

PLANNING APPLICATION FOR  
**MARCH CAPITAL MANAGEMENT**  
16175 JACQUELINE COURT  
CITY OF MORGAN HILL, CA 95037

**RMW**

RMW  
Architecture  
Interiors  
1718 Third Street  
Suite 101  
Sacramento  
California 95811

Office  
916 449-1400

rmw.com

OWNER / DEVELOPER:



PRELIMINARY DESIGN DOCUMENTS FOR:

NEW INDUSTRIAL/  
MANUFACTURING BUILDING

16175 JACQUELINE COURT  
MORGAN HILL, CA 95037

approved for the owner by :

approved for the architect by :

issue : description : date :

A ISSUED FOR PLANNING REVIEW

06/07/2023



RENDERING OF BUILDING NORTHEAST CORNER

PROJECT NARRATIVE:

THIS IS A NEW 35,384 S.F. ONE STORY INDUSTRIAL / MANUFACTURING BUILDING. SCOPE OF WORK  
INCLUDES NEW PARKING LOT, Hardscape, and Landscaping and Site Improvements as needed.



VICINITY MAP:



PROJECT TEAM:

DEVELOPER:  
MARCH CAPITAL MANAGEMENT  
2040 WEBSTER STREET  
SAN FRANCISCO, CA 94115  
pete@marchcapitalfund.com

ARCHITECT:  
RMW ARCHITECTURE & INTERIORS  
1718 3RD STREET, SUITE 101  
SACRAMENTO, CA 95811  
P:916-449-1400 x405

CIVIL ENGINEER:  
LEA & BRAZE ENGINEERING INC.  
1723 HAMILTON AVE., STE. 101  
SAN JOSE, CA 95125  
P:510-887-4086

LANDSCAPE DESIGNER  
KLA, INC.  
151 N. NORLIN STREET  
SONORA, CA 95370  
P:209-532-2856

LANDSCAPE DESIGNER  
TOM HOLLOWAY  
tom@kla-ca.com

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A00.2 PROJECT RENDERINGS \*  
A00.3 EXISTING SITE NEIGHBORHOOD CONTEXT PHOTOS \*  
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A01.3 SITE DETAILS  
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A02.2 ROOF PLAN  
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A04.1 BUILDING SECTIONS

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C-2.0 PRELIMINARY GRADING & DRAINAGE PLAN  
C-2.1 HORIZONTAL SITE SECTION  
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L0.2 PRELIMINARY PLANTING PLAN \*  
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L0.4 PLANT IMAGERY \*

PHOTOMETRICS  
PH-1 PHOTOMETRIC PLAN

\* DENOTES A SHEET TO BE PRINTED IN FULL COLOR

drawn by : DD plot date : 06-07-2023

checked by : JDL

stamp



scale : AS NOTED  
project number : 2234072

COVER SHEET

sheet no. :

A00.1



E: EAST ELEVATION



D: EAST ELEVATION



C: EAST ELEVATION AND ENTRY



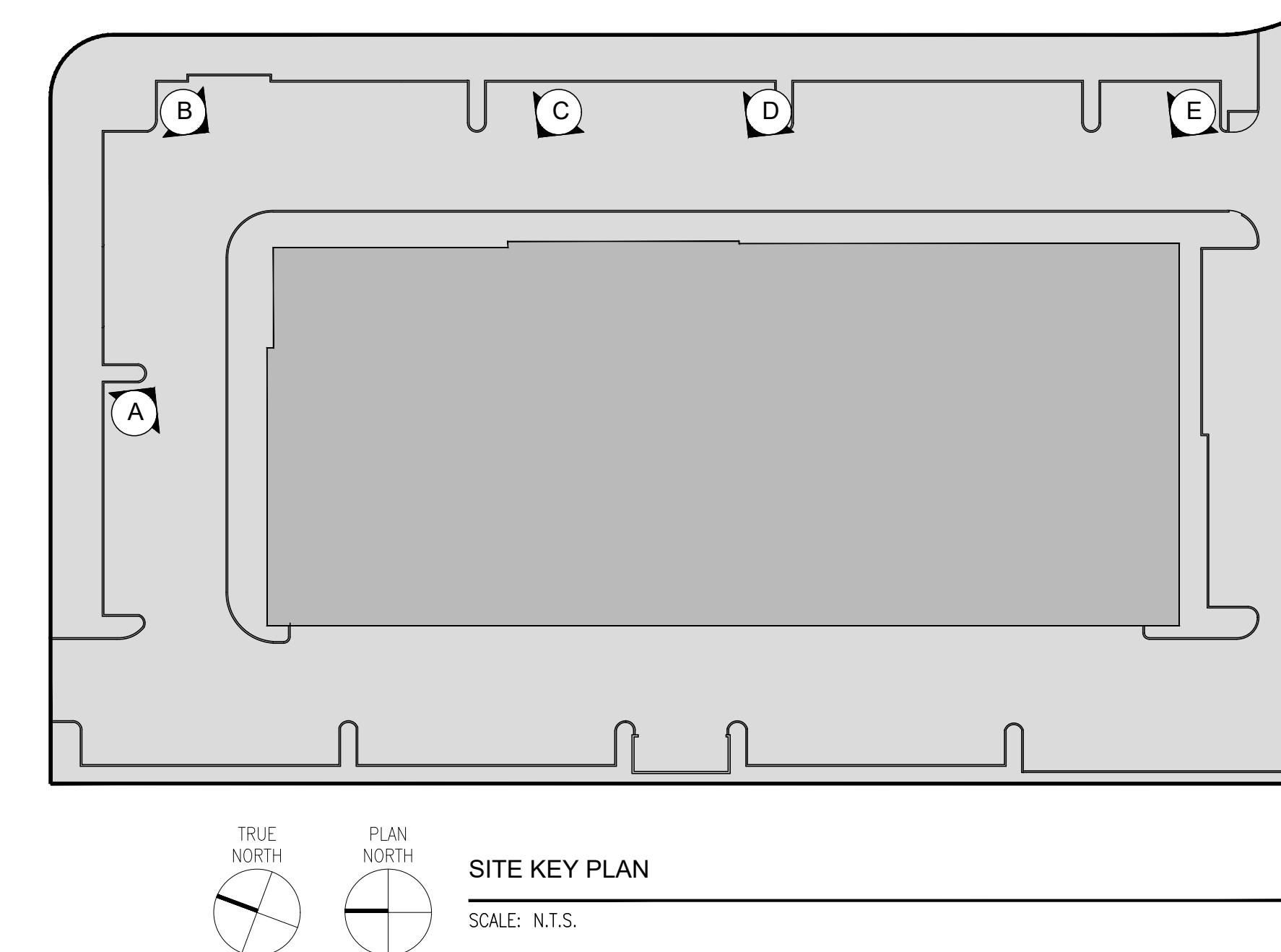
B: NORTHEAST CORNER



A: NORTH ELEVATION

PROJECT RENDERINGS  
SCALE: NO SCALE

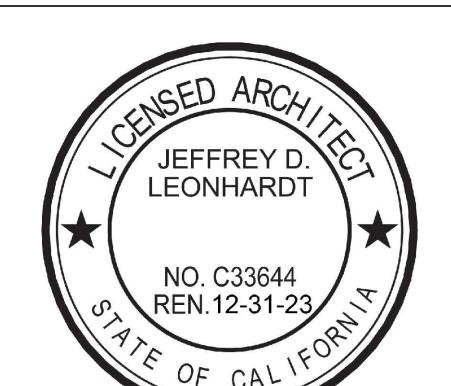
2



1

GENERAL CONTRACTOR:  
drawn by : DD plot date : 06-07-2023  
checked by : JDL

stamp



scale : AS NOTED  
project number : 2234072



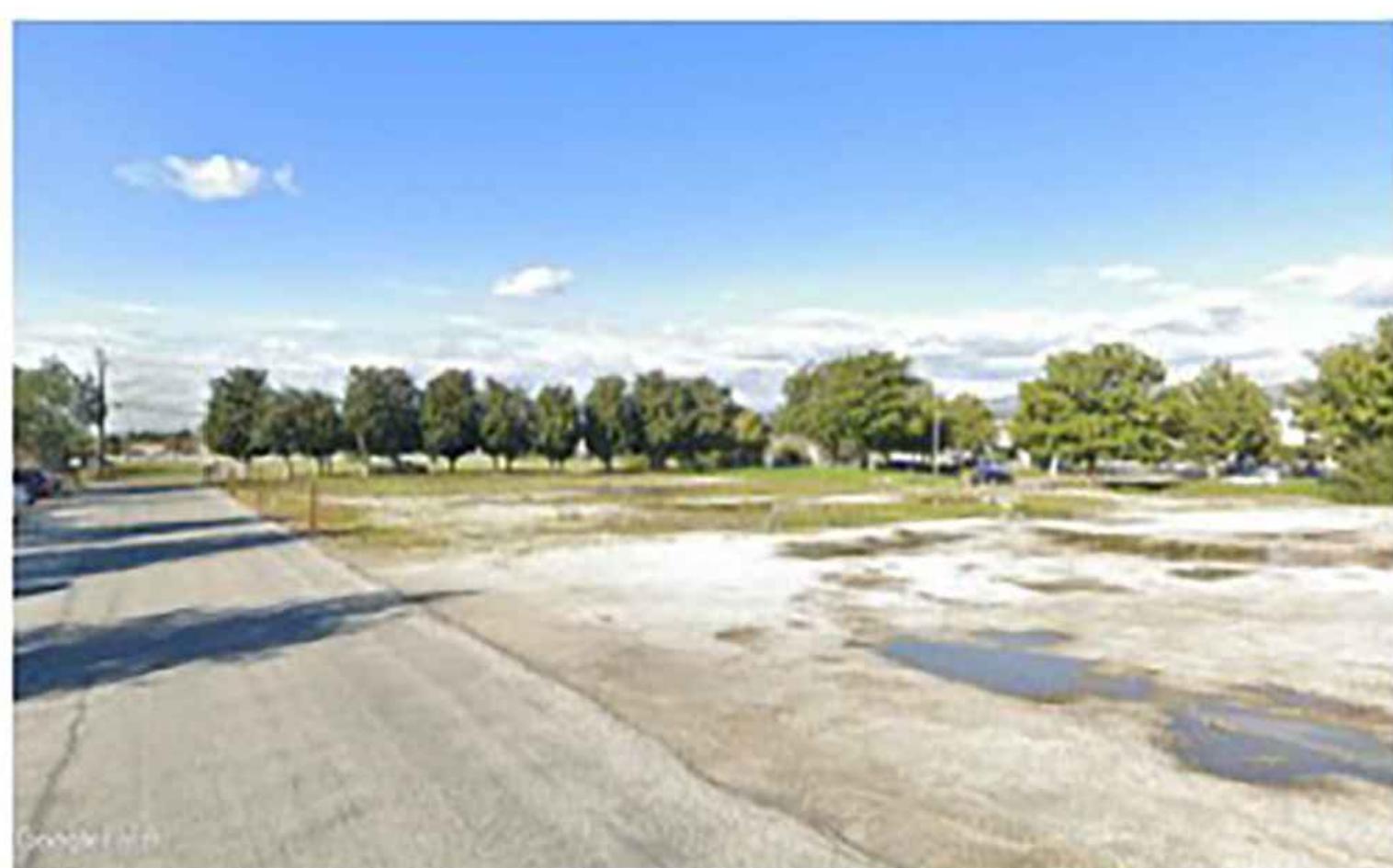
9 LOOKING EAST TOWARDS SITE



5 LOOKING WEST FROM ROUNDABOUT AT JACQUELINE CT.



1 LOOKING EAST FROM BARRETT AVE.



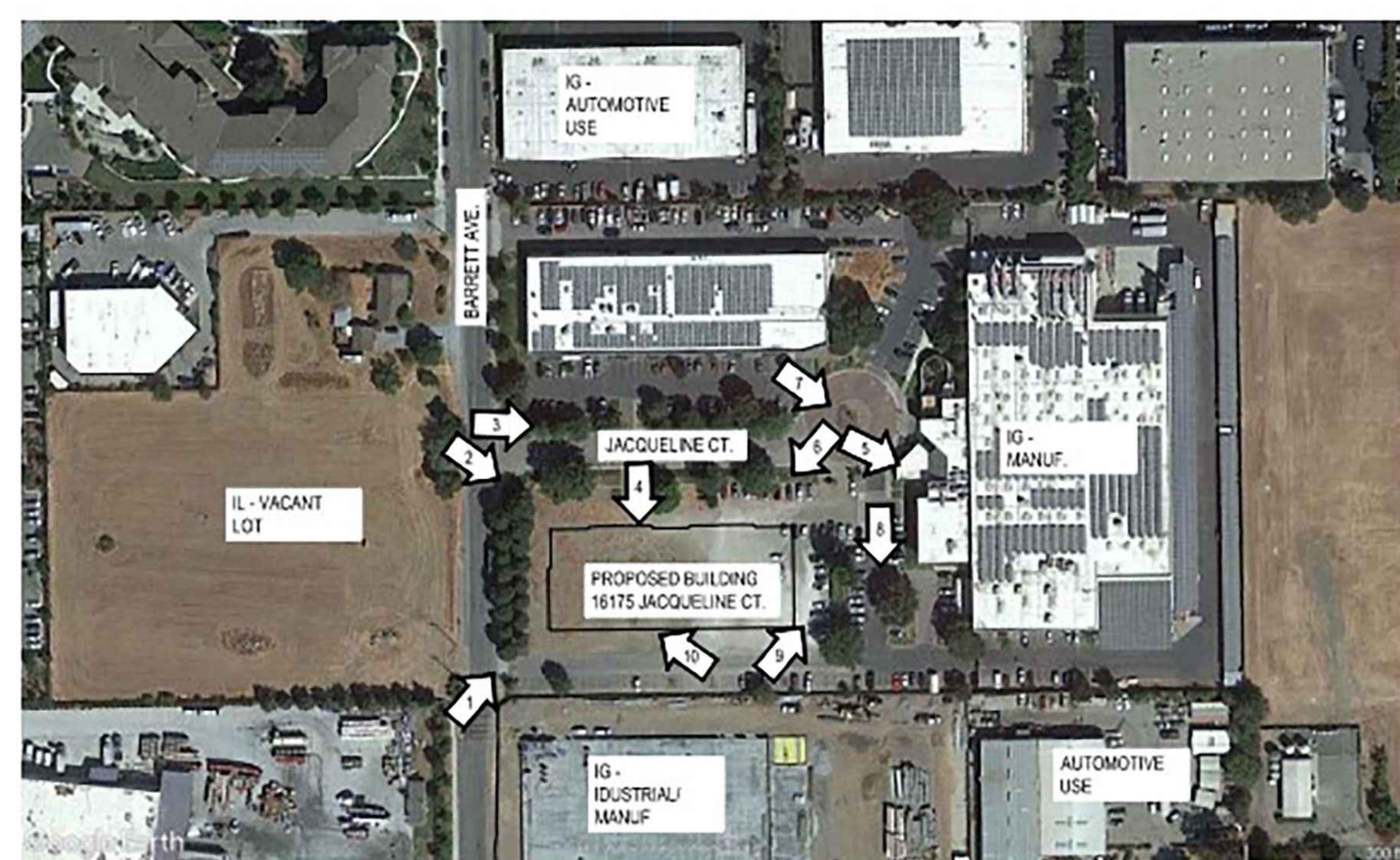
10 LOOKING NORTH TOWARDS SITE



6 LOOKING SOUTH FROM ROUNDABOUT AT JACQUELINE CT.



2 LOOKING SOUTH FROM BARRETT AVE.



REFERENCE SITE PLAN  
SCALE: N.T.S.



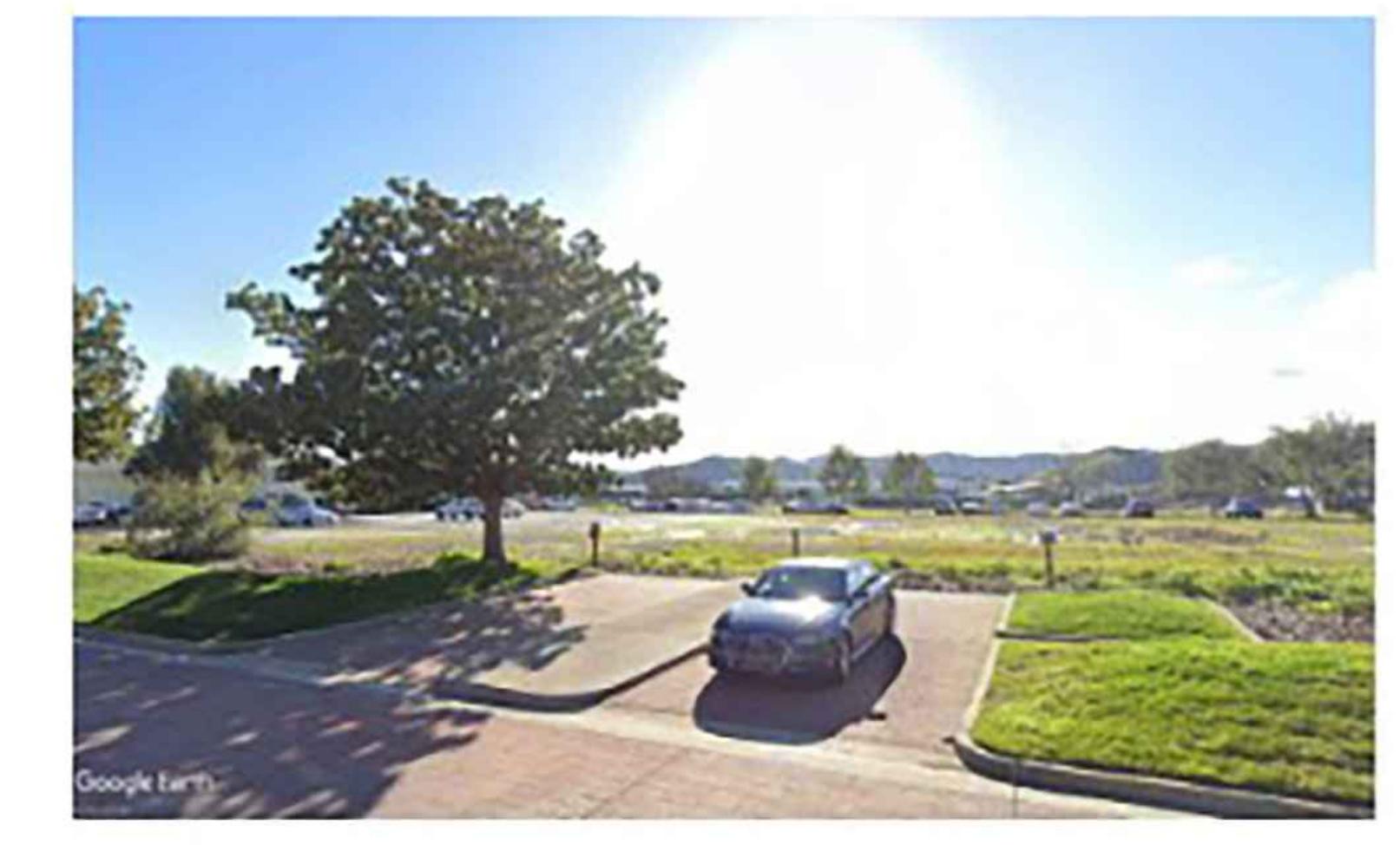
8 LOOKING WEST FROM DRIVEWAY AT JACQUELINE CT.



7 LOOKING SOUTH TOWARDS ROUNDABOUT AT JACQUELINE CT.



3 LOOKING SOUTH EAST FROM ENTRANCE TO JACQUELINE CT.



4 LOOKING SOUTH FROM JACQUELINE CT.

**CITY OF MORGAN HILL  
PLAN APPROVED**

**THIS PLAN WAS APPROVED BY  
THE PLANNING DIVISION**

ON 10/31/2023

SR2023-0003

FILE NUMBER

Roshni Saxena  
Assistant Planner

PLANNING OFFICIAL

drawn by : DD plot date : 06-07-2023

checked by : JDL

stamp



scale : AS NOTED

project number : 2234072

**EXISTING SITE  
NEIGHBORHOOD  
CONTEXT PHOTOS**

sheet no. :

A00.3

CITY OF MORGAN HILL  
PLAN APPROVEDTHIS PLAN WAS APPROVED BY  
THE PLANNING DIVISIONON 10/31/2023  
FILE NUMBER SR2023-0003  
PLANNING OFFICIAL Roshni Saxena  
Assistant Planner 

drawn by: DD plot date: 06-07-2023

checked by: JDL

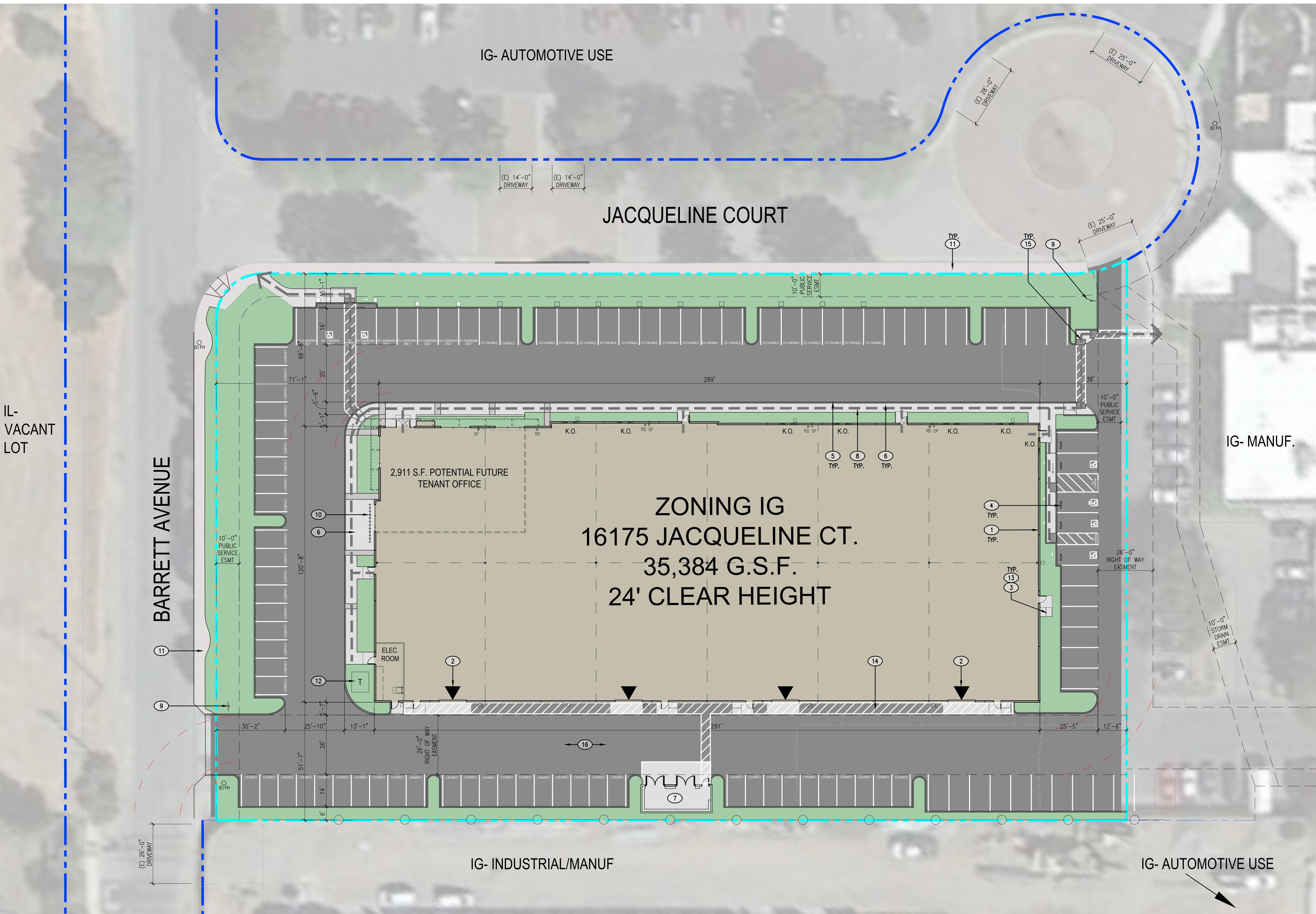
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scale: AS NOTED  
project number: 2234072

## SITE PLAN

sheet no.:

A01.1



## PROJECT SUMMARY:

APN:	817-32-058
ZONING:	GENERAL INDUSTRIAL (IG)
SITE AREA:	95,076 G.S.F. / 2.18 ACRES
BUILDING AREA:	35,384 G.S.F.
PER TABLE 16-26-2	
BUILDING COVERAGE:	37.2% (60% ALLOWED)
FLOOR AREA RATIO:	0.37 (0.60 ALLOWED)
BUILDING HEIGHT:	31'-8" (50'-0" ALLOWED)
REQUIRED SETBACKS:	
FRONT (STREET):	30'
REAR:	20'
SIDE:	15'
PROPOSED SETBACKS:	
FRONT AT JACQUELINE CT:	65'-1"
FRONT AT BARRETT AVE:	57'-7"
SIDE AT SOUTHWEST:	51'-1"
SIDE AT SOUTHEAST:	39'-7"

## PARKING ANALYSIS:

VEHICLE PARKING PROVIDED:	25
STANDARD STALLS:	49
COMPACT STALLS:	6 (REQUIRED PER 2022 CBC 11B-200.2)
ADA ACCESSIBLE STALLS:	6 (REQUIRED PER 2022 CBC 11B-228.3.2)
EV CHARGING STALLS:	4 (6 REQUIRED PER 2022 CAL GREEN TABLE 5.106.5.3.1)
STANDARD STALLS:	1 (1 REQUIRED PER 2022 CBC TABLE 11B-228.3.2)
ACCESSIBLE STANDARD STALLS:	1 (1 REQUIRED PER 2022 CBC TABLE 11B-228.3.1)
TOTAL:	6
TOTAL EV CAPABLE:	25 (25 REQUIRED PER 2022 CAL GREEN TABLE 5.106.5.3.1)
	(INCLUDES 6 STALLS WITH INSTALLED EVSE PER 2022 CAL GREEN TABLE 5.106.5.3.1)
TOTAL PARKING PROVIDED:	103
TOTAL PARKING REQUIRED:	76
(REQUIRED PARKING = 2,911 S.F. OFFICE @ 3.33/1000 = 10 STALLS + 32,838 S.F. MANUFACTURING @ 2.0/1000 = 66 STALLS)	
BICYCLE SHORT TERM PARKING:	11 REQUIRED / 11 PROVIDED
(10% OF AUTO SPACES)	
BICYCLE LONG TERM PARKING:	6 REQUIRED / 6 PROVIDED AT TIME OF FUTURE T.I.
(1 PER 20 AUTO SPACES)	
INTERIOR SHOWER/LOCKER FACILITIES TO BE PROVIDED AT TIME OF FUTURE TENANT IMPROVEMENTS	

## SITE LEGEND:

BUILDING AREA	ASPHALT AREA
SITE CONCRETE	LANDSCAPE AREA
EXISTING PROPERTY LINE	▼ 12' X 14' OVERHEAD GRADE LEVEL DOOR
	FIRE DEPARTMENT TURN RADIUS
	12' X 14' GRADE LEVEL O.H. SECTIONAL ROLL UP DOOR

## KEYNOTES:

- 1 CONCRETE TILT-UP EXTERIOR WALLS. SEE EXTERIOR ELEVATIONS ON A03.1 AND FLOOR PLAN ON A02.1.
- 2 12' X 14' GRADE LEVEL O.H. SECTIONAL ROLL UP DOOR
- 3 EXTERIOR MAN DOORS SHALL HAVE 5'-0" MIN. DEEP X 5'-2" MIN. WIDE LEVEL LANDING AT EXTERIOR SIDE OF DOOR. AREA OF LEVEL LANDING TO EXTEND 2'-0" MIN. PAST THE STRIKE SIDE OF THE DOOR, TYP. SLOPE OF LEVEL LANDING TO NOT EXCEED 2%. SLOPE LANDING AWAY FROM DOOR A MINIMUM OF 1%.
- 4 CONCRETE WHEEL STOPS, SEE CIVIL DRAWINGS.
- 5 TYPICAL 6" TALL X 6" WIDE CONCRETE CURBS, SEE CIVIL DRAWINGS
- 6 NEW CONCRETE PEDESTRIAN WALKS. ASSUME ALL SIDEWALKS TO BE ACCESSIBLE PATH OF TRAVEL. SLOPE NOT TO EXCEED 1:20 (5%) IN DIRECTION OF TRAVEL. CROSS SLOPE NOT TO EXCEED 1:50 (2%) WHERE PARKING OVERHANG OCCURS, INCREASE WIDTH OF SIDEWALK TO 6'-0" MIN.
- 7 TRASH ENCLOSURE, SEE DETAILS 1 & 2/A01.3
- 8 DASHED GRAY LINE INDICATES ACCESSIBLE PATH OF TRAVEL; CONTRASTING PAVING MATERIAL WHERE ROUTE CROSSES PARKING/DRIVE AISLES
- 9 LOCATION OF SITE ENTRY SIGN REGARDING PARKING IN ACCESSIBLE PARKING STALLS. SEE DETAIL 13/A01.3
- 10 BICYCLE RACKS, SEE LANDSCAPE DRAWINGS. INTERIOR SHOWER/LOCKER FACILITIES TO BE PROVIDED AT TIME OF FUTURE TENANT IMPROVEMENTS.
- 11 EXISTING SIDEWALK TO REMAIN
- 12 ELECTRICAL TRANSFORMER
- 13 DASH-DOT INDICATES AREA OF ASSISTED RESCUE PER CBC 1009.7
- 14 PAINTED 4" WIDE DIAGONAL STRIPING INDICATING ACCESSIBLE PATH OF TRAVEL TO TRASH ENCLOSURE.
- 15 DETECTABLE WARNING SURFACE, TYPICAL WHERE INDICATED; REFER TO DETAILS 12 & 18/A01.3.
- 16 TRASH/RECYCLING VEHICLE ROUTE (SAME AS FIRE/EMERGENCY VEHICLE ACCESS, SEE A01.2)

## PLANNING NOTES:

1. MONUMENT SIGNS ARE UNDER SEPARATE PERMIT AND SUBMITTED AFTER DESIGN REVIEW APPROVAL

MORGAN HILL CODE OF ORDINANCES:

## Chapter 15.40 - BUILDING SECURITY (LIGHT LEVELS)

Article III. - Nonresidential Buildings  
15.40.240 - Doors  
All exterior commercial doors, during the hours of darkness, shall be illuminated with a minimum of one foot-candle of light. All exterior bulbs shall be protected by vandalism-resistant covers.

15.40.310 - Open parking lots  
Open parking lots and access thereto, for the use of the general public, shall be provided with a maintained average of two foot-candles and a minimum of five-tenths foot-candles maintained lighting on the parking surface from dusk until the beginning of business every operating day.

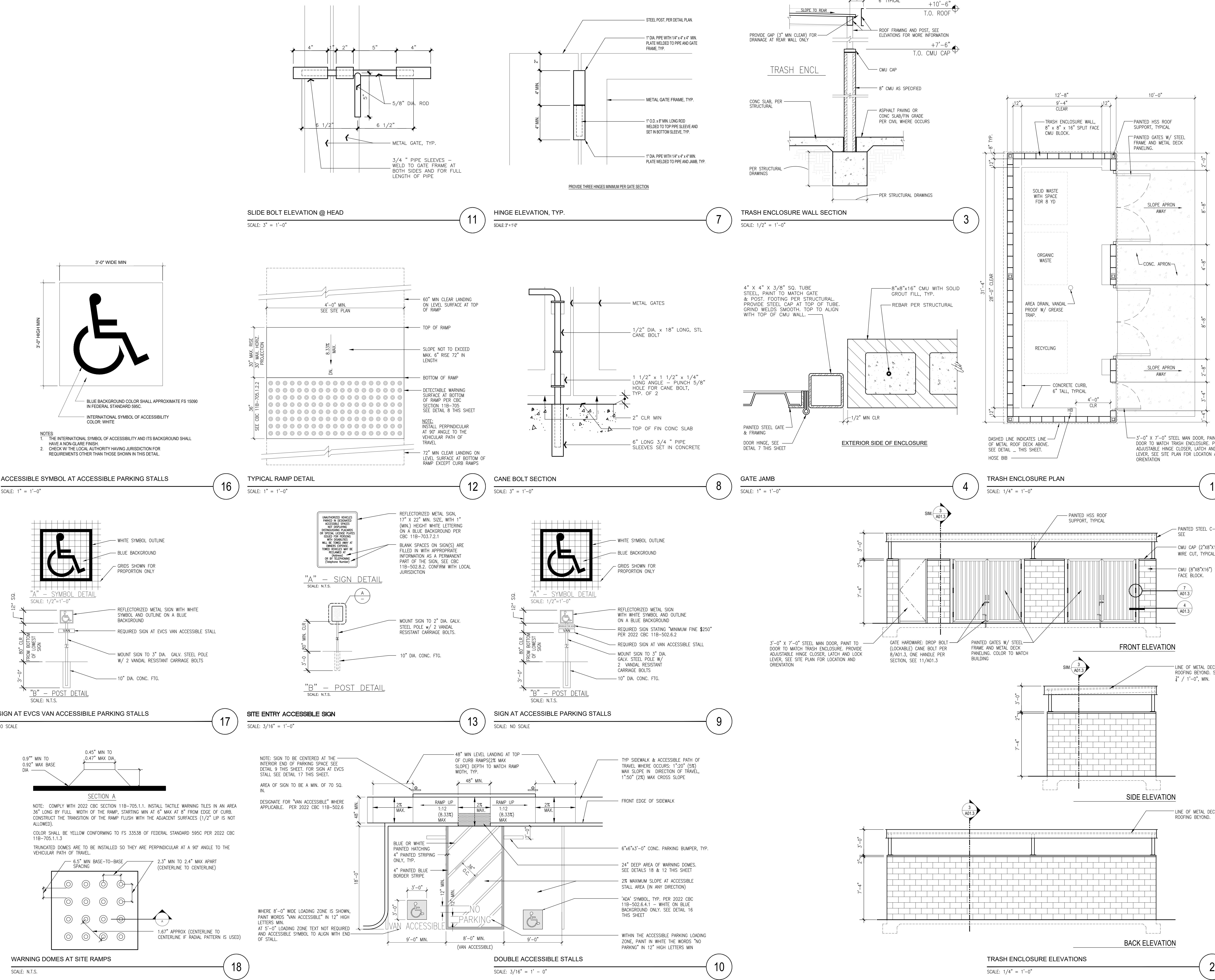
scale:

AS NOTED

project number: 2234072

SITE PLAN





**CITY OF MORGAN HILL  
PLAN APPROVED**

THIS PLAN WAS APPROVED BY  
THE PLANNING DIVISION

ON 10/31/2023

SR2023-0003

FILE NUMBER

Roshni Saxena  
Assistant Planner

PLANNING OFFICIAL

GENERAL CONTRACTOR:

drawn by : DD plot date : 06-07-2023

checked by : JDL

stamp

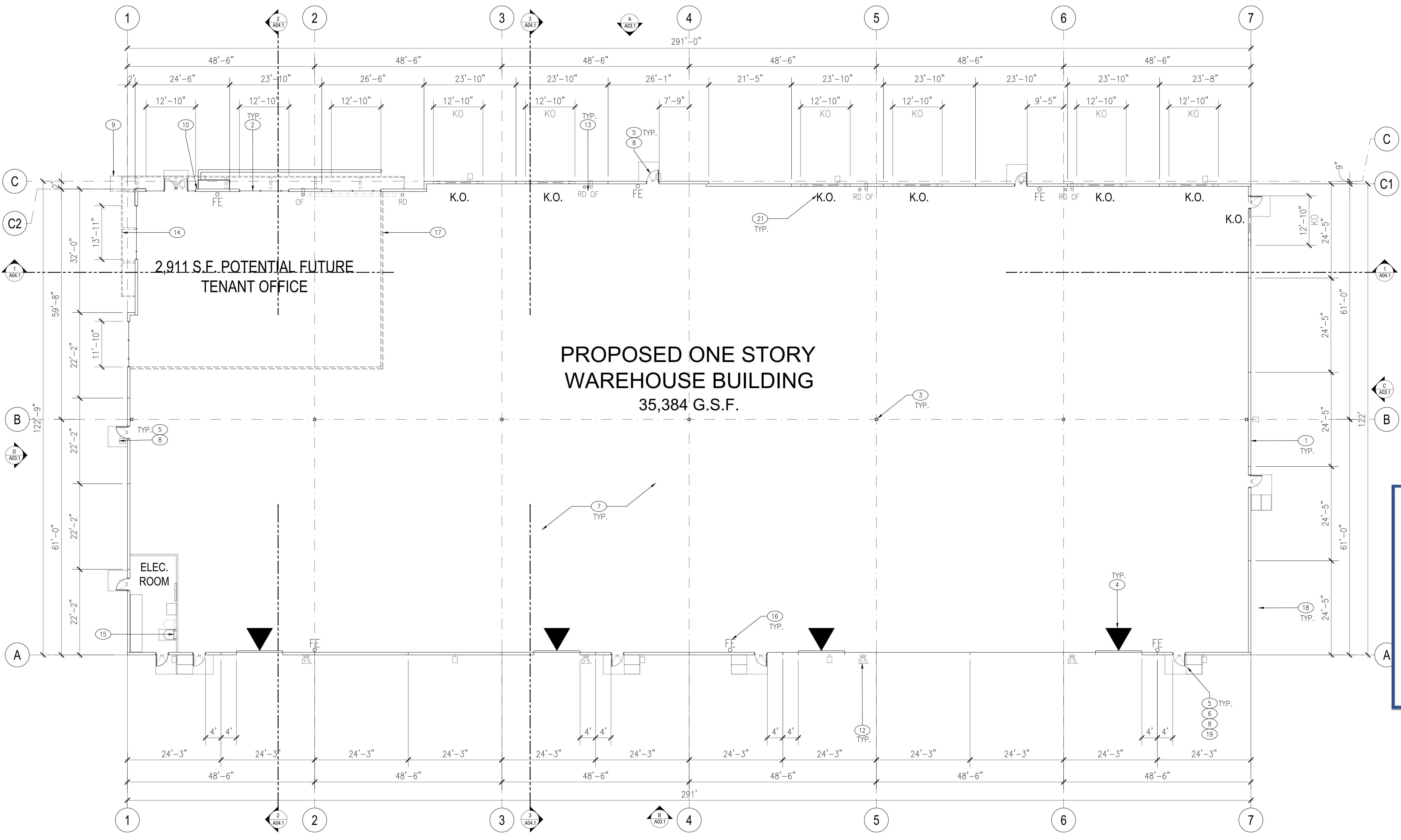


scale : AS NOTED

project number : 2234072

FLOOR PLAN

sheet no. : A02.1

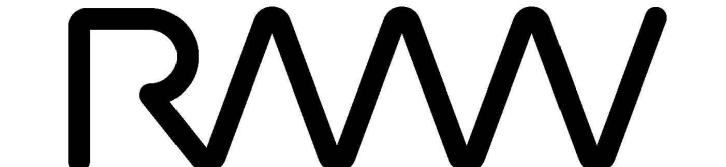
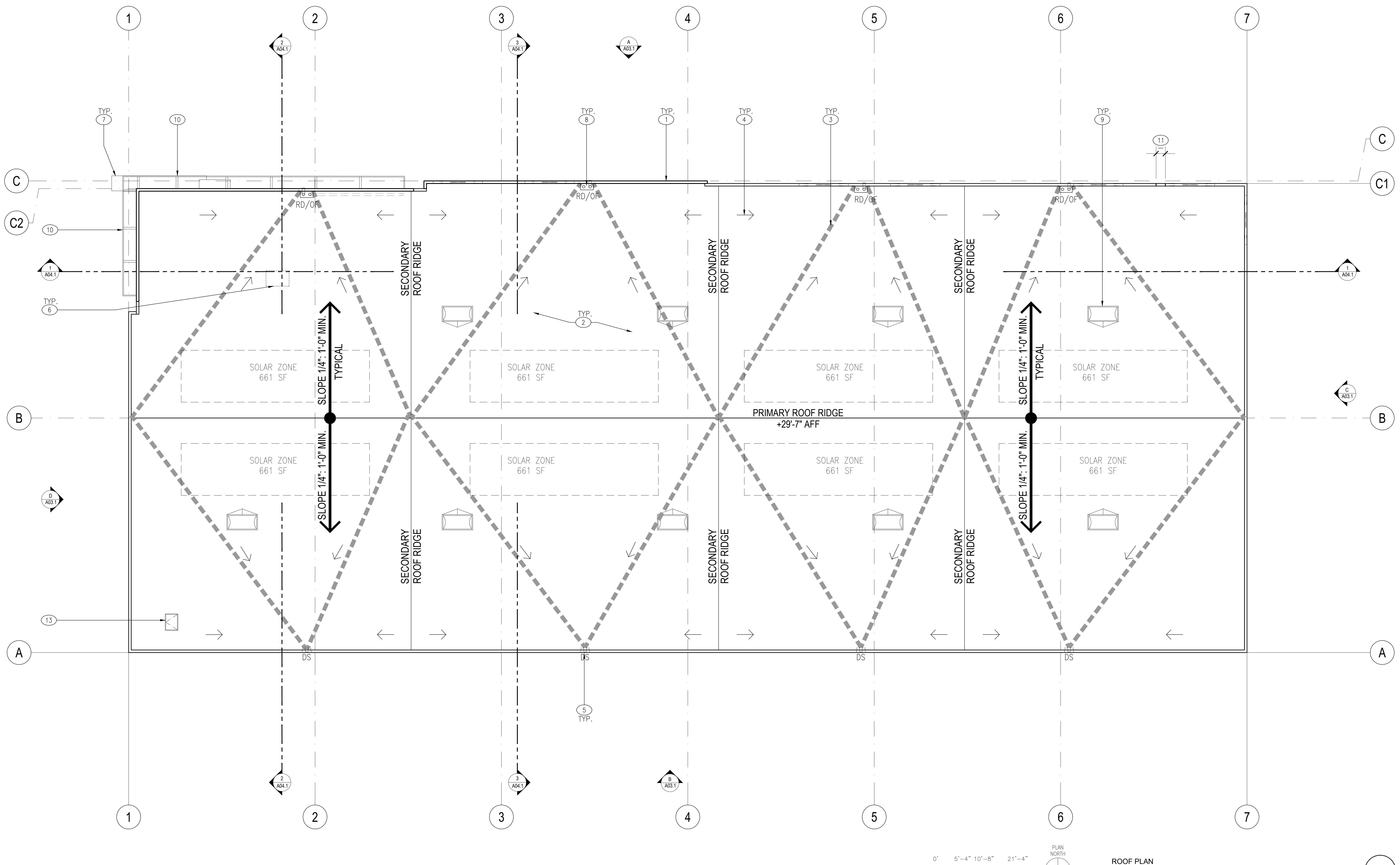


FLOOR PLAN  
SCALE: 3/32" = 1'-0"

PLAN NORTH

sheet no. : A02.1

A02.1



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RMW  
Architecture  
Interiors      1718 Third Street  
                    Suite 101  
                    Sacramento  
                    California 95811

Office  
916 449-1400

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rmw.com

**OWNER / DEVELOPER:**



2040 WEBSTER STREET  
SAN FRANCISCO, CA 94115

## PRELIMINARY DESIGN DOCUMENTS FOR:

# NEW INDUSTRIAL/ MANUFACTURING BUILDING

16175 JACQUELINE COURT  
MORGAN HILL, CA 95037

Approved for the owner by :

approved for the architect by :

ANSWER FOR PLANNING EXERCISE 26-27-2020

# CITY OF MORGAN HILL PLAN APPROVED

**THIS PLAN WAS APPROVED BY  
THE PLANNING DIVISION**

10/31/2023

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**FILE NUMBER**

#### PLANNING OFFICIAL

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113

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11 of 11 | Page | 2023-07-10 | Page 11

checked by : JDL

stamp

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Digitized by srujanika@gmail.com

project number : 2234072

BOGE PLAN

sheet no. :

A02.2



**CITY OF MORGAN HILL  
PLAN APPROVED**

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THE PLANNING DIVISION**

ON 10/31/2023

SR2023-0003

FILE NUMBER

Roshni Saxena  
Assistant Planner

PLANNING OFFICIAL

GENERAL CONTRACTOR:

**KEYNOTES:**

- (1) TPO ROOFING MEMBRANE OVER STRUCTURAL SHEATHING AND FRAMING, SEE A02.2
- (2) LINE OF PARAPET BEYOND
- (3) POTENTIAL LOCATION OF FUTURE ROOF MOUNTED MECHANICAL EQUIPMENT.
- (4) ROOF GIRDERS.
- (5) ROOF TRUSSES.
- (6) LINE OF SIGHT FROM THE ADJACENT PUBLIC WAY.
- (7) CONCRETE TILT-UP EXTERIOR WALLS, TYPICAL.
- (8) CONCRETE FLOOR SLAB AND FOOTING.
- (9) STRUCTURAL STEEL COLUMNS, TYPICAL.
- (10) TRASH ENCLOSURE. SEE DETAILS 1 & 2/A01.3.

drawn by : DD plot date : 06-07-2023

checked by : JDL

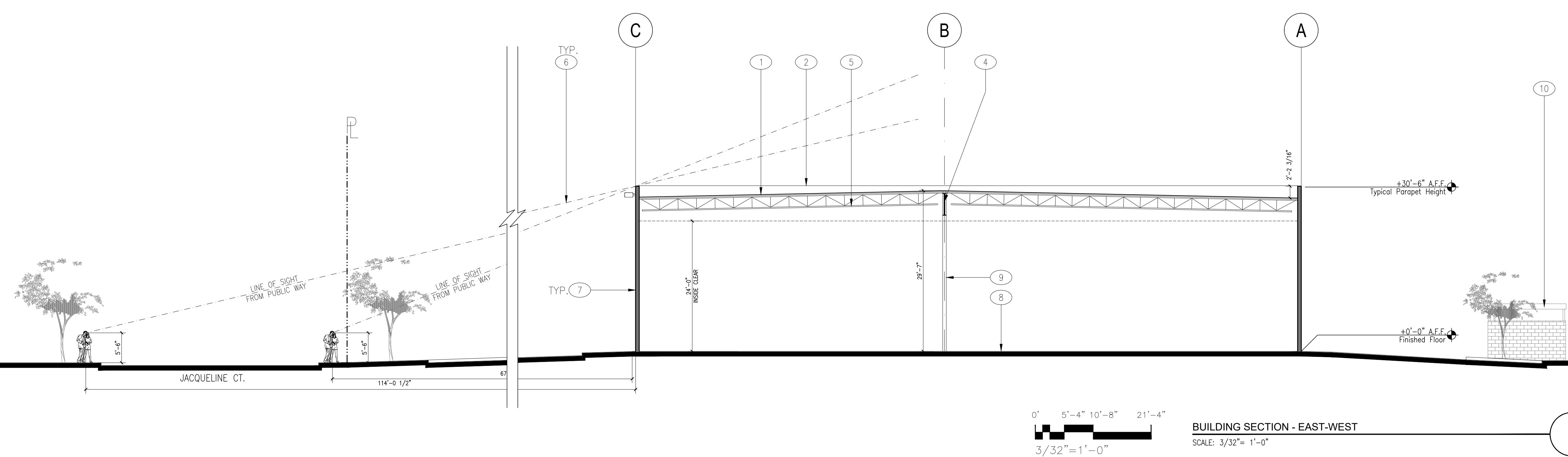
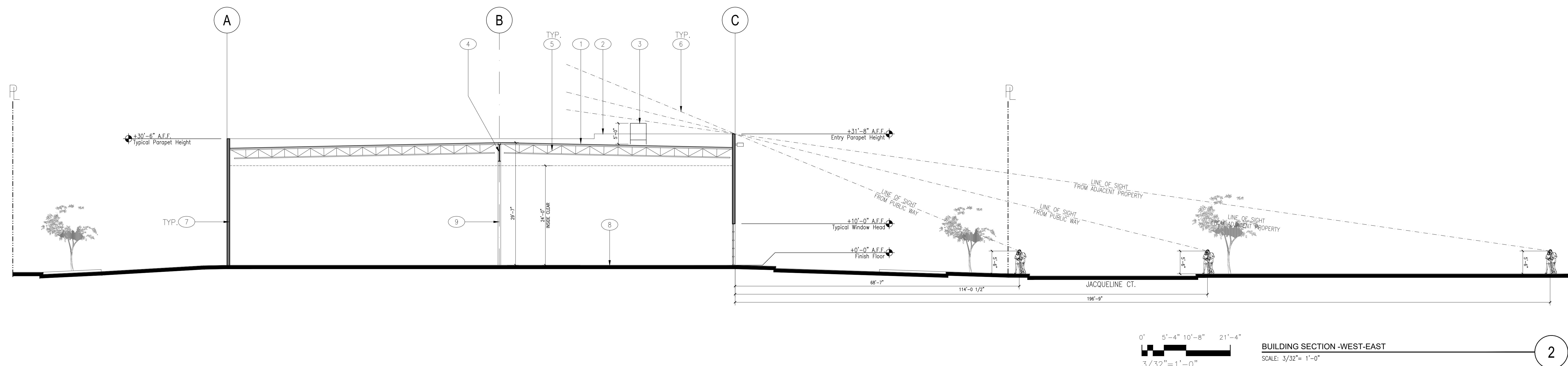
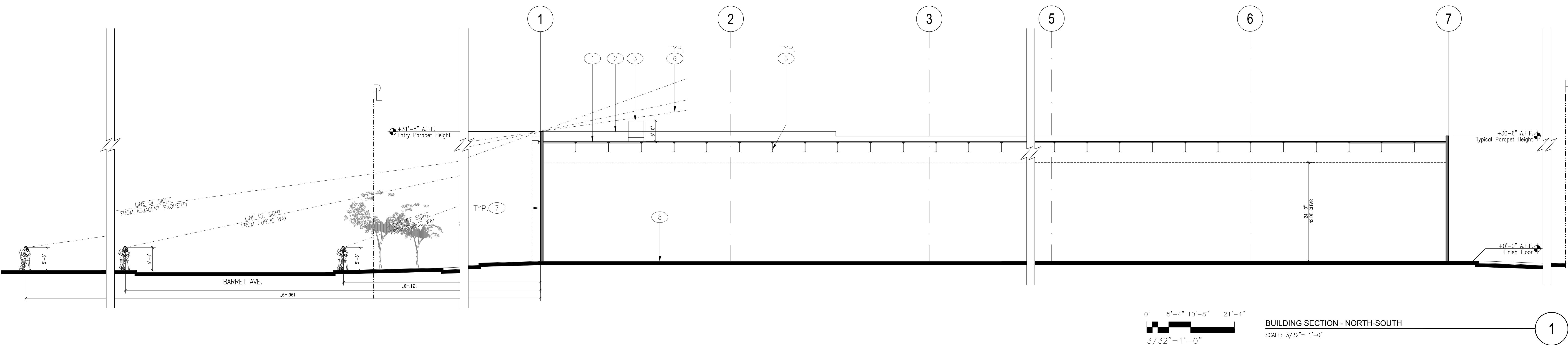
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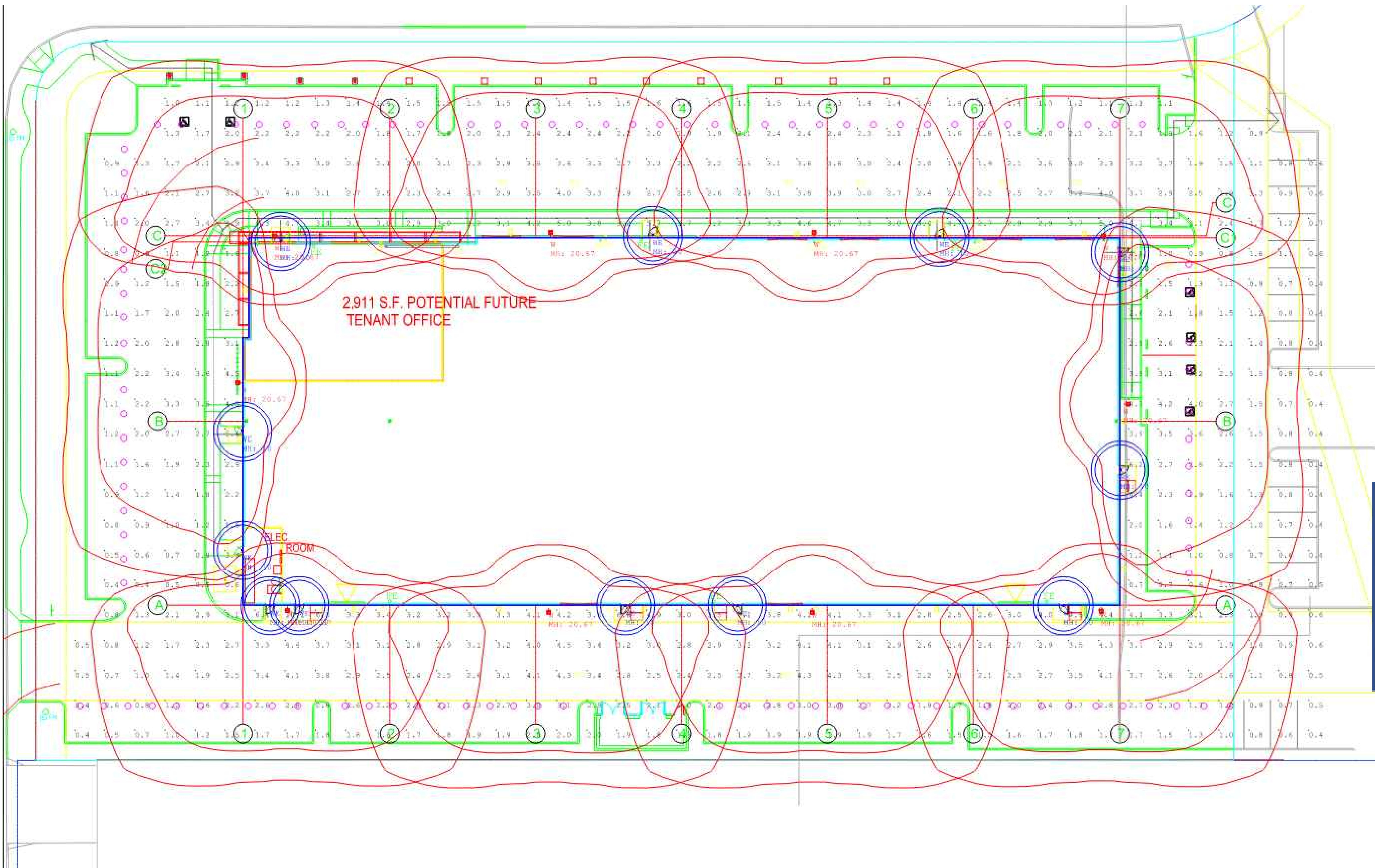
scale : AS NOTED  
project number : 2234072

**BUILDING  
SECTIONS**

sheet no. :

A04.1





Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	LLD	LDD	BF	Description
	10	W	SINGLE	19431	0.900	1.000	0.900	1.000	PRV-PA2B-740-U-T4W
	12	WE	SINGLE	707	0.900	1.000	0.900	1.000	CORE WL-3_4_6-DIRECT-83CRI-70-SQUARE SX

All values shown are maintained horizontal Footcandles at grade level. The lighting calculations provided in this report approximate the light levels expected within the space as defined and are based on the information provided to Cal Lighting. Please verify the data to assure the accuracy of the report. Cal Lighting is not responsible for light output of lamps and ballasts, or design variables.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING LOT	Illuminance	Fc	2.28	10.1	0.4	5.70	25.25

The logo for CAL Lighting. It features the word "CAL" in a large, bold, black sans-serif font, where each letter is contained within a separate yellow circular background. Below this, the word "LIGHTING" is written in a smaller, bold, black sans-serif font.





LEA & BRAZE ENGINEERING, INC.  
CIVIL ENGINEERS & LAND SURVEYORS  
REGIONAL OFFICES:  
BOSWELL, DUBLIN, SAN JOSE  
www.leabaze.com

16175 JACQUELINE COURT  
MORGAN HILL, CALIFORNIA  
APN: 817-32-058  
SANTA CLARA COUNTY

PRELIMINARY GRADING  
& DRAINAGE PLAN

0 10 20 40  
SCALE: 1" = 20'

### HATCH LEGEND

- (N) STRUCTURE
- (N) PERMEABLE ASPHALT
- (N) ASPHALT
- (N) CONCRETE PAVERS
- (N) CONCRETE PAVING

## CITY OF MORGAN HILL PLAN APPROVED

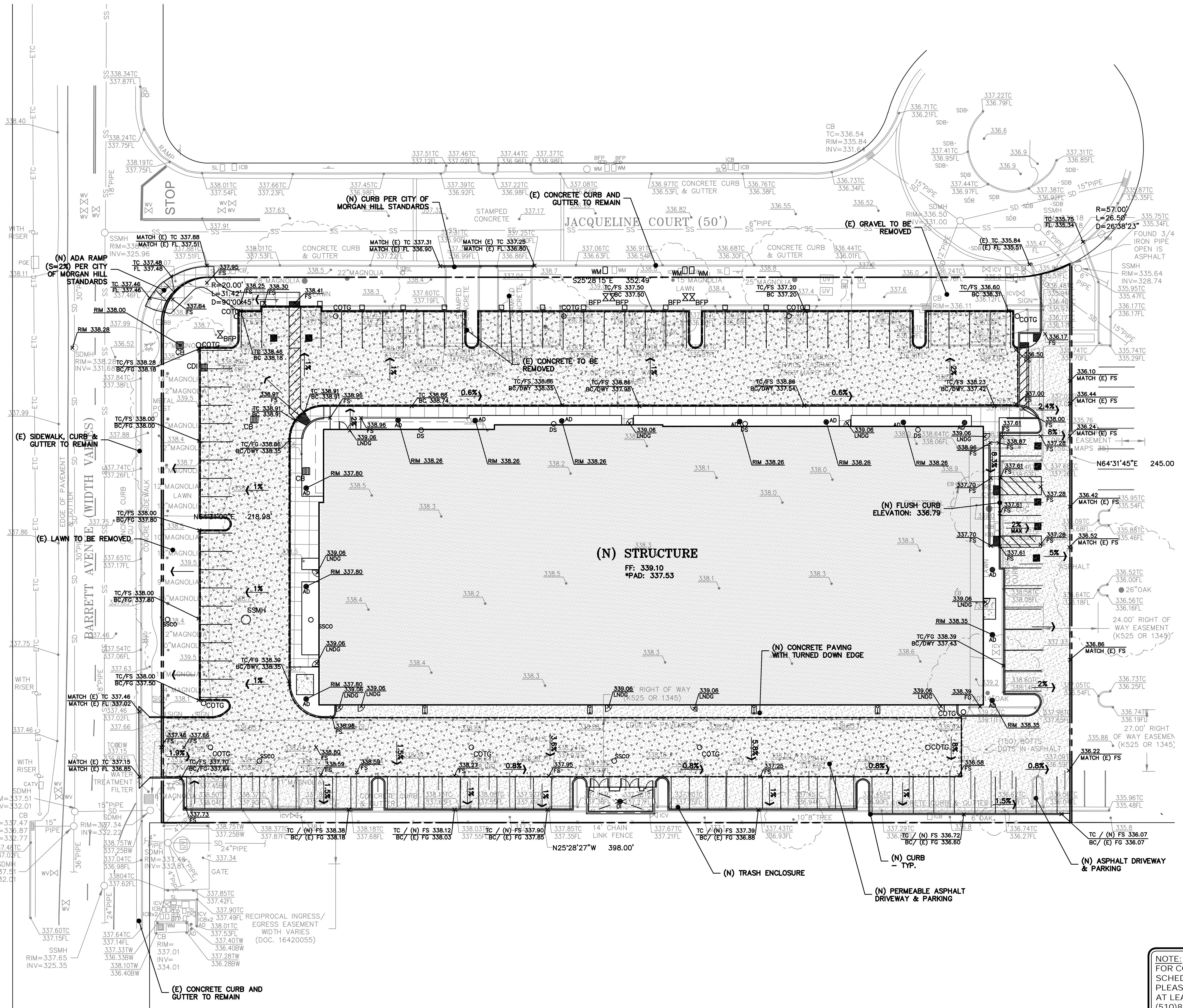
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THE PLANNING DIVISION

ON 10/31/2023

FILE NUMBER

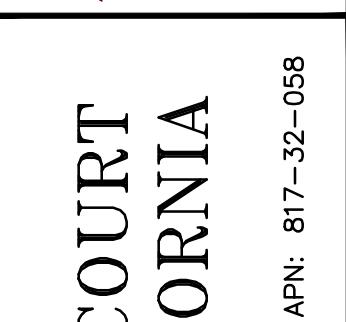
Roshni Saxena  
Assistant Planner

PLANNING OFFICIAL





LEA & BRAZE ENGINEERING, INC.  
CIVIL ENGINEERS | LAND SURVEYORS  
REGIONAL OFFICES:  
MAIN OFFICE: 2495 INDUSTRIAL PKWY. WEST  
HAYWARD, CALIFORNIA 94545  
(510) 887-4086  
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SAN JOSE  
www.leabaze.com



APN: 817-32-058

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MORGAN HILL, CALIFORNIA

SANTA CLARA COUNTY

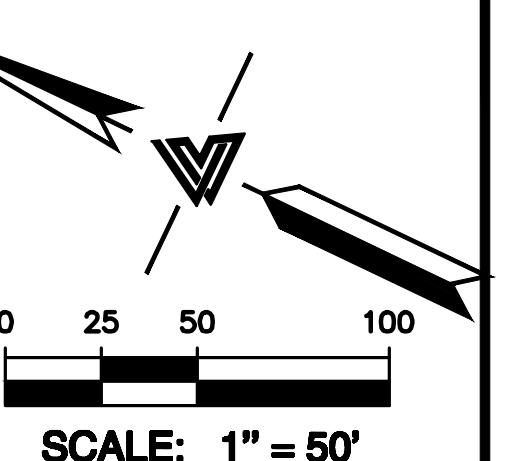
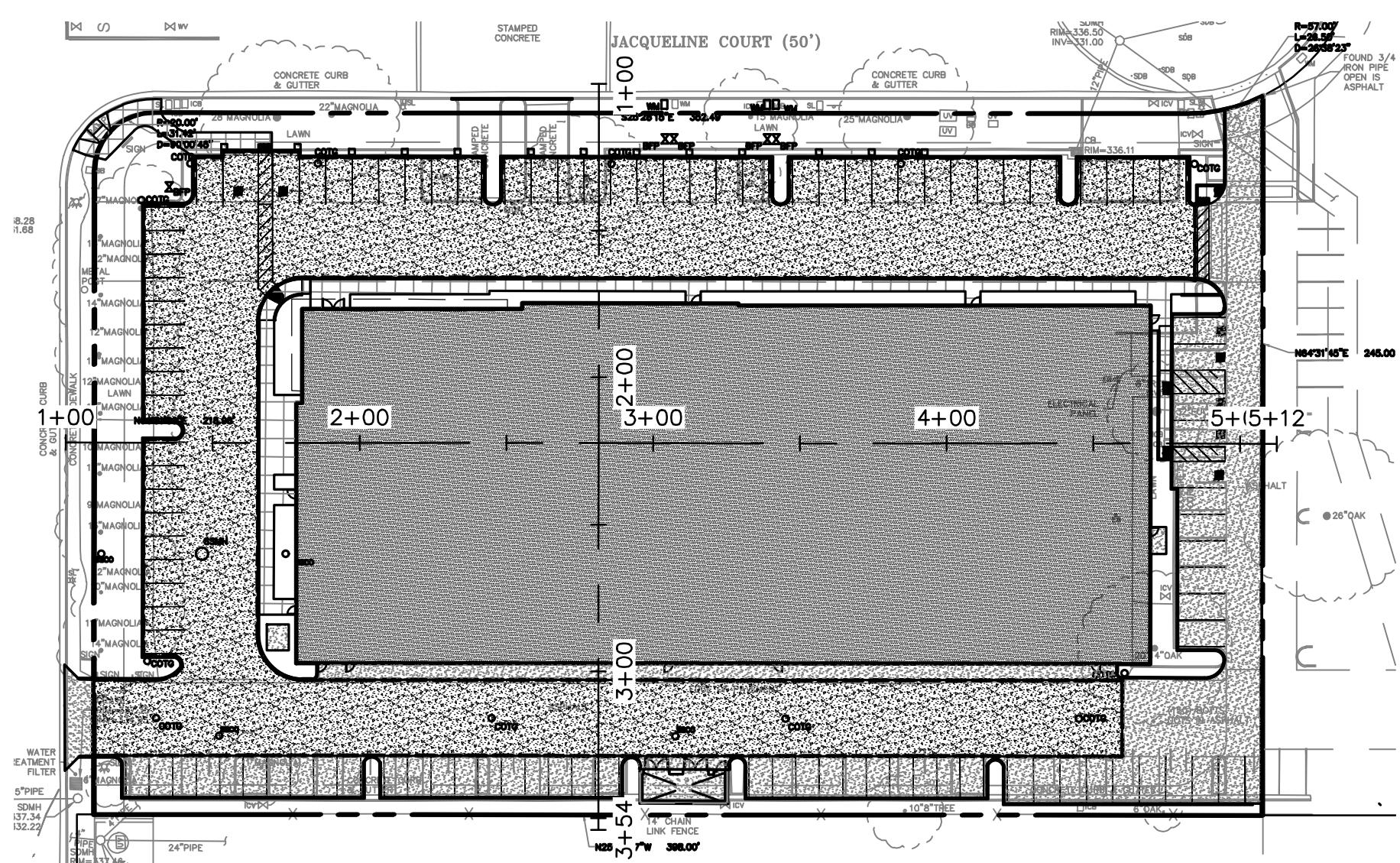
HORIZONTAL SITE SECTION  
SEE ABOVE

1 PLAN CHECK #1 ZA  
REVISIONS BY  
JOB NO: 2222012  
DATE: 12-07-22  
SCALE: AS NOTED  
DESIGN BY: ZA  
CHECKED BY: JH  
SHEET NO:

C-2.1

3 OF 7 SHEETS

## KEY MAP

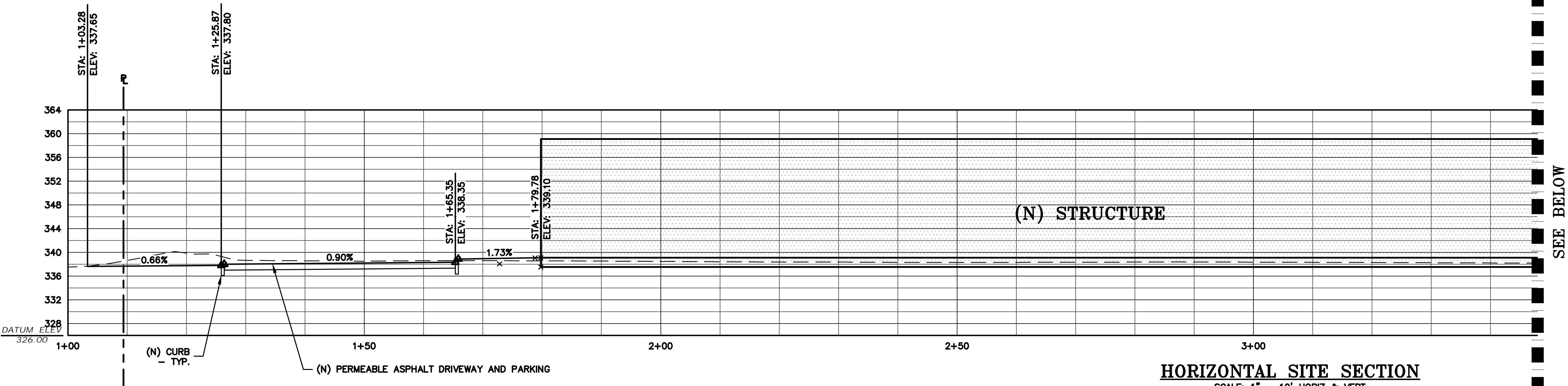


SCALE: 1" = 50'

## (N) STRUCTURE

## HORIZONTAL SITE SECTION

SCALE: 1" = 10' HORIZ & VERT



## CITY OF MORGAN HILL PLAN APPROVED

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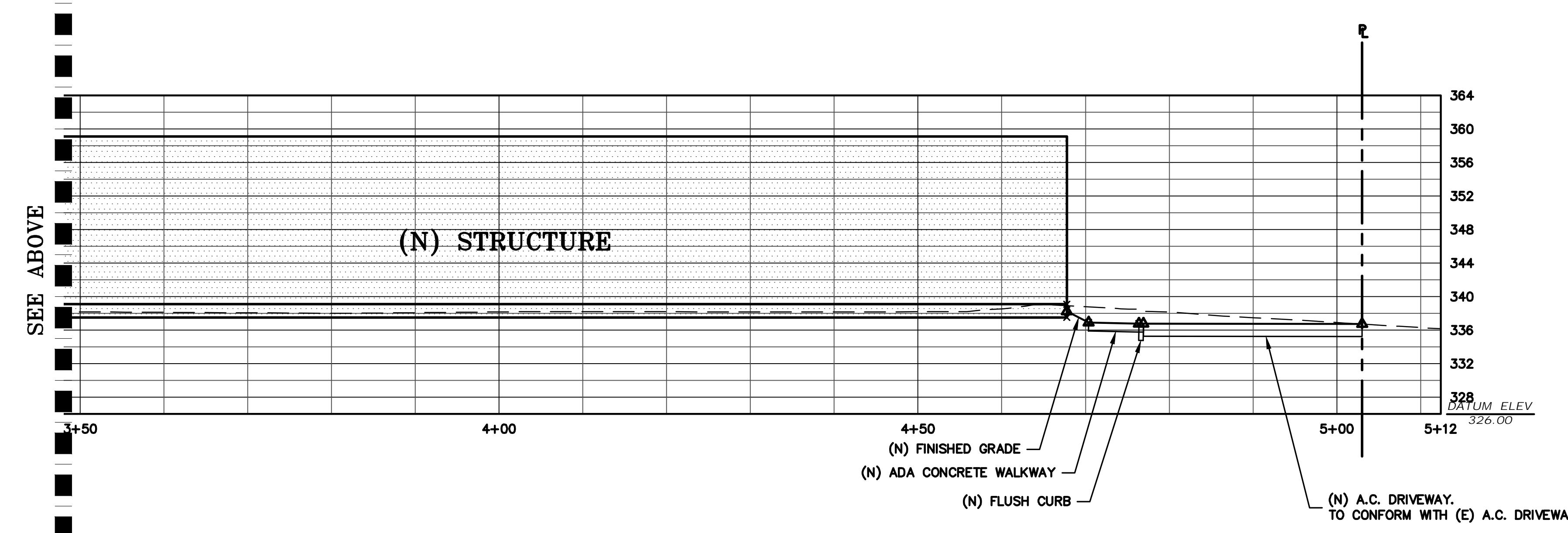
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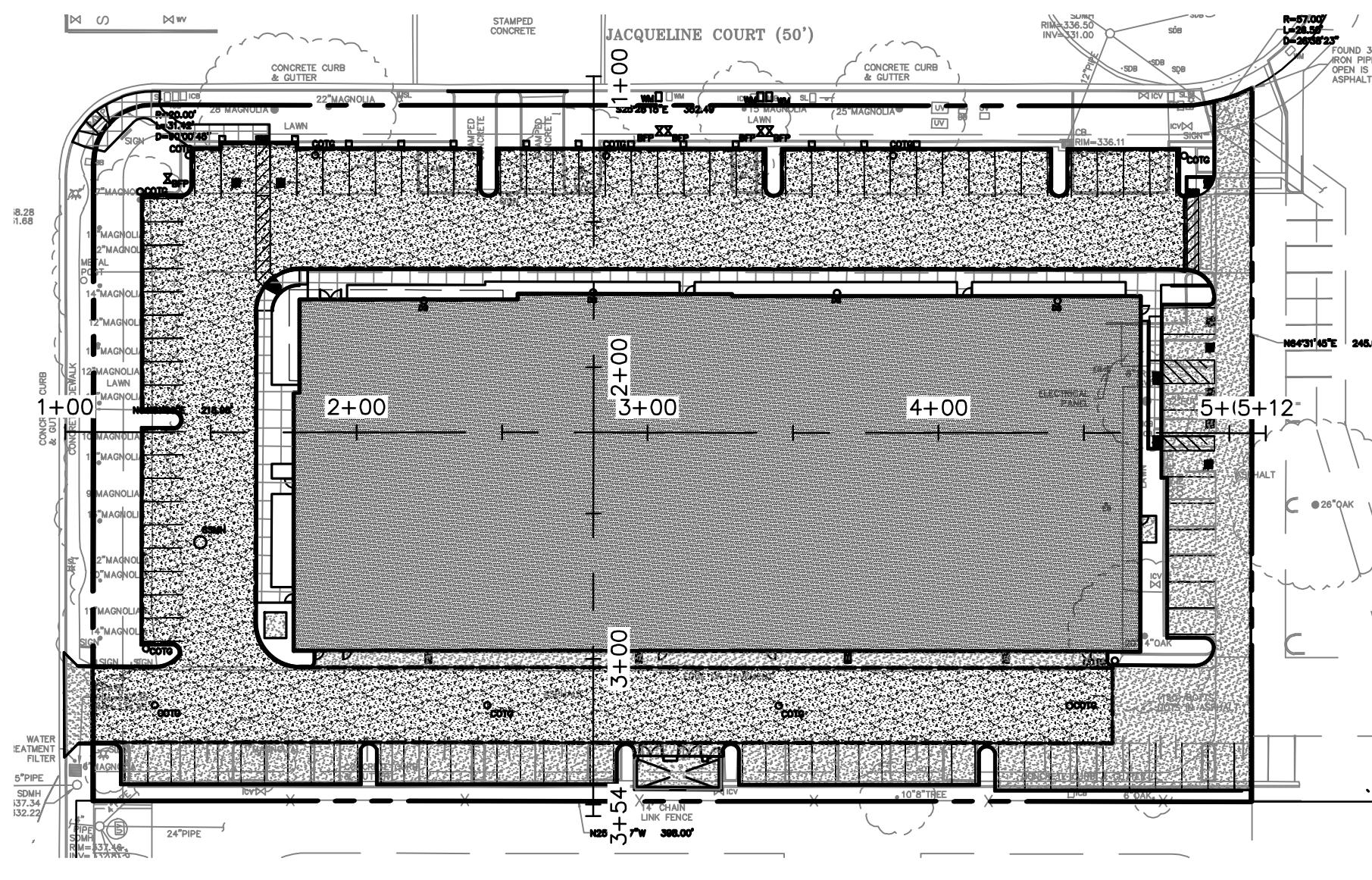
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KEY MAP



LEA & BRAZE ENGINEERING, INC.  
CIVIL ENGINEERS & LAND SURVEYORS  
REGIONAL OFFICES:  
ROSEVILLE  
DUBLIN  
SAN JOSE  
[www.leabaze.com](http://www.leabaze.com)

SCALE: 1" = 50'

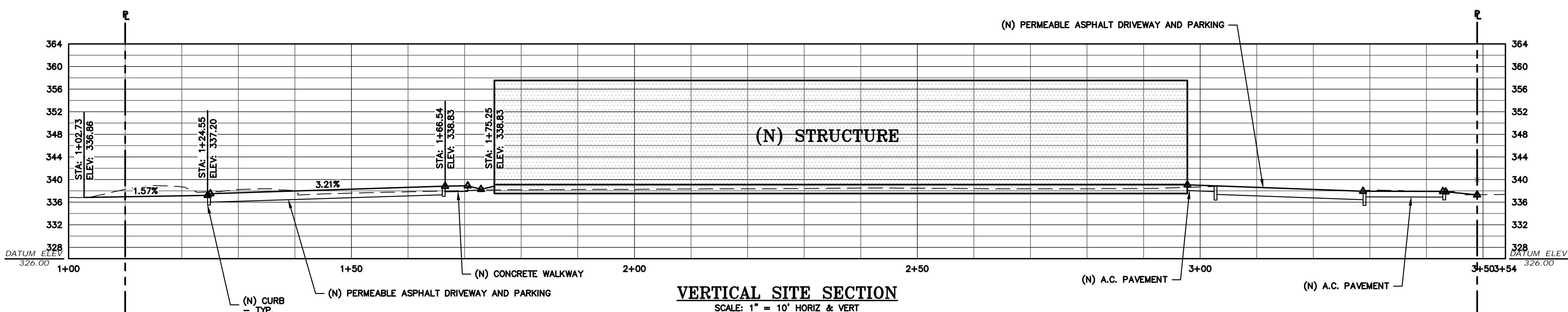
APN: 817-32-058

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16175 JACQUELINE COURT  
MORGAN HILL, CALIFORNIA

SANTA CLARA COUNTY

VERTICAL SITE  
SECTION



1 PLAN CHECK #1 ZA  
06-05-23  
REVISIONS BY  
JOB NO: 2222012  
DATE: 12-07-22  
SCALE: AS NOTED  
DESIGN BY: ZA  
CHECKED BY: JH  
SHEET NO: 1

**C-2.2**

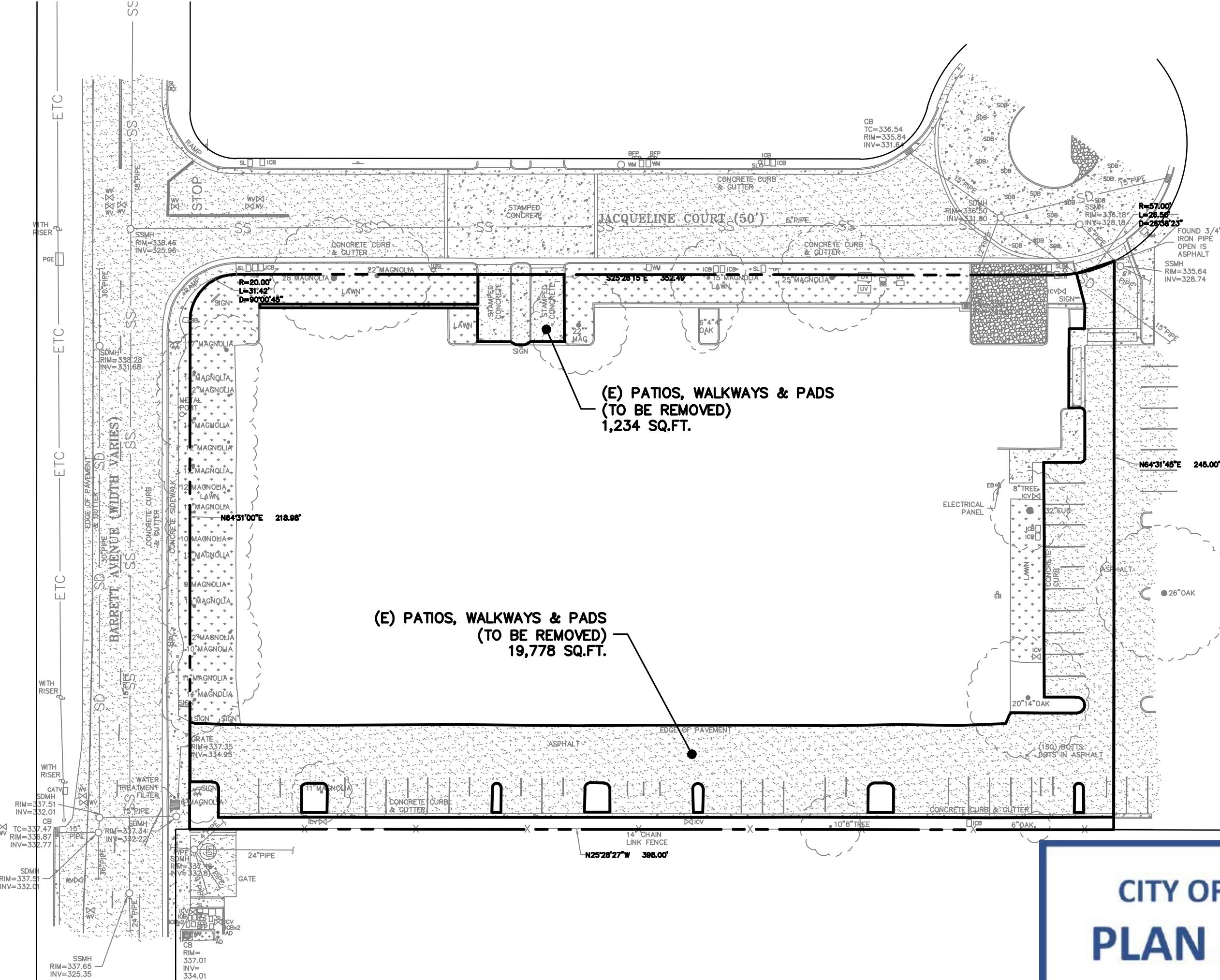
4 OF 7 SHEETS





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MORGAN HILL, CALIFORNIA  
APN: 817-32-058  
SANTA CLARA COUNTY



EXISTING

## CITY OF MORGAN HILL PLAN APPROVED

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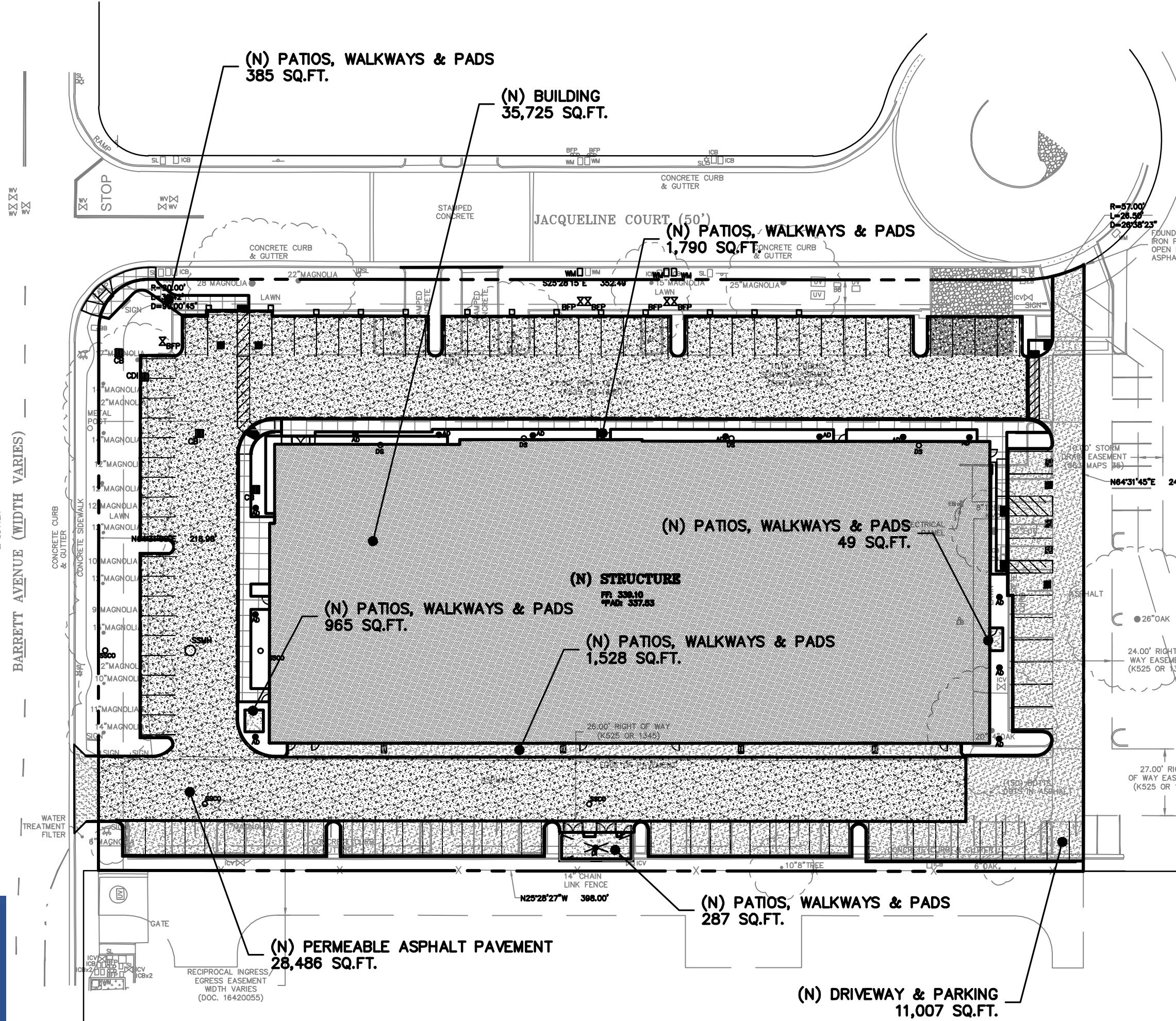
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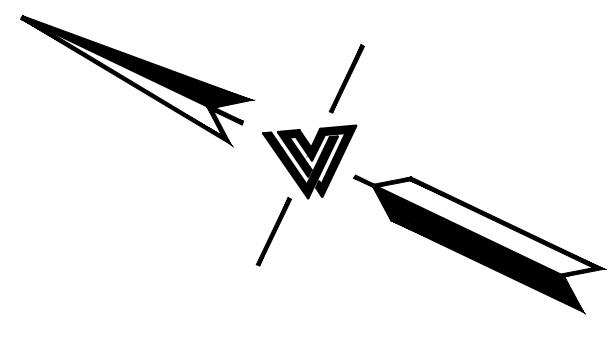
PLANNING OFFICIAL

MEASURES:

- CONNECT THE FOLLOWING FEATURES TO SANITARY SEWER:
  - COVERED TRASH/ RECYCLING ENCLOSURES.
  - INTERIOR PARKING STRUCTURES.
  - WASH AREA/ RACKS.
  - POOLS, SPAS, FOUNTAINS.
  - COVERED LOADING DOCKS AND MAINTENANCE BAYS.
  - PUMPED GROUNDWATER.
- BENEFICIAL LANDSCAPING.
- USE OF WATER EFFICIENT IRRIGATION SYSTEMS.
- MAINTENANCE (PAVEMENT SWEEPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING).
- STORM DRAIN LABELING.
- OTHER: \_\_\_\_\_



PROPOSED



SCALE: 1" = 40'

### STANDARD STORMWATER CONTROL NOTES:

- STANDING WATER SHALL NOT REMAIN IN THE TREATMENT MEASURES FOR MORE THAN FIVE DAYS. TO PREVENT MOSQUITO GENERATION, SHOULD ANY MOSQUITO ISSUES ARISE, CONTACT THE SANTA CLARA VALLEY VECTOR CONTROL DISTRICT (DISTRICT). MOSQUITO LARVICIDES SHALL BE APPLIED ONLY WHEN ABSOLUTELY NECESSARY, AS INDICATED BY THE DISTRICT, AND THEN ONLY BY A LICENSED PROFESSIONAL OR CONTRACTOR. CONTACT INFORMATION FOR THE DISTRICT IS PROVIDED BELOW.
- DO NOT USE PESTICIDES OR OTHER CHEMICAL APPLICATIONS TO TREAT DISEASED PLANTS, CONTROL WEEDS OR REMOVE UNWANTED GROWTH. EMPLOY NON-CHEMICAL CONTROLS (BIOLOGICAL, PHYSICAL AND CULTURAL CONTROLS) TO TREAT A PEST PROBLEM. PRUNE PLANTS PROPERLY AND AT THE APPROPRIATE TIME OF YEAR. PROVIDE ADEQUATE IRRIGATION FOR LANDSCAPE PLANTS. DO NOT OVER WATER.

ONSITE IMPERVIOUS SURFACE INFORMATION							
TOTAL SITE AREA =	95,076 SQUARE FEET = 2.183 ACRES						
IMPERVIOUS AND PERVIOUS PAVEMENT AREAS =	80,222 SQUARE FEET = 1.842 ACRES						
DISTURBED AREA =	95,076 SQUARE FEET = 2.183 ACRES						
IMPERVIOUS AREAS	EXISTING (sq-ft.)	REMOVED (sq-ft.)	NEW (sq-ft.)	PROPOSED (sq-ft.)			
RESIDENCE	0	0	35,725	35,725			
DRIVeway AND PARKING	19,778	19,778	11,007	11,007			
PATIOS, WALKWAYS AND PADS	1,234	1,234	5,004	5,004			
MISC.	0	0	0	0			
TOTAL IMPERVIOUS AREA	21,012	21,012	51,736	51,736			
SEMI-PERVIOUS AREAS							
PERMEABLE ASPHALT PAVEMENT	0	0	28,486	28,486			
TOTAL SEMI-PERVIOUS AREA	0	0	28,486	28,486			
TOTAL DEVELOPED AREA	21,012	21,012	80,222	80,222			
NET CHANGE IN DEVELOPED AREA	+59,210 SQFT. NET INCREASE						
TOTAL PERVIOUS PAVEMENT				28,486			
TOTAL IMPERVIOUS PAVEMENT				51,736			
HALF OF TOTAL IMPERVIOUS PAVEMENT				25,868			
PERVIOUS > HALF OF TOTAL IMPERVIOUS PAVEMENT?				Yes			

### STORMWATER CONTROL PLAN

1 PLAN CHECK #1  
03-28-23 ZA  
REVISIONS BY  
JOB NO: 2222012  
DATE: 11-22-22  
SCALE: AS NOTED  
DESIGN BY: ZA  
CHECKED BY: JH  
SHEET NO:

**HYD-1**

6 OF 2 SHEETS



**CITY OF MORGAN HILL  
PLAN APPROVED**

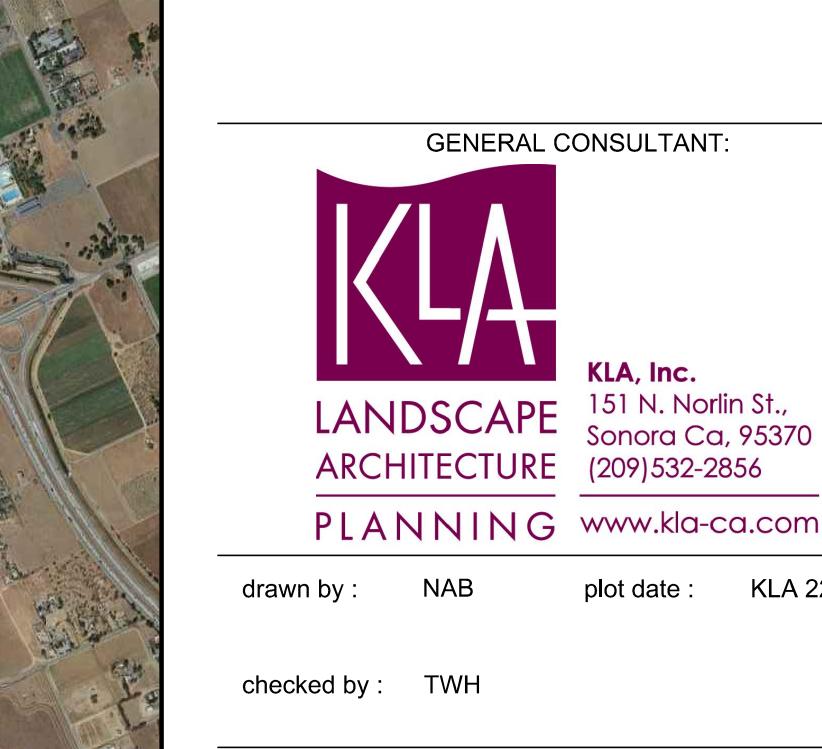
THIS PLAN WAS APPROVED BY  
THE PLANNING DIVISION

ON 10/31/2023

FILE NUMBER SR2023-0003

Roshni Saxena  
Assistant Planner

PLANNING OFFICIAL



GENERAL CONSULTANT:

**KLA**  
LANDSCAPE  
ARCHITECTURE  
PLANNING www.kla-ca.com

drawn by : NAB plot date : KLA-22-2488

checked by : TWH

stamp



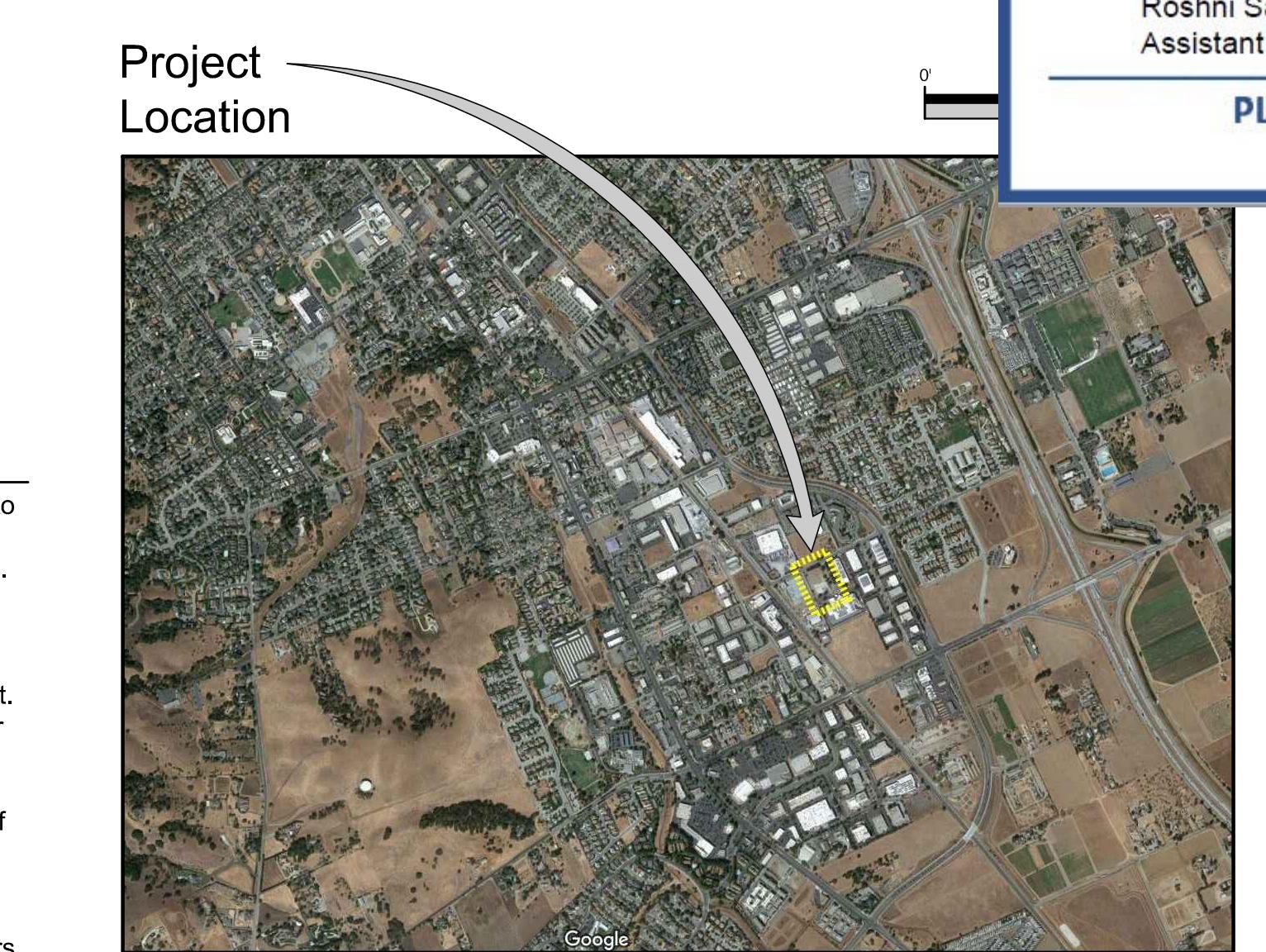
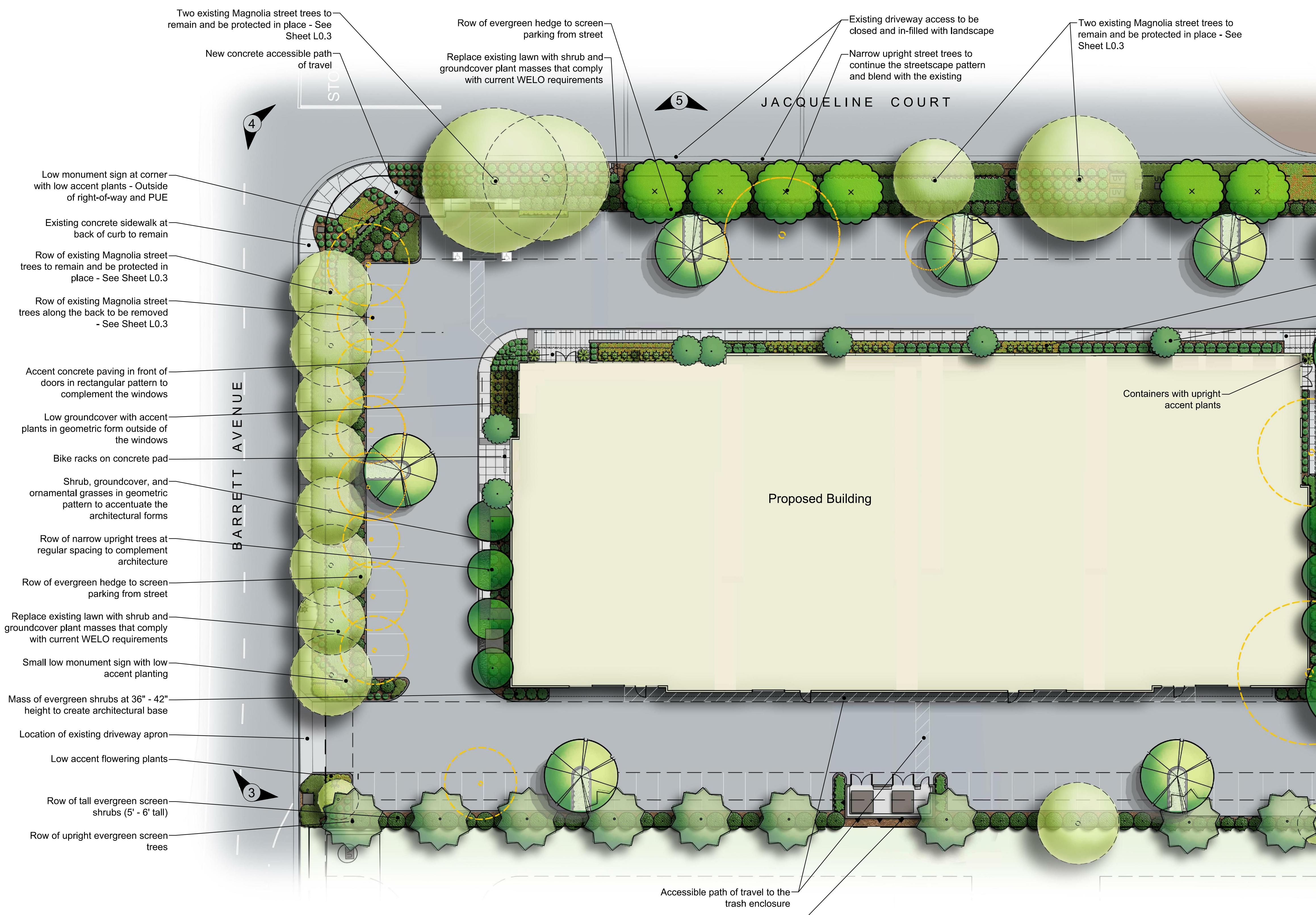
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project number : 2234072

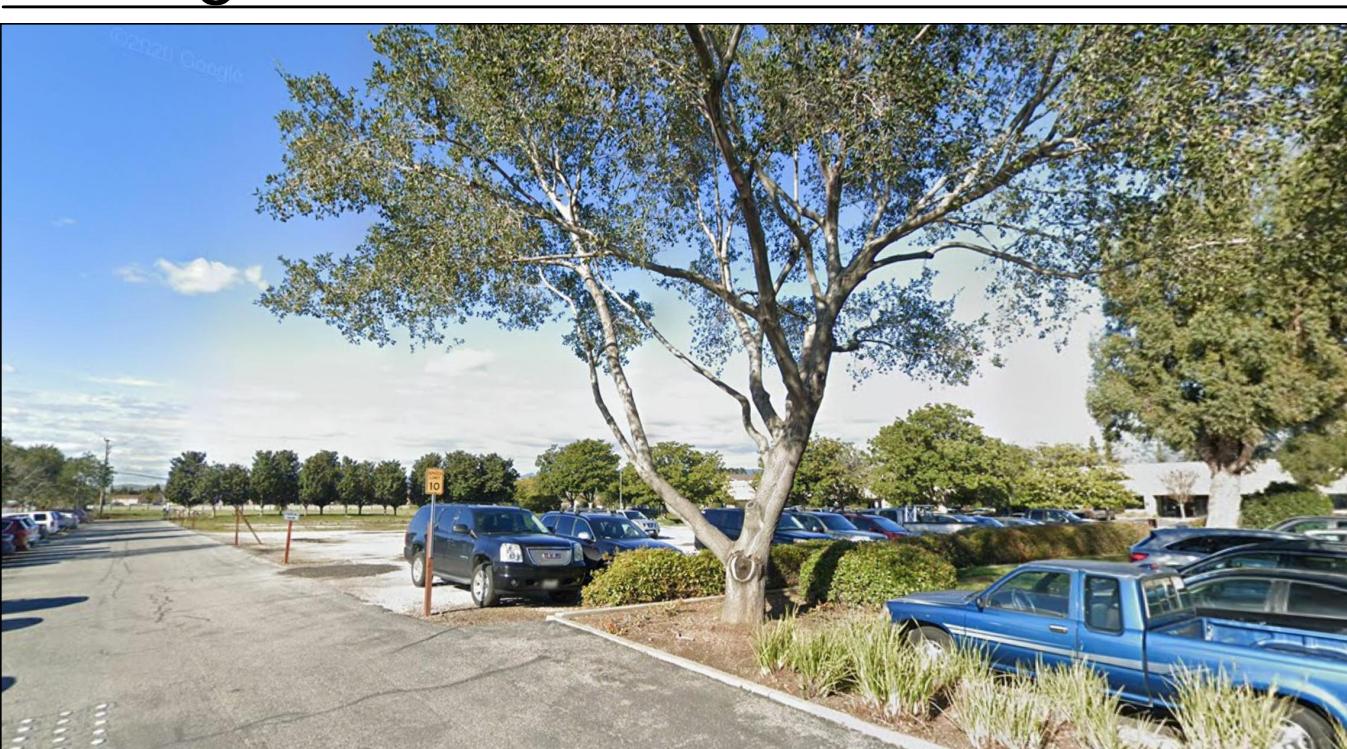
**Preliminary Landscape  
Plan**

sheet no. :

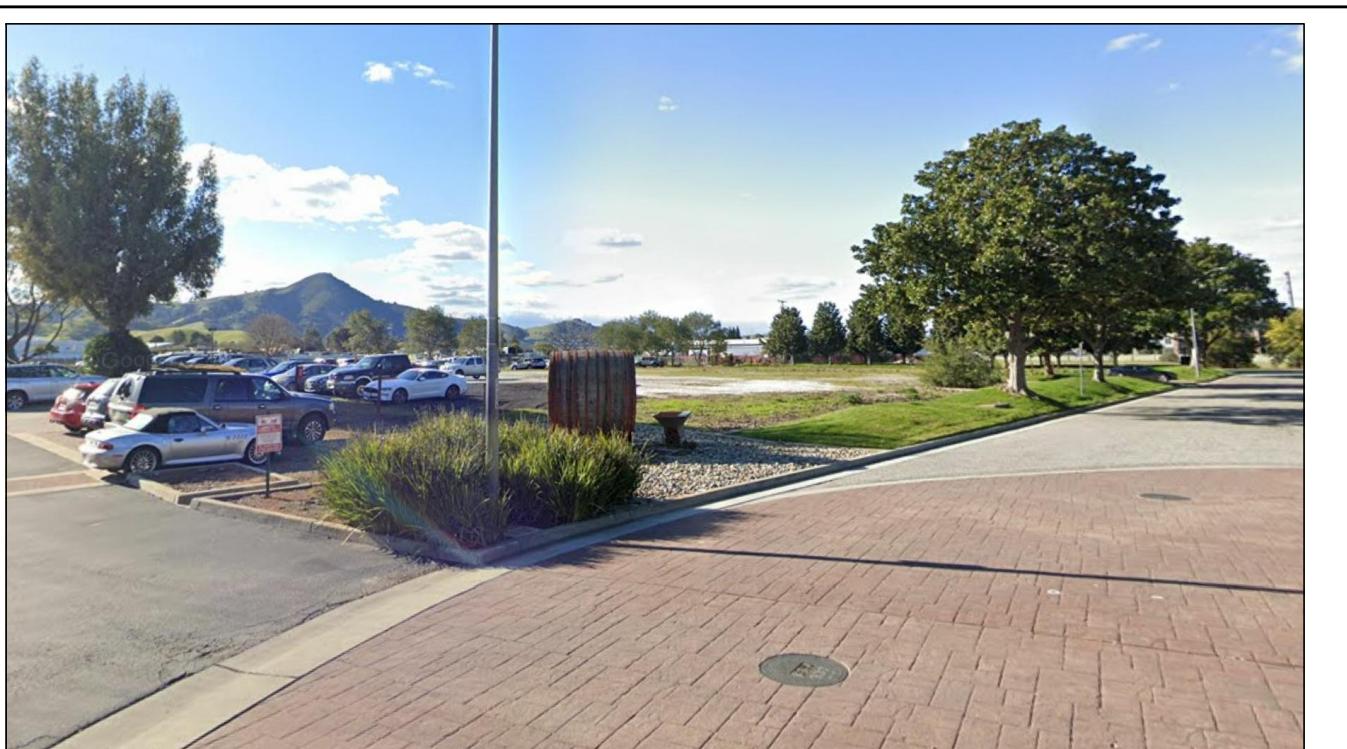
L0.1



**Existing Site Photos**



① SouthWest Corner



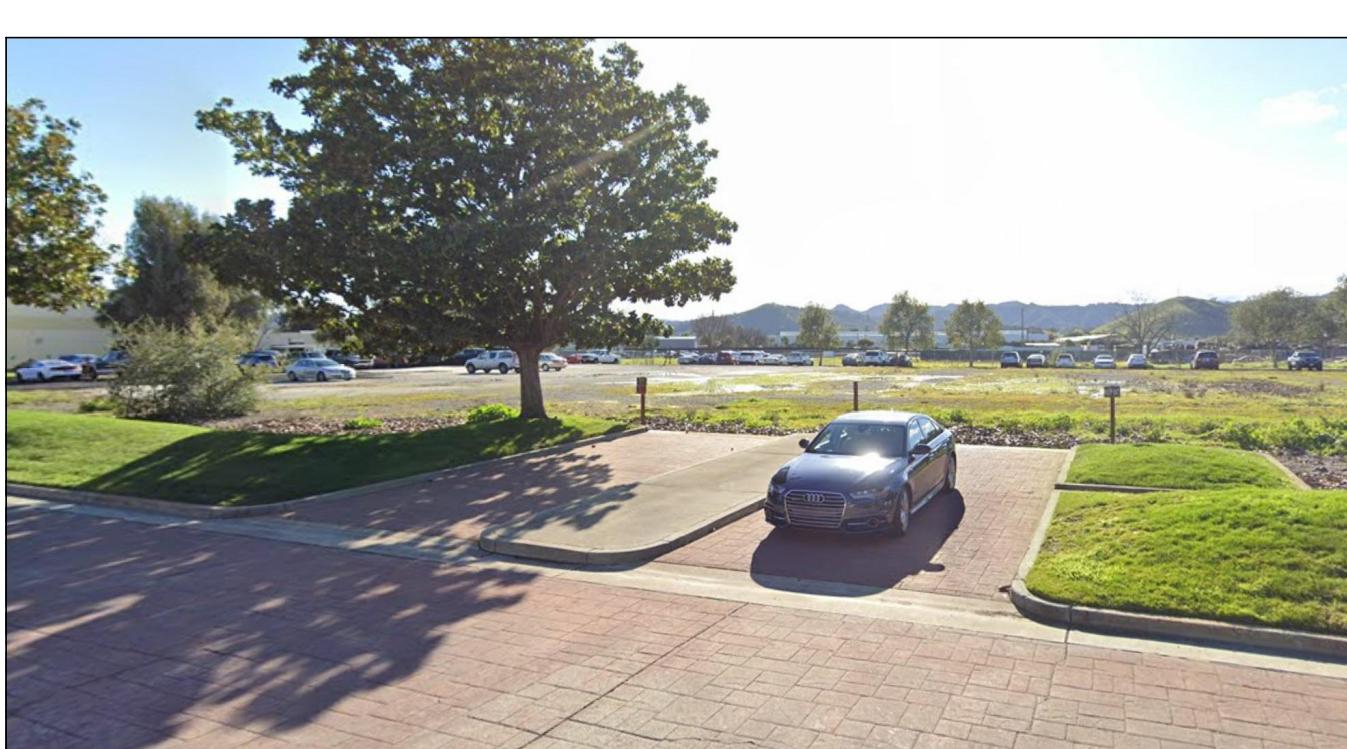
② SouthEast Corner



③ NorthWest Corner



④ NorthEast Corner



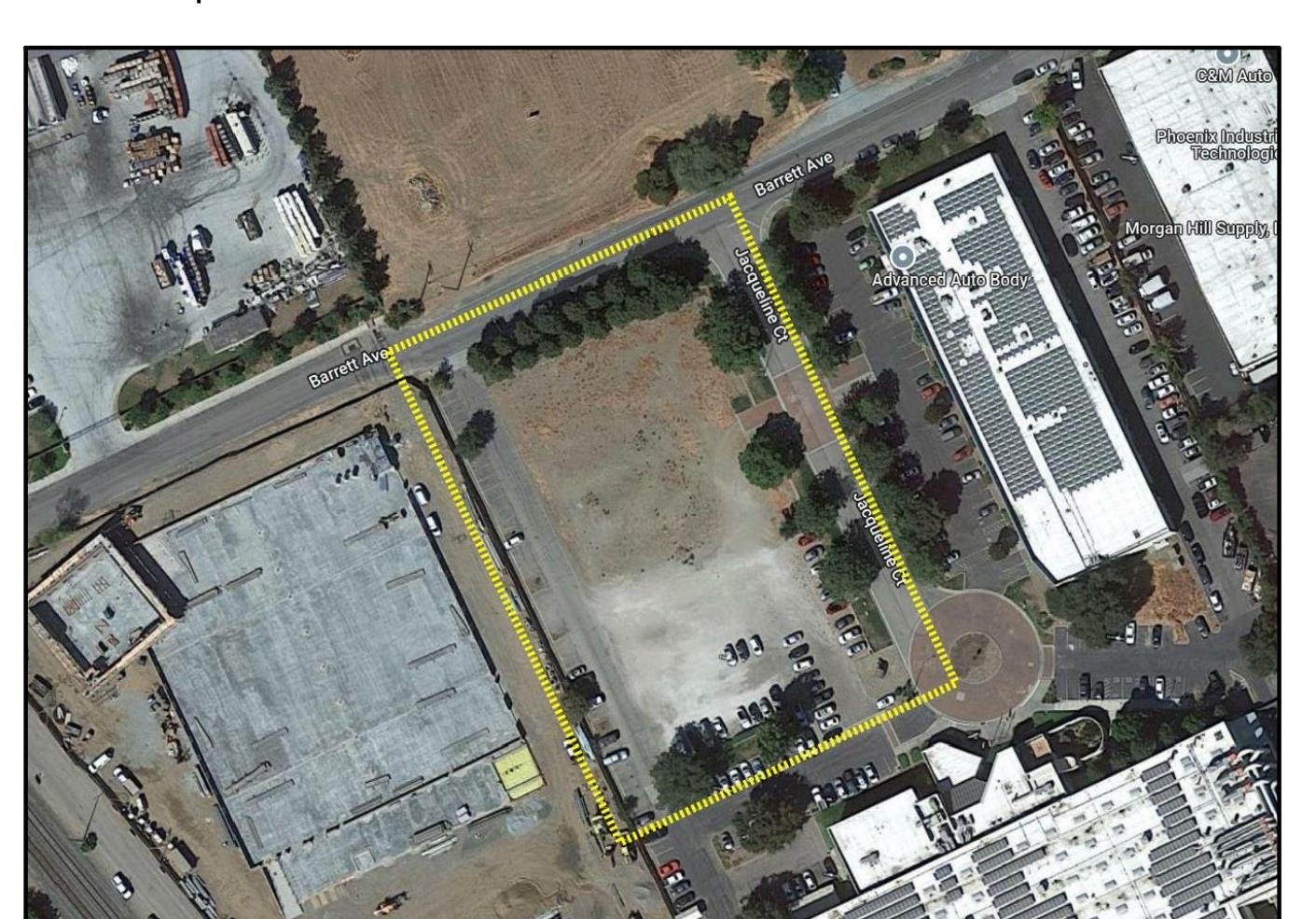
⑤ Jacqueline Court looking west

**Landscape Concept**

The landscape design concept for the 16175 Jacqueline Court site is to provide an enjoyable and aesthetic space for the users that fits within the existing landscape framework of the site and the surrounding area. Plant material has been selected that performs well in the special conditions of the Morgan Hill (Sunset Zone #14).

The new facility will occupy an area previously used as an open dirt lot. Low Water Use hardy trees, shrubs and groundcover are proposed for the majority of the site with minimal Medium Water Use shrubs and groundcovers in the landscape at the building entries. The landscape (and associated irrigation) will be designed to be compliant with City of Morgan Hill's Water Efficient Landscape Ordinance.

Considerations have been provided in selection of plant material that respects the needs of users of the site. Clear and secure view corridors have been provided to ensure safety of the customers entering the building as well as vehicular traffic moving around the site.



Aerial Map

CITY OF MORGAN HILL  
PLAN APPROVEDTHIS PLAN WAS APPROVED BY  
THE PLANNING DIVISION

ON 10/31/2023

SR2023-0003

FILE NUMBER

Roshni Saxena

Assistant Planner

PLANNING OFFICIAL

## Preliminary Plant Palette

## Trees

**Shade Trees**  
*Pistacia chinensis 'Keith Davey'*  
*Quercus coccinea*  
*Ulmus parvifolia*  
*Zelkova serrata 'Village Green'*  
*Chinese Pistache*  
*Scarlet Oak*  
*Evergreen Elm*  
*Village Green Zelkova*

**Upright Screen Trees**  
*Arbutus 'Marina'*  
*Geijera parviflora*  
*Laurus nobilis 'Sarotoga'*  
*Podocarpus gracilior*  
*Strawberry Tree*  
*Australian Willow*  
*Sarotoga Laurel*  
*Fern Pine*

**Very Narrow Upright Trees**  
*Cupressus sempervirens*  
*Ginkgo biloba 'Princeton Sentry'*  
*Hymenosporum flavum*  
*Quercus robur 'Skyrock'*  
*Italian Cypress*  
*Maidenhair Tree*  
*Sweetshade*  
*Skyrocket Oak*

**Street Trees - In compliance with Morgan Hill Street Tree Master Plan - Zone 2**  
*Acer rubrum 'October Glory'*  
*Lophotemon confertus*  
*Nyssa sylvatica*  
*Ulmus parvifolia*  
*October Glory Maple*  
*Brisbane Box*  
*Sour Gum*  
*Chinese Elm*

**Narrow Upright Formal Trees**  
*Acer rubrum 'Armstrong'*  
*Laurus nobilis 'Sarotoga'*  
*Magnolia grandiflora 'Samuel Sommer'*  
*Nyssa sylvatica*  
*Armstrong Red Maple*  
*Sarotoga Laurel*  
*Southern Magnolia*  
*Black Gum*

## Shrub and Groundcover Zoning

**Tall Evergreen Hedge** - Irrigated 5-gallon shrubs of moderate growth rate, size in the 4'-6' spread and height range, minimal maintenance.  
*Leucosia leucosia*  
*Leucophyllum frutescens 'Texas Ranger'*  
*Ligustrum japonicum 'Texanum'*  
*Pittosporum tobira 'Variegata'*  
*Olea europaea 'Little Ollie'*  
*Rhaphiolepis indica 'White Enchantress'*

**Accent Shrubs/Succulents** - Irrigated 5-gallon shrubs of average growth rate, size in the 36"-5' spread  
*Anigozanthos 'Bush Baby'*  
*Kangaroo Paw*  
*Agave 'Blue Glow'*  
*Desert Spoon*  
*Dosypatron wheeleri*  
*Red Yucca*  
*Hesperaloe parviflora*  
*Red Yucca*

**Large Accent Shrubs** - Irrigated 5-gallon shrubs of small to medium size and moderate growth rate, size in the 36"-48" spread and height range, minimal maintenance.  
*Callistemon viminalis 'Little John'*  
*Hesperaloe parviflora*  
*Lantana 'Hybridus Gold Rush'*  
*Rosa 'Pink Flower Carpet'*  
*Silvia greggii*  
*Dwarf Bottlebrush*  
*Red Yucca*  
*Gold Rush Lantana*  
*Flower Carpet Rose*  
*Autumn Sage*

**Grasses / Grass-like Plants** - Irrigated 1-gallon and 5-gallon perennial and evergreen grasses and strip leaf plants planted in masses, size in the 24"-42" spread and height range.  
*Calamagrostis acutiflora 'Karl Foerster'*  
*Dwarf Feather Reed Grass*  
*Dianella tasmanica 'Variegata'*  
*Flax Lily*  
*Dietes bicolor*  
*Fortnight Lily*  
*Lomandra longifolia 'Breeze'*  
*Dwarf Mat Rush*  
*Muhlenbergia dubia*  
*Pine Muhy*

**Small Flowering Accent Shrubs** - Irrigated 1-gallon plants of moderate growth rate, size in the 18"-48" spread and height range.  
*Apponanthus aficanus*  
*Lily of the Nile*  
*Heuchera hybrida*  
*Day Lily*  
*Salvia nemorosa*  
*Sage*  
*Zauschneria californica*  
*California Fuchsia*

**Low Groundcover** - Irrigated 1-gallon evergreen low spreading groundcover of 48"-6' o.c.  
*Baccharis pilularis 'Twin Peaks II'*  
*Cotoneaster dammeri 'Lowfast'*  
*Juniperus species (Groundcover)*  
*Myrsinopsis parvifolia*  
*Trachelospermum asiaticum*  
*Coyote Bush*  
*Bearberry*  
*Juniper*  
*Myoporum*  
*Asian Jasmine*

**Vines**  
*Ficus pumila*  
*Porthenocissus tricuspidata*  
*Trachelospermum jasminoides*  
*Creeping Fig*  
*Boston Ivy*  
*Star Jasmine*

**Cobble - 2" - 4" diameter Cobble for accent**

**Non-Living Groundcover**  
 Mulch to be evenly distributed throughout all shrub and groundcover areas (not turf and Fescue) unless otherwise noted on plans. Mulch to be nitrogen stabilized, max. 3/4", recycled material installed at min. 3" depth. Contractor to provide sample for approval prior to installation. "Gorilla Hair" is not acceptable unless specifically noted for slope areas.

**Existing lawn and/or shrubs to remain - Provide new 2x4 P.T. edging adjacent to new shrub areas. Existing irrigation to be adjusted as needed.**

**Existing trees to remain - see Existing Tree Inventory**

**Existing trees to be removed for new driveway - see Existing Tree Inventory**

**This plan represents the design style and theme of the landscape design and planting. These plans are preliminary and may change through the design process. The final planting plan may not contain all of the above plants in the sizes as shown. Additionally some new plant species may be used in the final design. This plan does however indicate the quantity of trees and the overall level of landscape development that will be carried through with the final design.**

**Final landscape design shall meet City of Morgan Hill codes and requirements as well as Project Specific Conditions of Approval. Final design is subject to approval through the building permit review process.**

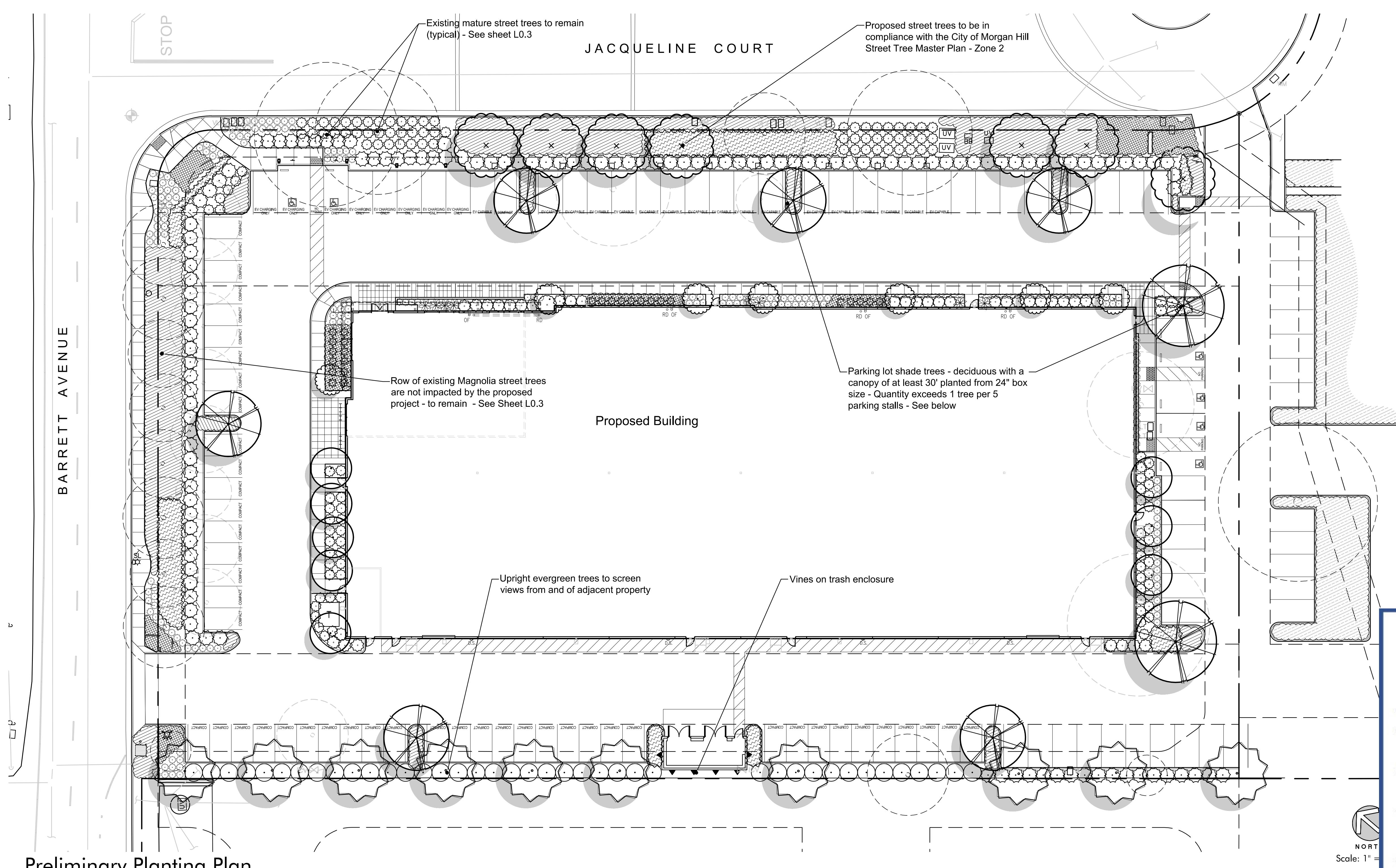
## Preliminary Planting Note

The Preliminary Plant Palette represents a sampling of the types of shrubs, groundcovers, and trees we anticipate to be appropriate for the landscape design style and theme. This is the list from which plant selection will be drawn. Not all plants listed within this plant palette will be used in the final design and some plants not listed may be introduced. However, the planting design intent will remain consistent with this plan and plant palette.

## Tree Root Barriers

All trees denoted with the root barrier symbol and/or within five (5) feet of hedges are to have DeepRoot Model #8-2 root barriers installed along the inside edge of the adjacent sidewalk curb. Length of linear root barrier shall be 16 linear feet (8 panels) and shall be centered on tree.

Root Solutions RS-18 may be used as an alternate, 1(800)554-0914

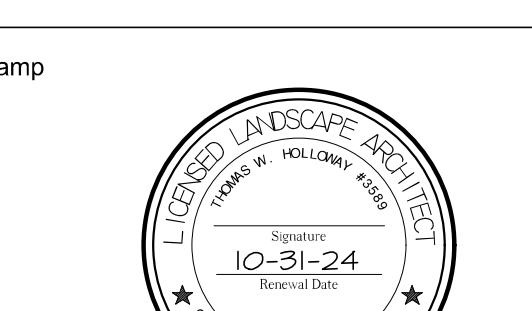


GENERAL CONSULTANT:  
**KLA**  
 KLA, Inc.  
 1511 Marin St.  
 Sonoma, CA 95370  
 (209)532-2856  
 PLANNING www.kla-ca.com

drawn by: NAB plot date: KLA-22408

checked by: TWH stamp

scale : AS NOTED  
 project number : 2234072  
 stamp



scale : AS NOTED  
 project number : 2234072  
 sheet no. : L0.2

## WELO Water Use Calculations

The following calculations represent the intended hydrozones and water usage as designed with this Preliminary Landscape Plan. As we move through the design process we anticipate minor adjustments/revisions of these calculations. However, compliance with WELO code requirements will always remain.

ETO for Morgan Hill 49.5

Type of Plants	Native Use	Plant Factor	Hydrozone Area %	Type of Irrigation	Irrigation Efficiency	ETNU
1 Shrubs	Medium	0.4	1,929 sf	11.8% Drip Emitter	.81	29,235.1
2 Shrubs	Low	0.3	13,624 sf	83.4% Drip Emitter	.81	154,859.5
3 Trees	Medium	0.4	775 sf	4.8% Drip Emitter	.81	11,745.6

TOTAL 16,328 sf 195,840.1 Gallons

MAXIMUM Applied Water Allowance (MAWA) 225,497.8 gallon/year

Estimated Total Water Usage (ETWU) 195,840.1 gallon/year

Average Irrigation Efficiency .81

ETWU is less than MAWA, therefore water usage as designed exceeds code requirements

## Irrigation

The perimeter of the site is currently serviced by an existing irrigation system. Portions of the existing system will be removed and/or replaced with new irrigation equipment where new site development occurs within the existing landscape. The entire site will be irrigated using a fully automatic system. The irrigation system will largely be low-volume design. The system will include in-line valves, quick couplers, and gate valves. Backflow devices shall be painted dark green.

The irrigation controller for the new irrigation system will be a 'Smart' ETo-based controller from Rainbird, Hunter, Irritrol, or equal. A weather sensing device will be installed to interrupt watering times during rain or freeze. A complete irrigation design with these parameters will be provided with the improvement plans and will be compliant with the Water Efficient Landscape Ordinance.

The irrigation controller for the new irrigation system will be a 'Smart' ETo-based controller from Rainbird, Hunter, Irritrol, or equal. A weather sensing device will be installed to interrupt watering times during rain or freeze. A complete irrigation design with these parameters will be provided with the improvement plans and will be compliant with the Water Efficient Landscape Ordinance.

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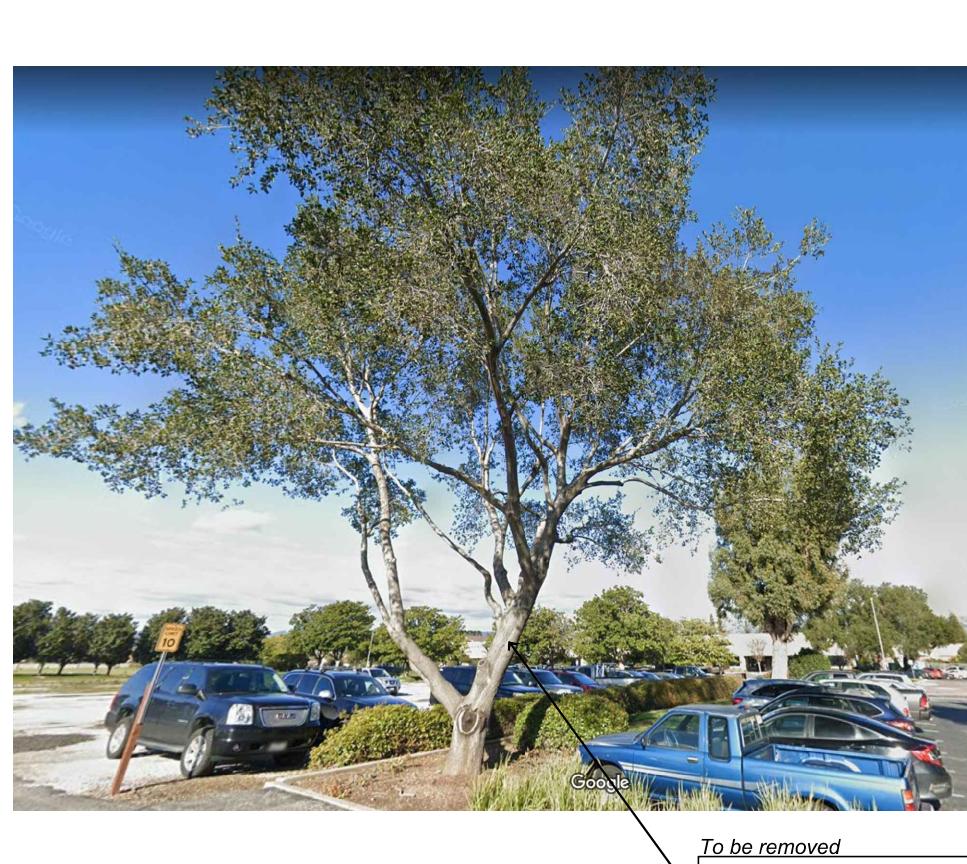
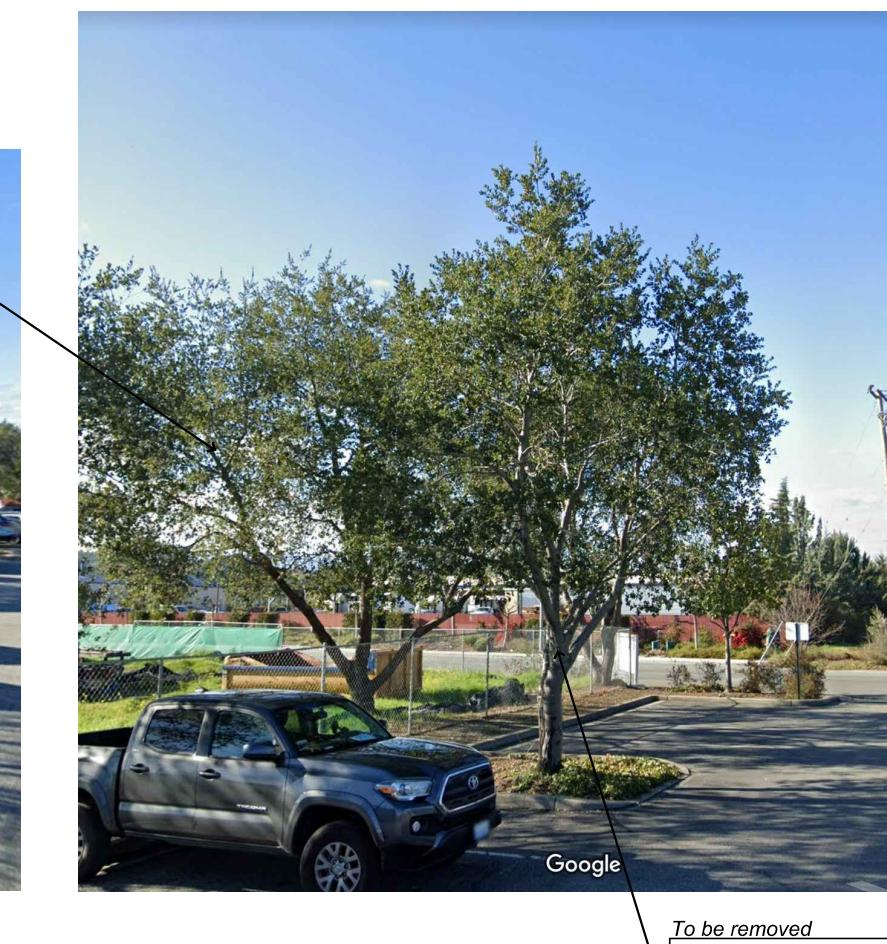
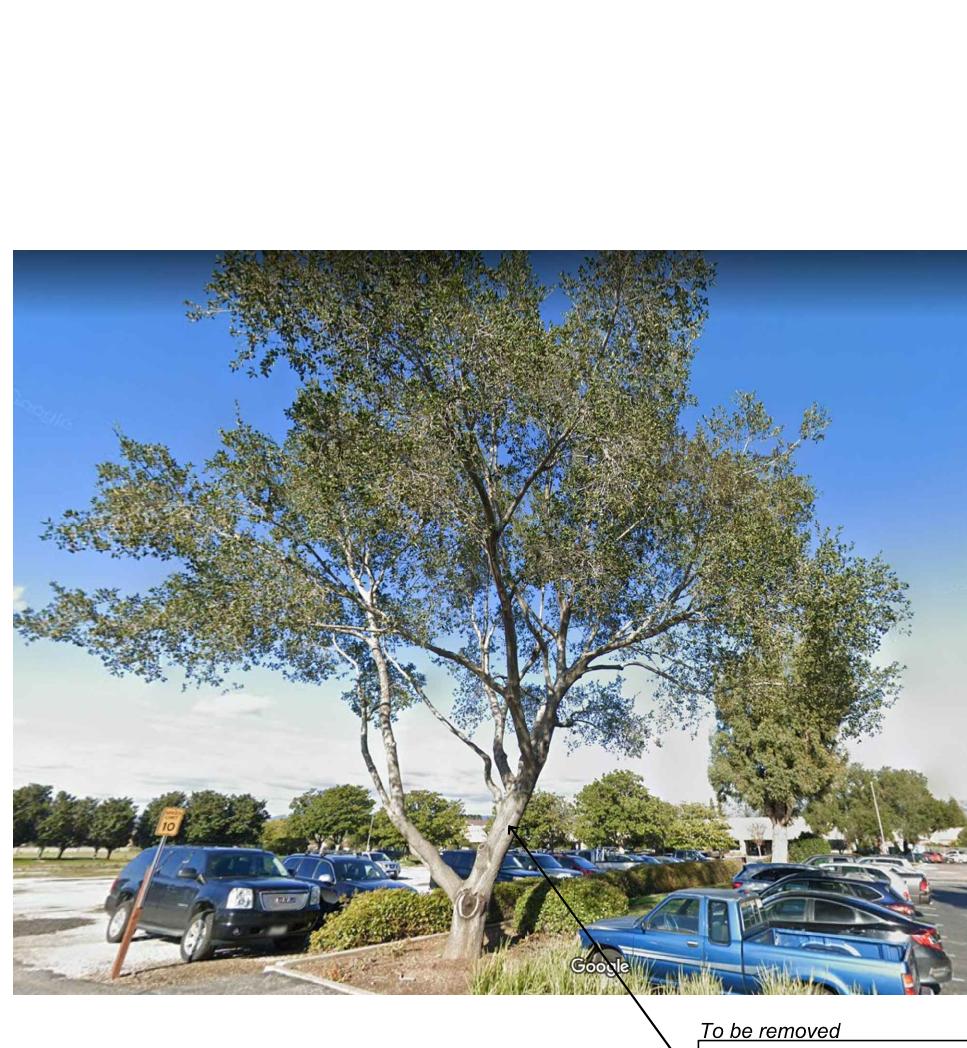
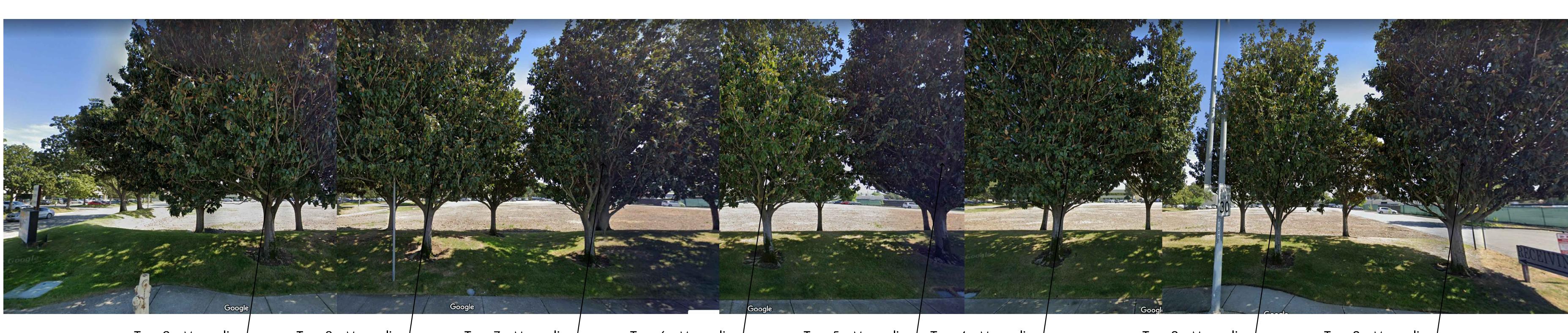
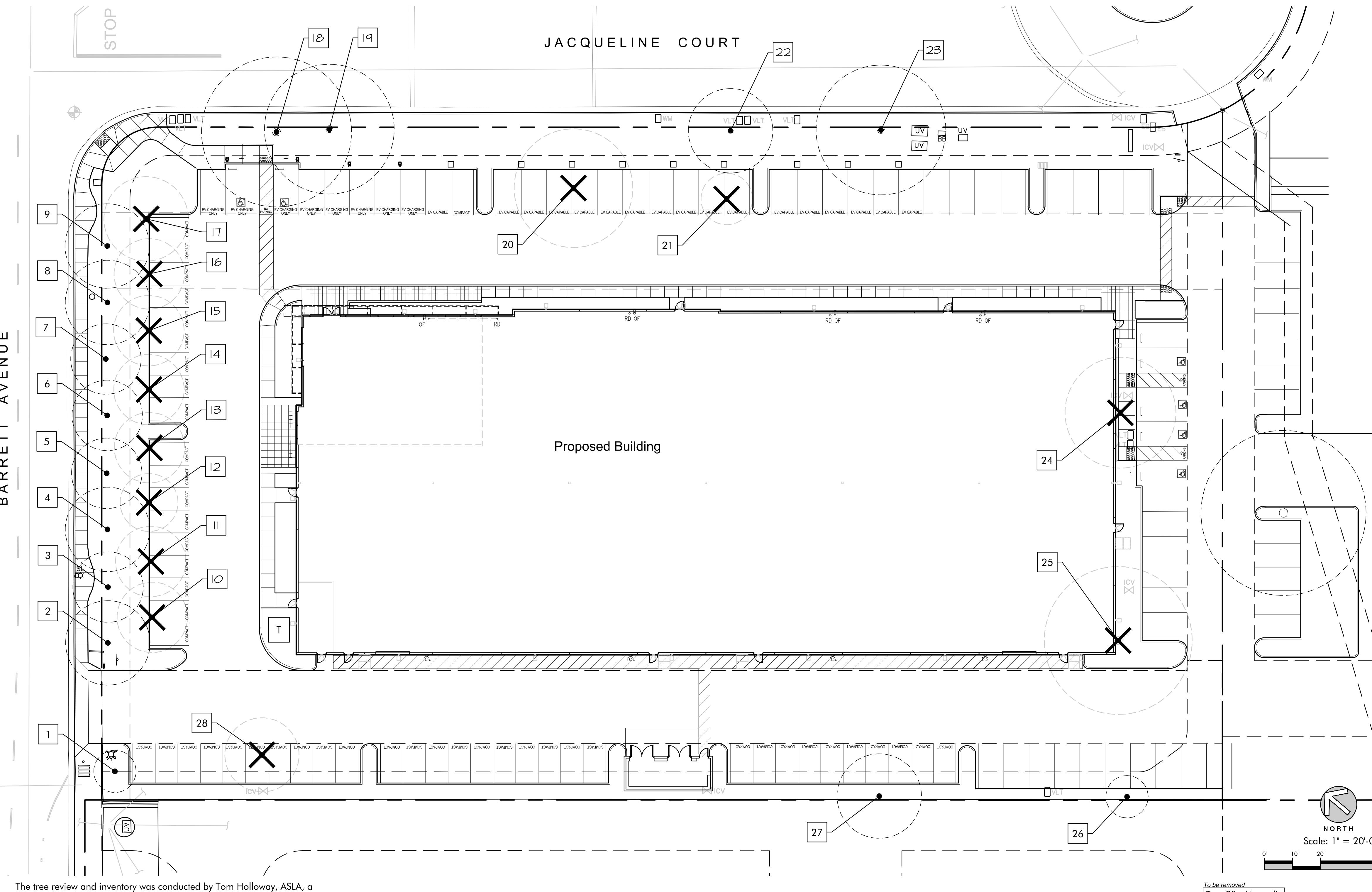
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### Existing Tree Inventory Table

Tree	Botanical Name	Common Name	CBH	Overall Condition	Comments
1	Magnolia grandiflora	Southern Magnolia	6"	Good	Tree to remain and be protected in place
2	Magnolia grandiflora	Southern Magnolia	14"	Good	Tree to remain and be protected in place
3	Magnolia grandiflora	Southern Magnolia	10"	Good	Tree to remain and be protected in place
4	Magnolia grandiflora	Southern Magnolia	15"	Good	Tree to remain and be protected in place
5	Magnolia grandiflora	Southern Magnolia	12"	Good	Tree to remain and be protected in place
6	Magnolia grandiflora	Southern Magnolia	12"	Good	Tree to remain and be protected in place
7	Magnolia grandiflora	Southern Magnolia	12"	Good	Tree to remain and be protected in place
8	Magnolia grandiflora	Southern Magnolia	14"	Good	Tree to remain and be protected in place
9	Magnolia grandiflora	Southern Magnolia	14"	Good	Tree to remain and be protected in place
10	Magnolia grandiflora	Southern Magnolia	11"	Good	Tree to be removed for parking lot
11	Magnolia grandiflora	Southern Magnolia	12"	Good	Tree to be removed for parking lot
12	Magnolia grandiflora	Southern Magnolia	9"	Good	Tree to be removed for parking lot
13	Magnolia grandiflora	Southern Magnolia	10"	Good	Tree to be removed for parking lot
14	Magnolia grandiflora	Southern Magnolia	12"	Good	Tree to be removed for parking lot
15	Magnolia grandiflora	Southern Magnolia	12"	Good	Tree to be removed for parking lot
16	Magnolia grandiflora	Southern Magnolia	12"	Good	Tree to be removed for parking lot
17	Magnolia grandiflora	Southern Magnolia	17"	Good	Tree to be removed for parking lot
To be removed					
18	Magnolia grandiflora	Southern Magnolia	28"	Good	Tree to remain and be protected in place
19	Magnolia grandiflora	Southern Magnolia	22"	Good	Tree to remain and be protected in place
20	Magnolia grandiflora	Southern Magnolia	22"	Good	Tree to be removed for parking lot
21	Quercus agrifolia	Coast Live Oak	6", 4", 4"	Good	Tree to be removed for parking lot
To be removed					
22	Magnolia grandiflora	Southern Magnolia	15"	Good	Tree to remain and be protected in place
23	Magnolia grandiflora	Southern Magnolia	25"	Good	Tree to remain and be protected in place
24	Eucalyptus		32"	Good	Tree to be removed for building
25	Quercus agrifolia	Coast Live Oak	20", 14"	Good	Tree to be removed for building
To be removed					
26	Quercus agrifolia	Coast Live Oak	6"	Fair (volunteer)	Tree to remain and be protected in place
27	Tree		10", 8"	Fair (volunteer)	Tree to remain and be protected in place
28	Magnolia grandiflora	Southern Magnolia	11"	Good	Tree to be removed for parking lot
To be removed					

### Site Trees



**RMW**  
RMW  
Architecture  
Interiors  
1718 Third Street  
Suite 101  
Sacramento  
California 95811  
Office 916 449-1400  
rmw.com

OWNER / DEVELOPER:  
**MARCH  
CAPITAL  
MANAGEMENT**  
2040 WEBSTER STREET  
SAN FRANCISCO, CA 94115

PRELIMINARY DESIGN DOCUMENTS FOR:  
**NEW INDUSTRIAL/  
MANUFACTURING BUILDING**  
16175 JACQUELINE COURT  
MORGAN HILL, CA 95037  
approved for the owner by:  
approved for the architect by:  
issue: description: date:  
A ISSUED FOR PRELIMINARY REVIEW 06-03-2023

**CITY OF MORGAN HILL  
PLAN APPROV**

THIS PLAN WAS APPROVED IN  
THE PLANNING DIVISION

ON 10/31/2023  
SR2023-0003

FILE NUMBER  
Roshni Saxena  
Assistant Planner

PLANNING OFFICIAL

GENERAL CONSULTANT:  
**KLA**  
LANDSCAPE  
ARCHITECTURE  
PLANNING www.kla-ca.com

drawn by: NAB plot data: KLA 22-2488

checked by: TWH

stamp

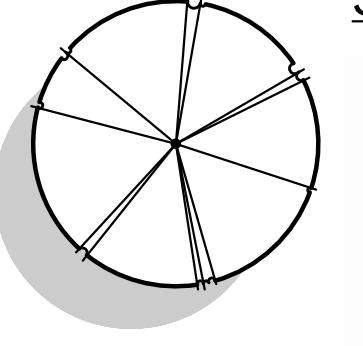
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Existing Tree Inventory Plan

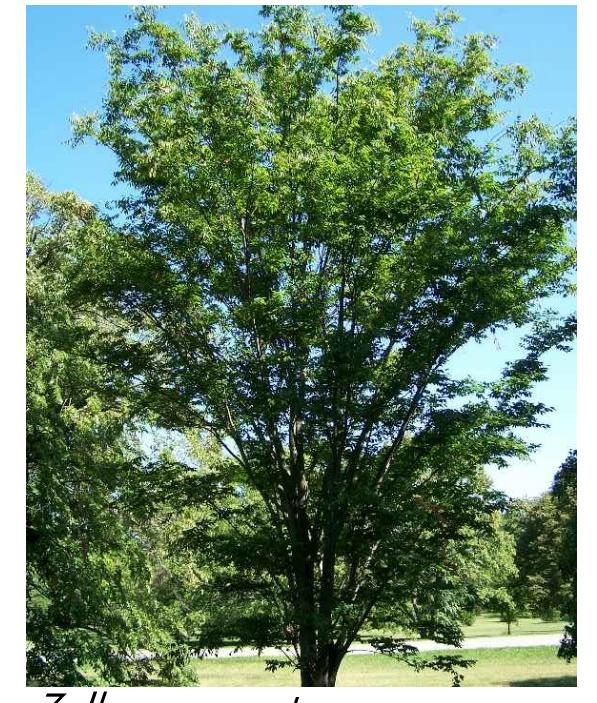
sheet no.: L0.3

## Plant Photos

### Shade Trees



*Pistacia chinensis  
'Keith Davey'*



*Zelkova serrata  
'Village Green'*

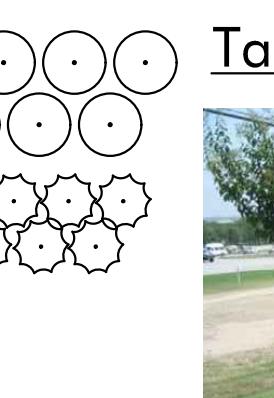


*Quercus coccinea*



*Ulmus parvifolia*

### Tall Evergreen Hedge



*Leucophyllum frutescens  
'Texas Ranger'*



*Ligustrum japonicum  
'Texanum'*

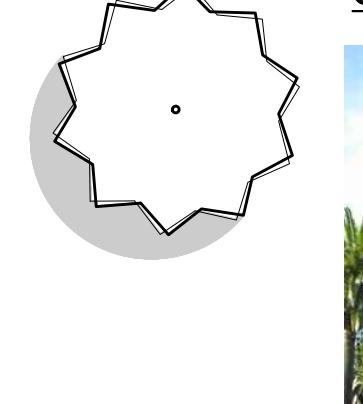


*Pittosporum tobira  
'Variegata'*



*Rhaphiolepis indica*

### Small Upright Trees



*Laurus nobilis 'Saratoga'*



*Arbutus 'Marina'*

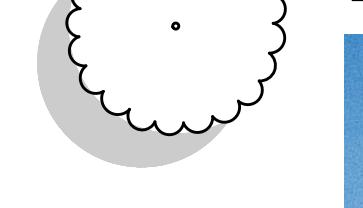


*Geijera parviflora*

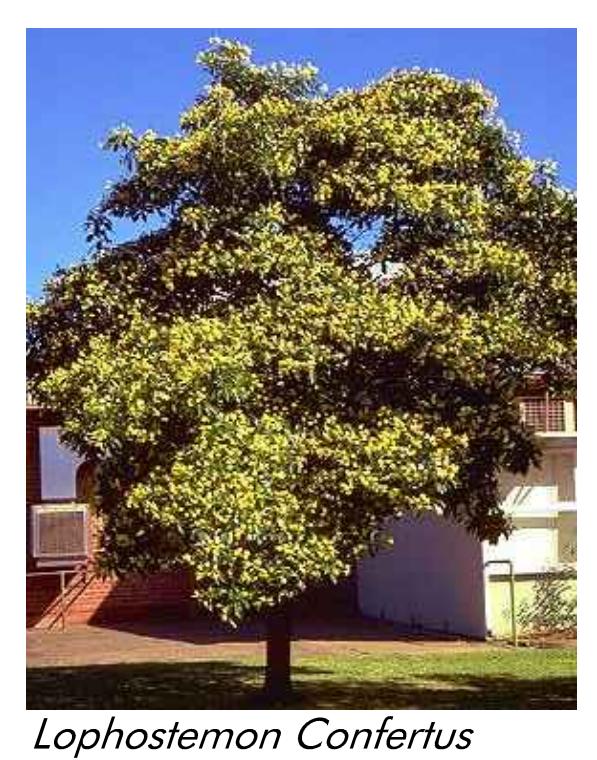


*Podocarpus gracilior*

### Very Narrow Upright Trees



*Cypressus sempervirens*



*Lophostemon Confortus*

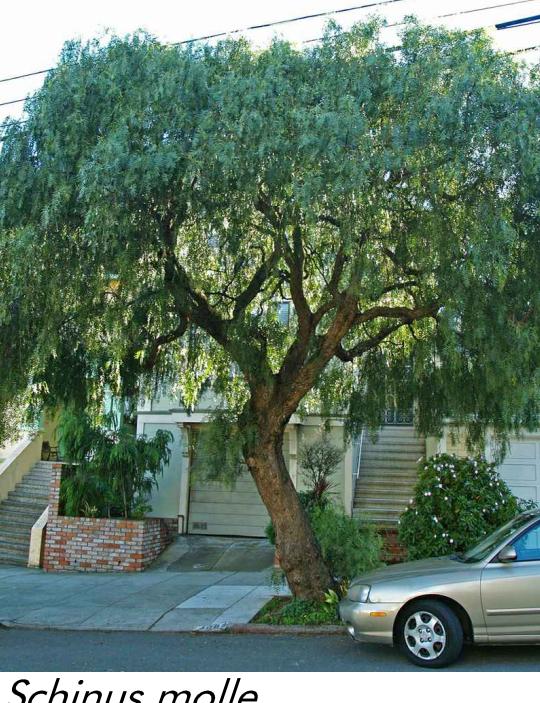
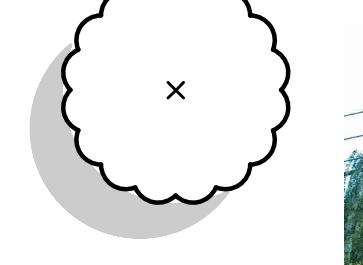


*Quercus robur 'Skyrocket'*



*Ginkgo biloba  
'Princeton Sentry'*

### Street Trees



*Schinus molle*



*Magnolia grandiflora*

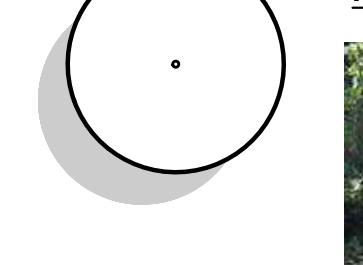


*Platanu x acerifolia  
'Bloodgood'*

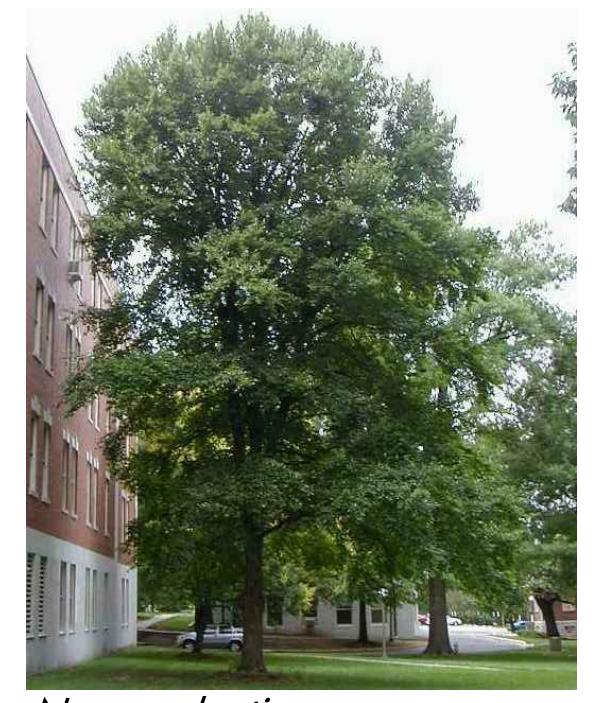


*Liquidambar styraciflua  
'Rotundiloba'*

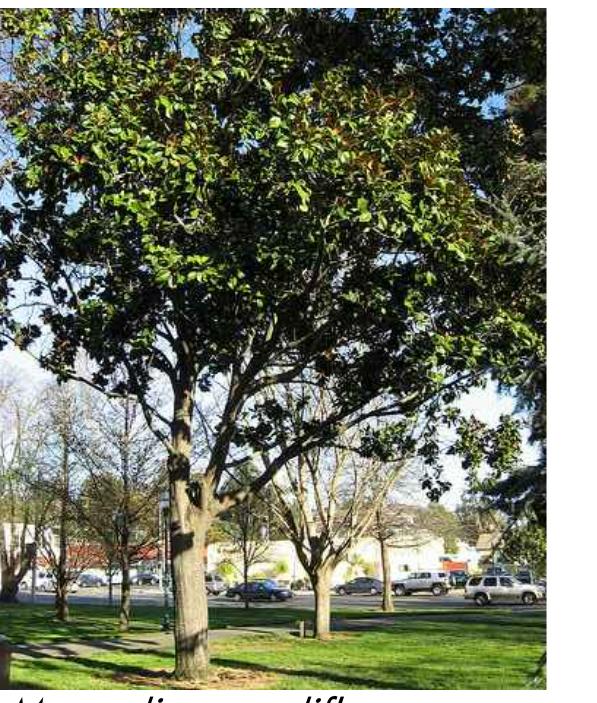
### Narrow Upright Formal Trees



*Laurus nobilis 'Saratoga'*



*Nyssa sylvatica*



*Magnolia grandiflora  
'Samuel Sommer'*



*Acer rubrum 'Armstrong'*



*Leucophyllum frutescens  
'Texas Ranger'*



*Ligustrum japonicum  
'Texanum'*



*Pittosporum tobira  
'Variegata'*



*Rhaphiolepis indica*



### Accent Shrubs/Succulents



*Anigozanthos 'Bush Baby'*



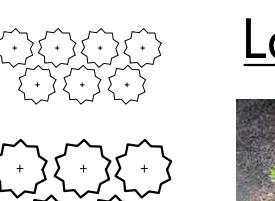
*Agave 'Blue Glow'*



*Dasylirion wheeleri*



*Hesperaloe parviflora*



### Large Accent Shrubs



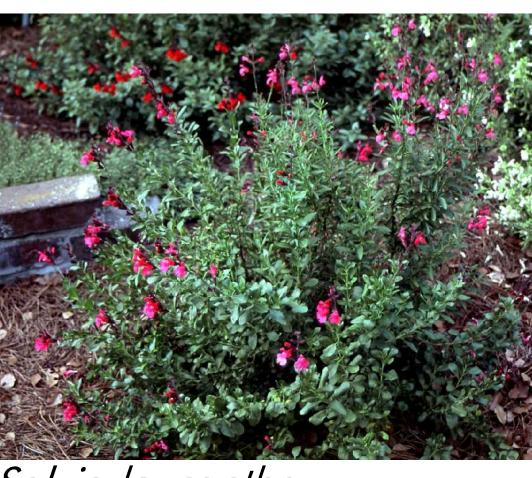
*Callistemon viminalis  
'Little John'*



*Hesperaloe parviflora*



*Rosa 'Pink Flower Carpet'*



*Salvia leucantha*



### Grasses / Grass-like Plants



*Calamagrostis acutiflora  
'Karl Foerster'*



*Dianella tasmanica  
'Variegata'*



*Dietera bicolor*



*Muhlenbergia dubia*



### Small Flowering Accent Shrubs



*Agapanthus africanus*



*Hemerocallis hybrida*



*Salvia nemerosa*



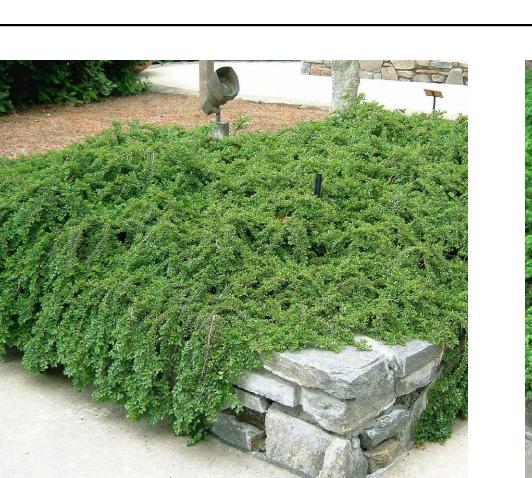
*Zauschneria californica*



### Low Groundcover



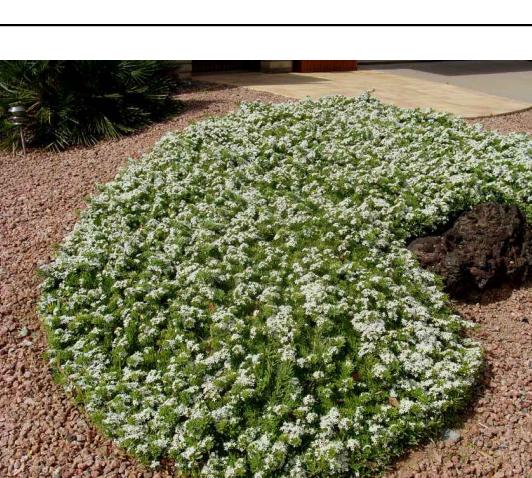
*Baccharis pilularis  
'Twin Peaks II'*



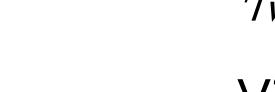
*Cotoneaster dammeri  
'Lowfast'*



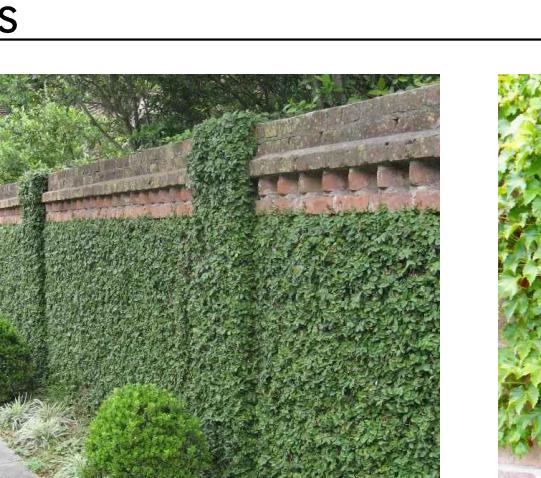
*Juniperus spp.*



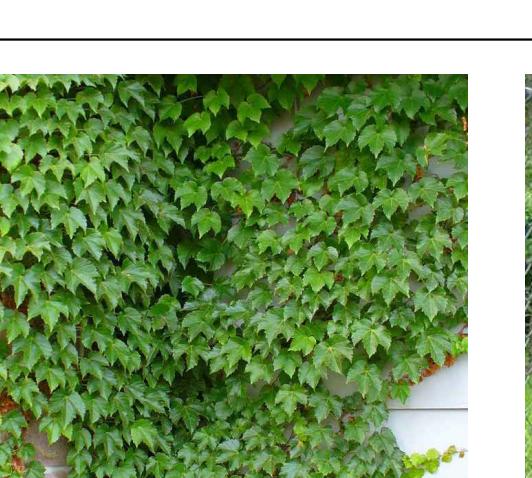
*Myoporum parvifolia*



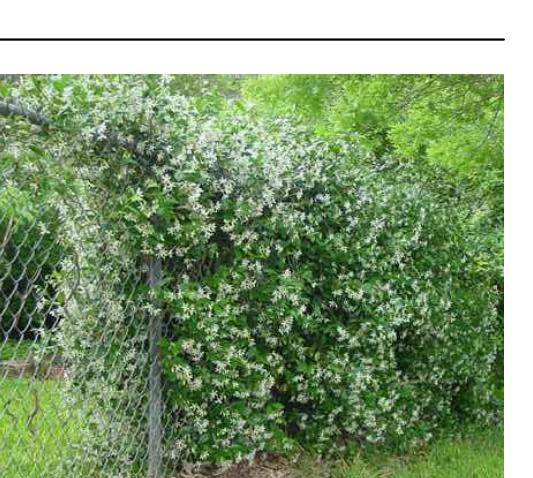
### Vines



*Ficus pumila*



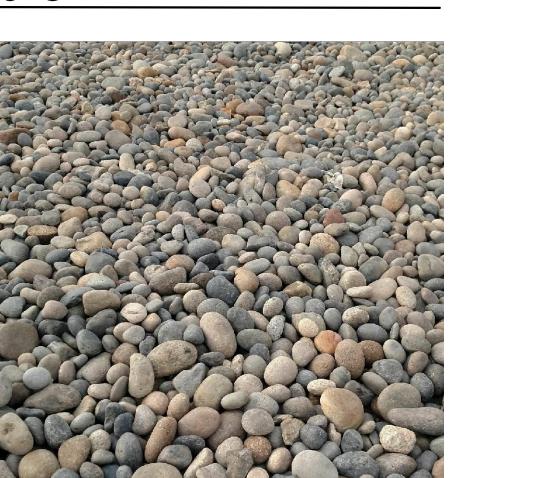
*Parthenocissus tricuspidata*



*Trachelospermum jasminoides*



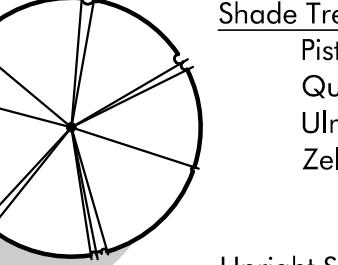
### Cobble



*Cobble*

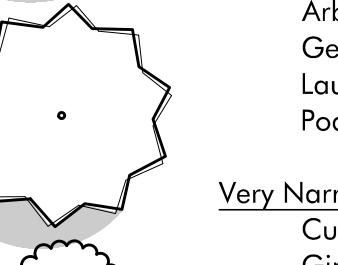
### Preliminary Plant Palette

#### Trees



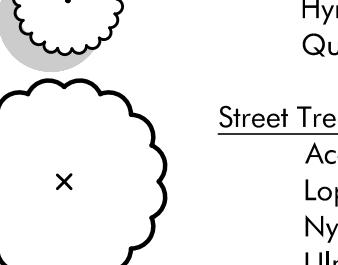
Pistacia chinensis 'Keith Davey'  
Quercus coccinea  
Ulmus parvifolia  
Zelkova serrata 'Village Green'

Chinese Pistache  
Scarlet Oak  
Evergreen Elm  
Village Green Zelkova



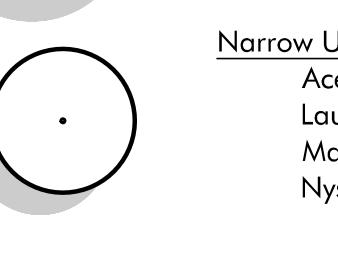
Arbutus 'Menina'  
Geijera parviflora  
Laurus nobilis 'Saratoga'  
Podocarpus gracilior

Strawberry Tree  
Australian Willow  
Saratoga Laurel  
Fern Pine



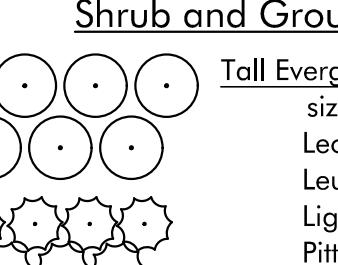
Cupressus sempervirens  
Ginkgo biloba 'Princeton Sentry'  
Hymenopeltis flavum  
Quercus robur 'Skyrocket'

Italian Cypress  
Maidenhair Tree  
Sweetshrub  
Sycamore Oak



Acer rubrum 'October Glory'  
Lophostemon confertus  
Nyssa sylvatica  
Ulmus parvifolia

October Glory Maple  
Brisbane Box  
Sour Gum  
Chinese Elm



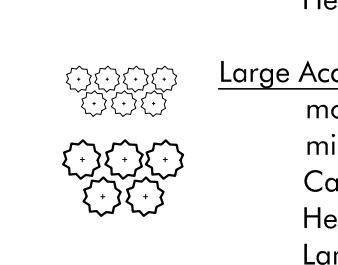
Artemesia 'Saratoga'  
Laurus nobilis 'Saratoga'  
Magnolia grandiflora 'Samuel Sommer'  
Nyssa sylvatica

Armstrong Red Maple  
Saratoga Laurel  
Southern Magnolia  
Black Gum



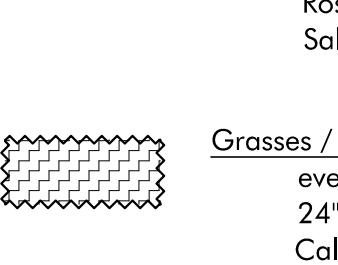
Tall Evergreen Hedge - Irrigated 5-gallon shrubs of moderate growth rate, size in the 4'-6' spread and height range, minimal maintenance.  
Leonitis leonurus  
Leucophyllum frutescens 'Texas Ranger'  
Ligustrum japonicum 'Texanum'  
Pittosporum tobira 'Variegata'  
Olea europaea 'Little Olive'  
Rhaphiolepis indica 'White Enchantress'

Lion's Tail  
Texas Sage  
Waxleaf Privet  
Variegated Tobira  
Little Olive  
Indian Hawthorn



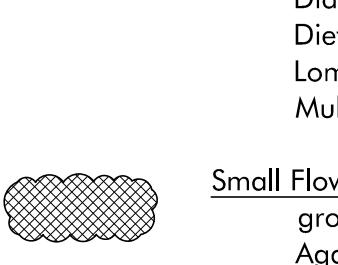
Accent Shrubs - Irrigated 5-gallon shrubs of average growth rate, size in the 3'-6' spread  
Anigozanthos 'Bush Baby'  
Agave 'Blue Glow'  
Dasylirion wheeleri  
Hesperaloe parviflora

Kangaroo Paw  
Blue Glow Agave  
Desert Spoon  
Red Yucca



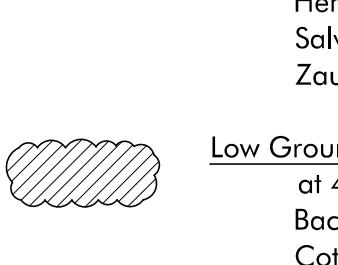
Large Accent Shrubs - Irrigated 5-gallon shrubs of small to medium size and moderate growth rate, size in the 3'-6'-48" spread and height range.  
Callistemon viminalis 'Little John'  
Hesperaloe parviflora  
Lantana hybridus 'Gold Rush'  
Rosa 'Pink Flower Carpet'  
Salvia greggii

Dwarf Bottlebrush  
Red Yucca  
Gold Rush Lantana  
Flower Carpet Rose  
Autumn Sage



Grasses / Grass-like Plants - Irrigated 1-gallon and 5-gallon perennials and evergreen grasses and strip leaf plants planted in masses, size in the 24'-42' spread and height range.  
Calamagrostis acutiflora 'Karl Foerster'  
Dianella tasmanica 'Variegata'  
Dietera bicolor  
Lomandra longifolia 'Breeze'  
Muhlenbergia dubia

Dwarf Feather Reed Grass  
Flax Lily  
Fortnight Lily  
Dwarf Mat Rush  
Pine Muhy



Small Flowering Accent Shrubs - Irrigated 1-gallon plants of moderate growth rate, size in the 18"-48" spread and height range.  
Agapanthus africanus  
Hemerocallis hybrida  
Salvia nemerosa  
Zauschneria californica