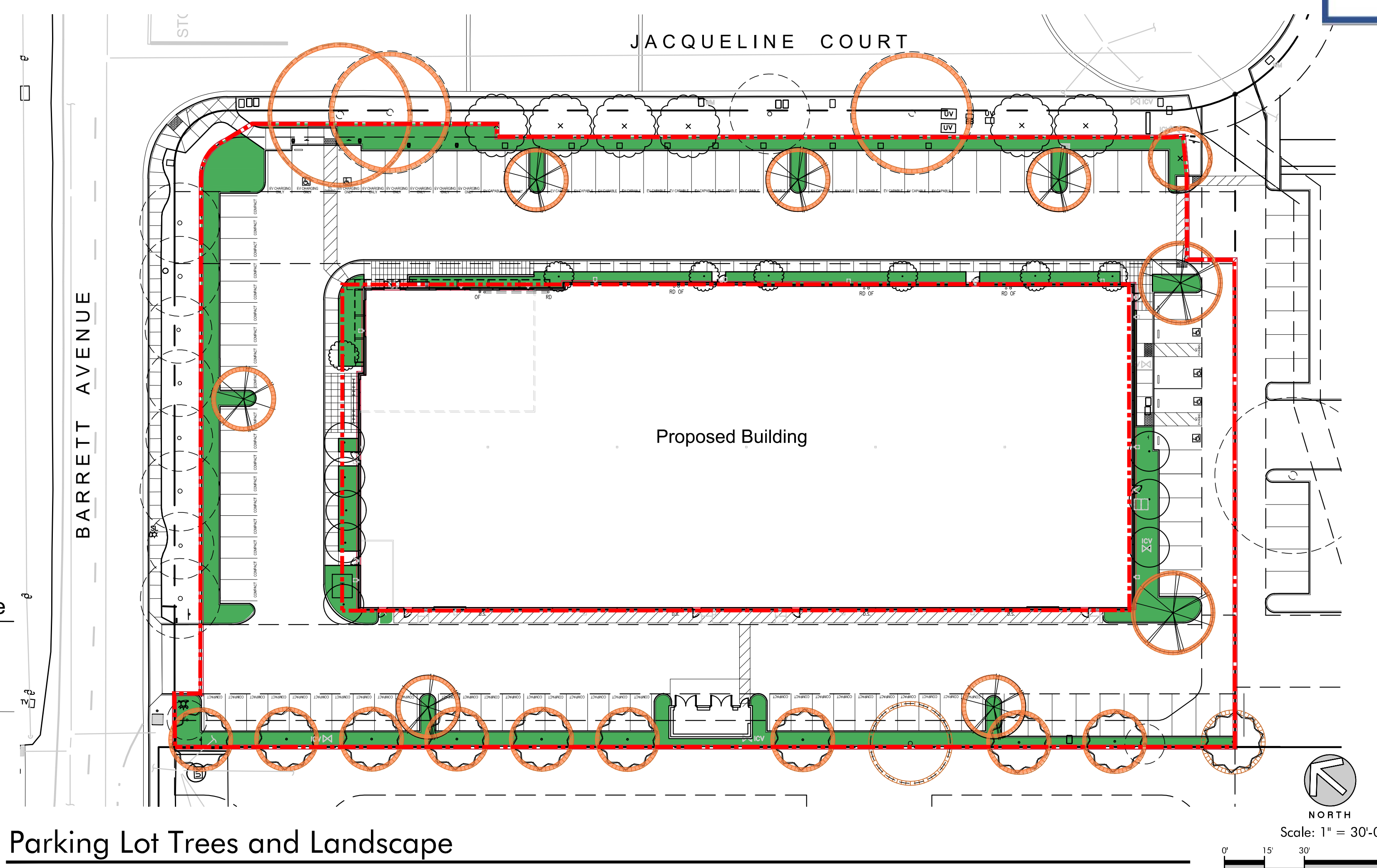
Square footage of parking lot	39,751 sf
Landscape within the parking lot zone	8,710 sf
Percentage of landscape within the parking zone (20% or more required - complies)	21.9%
Quantity of parking stalls	102
Quantity of 24" box trees that shade parking	24
Parking stalls per tree (5 or less required - complies)	4.25

Symbol	Container Size	Quantity
24" Box Trees		24

Preliminary Planting Plan



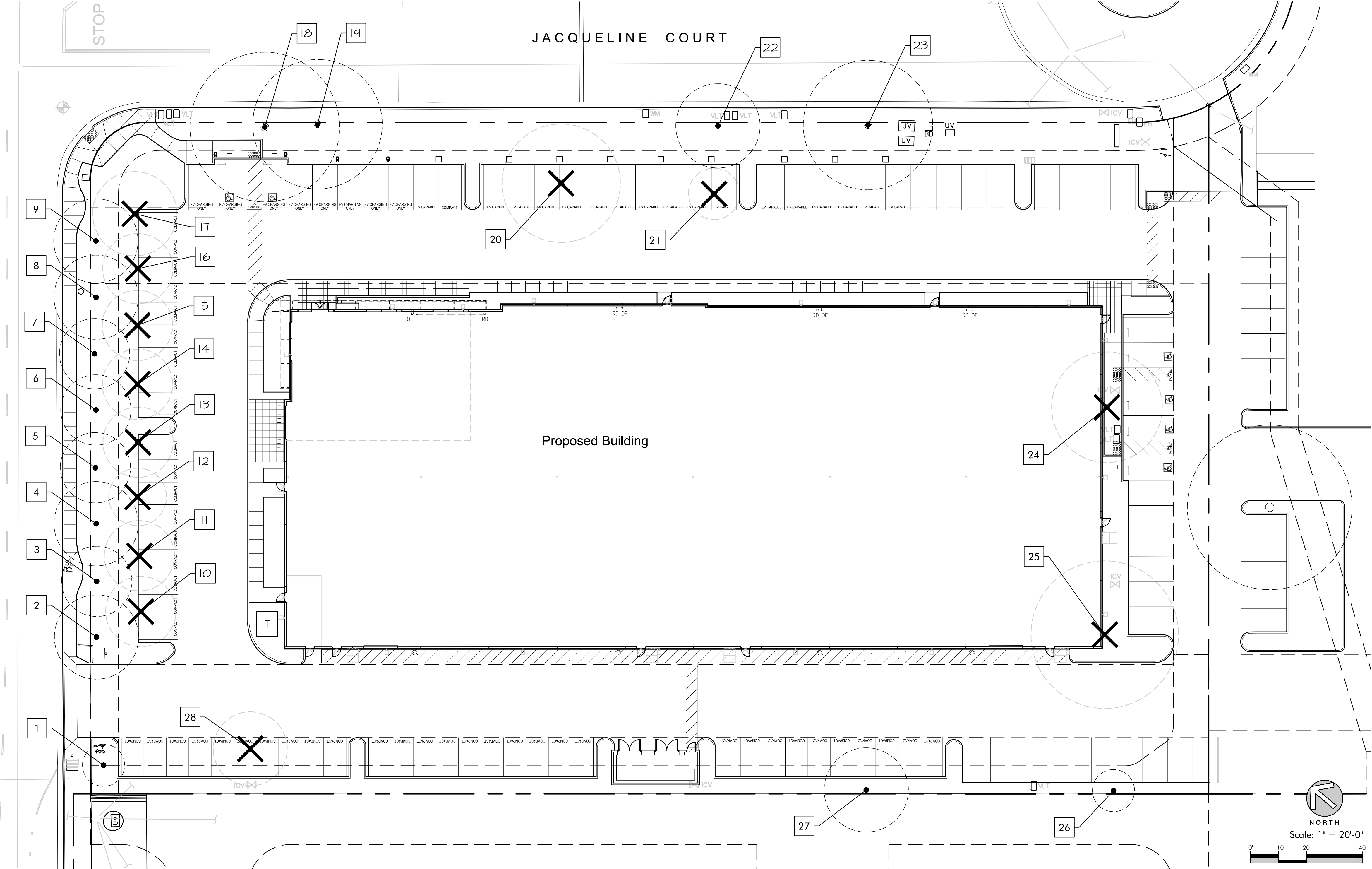
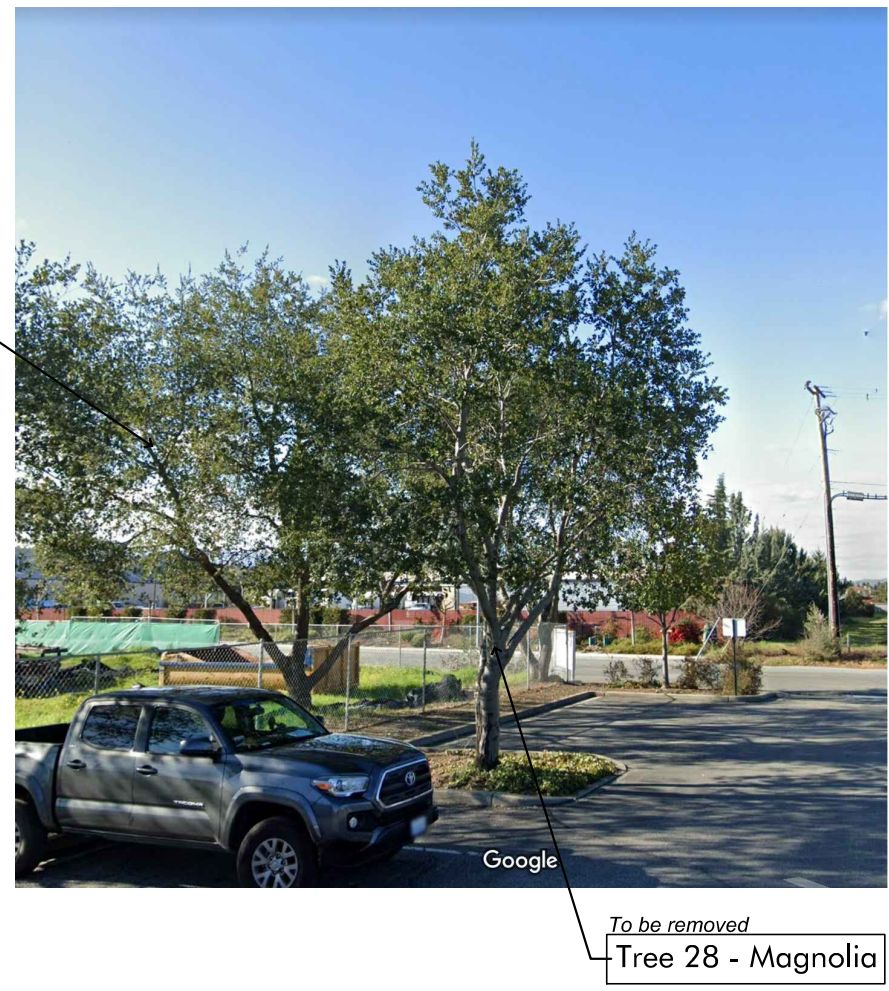
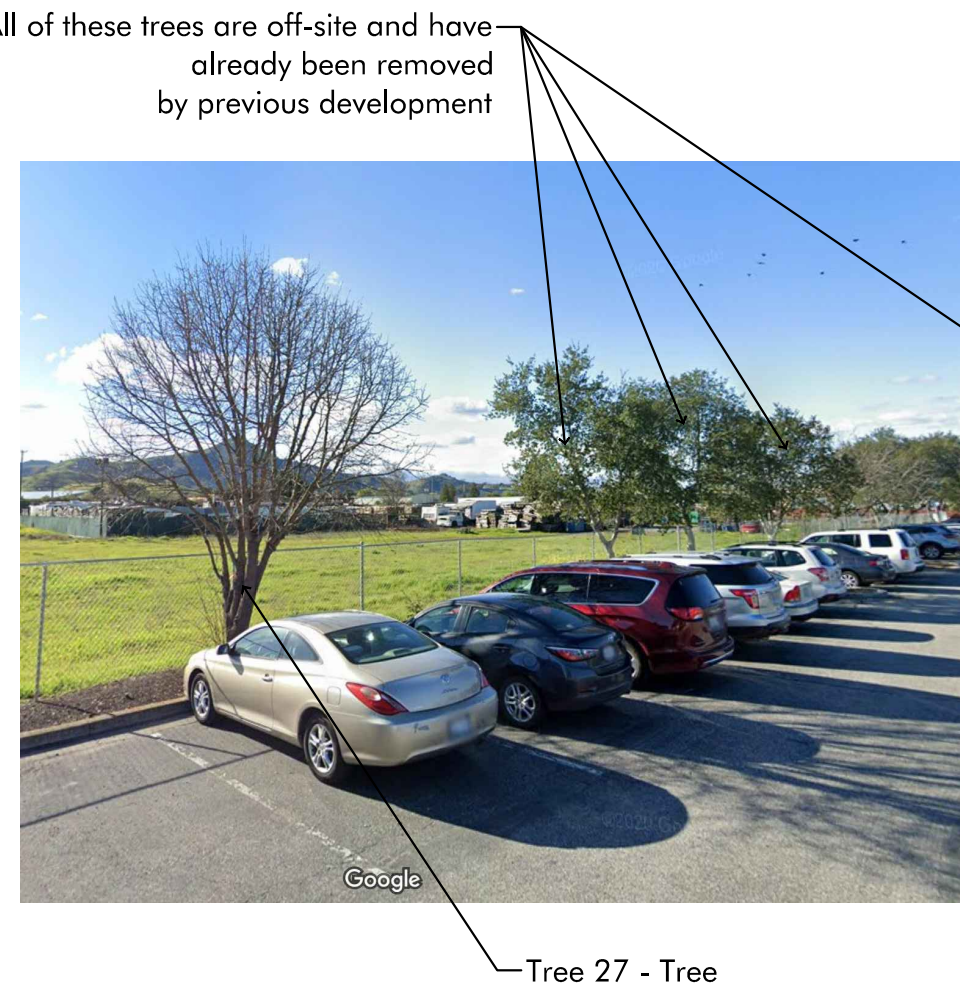
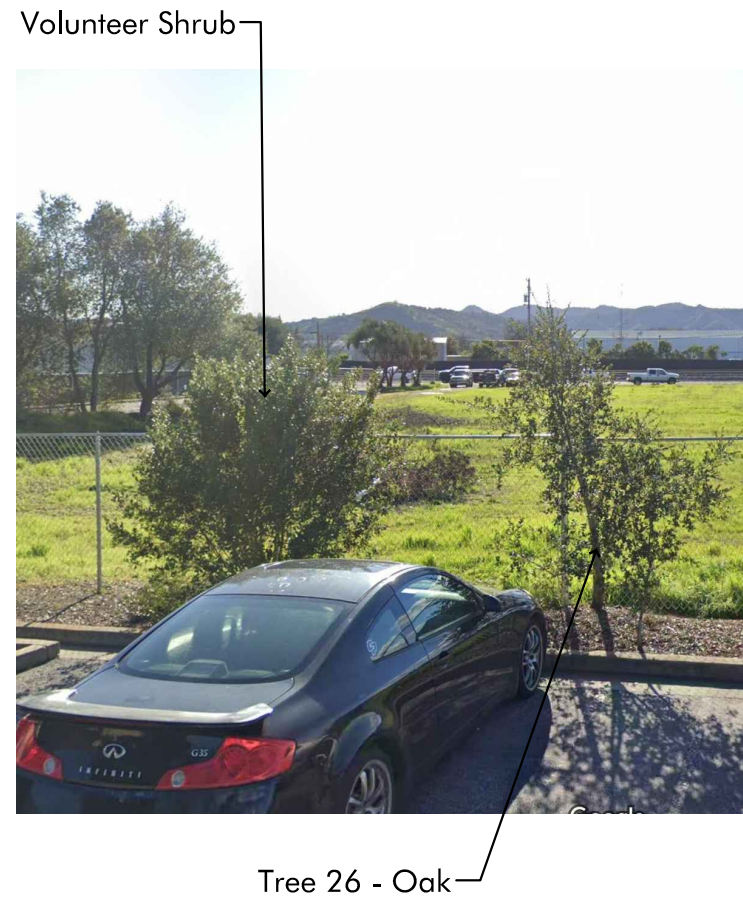
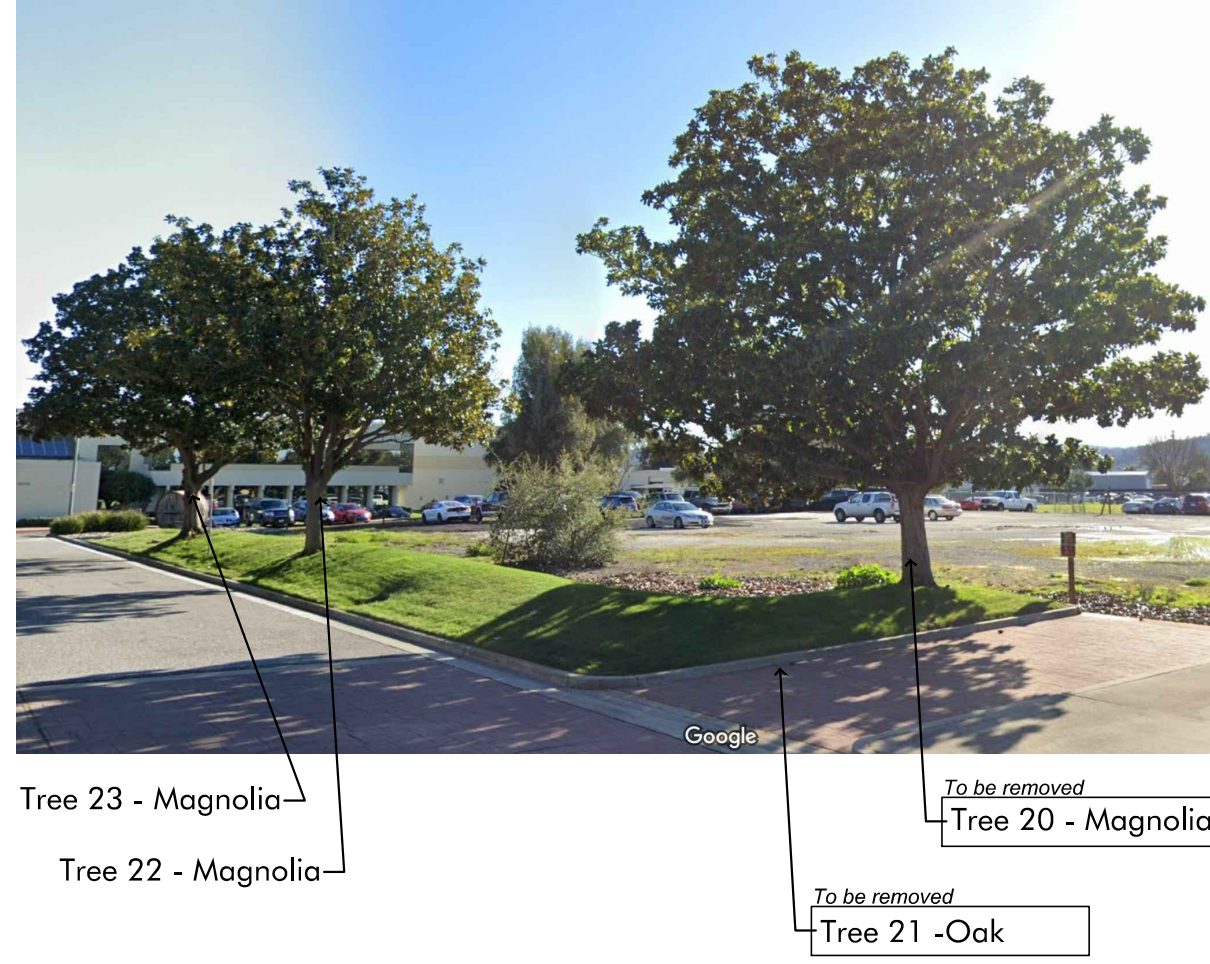
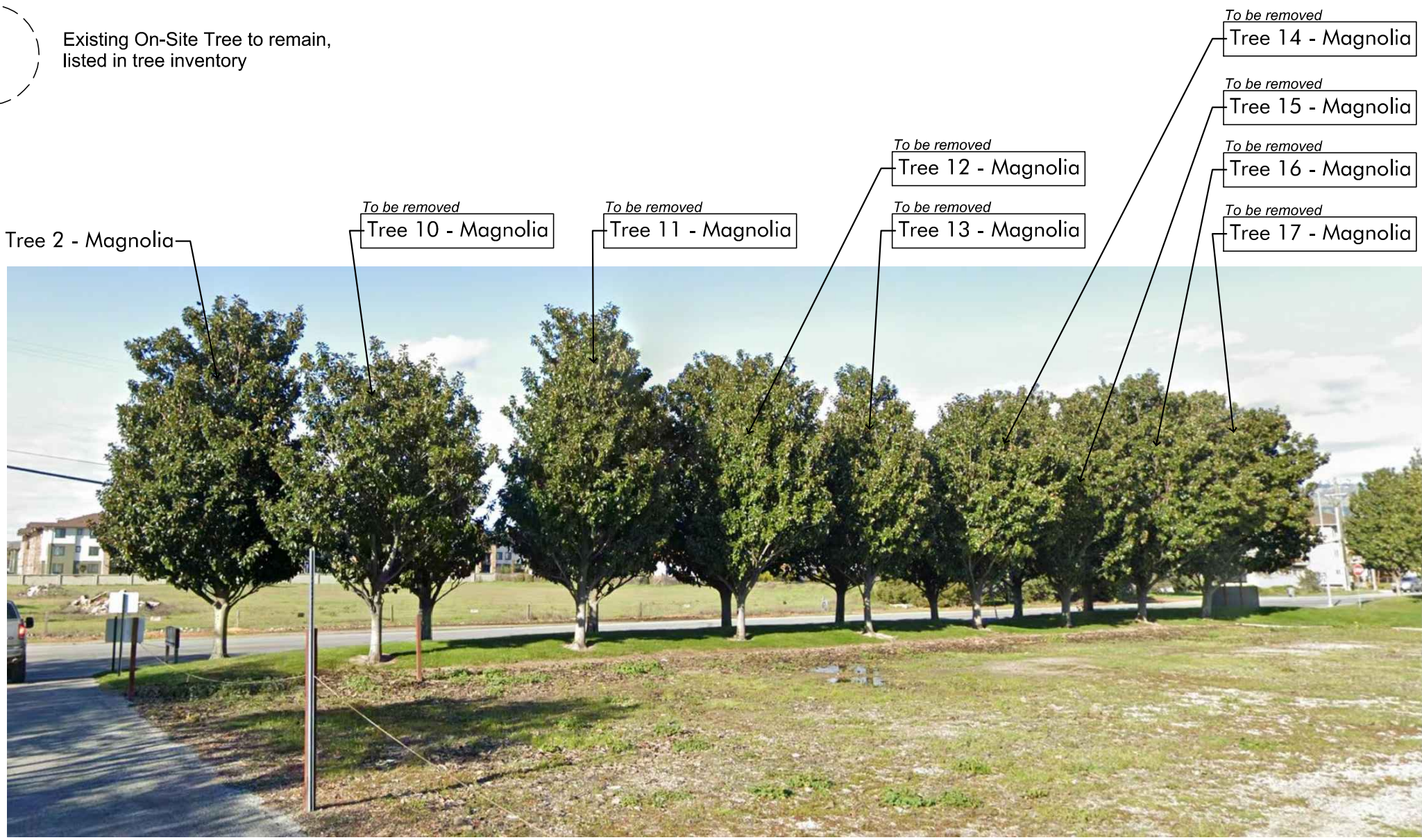
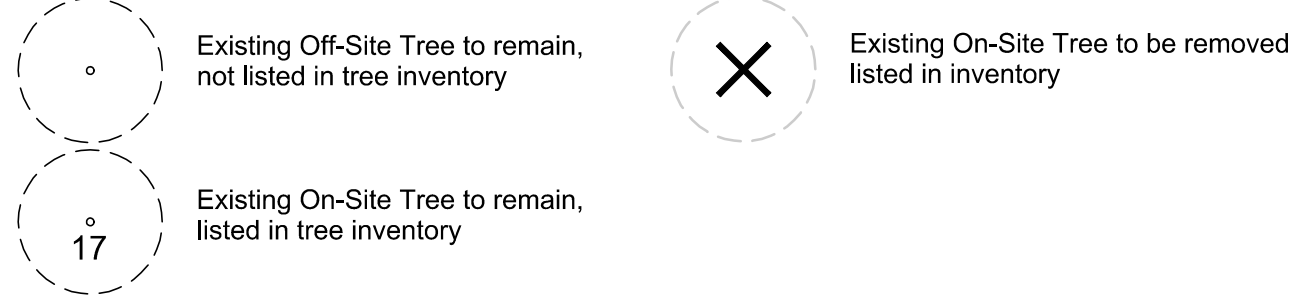
Parking Lot Trees and Landscape



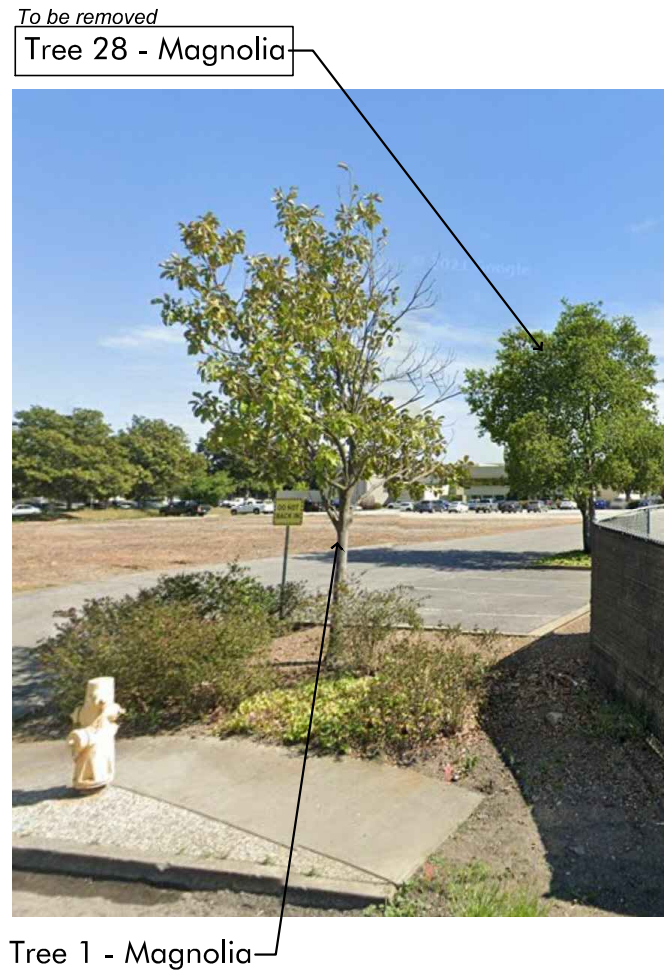
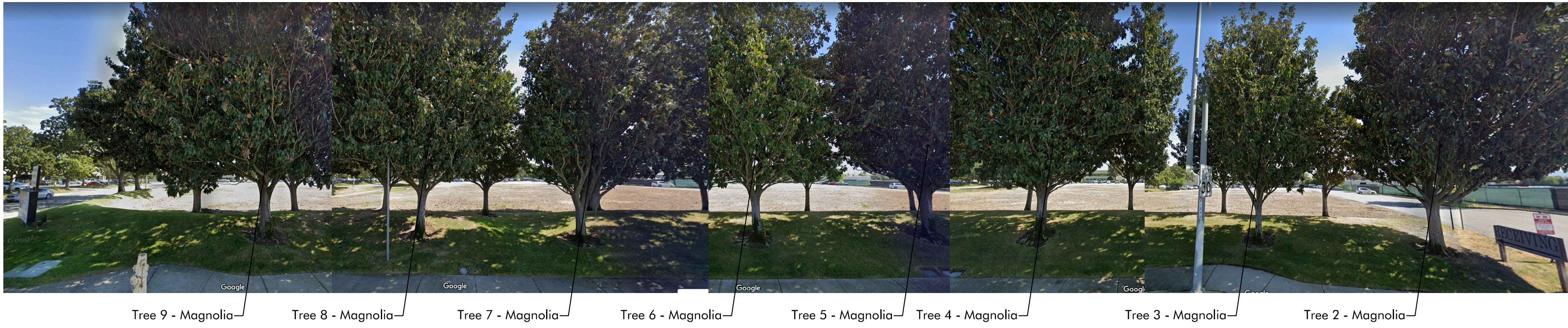
Existing Tree Inventory Table

Tree	Botanical Name	Common Name	CBH	Overall Condition	Comments
1	Magnolia grandiflora	Southern Magnolia	6"	Good	Tree to remain and be protected in place
2	Magnolia grandiflora	Southern Magnolia	14"	Good	Tree to remain and be protected in place
3	Magnolia grandiflora	Southern Magnolia	10"	Good	Tree to remain and be protected in place
4	Magnolia grandiflora	Southern Magnolia	15"	Good	Tree to remain and be protected in place
5	Magnolia grandiflora	Southern Magnolia	12"	Good	Tree to remain and be protected in place
6	Magnolia grandiflora	Southern Magnolia	12"	Good	Tree to remain and be protected in place
7	Magnolia grandiflora	Southern Magnolia	12"	Good	Tree to remain and be protected in place
8	Magnolia grandiflora	Southern Magnolia	14"	Good	Tree to remain and be protected in place
9	Magnolia grandiflora	Southern Magnolia	14"	Good	Tree to remain and be protected in place
10	Magnolia grandiflora	Southern Magnolia	11"	Good	Tree to be removed for parking lot
11	Magnolia grandiflora	Southern Magnolia	12"	Good	Tree to be removed for parking lot
12	Magnolia grandiflora	Southern Magnolia	9"	Good	Tree to be removed for parking lot
13	Magnolia grandiflora	Southern Magnolia	10"	Good	Tree to be removed for parking lot
14	Magnolia grandiflora	Southern Magnolia	12"	Good	Tree to be removed for parking lot
15	Magnolia grandiflora	Southern Magnolia	12"	Good	Tree to be removed for parking lot
16	Magnolia grandiflora	Southern Magnolia	12"	Good	Tree to be removed for parking lot
17	Magnolia grandiflora	Southern Magnolia	17"	Good	Tree to be removed for parking lot
To be removed					
18	Magnolia grandiflora	Southern Magnolia	28"	Good	Tree to remain and be protected in place
19	Magnolia grandiflora	Southern Magnolia	22"	Good	Tree to remain and be protected in place
20	Magnolia grandiflora	Southern Magnolia	22"	Good	Tree to be removed for parking lot
21	Quercus agrifolia	Coast Live Oak	6", 4", 4"	Good	Tree to be removed for parking lot
To be removed					
22	Magnolia grandiflora	Southern Magnolia	15"	Good	Tree to remain and be protected in place
23	Magnolia grandiflora	Southern Magnolia	25"	Good	Tree to remain and be protected in place
24	Eucalyptus		32"	Good	Tree to be removed for building
25	Quercus agrifolia	Coast Live Oak	20", 14"	Good	Tree to be removed for building
To be removed					
26	Quercus agrifolia	Coast Live Oak	6"	Fair (volunteer)	Tree to remain and be protected in place
27	Tree		10", 8"	Fair (volunteer)	Tree to remain and be protected in place
28	Magnolia grandiflora	Southern Magnolia	11"	Good	Tree to be removed for parking lot
To be removed					

Site Trees



The tree review and inventory was conducted by Tom Holloway, ASLA, a registered landscape architect in the state of California (CLA #3589).



RMW

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OWNER / DEVELOPER:

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PRELIMINARY DESIGN DOCUMENTS FOR:

NEW INDUSTRIAL/ MANUFACTURING BUILDING

16175 JACQUELINE COURT MORGAN HILL, CA 95037

approved for the owner by :

approved for the architect by :

Issue : description : date : A ISSUED FOR PRELIMINARY REVIEW 06-03-2023

CITY OF MORGAN HILL PLAN APPROVAL

THIS PLAN WAS APPROVED BY THE PLANNING DIVISION

ON 10/31/2023

SR2023-0003

FILE NUMBER Roshni Saxena Assistant Planner PLANNING OFFICIAL

GENERAL CONSULTANT:

KLA LANDSCAPE ARCHITECTURE PLANNING 151 N. Norlin St., Sonoma Ca, 95370 (209)532-2856 www.kla-ca.com

drawn by : NAB plot date : KLA 22-2488

checked by : TWH

stamp



scale : AS NOTED

project number : 2234072

Existing Tree Inventory Plan

sheet no. :

L0.3

