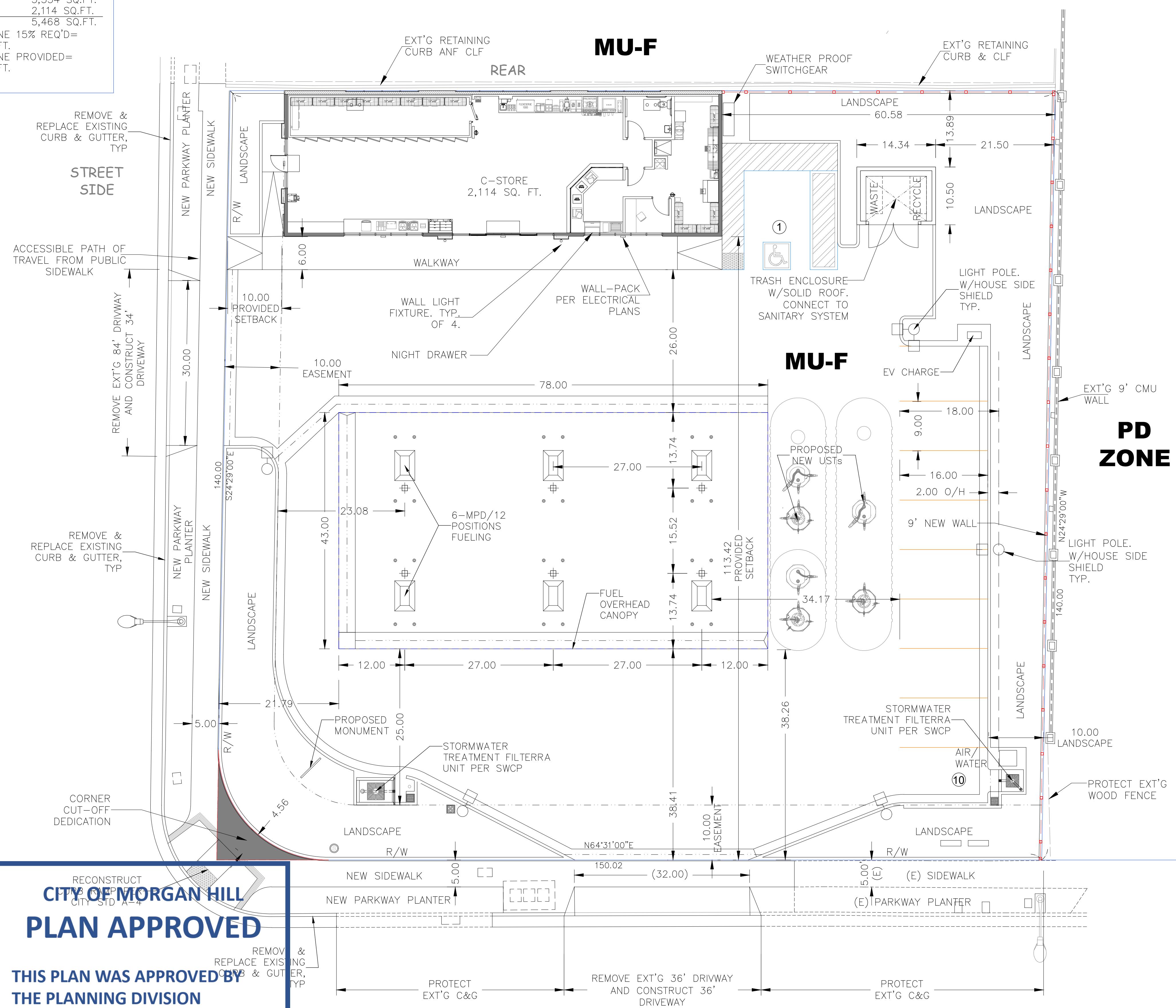


SOLAR ZONE AREA CALCULATION

CANOPY: 3,354 SQ.FT.
BUILDING: 2,114 SQ.FT.
TOTAL: 5,468 SQ.FT.
SOLAR ZONE 15% REQ'D= 820.2 SQ.FT.
SOLAR ZONE PROVIDED= 2,046 SQ.FT.

MONTERREY HWY



MU-F

WEATHER PROOF SWITCHGEAR

EXT'G RETAINING CURB & CLF

LANDSCAPE

60.58

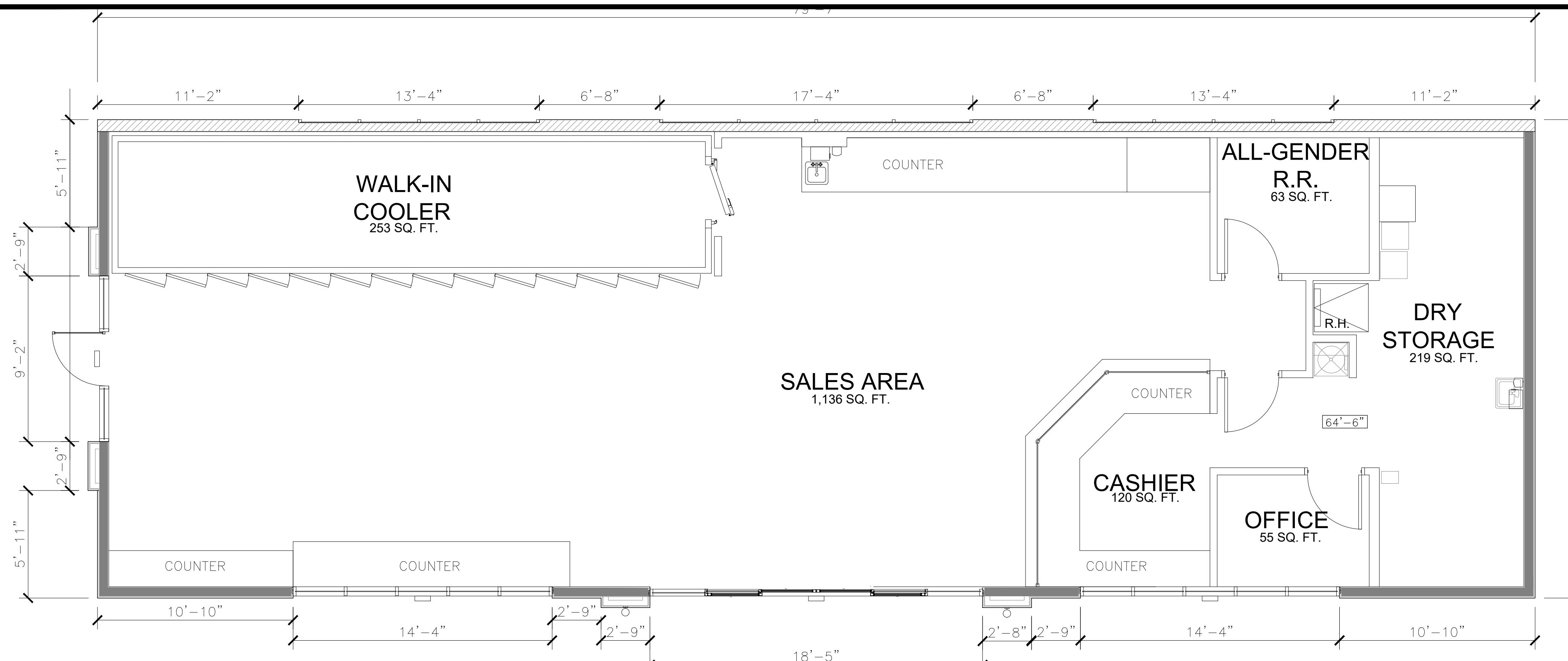
13.89

21.50

14.34

10.50

LANDSCAPE



A2.0-01 FLOOR PLAN
SCALE: 1/4"=1'-0"

OCCUPANT LOAD

C-STORE OCCUPANCY	AREA	LOAD FACTOR	OCCUPANT LOAD
SALES	1,136 SQ. FT.	60 NET	19.00
CASHIER	120 SQ. FT.	100 NET	2.00
DRY STORAGE	219 SQ. FT.	300 NET	1.00
W.I. COOLER	253 SQ. FT.	300 NET	1.00
TOTAL OCCUPANCY LOAD			23.00

MINIMUM PLUMBING FACILITIES PER CPC TABLE 422.1
* FIXTURES PER PERSON

TYPE OF OCCUPANCY *	WATER CLOSETS * MALE	WATER CLOSETS * FEMALE	URINALS * MALE	MALE	FEMALE	FACILITIES *	OTHER
B/M	1:1-100	1:1-100	1:1-200	1:1-200	1:1-200	1:1-250	1 SERVICE SINK
FIXTURES PROVIDED	1	1	1	1	1	1 @ SODA FOUNTAIN	1

NOTE: PER EXCEPTION 3 OF SECTION 422.2 OF CPC, FOR "M" OCCUPANCY WITH OCCUPANT LOAD 50 OR LESS, ONE UNISEX RESTROOM IS ALLOWED.

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 12/15/2023

SR2021-0001

FILE NUMBER

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[Signature]

C-STORE

PL

DAYLIGHT PLANE

MIN 45°

+/-. 60.58'

25'-0"

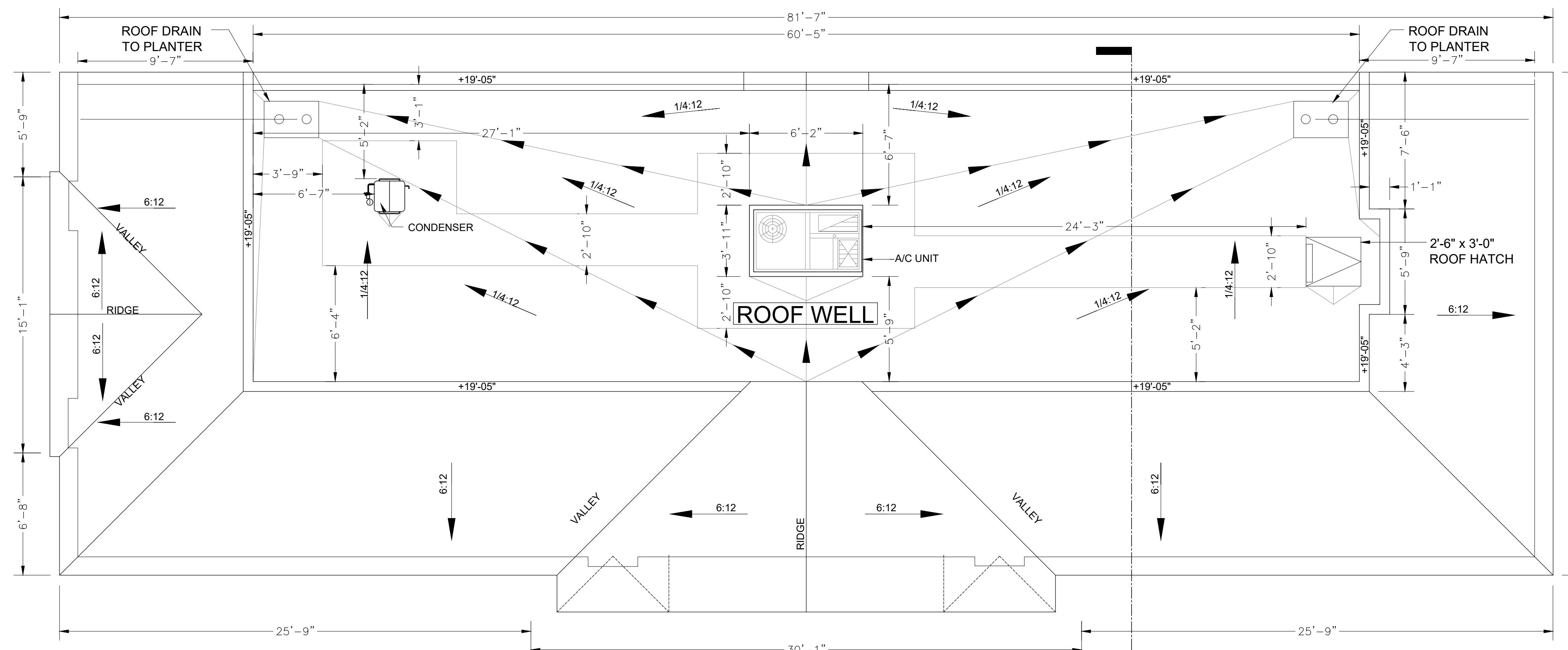
15'-0"

RESIDENTIAL

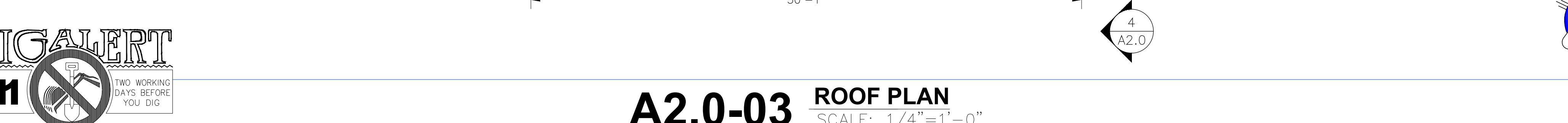
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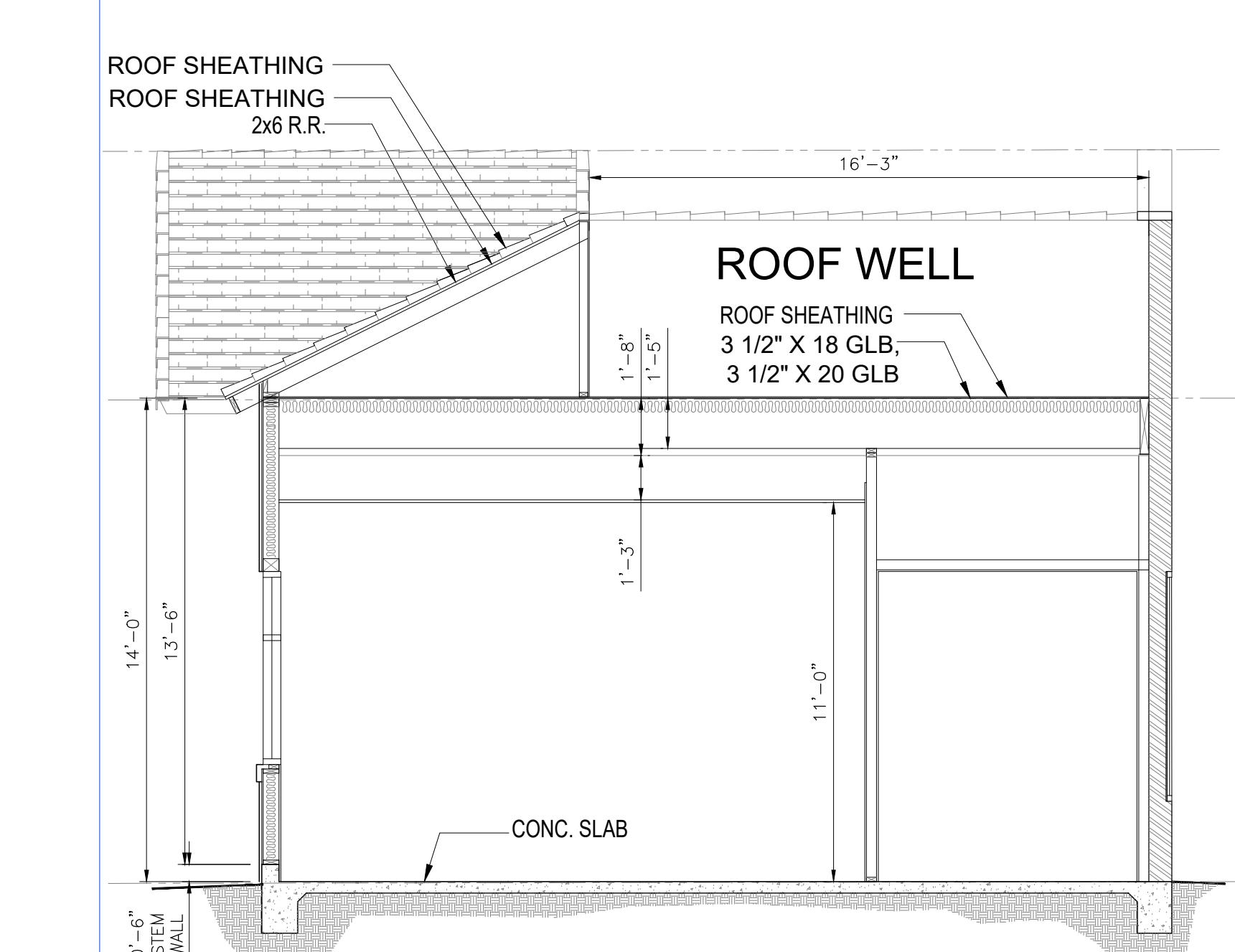
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A2.0-02 DAYLIGHT PLANE (18.92.130)
SCALE: 1/16"=1'-0"



A2.0-03 ROOF PLAN
SCALE: 1/4"=1'-0"



A2.0-04 SECTION
SCALE: 1/4"=1'-0"

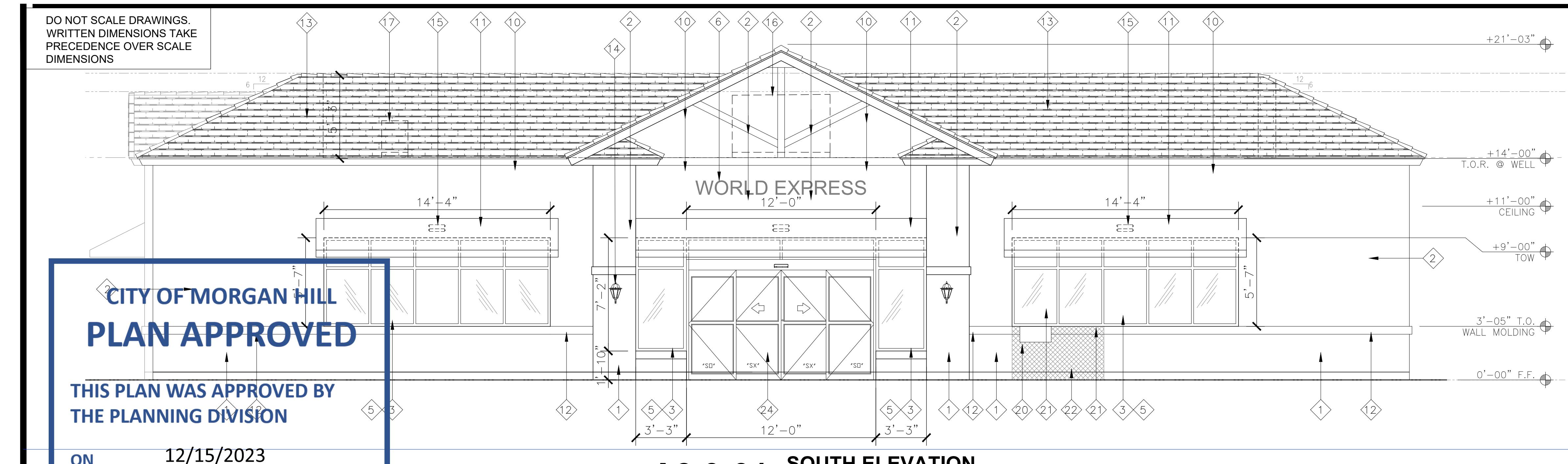
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(562) 928-0100

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16720 MONTEREY HWY
MORGAN HILL, CA. 95037

01.25.2024

**FLOOR PLAN, ROOF PLAN
& NOTES**

DO NOT SCALE DRAWINGS.
WRITTEN DIMENSIONS TAKE
PRECEDENCE OVER SCALE
DIMENSIONS



ON 12/15/2023

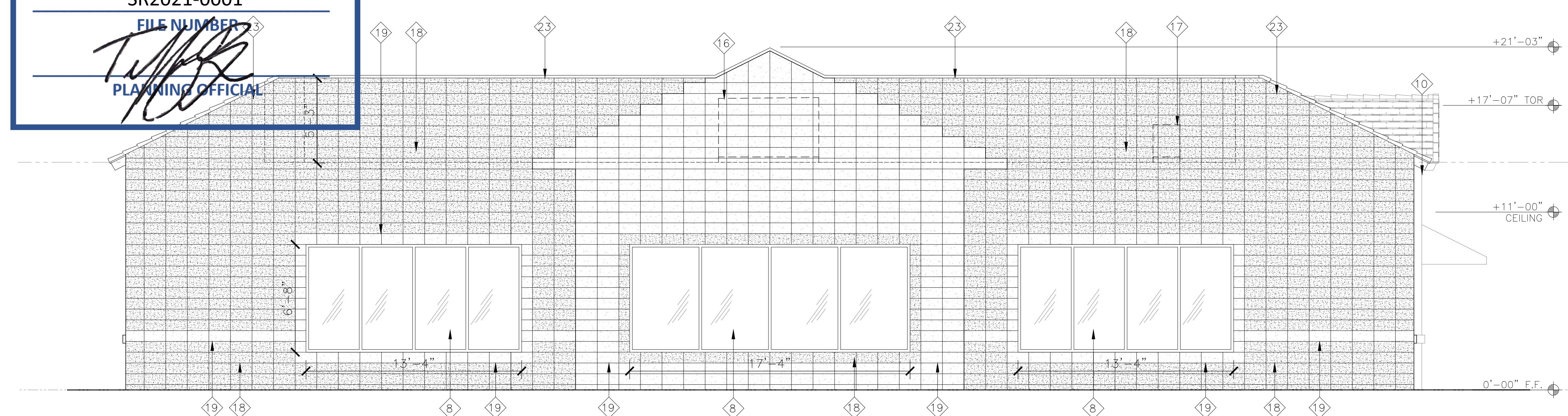
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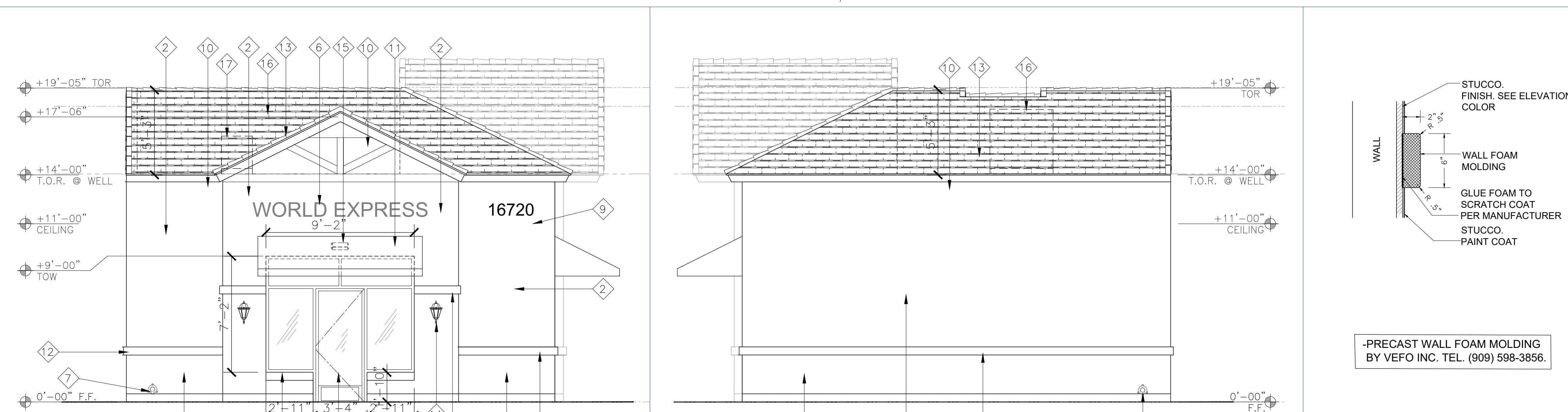
A3.0-01 SOUTH ELEVATION

SCALE: 1/4"=1'-0"



A3.0-02 SOUTHWEST ELEVATION

SCALE: 1/4"=1'-0"



A3.0-03 WEST ELEVATION

SCALE: 1/4"=1'-0"

A3.0-04 EAST ELEVATION

SCALE: 1/4"=1'-0"

A3.0-05 WALL MOLDING

SCALE: 1/2"=1'-0"

A3.0-06 WEEP SCREED DETAIL

SCALE: NONE

ELEVATION KEYNOTES

① STUCCO FINISH: "POINTED ROCK" #DE6363 BY: DUNN-EDWARDS

② STUCCO FINISH: "WHITE" BY: DUNN-EDWARDS

③ CLEAR ALUMINUM ANODIZED STOREFRONT SYSTEM WITH DUAL
GLAZED TEMPERED GLASS

④ LOW 'E' TRANSPARENT DUAL PANE TEMPERED GLASS DOOR TO
MATCH STOREFRONT

⑤ LOW 'E' TRANSPARENT DUAL PANE GLAZING-TEMPERED

⑥ LOGO / SIGNAGE UNDER A SEPARATE PERMIT.

⑦ G-O-N® 4 IN. DURABLE GLUE-ON ABS NOZZLE AND ESCUTCHEON
OVERFLOW OUTLET PRIMARY OUTLET, UNLESS UNDER SLAB (SEE
CIVIL PLANS)

⑧ CLEAR ALUMINUM ANODIZED STOREFRONT SYSTEM WITH 1/4"
SPANDREL GLASS

⑨ STREET NUMBER

⑩ TRIM AND FASCIA. COLOR: "POINTED ROCK" #DE6363 BY:
DUNN-EDWARDS

⑪ ARCHITECTURAL CANVAS AWNING. COLOR: TO MATCH "FOLL"
#DE6360 BY: DUNN-EDWARDS. SHOP DRAWINGS REQUIRED.

⑫ 6" PRECAST WALL FOAM MOLDING, CONCRETE COLORED BY VEOF
INC. SEE A6.0-05

⑬ SLATE TILE ROOF- 199 CHARCOAL RANGE-GOLDEN EAGLE BY EAGLE
ROOFING OR APPROVED EQ. FOR A CLASS -A" ROOFING. ALL ROOF
COVERINGS MUST CONFORM TO THE STANDARDS OF CBC 1506 &
1507.

⑭ EXTERIOR LIGHT. SIGN BRACKET STORE - CLASSIC STYLE WALL
FIXTURE DERRY HILL 23" HIGH MATTE OUTDOOR WALL LIGHT.
COLOR: BLACK. TYP. OF 4.

⑮ 80W FULL CUT-OFF LED WALL-PACK WPFC2 SERIES-9200 LUMENS

⑯ A/C UNIT

⑰ CONDENSER UNIT

⑱ BURNISH BLOCK WALL-BLACK 250 MW BY ORCO OR EQUAL WITH
RACKED WHITE GROUT.

⑲ BURNISH BLOCK WALL-WHITE MW BY ORCO OR EQUAL WITH RACKED
BLACK GROUT.

⑳ CLEAR ALUMINUM TRANSACTION DRAWER. INTERBANK QSP-713. SEE
A12.0-08

㉑ CLEAR ANODIZED ALUMINUM STORE FRONT SYSTEM WITH BULLET
PROOF & LOW 'E' TRANSPARENT GLAZING

㉒ BULLET PROOF/FIBER GLASS PANELS INSIDE WALL. SEE FLOOR
PLAN FOR LOCATION.

㉓ 2x12 PRECAST WALL CAP

㉔ STANLEY DURA-GLIDE 3000 SERIES WITH TRANSOM

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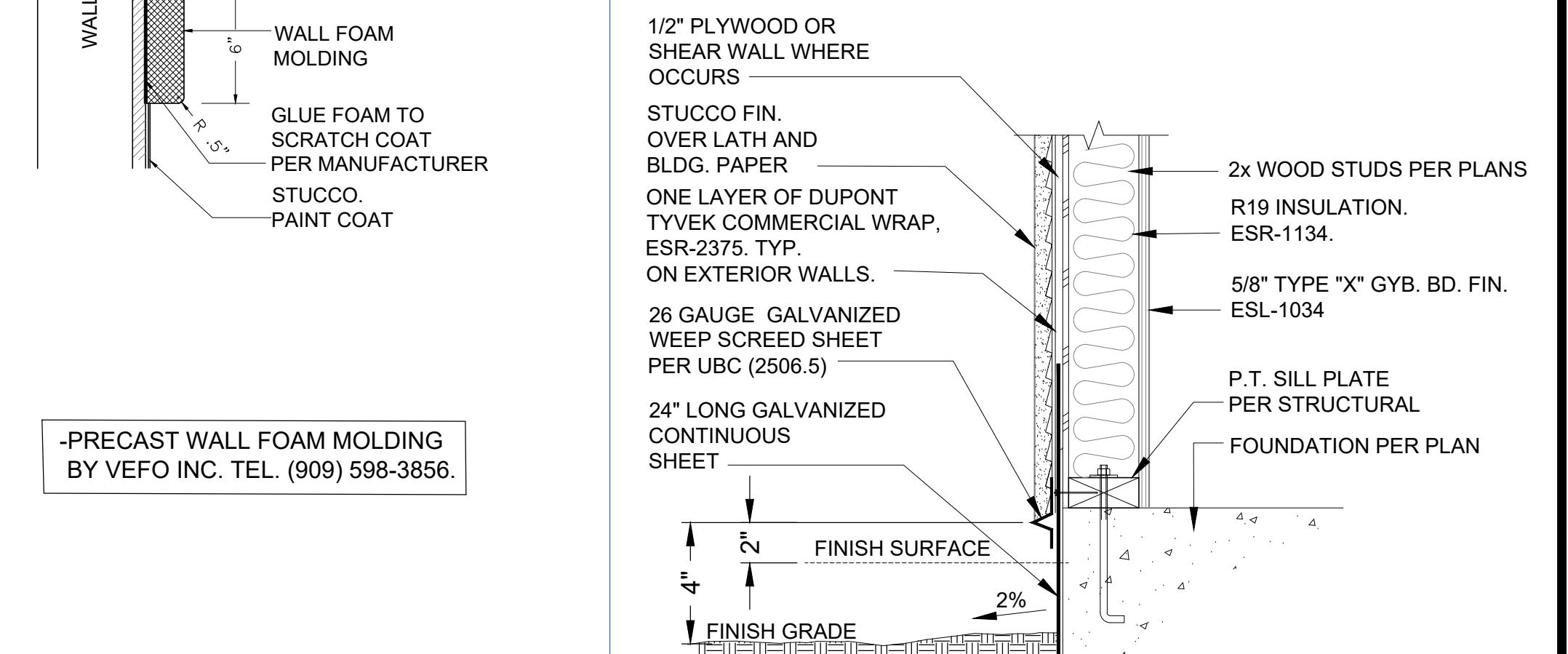
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- APPLY 3 COATS OF NON-SACRIFICIAL URETHANE ANTI-GRAFFITI PAINT ON EXTERIOR WALLS FROM FINISH FLOOR TO ROOF.
- WALLS MUST BE CLEAR OF DUST & DEBRIS PRIOR TO PAINT APPLICATION.
- CONTRACTOR TO PROVIDE PAINT SPECIFICATIONS FOR APPROVAL.
- PAINT APPLICATION MUST BE OBSERVED BY THE CONSTRUCTION ADMINISTRATOR



EXTerior ELEVATIONS,
KEYNOTES & DETAILS

A3.0

**CITY OF MORGAN HILL
PLAN APPROVED**

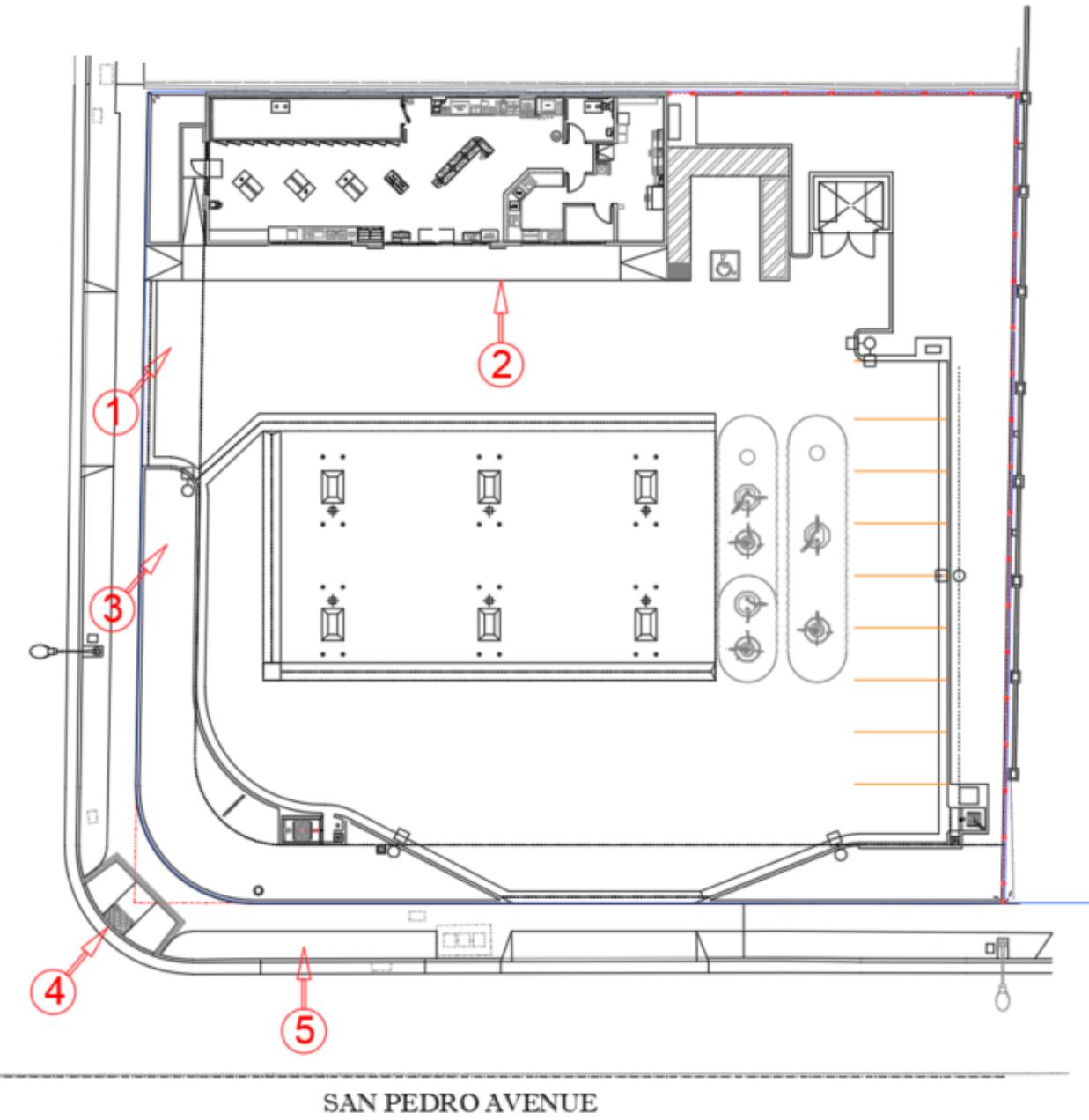
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ON 12/15/2023

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FILE NUMBER

T. J. B.
PLANNING OFFICIAL



A4.0-01 BIRDS EYE VIEW AND KEY PLAN



A4.0-02 IMAGE #1



A4.0-03 IMAGE #2



A4.0-04 IMAGE #3



A4.0-05 IMAGE #4



A4.0-06 IMAGE #5

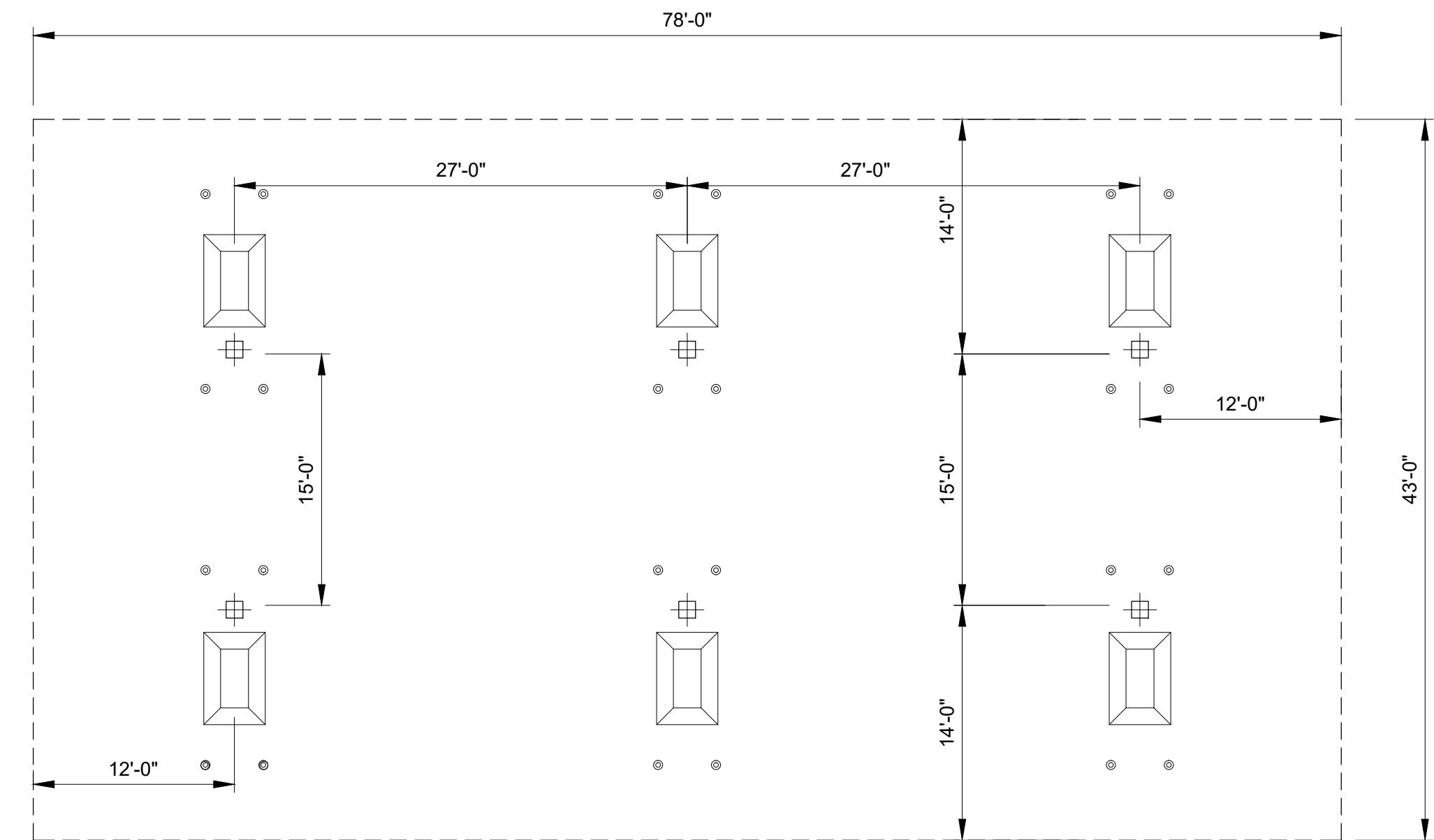
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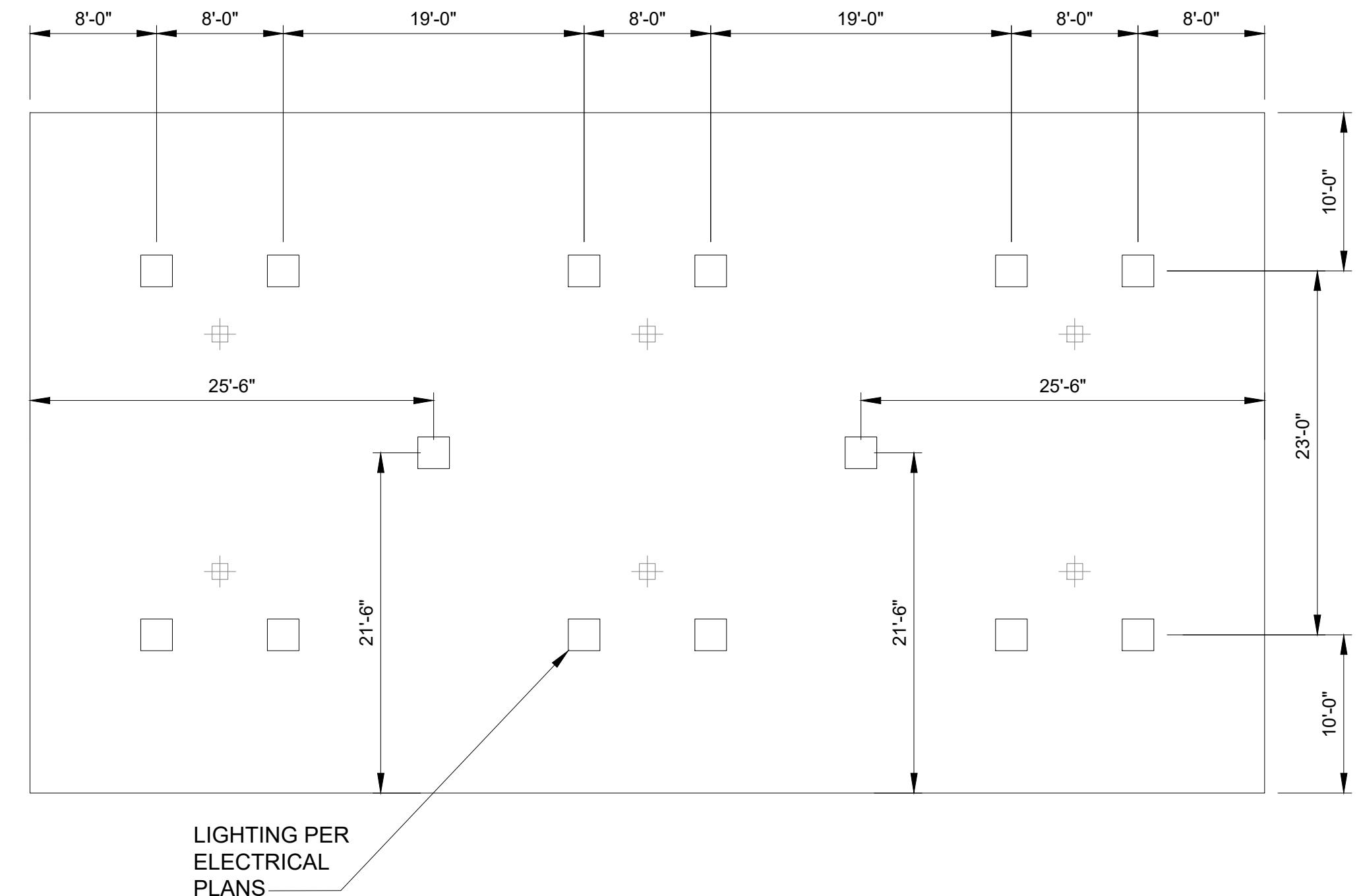
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**WOF052 GAS STATION
RENDERINGS**



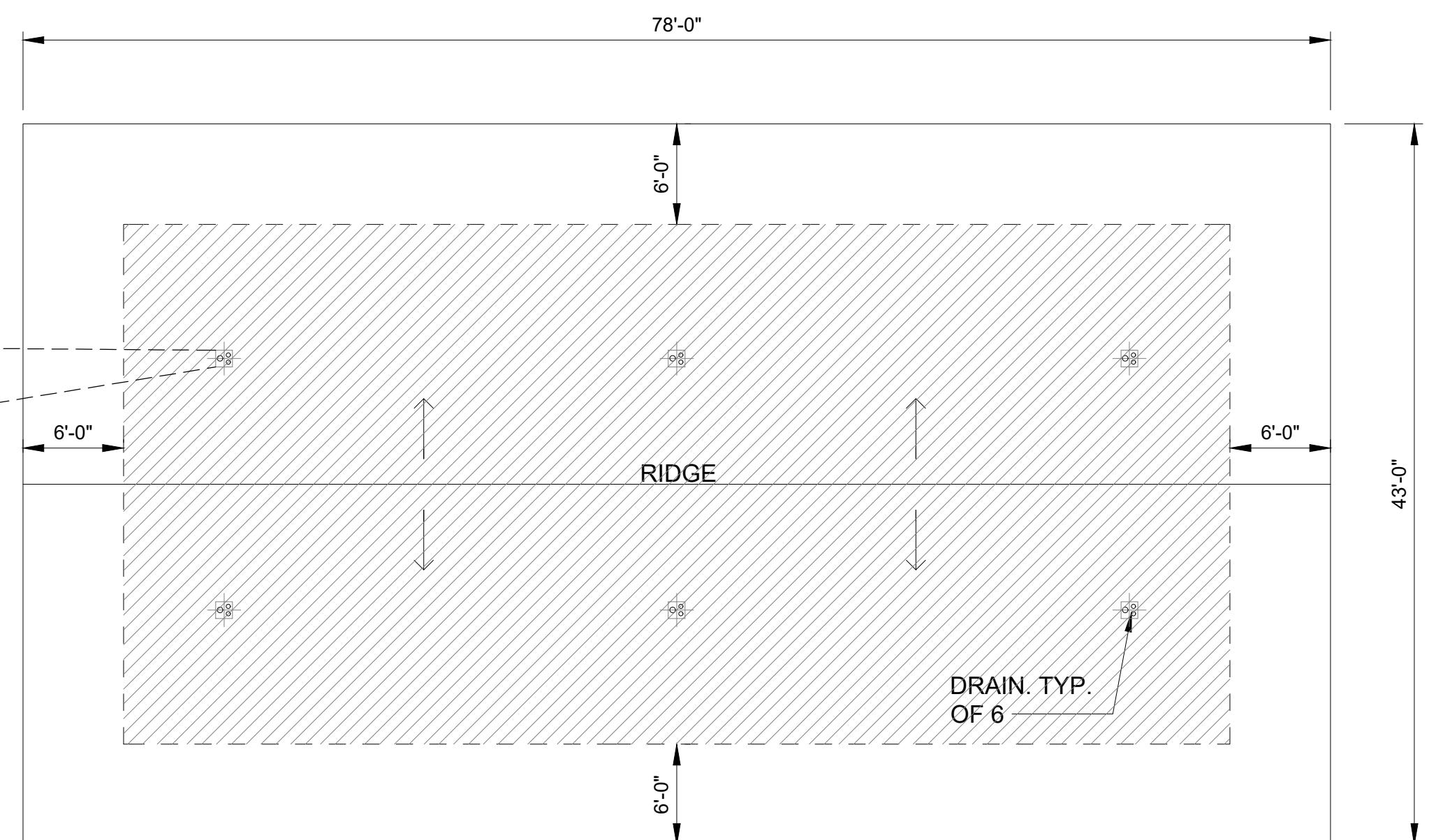
A5.0- 01 FUEL CANOPY FLOOR PLAN

SCALE: 1/8" = 1'-0"



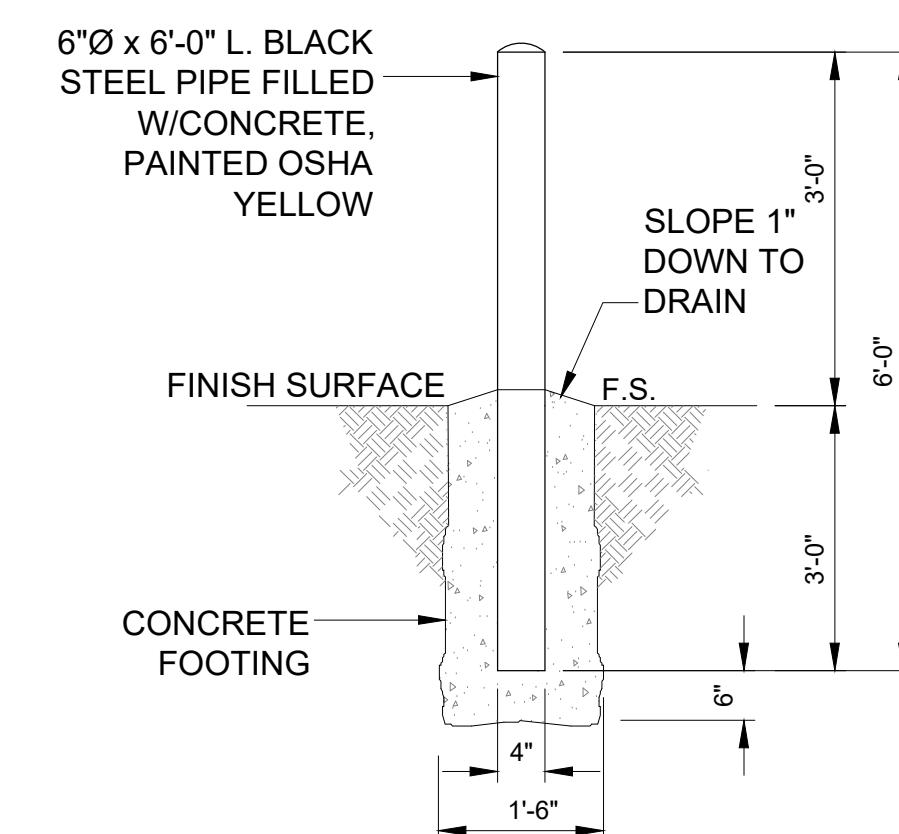
A5.0- 02 FUEL CANOPY REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"



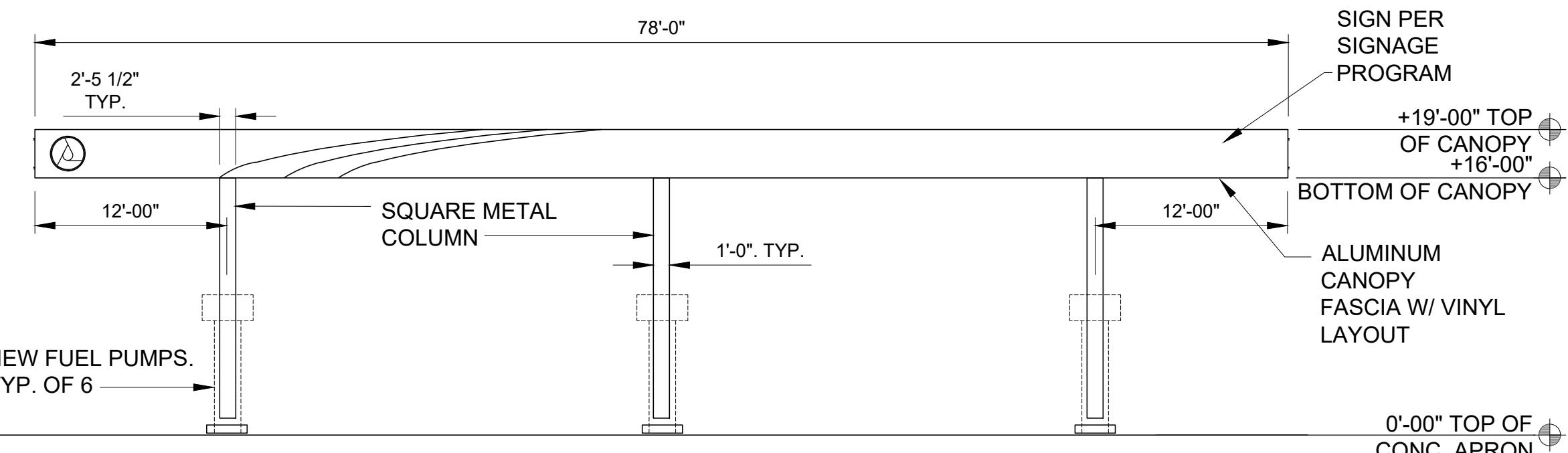
A5.0- 03 FUEL CANOPY ROOF PLAN

SCALE: 1/8" = 1'-0"



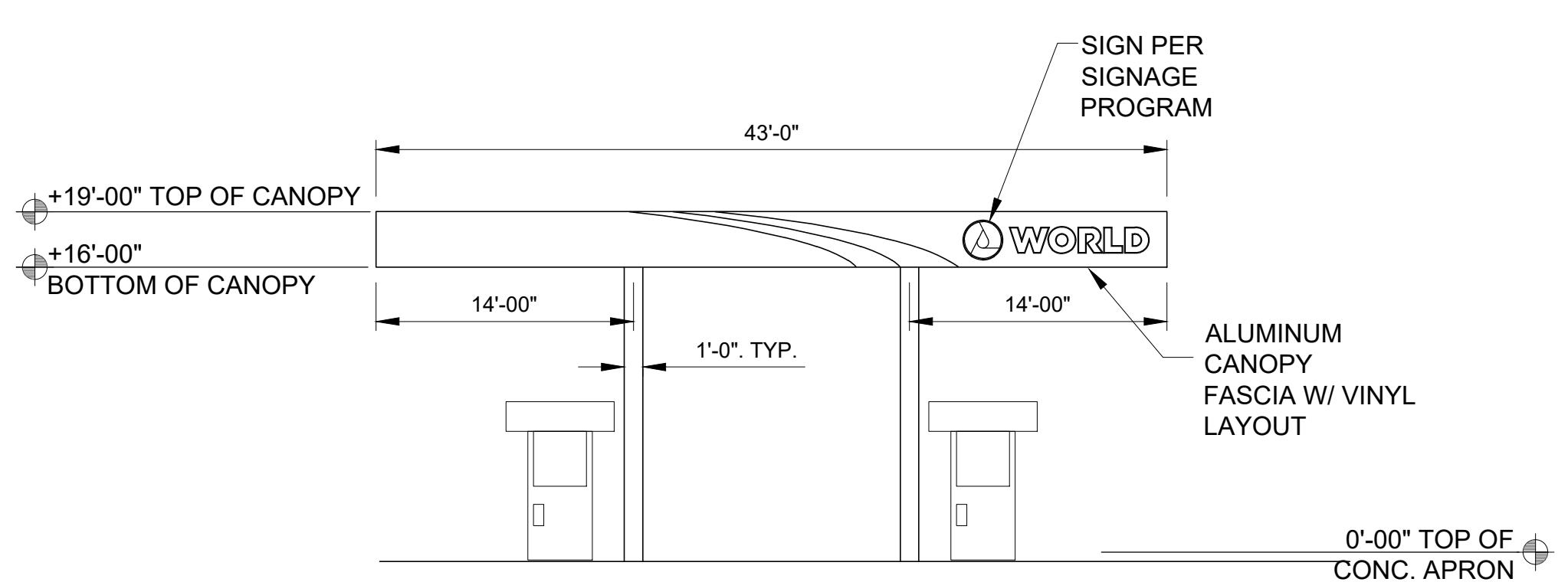
A15.0-05 POST GUARD DETAIL

SCALE: 1/4"=1'-0"



A5.0- 04 FRONT ELEVATION

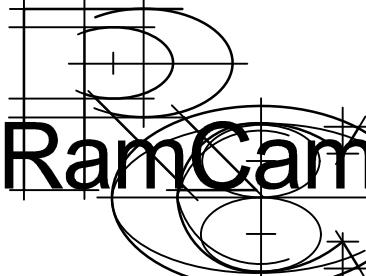
SCALE: 1/8" = 1'-0"



A5.0- 05 SIDE ELEVATION

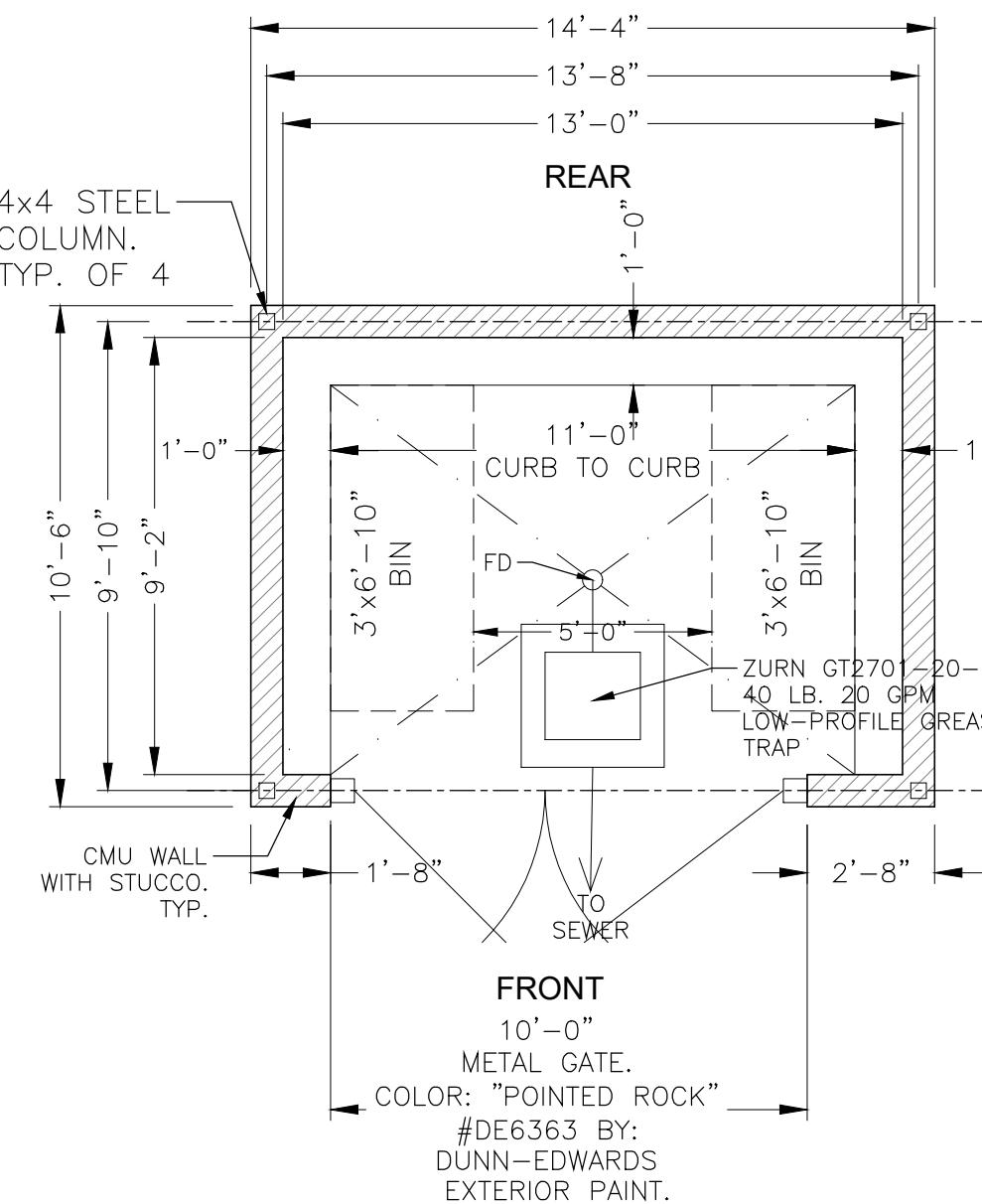
SCALE: 1/8" = 1'-0"



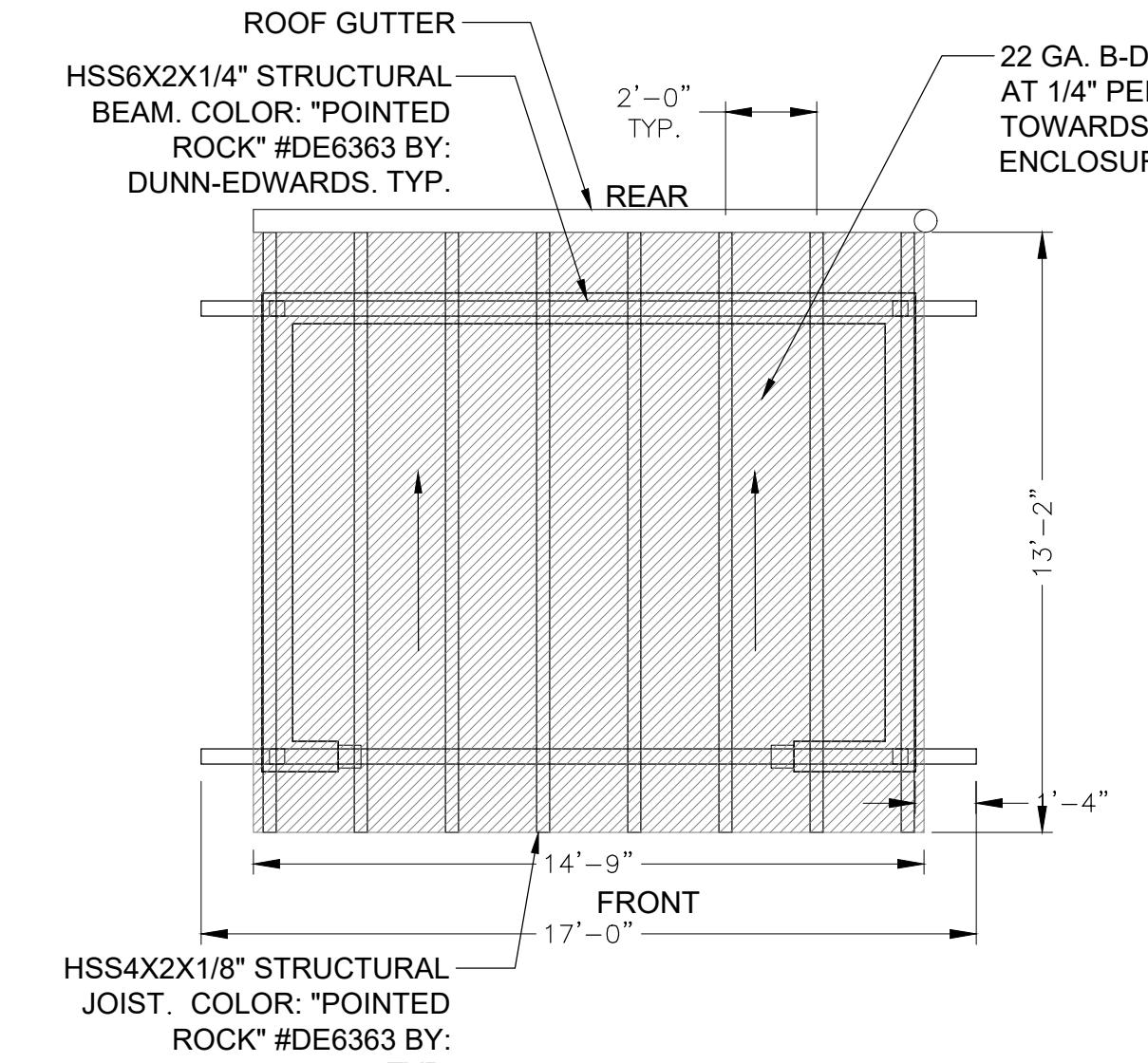


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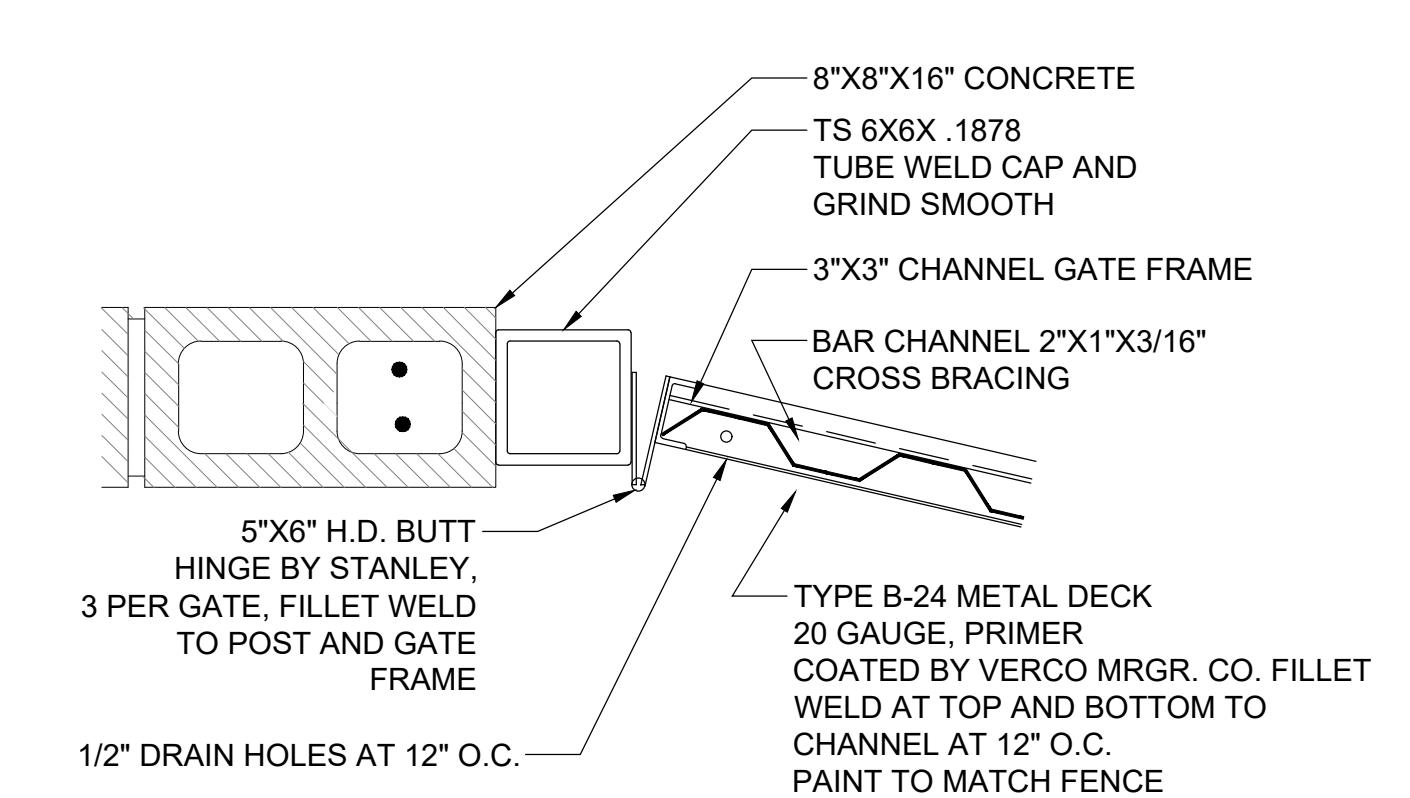
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A6.0-01 TRASH ENCLOSURE FLOOR PLAN
SCALE: 1/4"=1'-0"

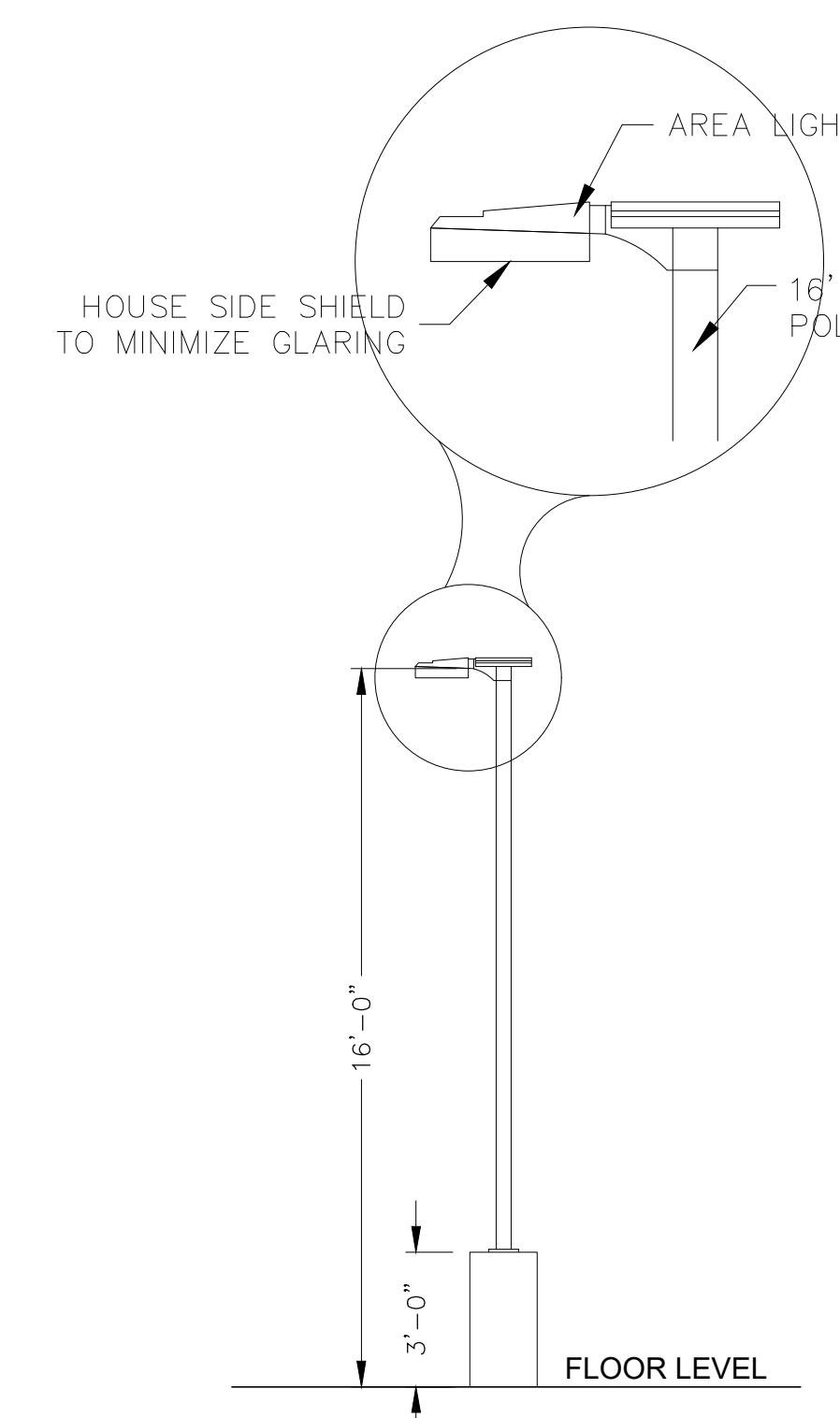


A6.0-02 TRASH ENCLOSURE ROOF PLAN
SCALE: 1/4"=1'-0"

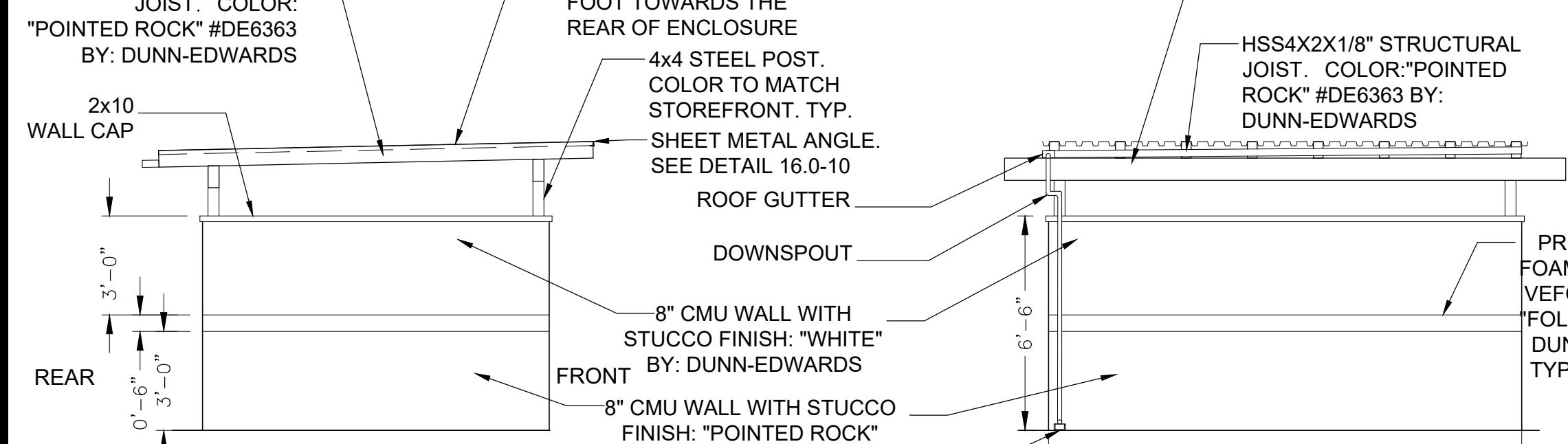


1. ALL HARDWARE TO BE CORROSION RESISTANT.
2. PAINT ENCLOSURE GATE DOOR TO MATCH BUILDING COLORS
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECS.
4. LOCATION SUBJECT TO APPROVED DEVELOPMENT PLAN.
5. CONCRETE BLOCK WALL TO COMPATIBLE WITH BUILDING EXTERIOR.
6. SPECIFIED MANUFACTURER'S SHOWN OR APPROVED EQUAL.

NOTE: THE FORCE REQUIRED TO PULL/PUSH OPEN THE DOOR TO BE 5-POUNDS MAXIMUM.



A6.0-04 AREA LIGHT POLE
SCALE: 1/4"=1'-0"



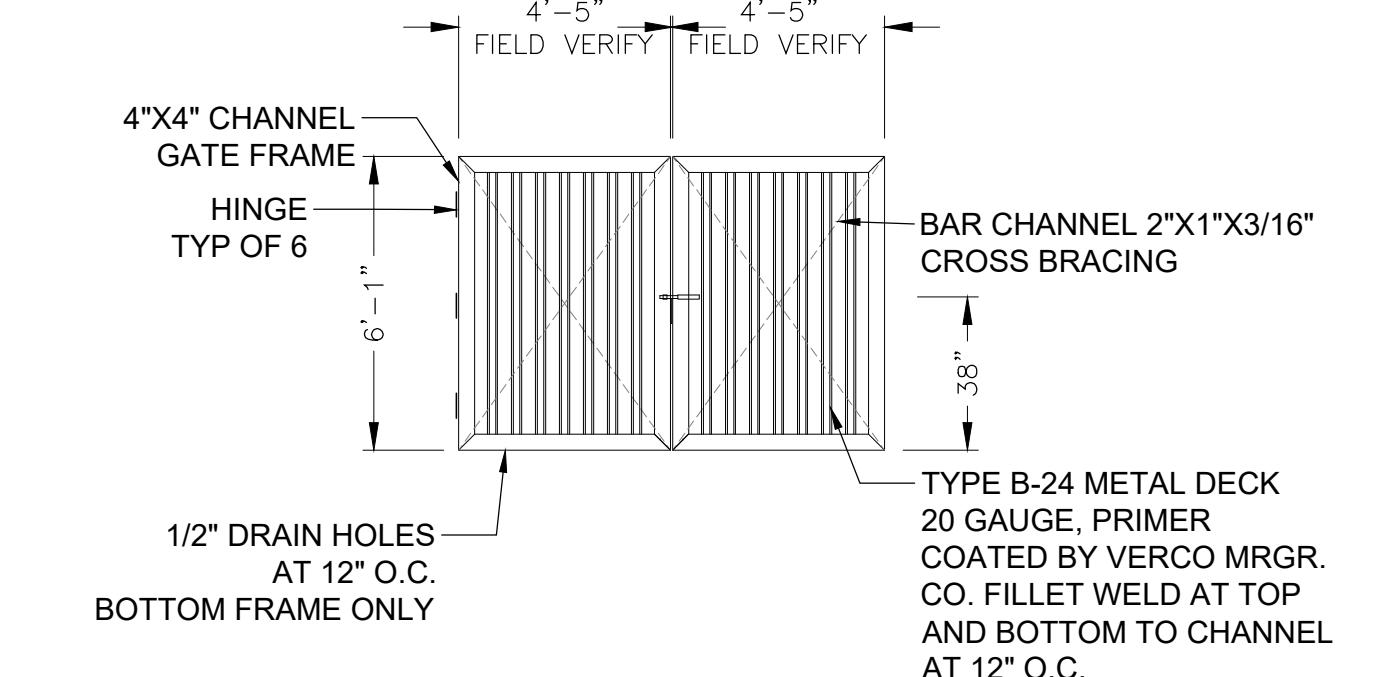
SOUTHWEST ELEV

NORTHWEST ELEV

NORTHEAST ELEV

SOUTHEAST ELEV

A6.0-05 TRASH ENCLOSURE ELEVATIONS
SCALE: 1/4"=1'-0"



A6.0-06 GATE DETAIL
CITY OF MORGAN HILL
SCALE: 1/4"=1'-0"

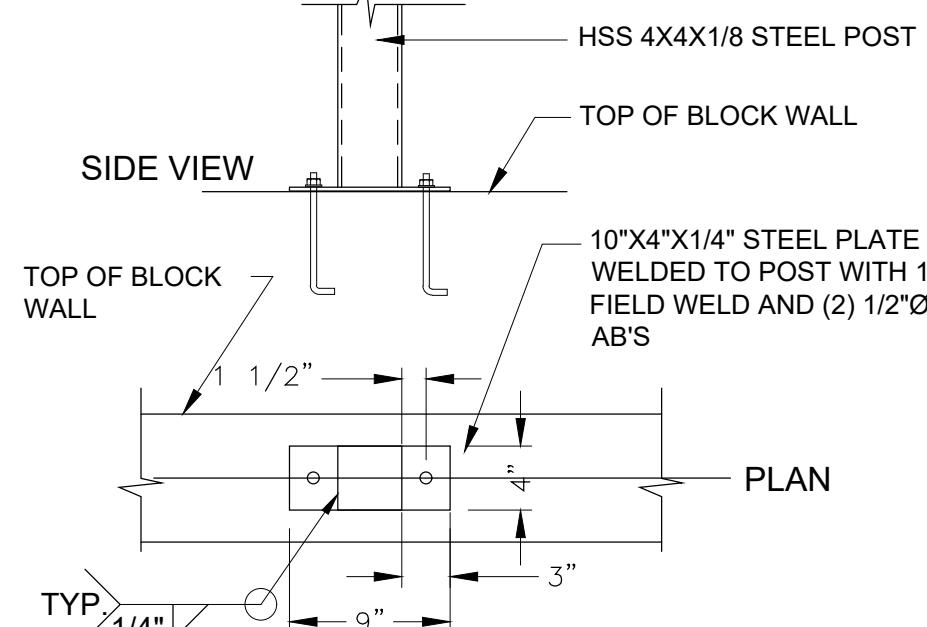
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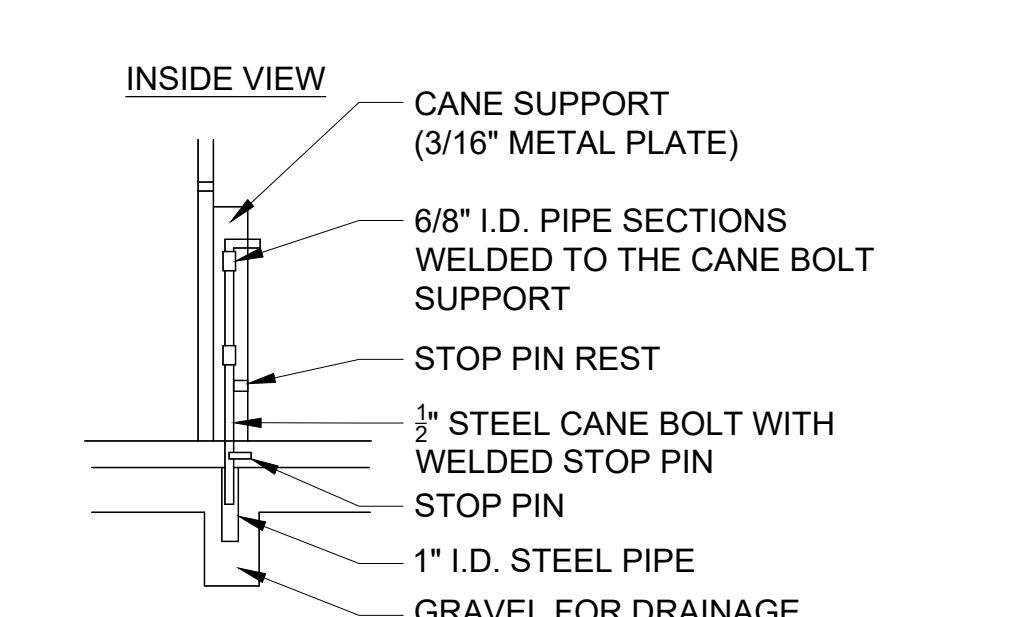
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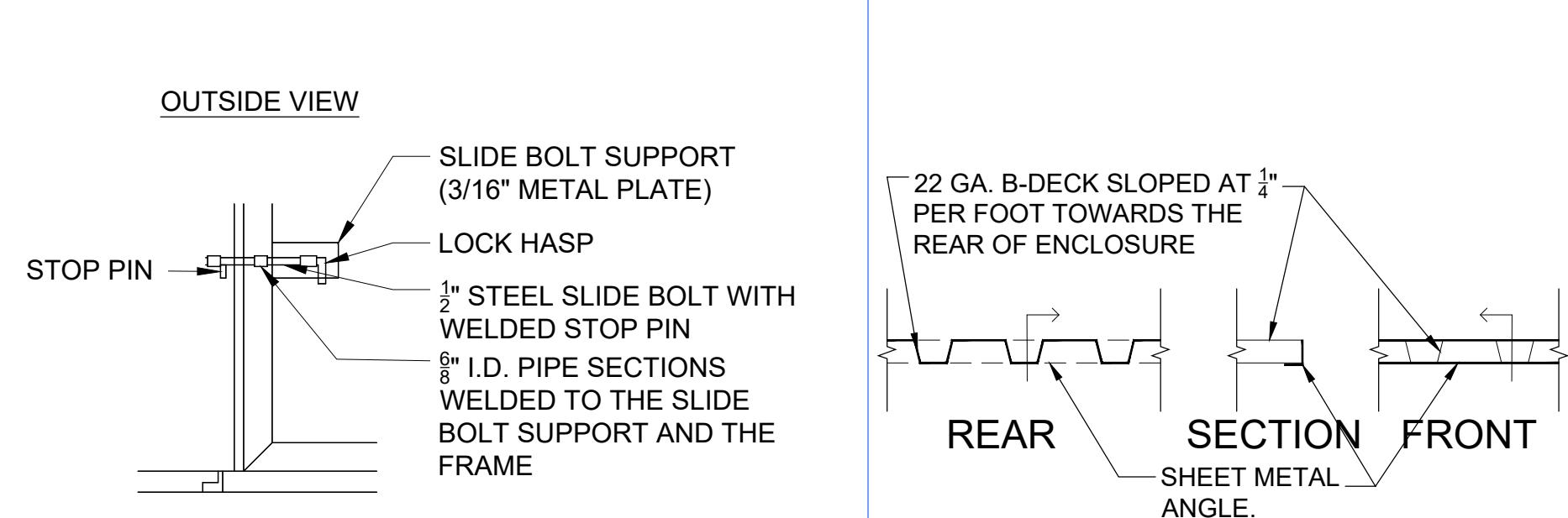
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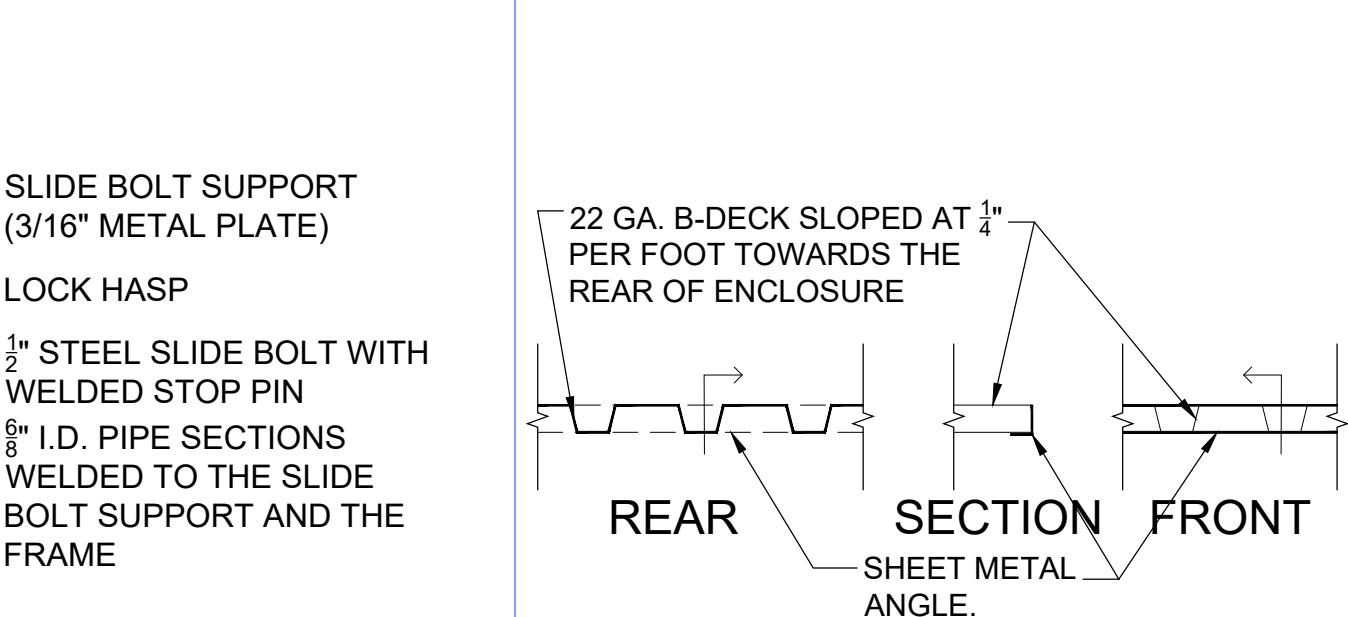
A6.0-07 METAL POST DETAIL
SCALE: NONE



A6.0-08 CANE BOLT DETAIL
SCALE: NONE



A6.0-09 SLIDE BOLT DETAIL
SCALE: NONE



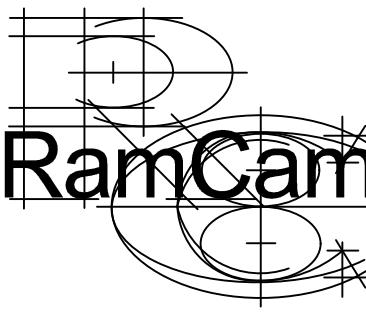
A6.0-10 B-DECK DETAIL
SCALE: NONE

A6.0-11 NOT USED
SCALE: NONE

TRASH ENCLOSURE PLANS,
ELEVATIONS, SECTIONS & DETAILS

A6.0

01.25.2024



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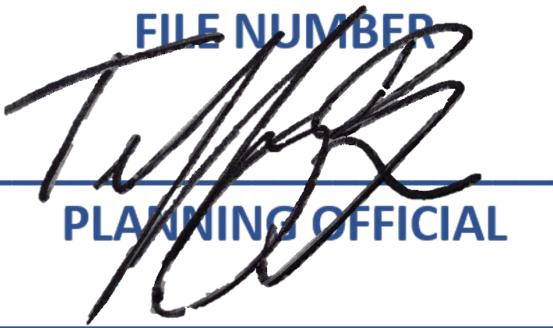
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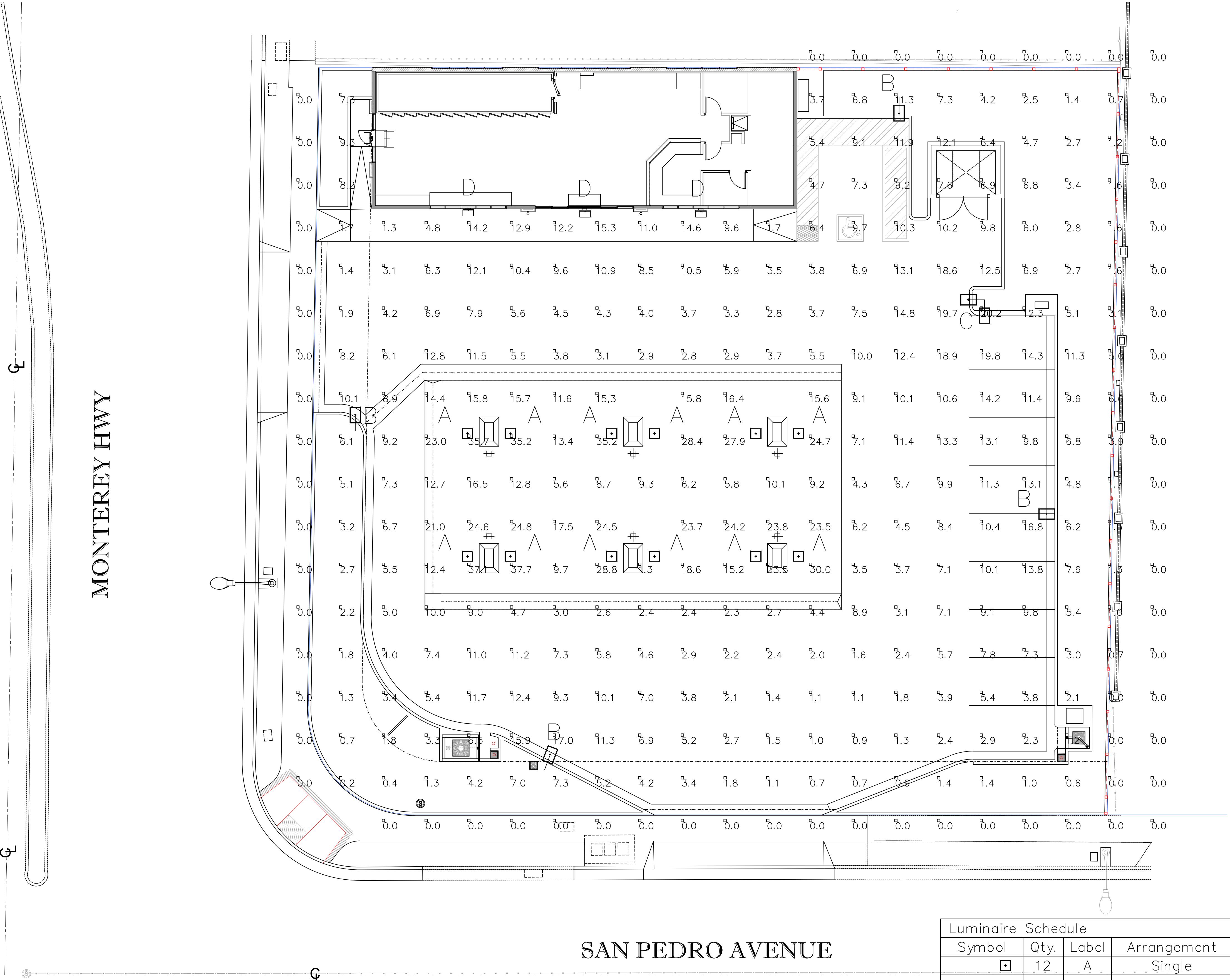
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Luminaire Schedule						
Symbol	Qty.	Label	Arrangement	Lumens	L.L.F.	Description
□	12	A	Single	-1	0.80	CAN-EDG-25-xx-06-E-UL-700-40K
□	4	B	Single	-1	0.80	LED-FX-SAL-75-30K-DB-35
□	1	C	2 @ 90 DEGREES	-1	0.80	(2) LED-FX-SAL-75-30K-DB-35
□	3	D	Single	-1	0.80	AWP-6L-50K
□	1	E	Single	-1	0.80	AWP-6L-50K

Numeric Summary							
Label	Calc. Type	Units	Avg.	Max.	Min.	Avg./Min.	Max./Min.
Calc. Points	Illuminance	Fc	9.78	136	0.0	N.A.	N.A.

Photometric data used is based on established IES procedures and published lamp ratings. Pt. x pt. values shown are horizontal illuminance at grade (single-plane), in footcandles. The Light Loss Factor (LLF) used is essentially industry standard. Field performance will depend on actual lamp, ballast, electrical, and site characteristics. Luminaire height shown is approximate overall mounting height above finished grade, unless noted otherwise.



SITE LIGHTING
PHOTOMETRIC

A7.0

PLANT LEGEND
SYMBOL BOTANICAL NAME COMMON NAME SIZE REMARKS QTY. WUCOLS IV REGION 1

TREES						
CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	24' BOX	NATURAL DOUBLE STAKE SEE NOTE BELOW	34	LOW	
MAGNOLIA GRANDIFLORA 'TEDDY BEAR'	TEDDY BEAR MAGNOLIA	24' BOX	STANDARD DOUBLE STAKE	2	LOW	
PLATANUS ACERIFOLIA	LONDON PLANE TREE	24' BOX	STANDARD DOUBLE STAKE	5	LOW	
SHRUBS AND GROUNDCOVERS						
CALLISTEMON CITRINUS 'LITTLE JOHN'	DAWNT BOTTLEBRUSH	5 GAL.	3'-0" O.C.	93	LOW	
ESCALLONIA FRADSEII	PINK ESCALLONIA	5 GAL.	3'-0" O.C.	11	LOW	
FESTUCA OVINA 'GLAUCA'	BLUE FESCUE	FLATS	12' O.C.	640 SF.	LOW	
MUHLENBERGIA CAPILLARIS 'REGAL MIST'	DEER GRASS	1 GAL.	2'-0" O.C.	1350 SF.	LOW	
PENNISETUM ALOPECUROIDES 'HAMELN'	FOUNTAIN GRASS	5 GAL.	3'-0" O.C.	13	LOW	
WESTRINGIA FRUTICOSA 'MORNING LIGHT'	COAST ROSEMARY	5 GAL.	4'-0" O.C.	15	LOW	
BARK MULCH IN PARKWAY						
			3' MIN. LAYER	930 SF.		
VINES						
▼ PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	5 GAL.	TRAIN TO WALL	2	LOW	

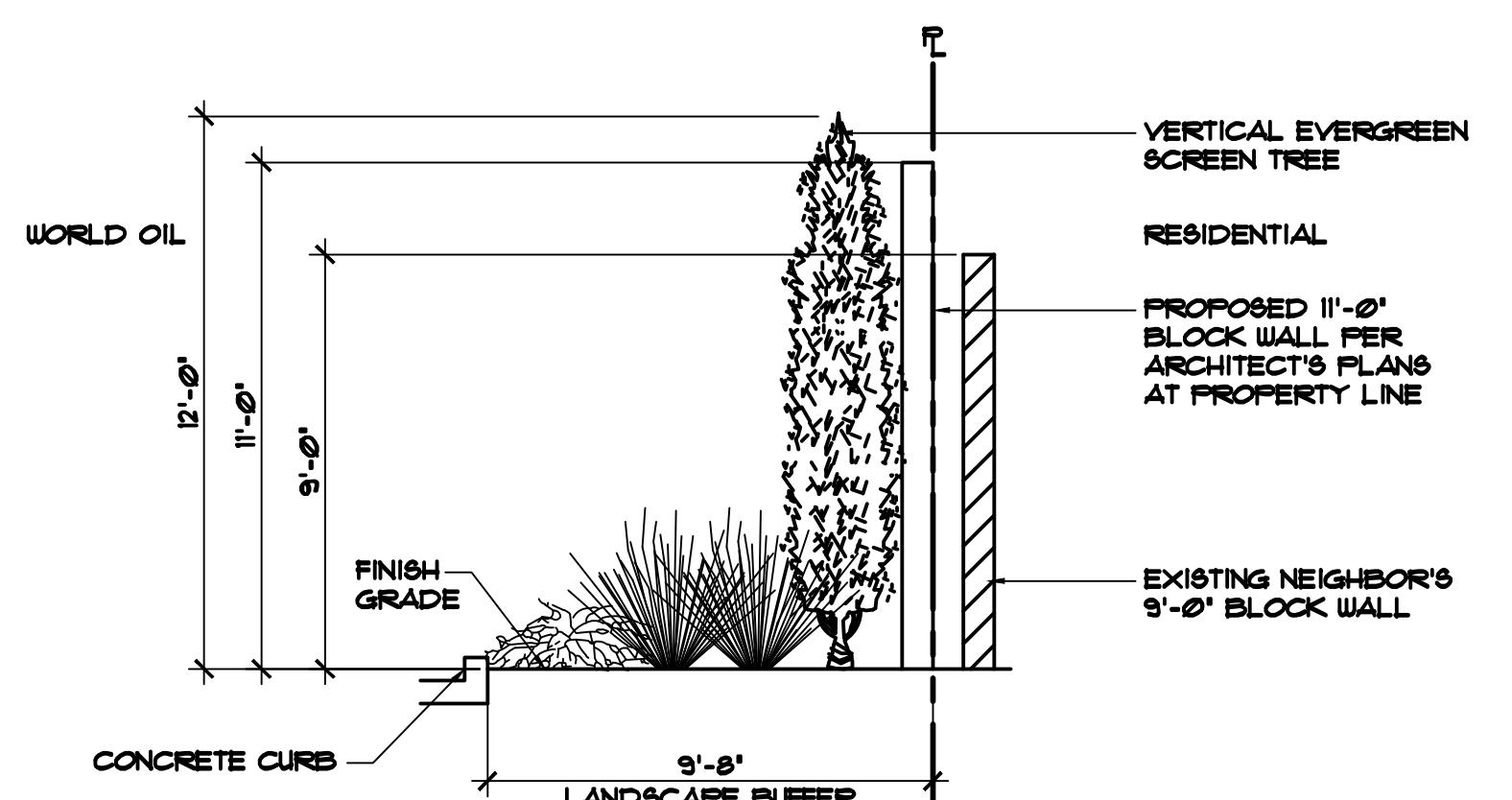
GENERAL PLANTING NOTES:

- A. ALL FLAT, SHRUB AND GROUNDCOVER AREAS (INCLUDING EXISTING SLOPE) TO BE TOP DRESSED WITH 3' LAYER OF SHREDDED BARK MULCH. ALL TOP DRESSING TO BE FLUSH WITH TOP OF WALK PROVIDE SAMPLE TO LANDSCAPE ARCHITECT PRIOR TO DELIVERY ON-SITE.
- B. ALL STREET TREES AND ALL TREES WITHIN 6' OR WITHIN 10' OF PUBLIC RIGHT-OF-WAY OF HARDSCAPE ELEMENTS, SUCH AS CURBS, WALLS, BUILDINGS OR WALKS, SHALL BE PROVIDED WITH APPROVED ROOT BARRIER CONTROL DEVICES SUCH AS MODEL NO. UB 24-2, AVAILABLE FROM DEEPROOT: 800-458-7662 OR www.deeroot.com INSTALLATION TO BE PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS AND BE A MINIMUM OF 10 LINEAL FEET.
- C. CONTRACTOR TO REPAIR OR REPLACE ANY EXISTING WORK DONE BY OTHERS DAMAGED DUE TO CONSTRUCTION.
- D. CONTRACTOR TO VERIFY ALL UTILITIES AND EXISTING CONDITIONS IN FIELD PRIOR TO CONSTRUCTION.
- E. ALL PLANTING AND IRRIGATION TO COMPLY WITH CITY OF MORGAN HILL LANDSCAPE GUIDELINES AND CURRENT MWELD (MODEL WATER EFFICIENT LANDSCAPE ORDINANCE).
- F. ALL PROPOSED GAS METERS, BACK FLOW DEVICES, TRANSFORMERS OR ANY OTHER ABOVE GROUND EQUIPMENT WILL BE SCREENED WITH SHRUBS OR OTHER LANDSCAPING PER CITY GUIDELINES.
- G. ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER.
- H. QUANTITIES ARE SHOWN FOR CITY AND OWNER USE ONLY. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES.
- I. PROPOSED ITALIAN CYPRESS SHALL BE CONTRACT GROWN AT A LOCAL NURSERY AND INSTALLED AT 12'-0" HEIGHT AT 48" O.C.

CITY GENERAL NOTES:

1. ALL TREES SHALL BE PLANTED AND STAKED PER CITY STANDARDS.
2. ROOT BARRIERS SHALL BE INSTALLED ON ALL TREES WHICH ARE PLANTED WITHIN 6' OF PAVEMENT, FOUNDATIONS OR FOOTINGS.
3. ALL PLANTING AREAS SHALL BE MULCHED TO A MINIMUM DEPTH OF 3'.
4. LANDSCAPE SHALL COMPLY WITH CITY'S CURRENT WATER EFFICIENT LANDSCAPE ORDINANCE WITH ALL PLANTING AREAS TO BE AUTOMATICALLY IRRIGATED USING BUBBLERS OR DRIP METHODS. PLANTS TO BE GROUPED BY HYDROZONES AND IRRIGATED BY SEPARATE VALVES. CONTROLLER SHALL BE ET-BASED AND HAVE RAIN SHUT-OFF.
5. PLANTING IS COMPRISED OF AT LEAST 80% LOW-WATER USE PLANTS. NO INVASIVE PLANTS ARE SPECIFIED.
6. ALL STREET TREES ARE SPECIFIED TO BE 24' BOX SIZE (9' HGT. X 3' WIDTH) AT PLANTING. AT LEAST 10% OF ALL REMAINING TREES SPECIFIED TO BE 24' BOX SIZE AT TIME OF PLANTING.
7. AFTER COMPLETION OF ROUGH GRADING OF THE PROJECT SITE, THE CONTRACTOR SHALL OBTAIN A SOILS SAMPLE FOR AGRICULTURAL SUITABILITY FROM A CERTIFIED SOILS LABORATORY AND SHALL FOLLOW RECOMMENDATIONS FOR SOIL AMENDMENTS AND FERTILIZATION. SOILS REPORT ANALYSIS SHALL BE PROVIDED TO CITY AND LANDSCAPE ARCHITECT.

NOTE: THERE ARE NO EXISTING TREES OR OTHER PLANTINGS ON THIS SITE.



SECTION AT PROPERTY LINE
1'-0"-0"



CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 12/15/2023

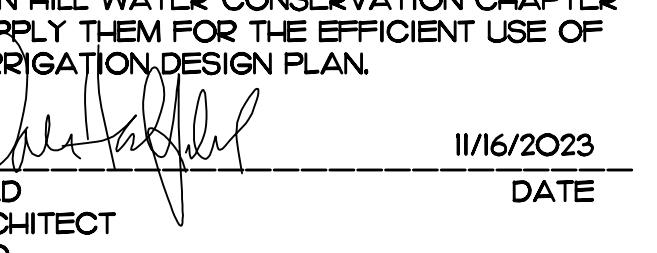
SR2021-0001

FILE NUMBER


PLANNING OFFICIAL

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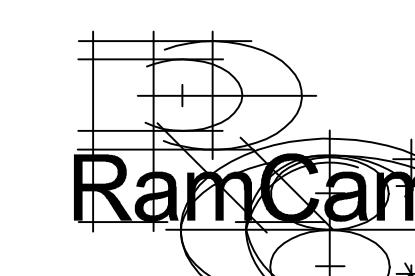
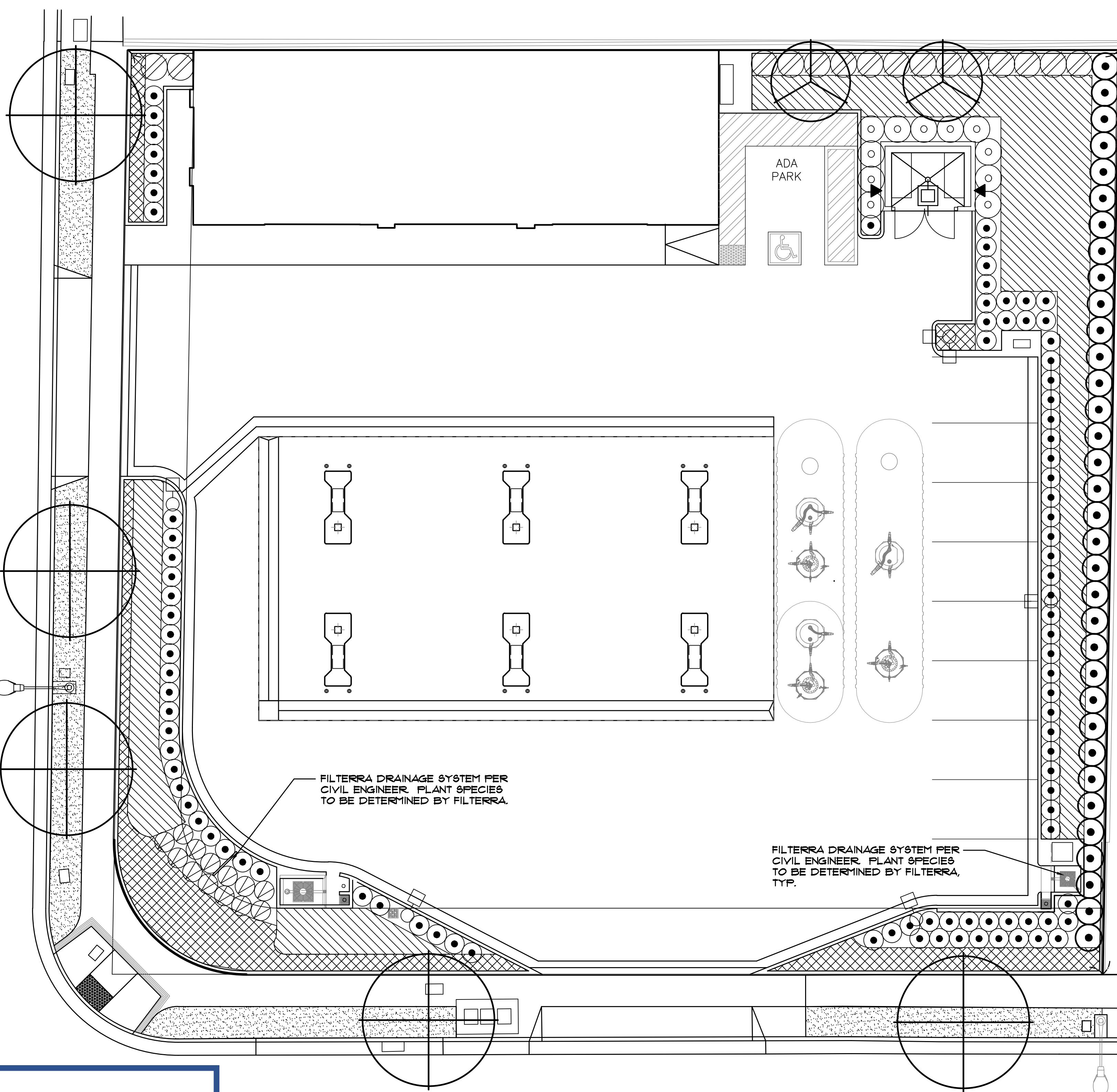
TOTAL LANDSCAPE AREA: 4,531 SF.
TOTAL SHRUB AREA: 3,607 SF.
TOTAL MULCH ONLY AREA: 930 SF.
TURF AREA: 0 SF.

I SHALL AGREE TO COMPLY WITH THE CRITERIA OF THE CITY OF MORGAN HILL WATER CONSERVATION CHAPTER 18.148 AND TO APPLY THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

R. DALE HADFIELD
LANDSCAPE ARCHITECT
CA LICENSE 1780
11/16/2023
DATE

PLANTING PLAN
SCALE 1"-10'-0"

0 10' 20' 30'

L1.1



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951.734.6330

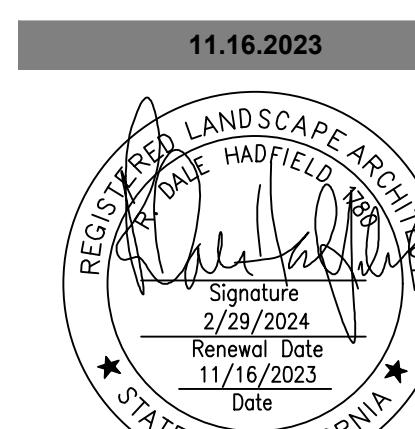
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(949) 367-9275

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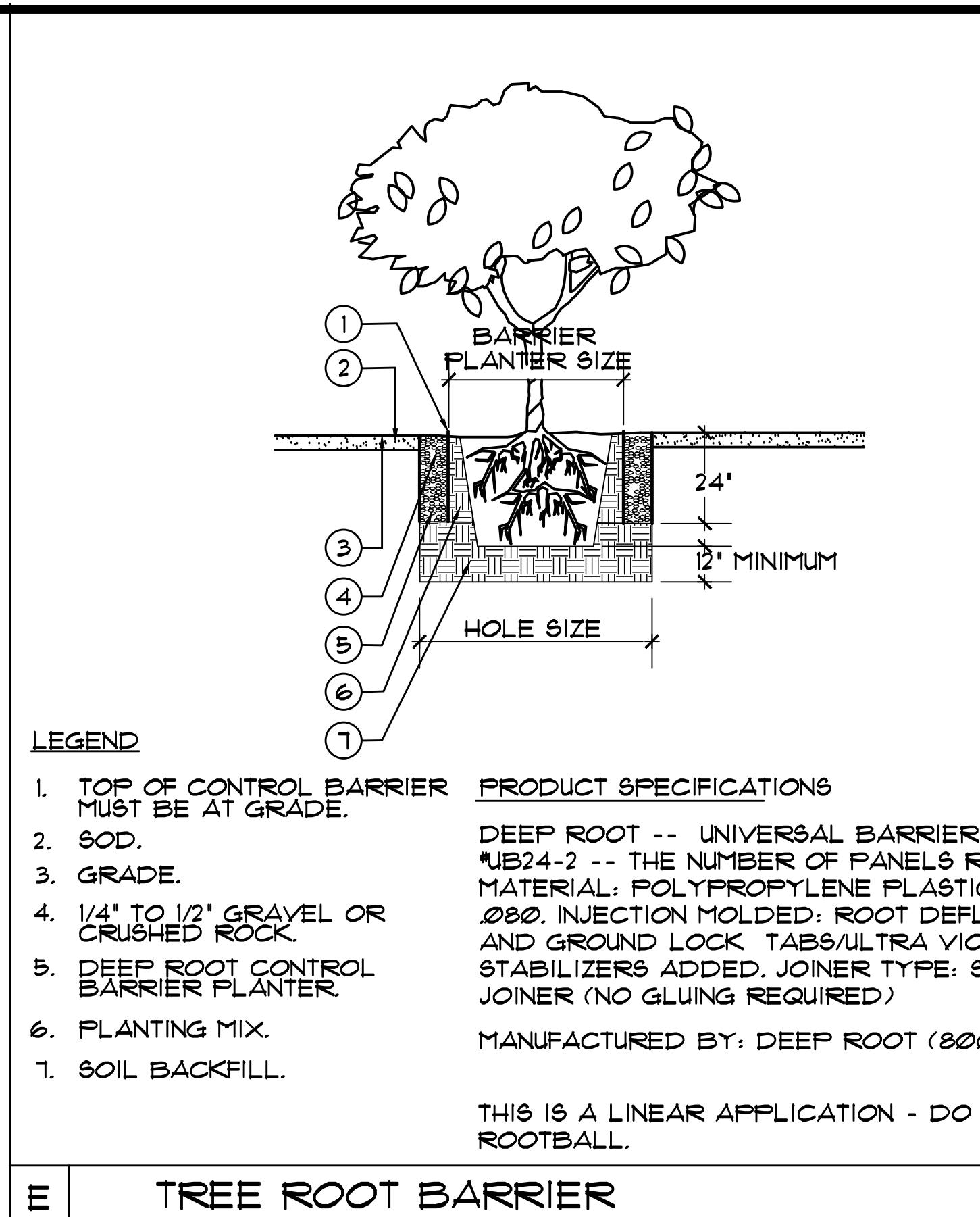
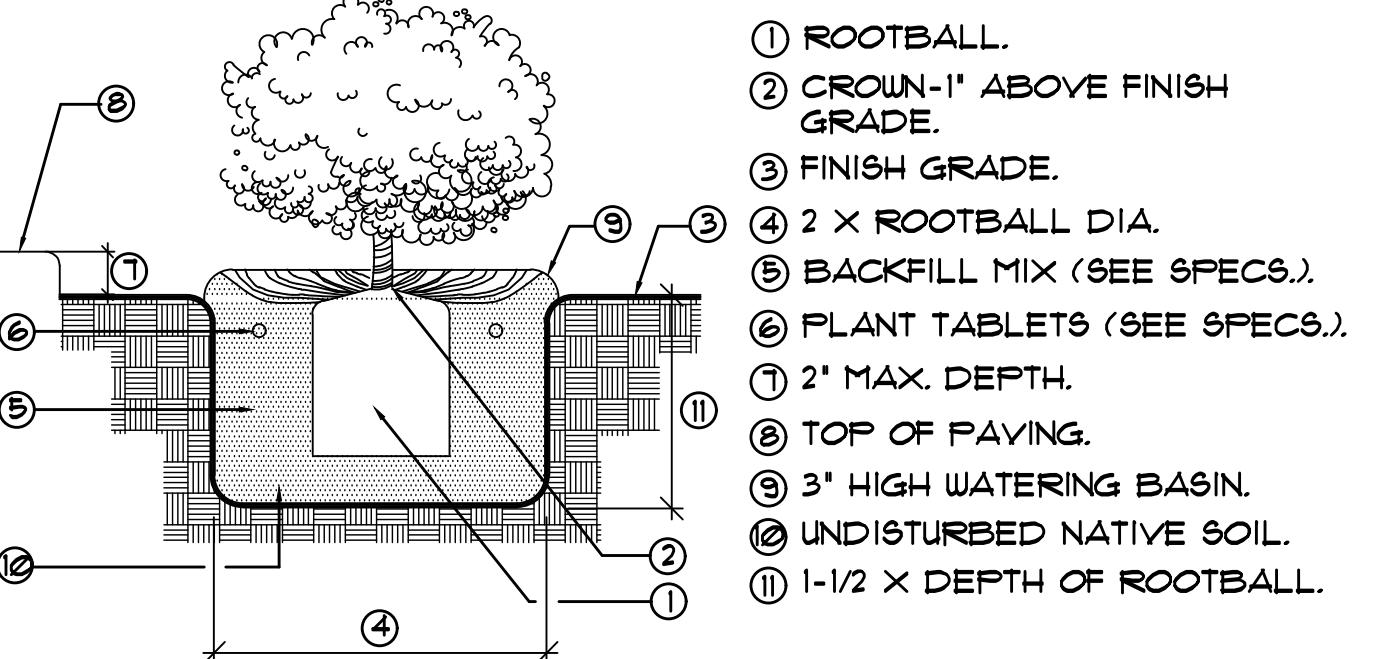
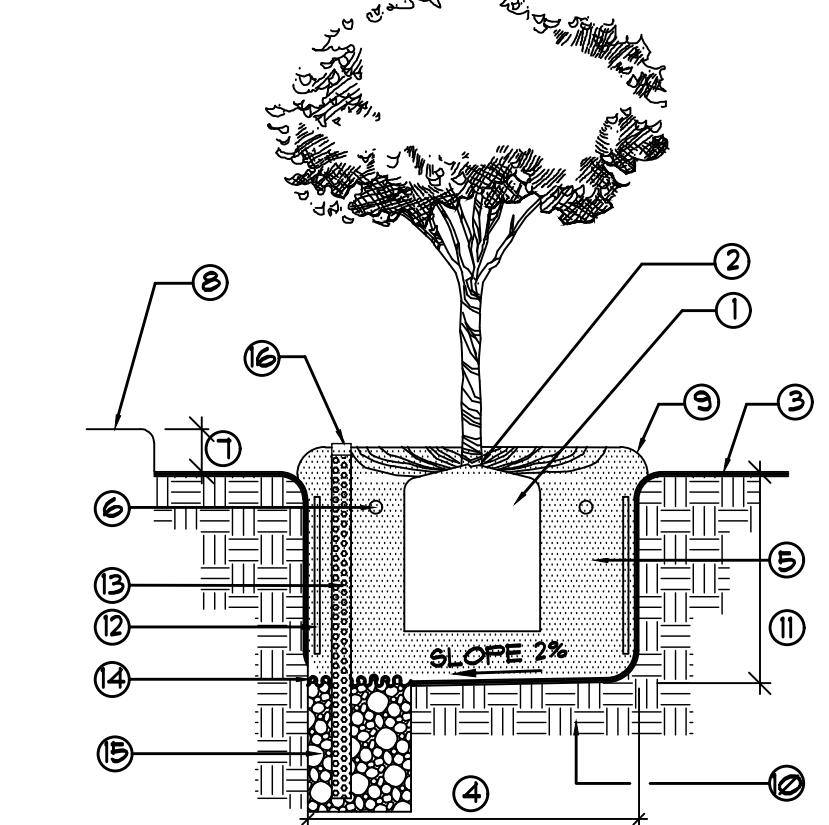
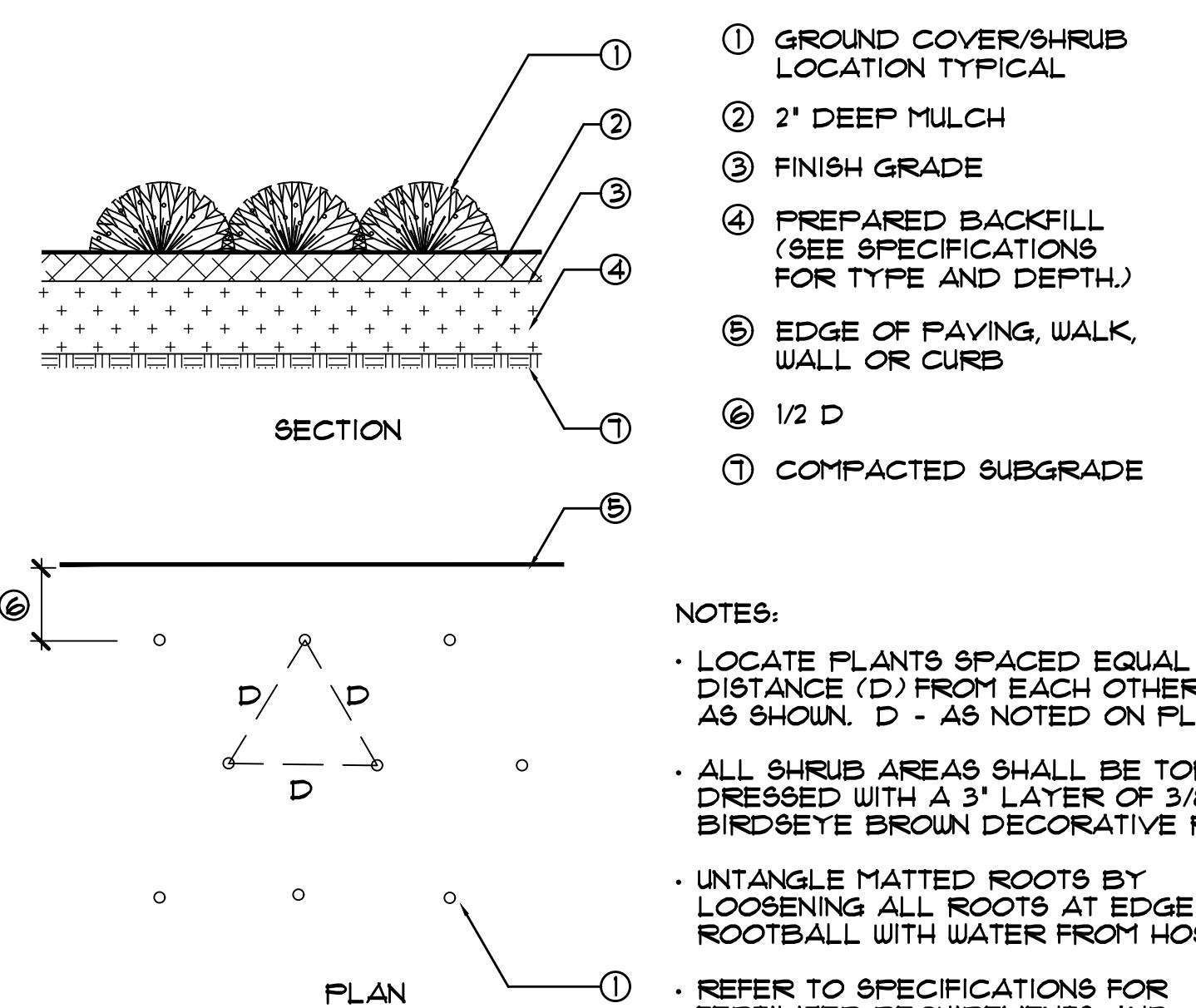
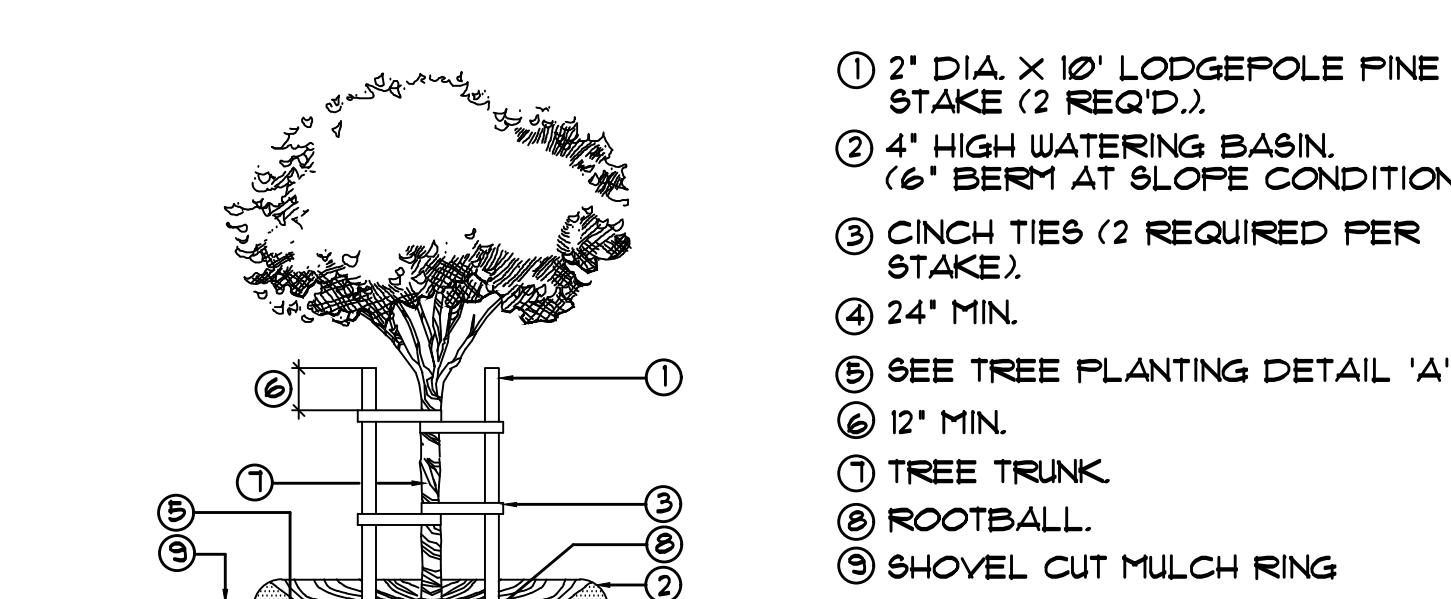
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SOUTH GATE, CA 90200
(562) 928-0100

WOF052
16720 MONTEREY ROAD
MORGAN HILL, CA. 95030



PLANTING PLAN

File: e-marks surfpocketdwgs\dh\ramcam project\world oil\morgan hill\wof21.1.dwg Date: 11/16/2023 10:53 AM (ask) Ported: 11/16/2023 11:47 AM


E | TREE ROOT BARRIER

C | SHRUB PLANTING DETAIL

A | TREE PLANTING DETAIL

D | GROUND COVER/SHRUB DETAIL

B | DOUBLE STAKING DETAIL


IRRIGATION LEGEND

SYM	MRG/MODEL NO.	DESCRIPTION	PSI	GPM	RAD PATTERN
▲	RAIN BIRD RWS-B-C-1402	ROOT WATERING SYSTEM (2 PER TREE)	30	0.50	-- FLOOD PRECIPITATION RATE IS 0.54
—	PRESSURE MAINLINE IN PLANTER AREA, 1-1/4" SCH 40 PVC, SOLVENT WELD, BURY 18" MIN. BELOW GRADE.				
—	NON-PRESSURE LATERAL PVC SCH 40 WITH PVC SCH 40 FITTINGS, BURY MIN. 12" BELOW GRADE. SIZE NOTED.				
—	PIPE SLEEVING PVC SCH 40, BURY MIN. 24" BELOW GRADE, EXTEND MIN. 12" BEYOND EDGE OF PAVING.				
—	WIRE SLEEVING PVC SCH 40, BURY MIN. 24" BELOW GRADE, EXTEND MIN. 12" BEYOND EDGE OF PAVING.				
—	RAIN BIRD XFCV-06-12 SERIES DRIPLINE TUBING (06 GPH EMMITTERS AT 12" O.C.) INSTALL LATERALS 18" MAX. SPACING. REFER TO DETAILS. PRECIPITATION RATE IS 0.64.				
(NOT SHOWN)	RAIN BIRD XQF-15 SERIES DRIPLINE HEADER. REFER TO DETAIL.				
(NOT SHOWN)	RAIN BIRD ARV-050 AIR RELIEF VALVE KIT IN VALVE BOX. REFER TO DETAIL.				
(NOT SHOWN)	RAIN BIRD MDCF-CAP FLUSH CAP IN VALVE BOX. REFER TO DETAIL.				
●	RAIN BIRD XCZ-100-PFB-COM CONTROL ZONE KIT (DRIP VALVE ASSEMBLY) - 1" PESB VALVE AND 1" PRESSURE REGULATING BASKET FILTER.				
⊕	RAIN BIRD 100-FEB REMOTE CONTROL VALVE, 1" SIZE.				
●	RAIN BIRD 33DLRC QUICK COUPLING VALVE WITH KEY AND RUBBER LOCKING CAP - 3/4".				
☒	GRISWOLD #2320 PRESSURE REGULATING MASTER VALVE, NORMALLY CLOSED. 3/4". SET AT 65 PSI				
☒	NEW 3/4" IRRIGATION WATER METER (BY OTHERS). SEE POINT OF CONNECTION NOTE.				
●	FEBCO 825YA REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY. 3/4" SIZE.				
◀	NIBCO LINE SIZED BALL VALVE				
▲	RAIN BIRD ESP4ME3 4 STATION IRRIGATION CONTROLLER WITH (1) ADDITIONAL 3 STATION MODULE FOR A TOTAL OF 11 STATIONS. MOUNT ON OUTSIDE WALL OF TRASH ENCLOSURE AS SHOWN. INSTALL WITH RAIN BIRD LNK-WIFI MODULE AND WIRELESS RAIN SENSOR (AS LISTED BELOW) PER MANUFACTURER'S RECOMMENDATIONS. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT. CONTRACTOR TO MAKE FINAL HOOKUP OF CONTROL WIRES.				
☒	RAIN BIRD WR2-RFC WIRELESS RAIN/FREEZE SENSOR INSTALL ON ROOF PER MANUFACTURER'S RECOMMENDATIONS.				
—	VALVE SEQUENCE NUMBER				
1/8" 26	FLOW IN GPM				
1/2"	HYDROZONE				
—	VALVE SIZE				

NOTE: IRRIGATION PLAN IS DIAGRAMMATIC. CONTRACTOR SHALL ROUTE PIPING IN ORDER TO AVOID OBJECTS LIKE LIGHT STANDARDS, TRANSFORMER PADS, EQUIPMENT VAULTS, SUB-SURFACE ROCK TOO LARGE TO REMOVE, ETC. AS LONG AS ALL PLANTS RECEIVE THE PROPER NUMBER OF EMMITTERS PER SCHEDULE.

IRRIGATION NOTES

- ALL MAIN LINE PIPING NON-PRESSURE PIPING AND CONTROL WIRE SLEEVING SHALL BE INSTALLED IN SEPARATE SLEEVES. MAINLINE SLEEVE SIZE SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED. CONTROL WIRE SLEEVES SHALL BE OF SUFFICIENT SIZE FOR THE REQUIRED NUMBER OF WIRES.
- ALL LATERAL LINE PIPING UNDER PAVING SHALL BE PVC SCHEDULE 40 PIPE AND SHALL BE INSTALLED PRIOR TO PAVING.
- PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF SAID REJECTION.
- FINAL LOCATION OF THE AUTOMATIC CONTROLLER SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE.
- 120 VAC ELECTRICAL POWER SOURCE AT CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. THE IRRIGATION CONTRACTOR SHALL MAKE THE FINAL CONNECTION FROM THE ELECTRICAL SOURCE TO THE CONTROLLER.
- ALL IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE WITH MINIMAL OVERSPRAY ONTO WALKS, STREETS, WALLS, ETC.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, STRUCTURES AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS THROUGH WALLS, UNDER ROADWAYS AND PAVING, ETC.
- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE. THE CONTRACTOR SHALL LOCATE ALL VALVES IN SHRUB AREAS.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- REFER TO CIVIL ENGINEER PLANS FOR GRADING, ANY DRAINAGE STRUCTURES AND METERS. COORDINATE LOCATION OF IRRIGATION EQUIPMENT WITH CIVIL ENGINEER INFORMATION.
- COORDINATE LATERAL PIPE SLEEVING PRIOR TO INSTALLATION OF CONCRETE.
- LOCATE ALL VALVES IN SHRUB AREA, SHOWN FOR CLARITY ONLY.
- ALL IRRIGATION DESIGN AND IMPLEMENTATION SHALL FOLLOW ALL ABIBI WATER CONSERVATION ORDINANCE RULES AND GUIDELINES AND CITY OF YUCAIPA GUIDELINES.
- REFER TO SPECIFICATIONS FOR STANDARDS OF MATERIALS AND WORKMANSHIP.
- ALL ABOVE GROUND UTILITIES, INCLUDING BACKFLOW PREVENTERS, SHALL BE SCREENED WITH PLANTING AND PAINTED TO BLEND IN WITH PLANT MATERIAL USED SCREENING.
- ALL PLANTING AND IRRIGATION SHALL BE MAINTAINED INDEFINITELY.
- A LANDSCAPE IRRIGATION WATER AUDIT SHALL BE PERFORMED BY AN IA CERTIFIED IRRIGATION WATER AUDITOR. REPORT SHALL BE SUBMITTED TO CITY INSPECTOR PRIOR TO FINAL INSTALLATION APPROVAL. THE AUDIT SHALL BE REPEATED ONCE EVERY 5 YEARS AS PART OF ON-GOING MAINTENANCE.



PRESSURE LOSS CALCULATIONS

VALVE #A3 103 GPM	
3/4" WATER METER	1.00
3/4" BACKFLOW DEVICE	10.50
1-1/4" PVC SCH 40 MAINLINE (160 LF.)	0.90
LATERALS	3.00
FITTINGS	0.40
OPERATING PRESSURE	25.00
ELEVATION LOSS	0.00
REMOTE CONTROL VALVE	3.10
MISCELLANEOUS	3.00
TOTAL PRESSURE LOSS	47.40
STATIC PRESSURE	65.00
RESIDUAL PRESSURE	17.60

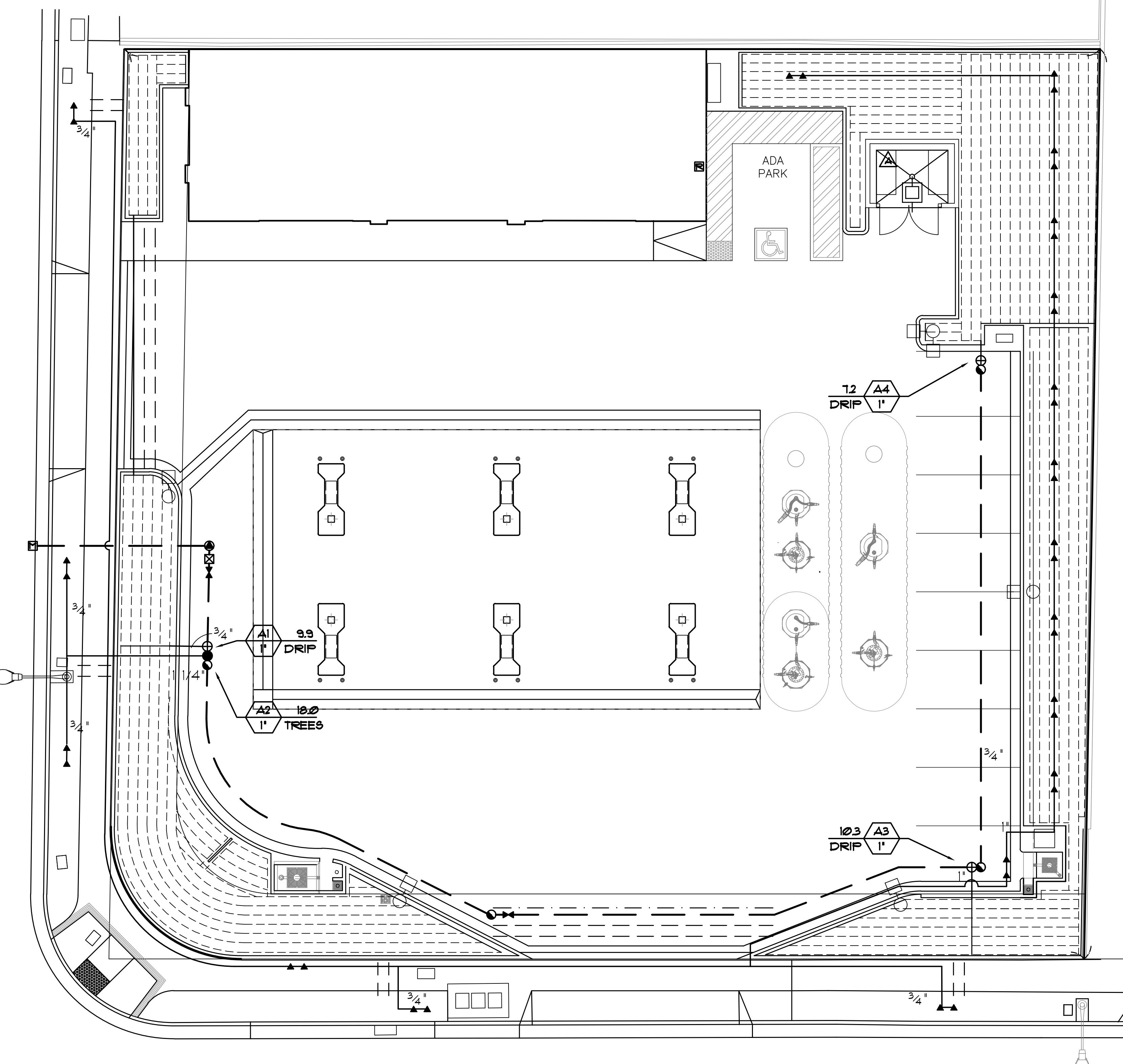
CONSTRUCTION NOTE:

LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR FOR THE INSTALLATION OF SLEEVES FOR MAINLINE, LATERAL LINES AND WIRES PRIOR TO POURING OF PAVING.

CONTROLLER LOCATION:

120 VOLT 2 AMP 60 CYCLE POWER AVAILABLE. LOCATE CONTROLLER ON OUTSIDE WALL OF TRASH ENCLOSURE AS SHOWN. IRRIGATION CONTRACTOR TO MAKE FINAL HOOK-UP OF FIELD WIRES. INSTALL WEATHER STATION PER MANUFACTURER'S RECOMMENDATIONS.

MONTEREY HWY



SAN PEDRO AVENUE

POINT OF CONNECTION:

CONNECT INTO NEW 3/4" IRRIGATION WATER METER (BY OTHERS), AND PROVIDE BACKFLOW PREVENTER, MASTER VALVE AND BALL VALVES AS SHOWN. LOCATE ALL EQUIPMENT AND VALVES IN SHRUB AREAS. DRAWING SHOWN FOR CLARITY ONLY. REFER TO NOTES. SET PRESSURE REGULATOR AT 60 PSI.

STATIC PRESSURE: 65 PSI
DESIGN PRESSURE: 48 PSI
MAXIMUM FLOW (GPM): 103 GPM

THE LANDSCAPE CONTRACTOR SHALL VERIFY STATIC WATER PRESSURE ON-SITE AND TO NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. FAILURE TO DO SO MAY RESULT IN CHANGES TO THE IRRIGATION SYSTEM IN THE FIELD AT NO ADDITIONAL CHARGE TO THE OWNER.

ADDITIONAL NOTES:

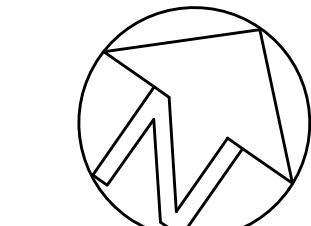
- TOTAL LANDSCAPE AREA = 5,198 SF.
- THIS PROJECT IS A RENOVATED OR REHABILITATED LANDSCAPE OF AN EXISTING GAS STATION SITE.
- IRRIGATION SYSTEM UTILIZES POTABLE WATER (RECYCLED WATER IS NOT AVAILABLE AT THIS TIME).

CERTIFICATE OF COMPLIANCE

AT THE TIME OF PROJECT ACCEPTANCE, THE LANDSCAPE ARCHITECT SHALL PROVIDE A CERTIFICATE OF COMPLIANCE INCLUDING:
- THE DATE, PROJECT NAME, APPLICANT NAME, PHONE AND ADDRESS, PROJECT ADDRESS.
- OWNER'S NAME, PHONE AND ADDRESS.
- A STATEMENT THAT THE LANDSCAPE PROJECT HAS BEEN INSTALLED PER THE APPROVED PLANS.
- PLANTING AND IRRIGATION MAINTENANCE SCHEDULE.
- IRRIGATION AUDIT REPORT.
- SOIL ANALYSIS REPORT - VERIFY IMPLEMENTATION OF SOIL REPORT RECOMMENDATIONS.

PROJECT DATA:

TOTAL LANDSCAPE AREA: 4,537 SF.
TOTAL SHRUB AREA: 3,607 SF.
TOTAL MULCH ONLY AREA: 930 SF.
TURF AREA: 0 SF.



REFERENCE NOTE:

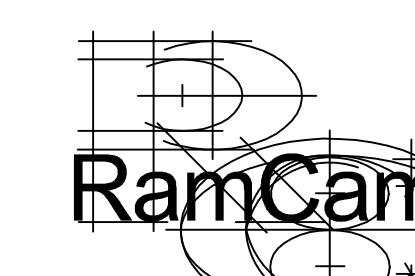
REFER TO SHEET L23 FOR MUELLO WATER EFFICIENT WORKSHEET CALCULATIONS AND IRRIGATION SCHEDULING.

I SHALL AGREE TO COMPLY WITH THE CRITERIA OF THE CITY OF MORGAN HILL WATER CONSERVATION CHAPTER 18.14.8 AND TO APPLY THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

10/25/2023
R. DALE HADFIELD
LANDSCAPE ARCHITECT
CA LICENSE 1780
DATE

IRRIGATION PLAN

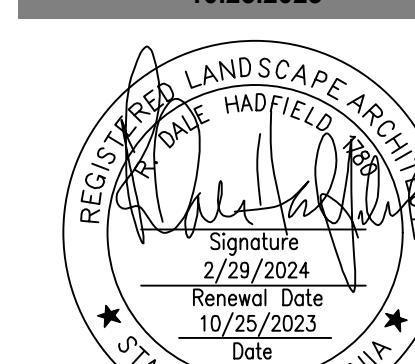
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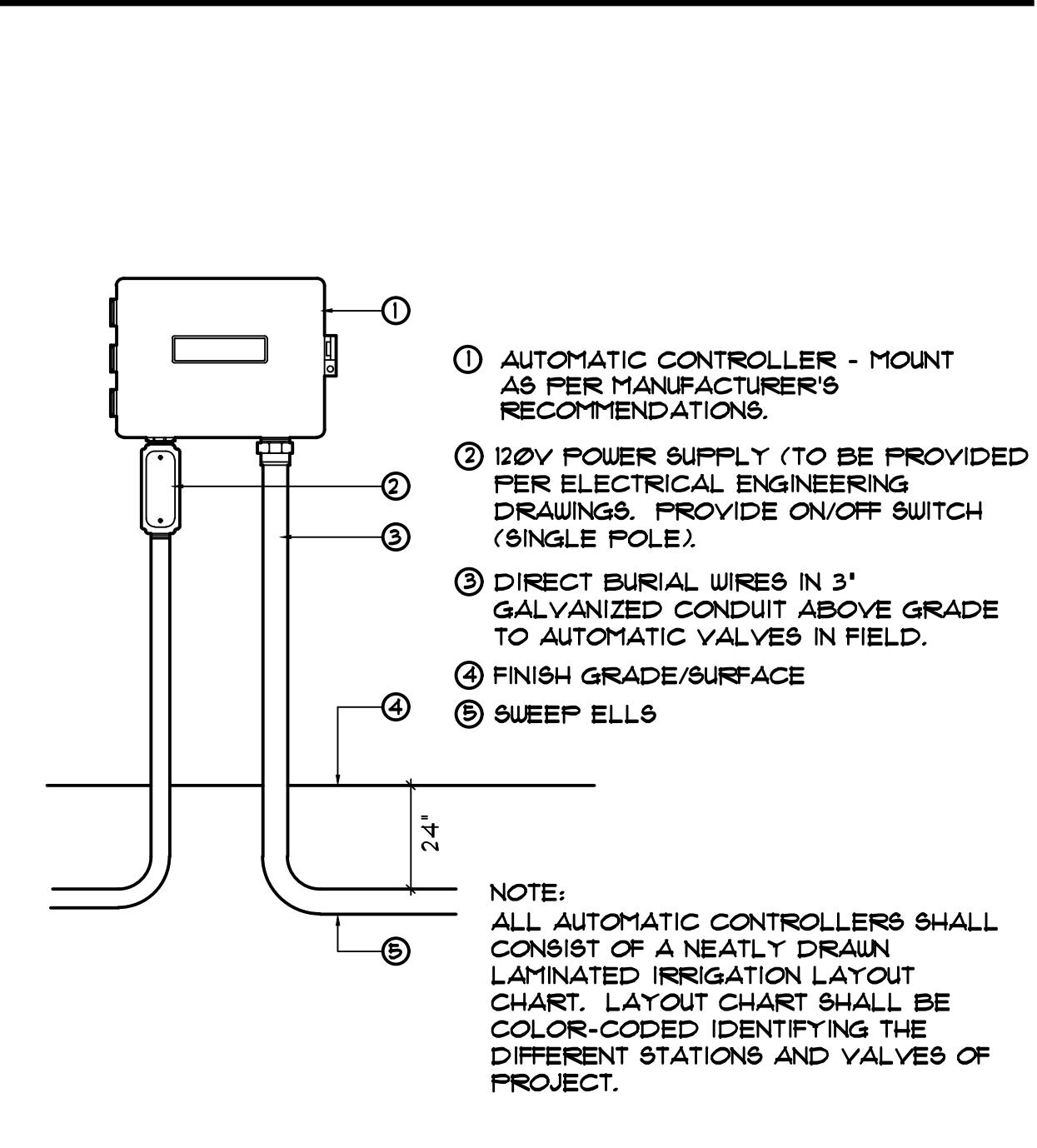
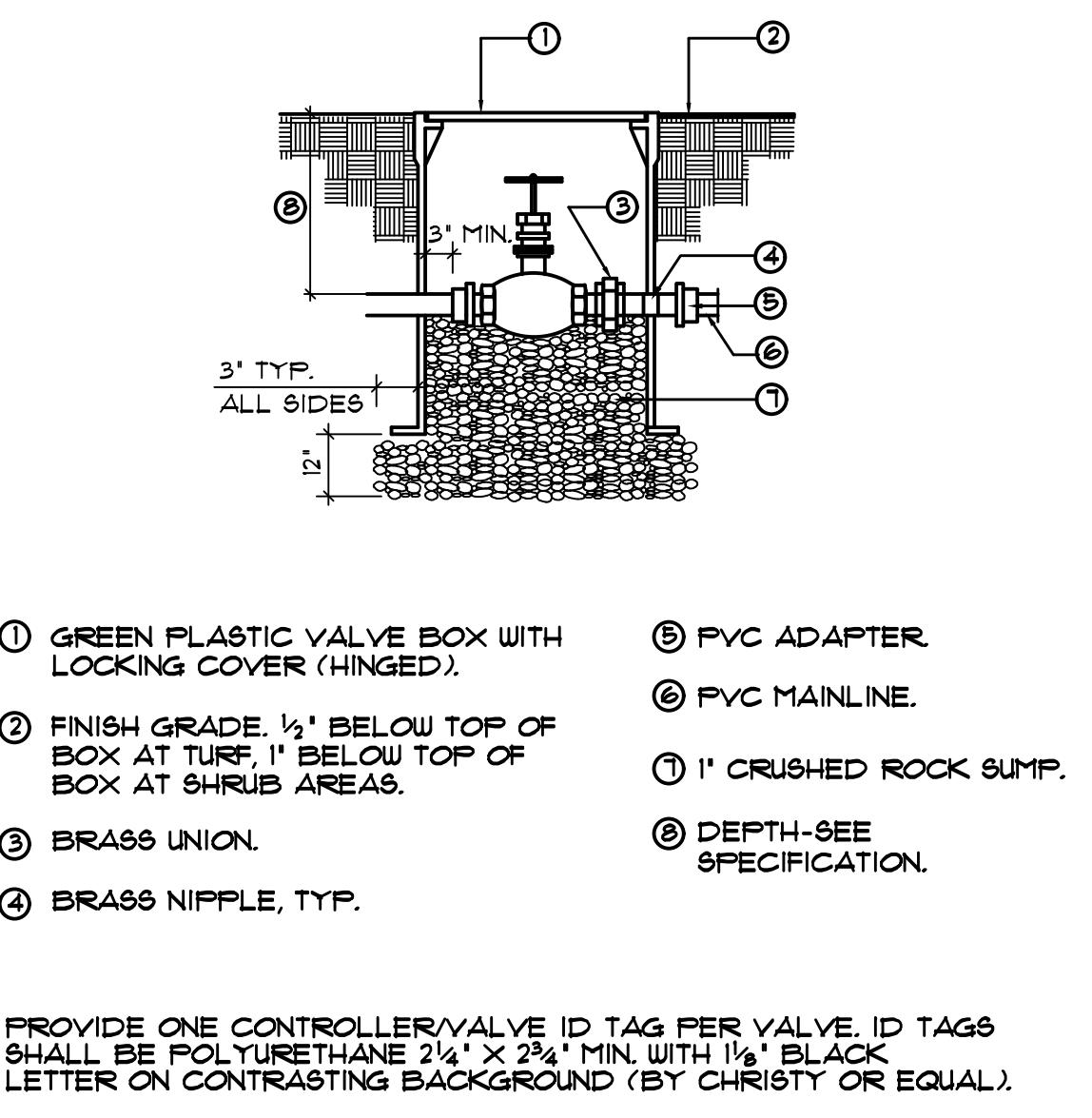
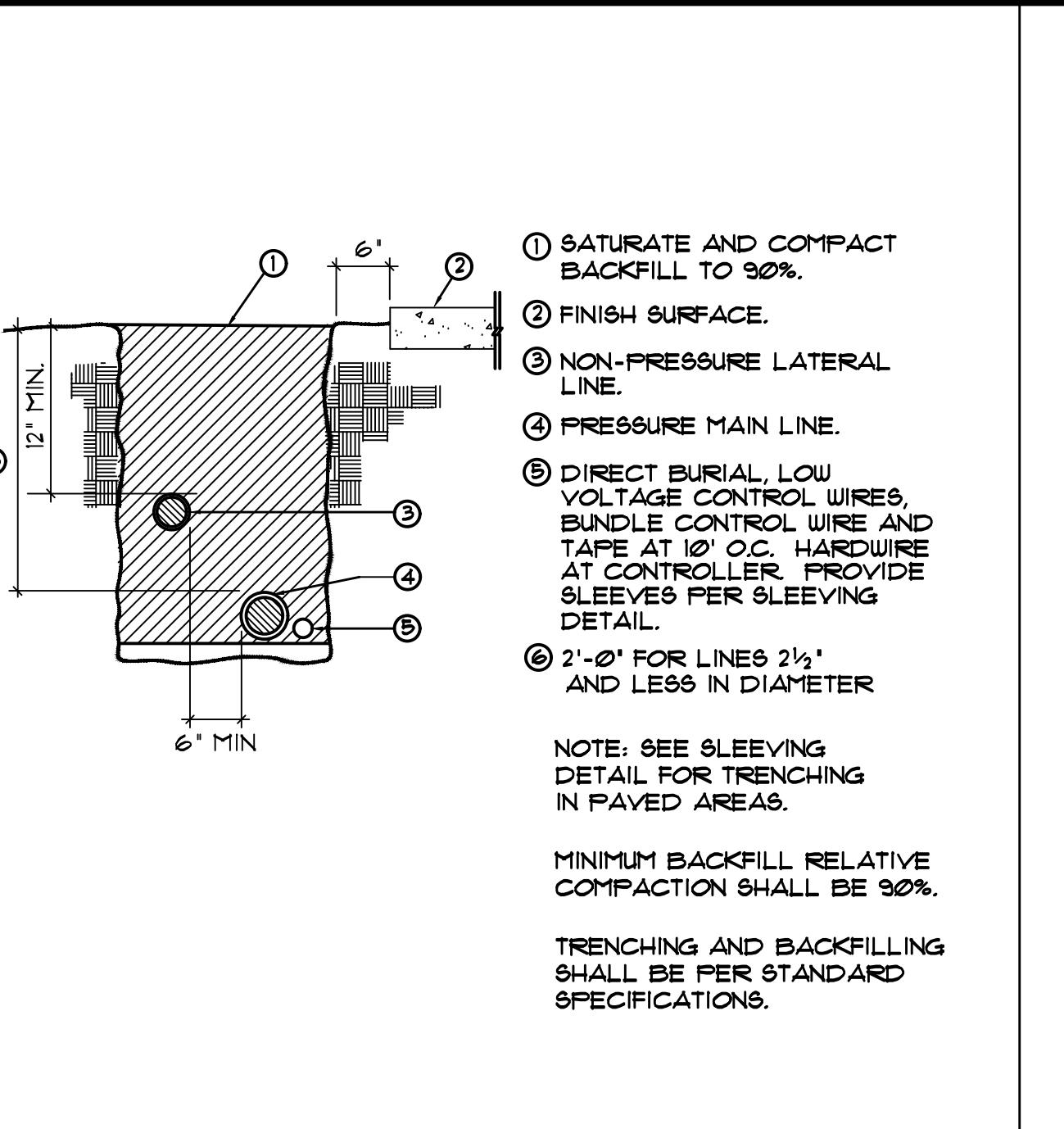
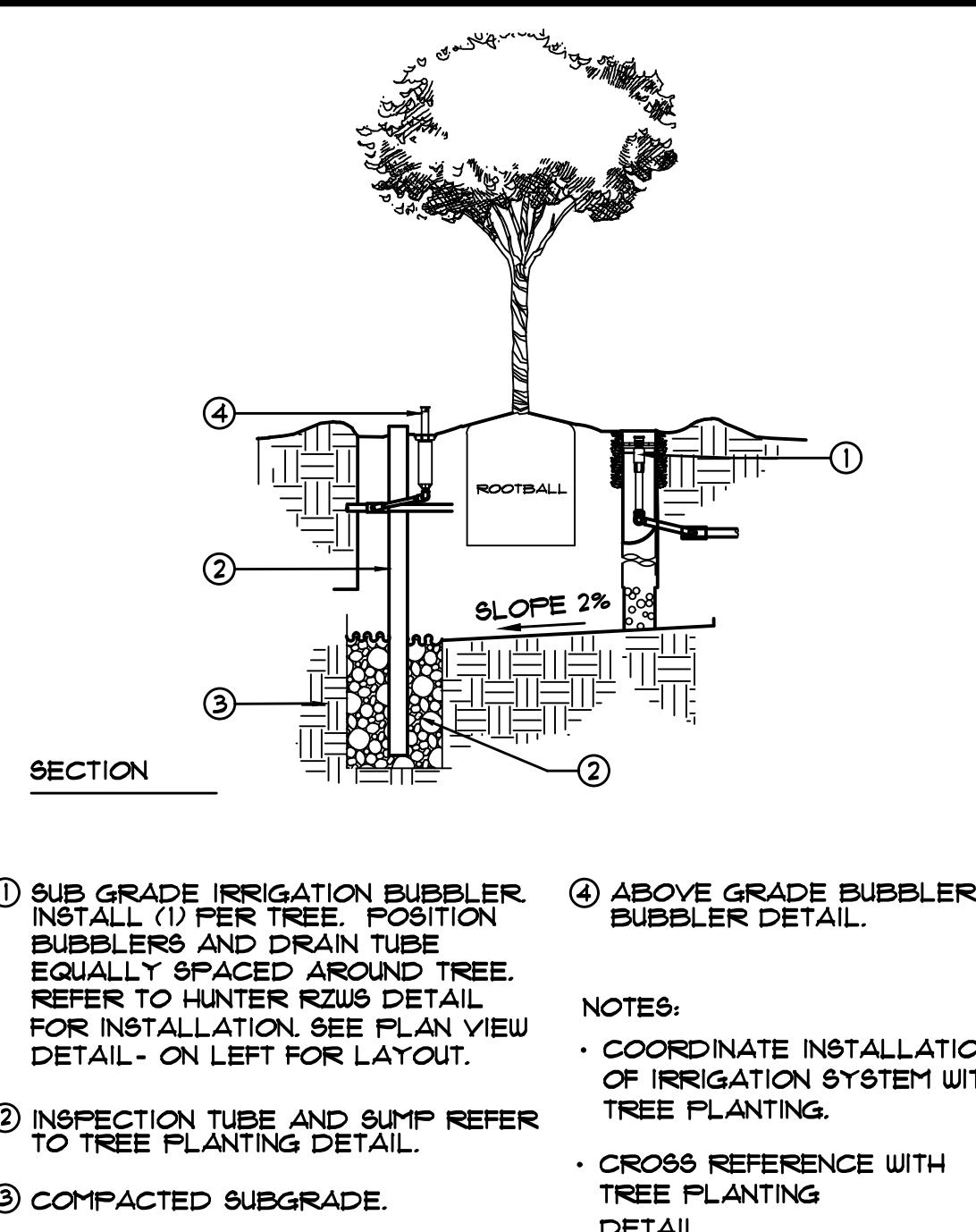
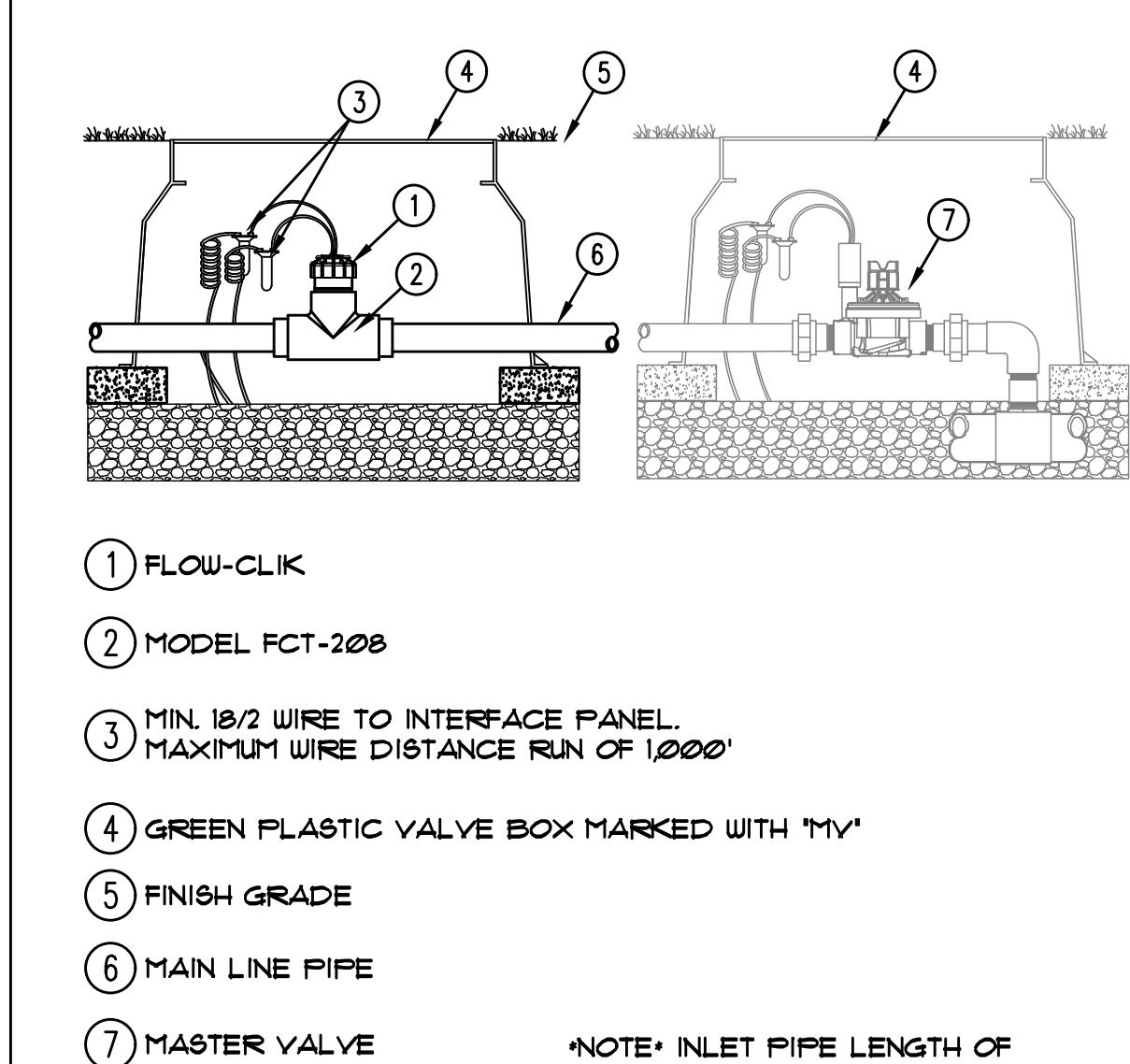
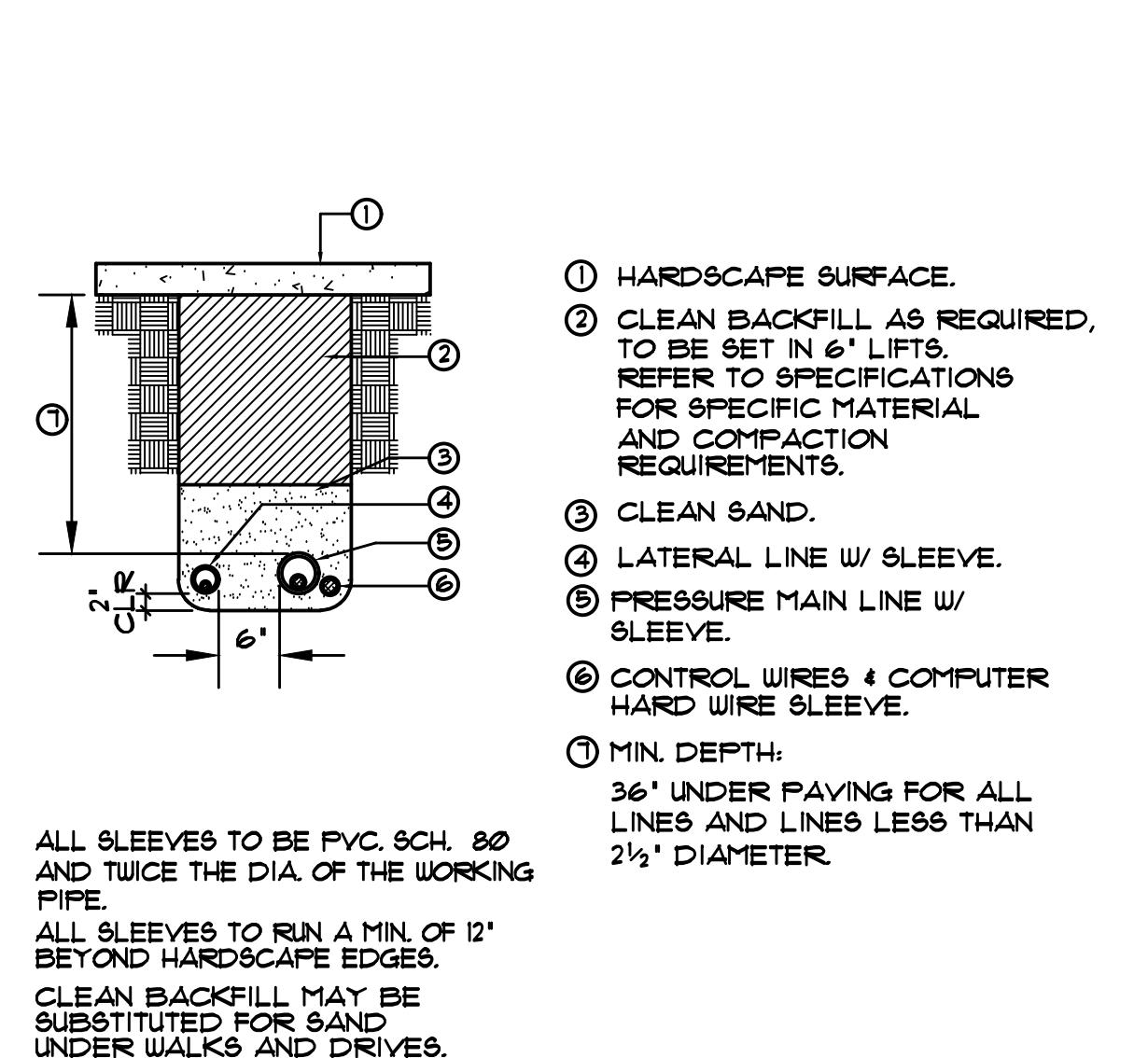
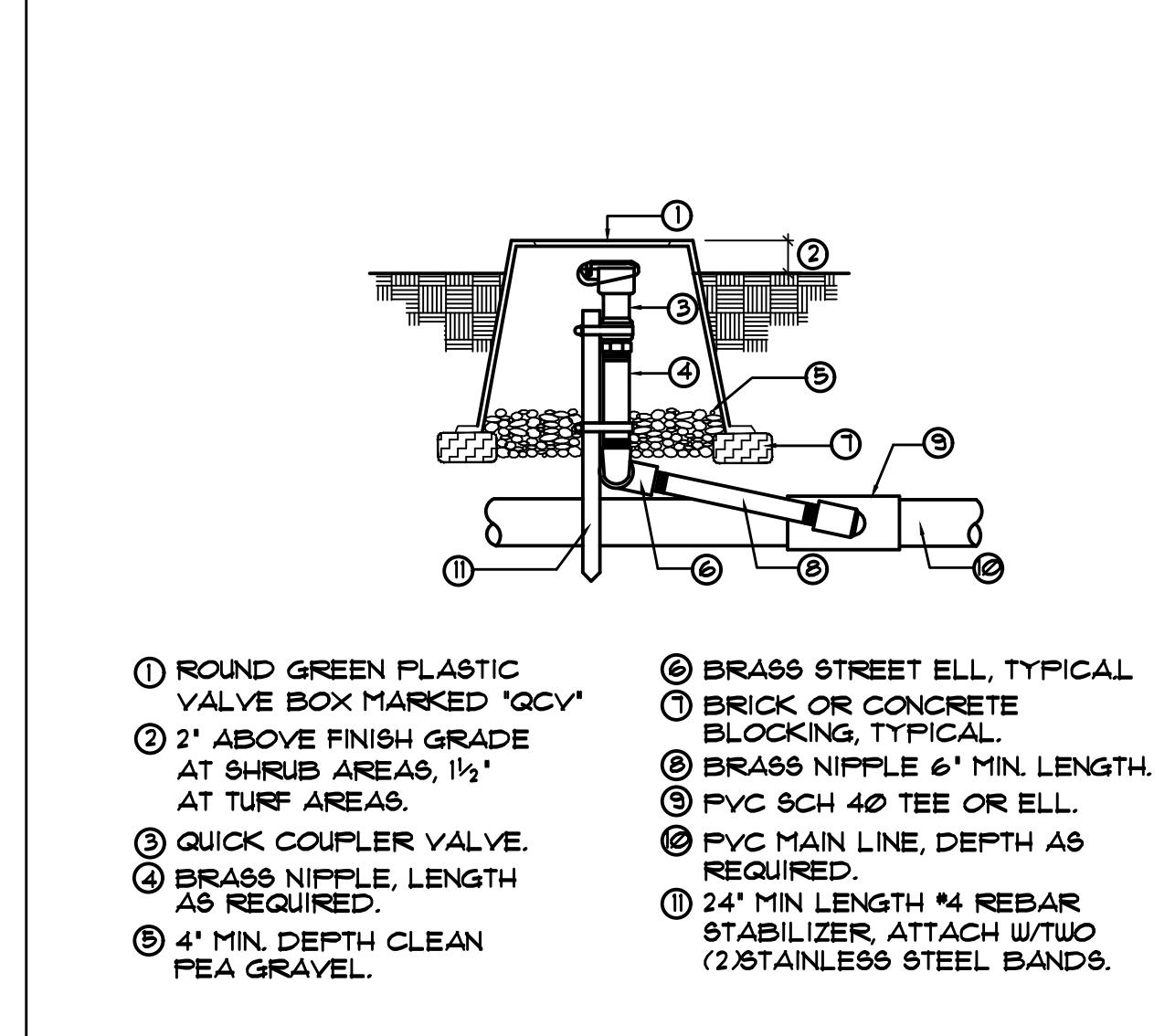
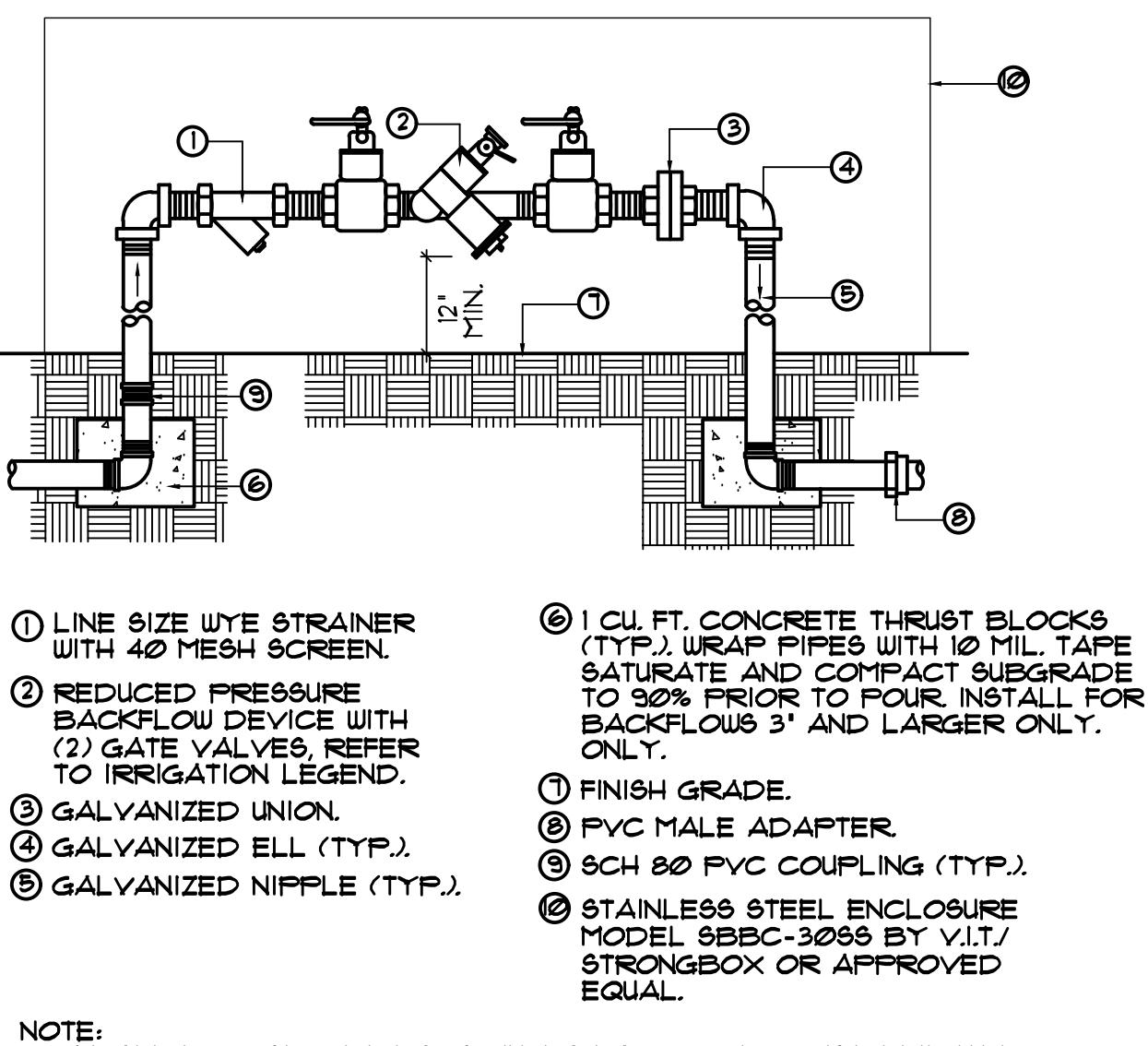
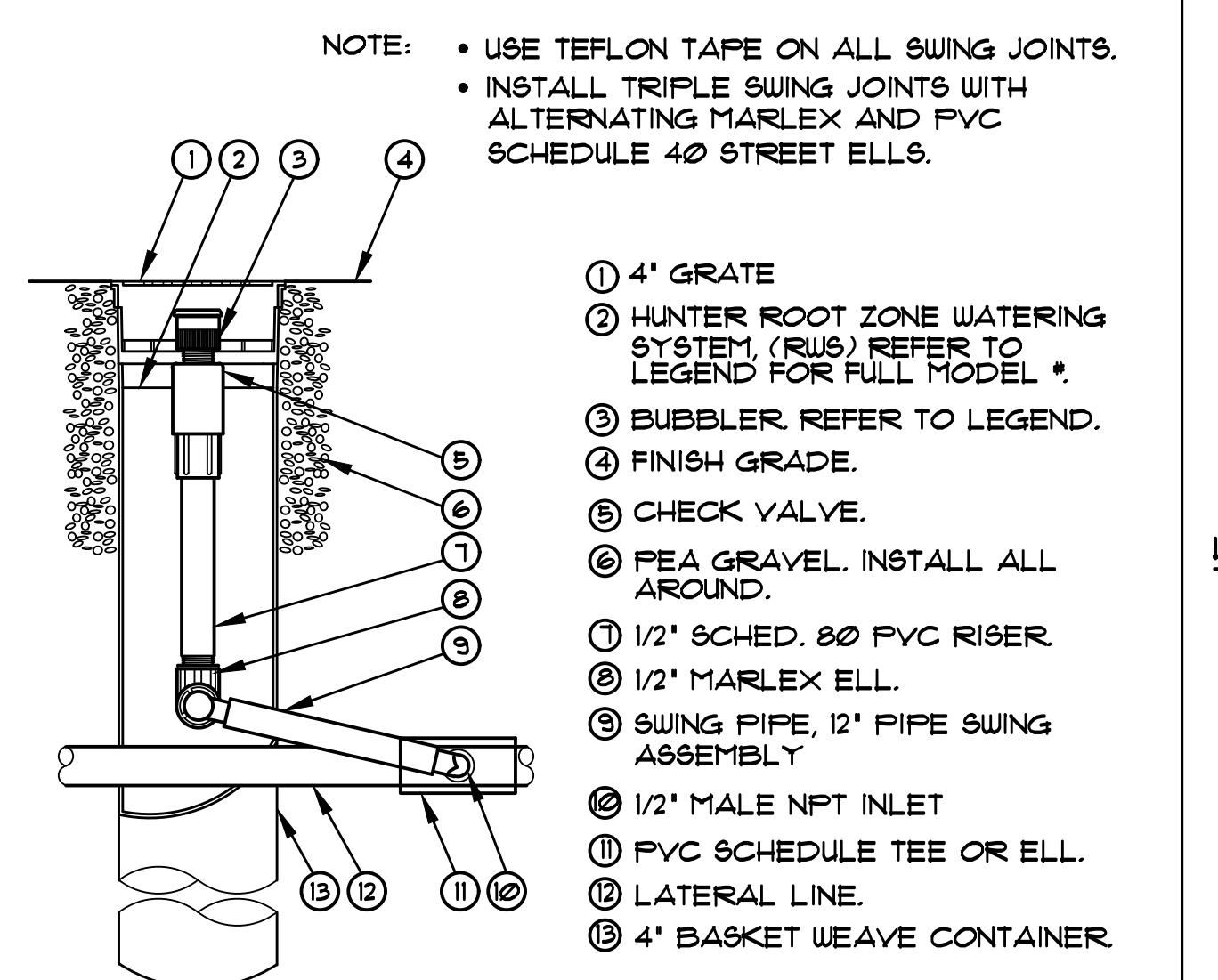
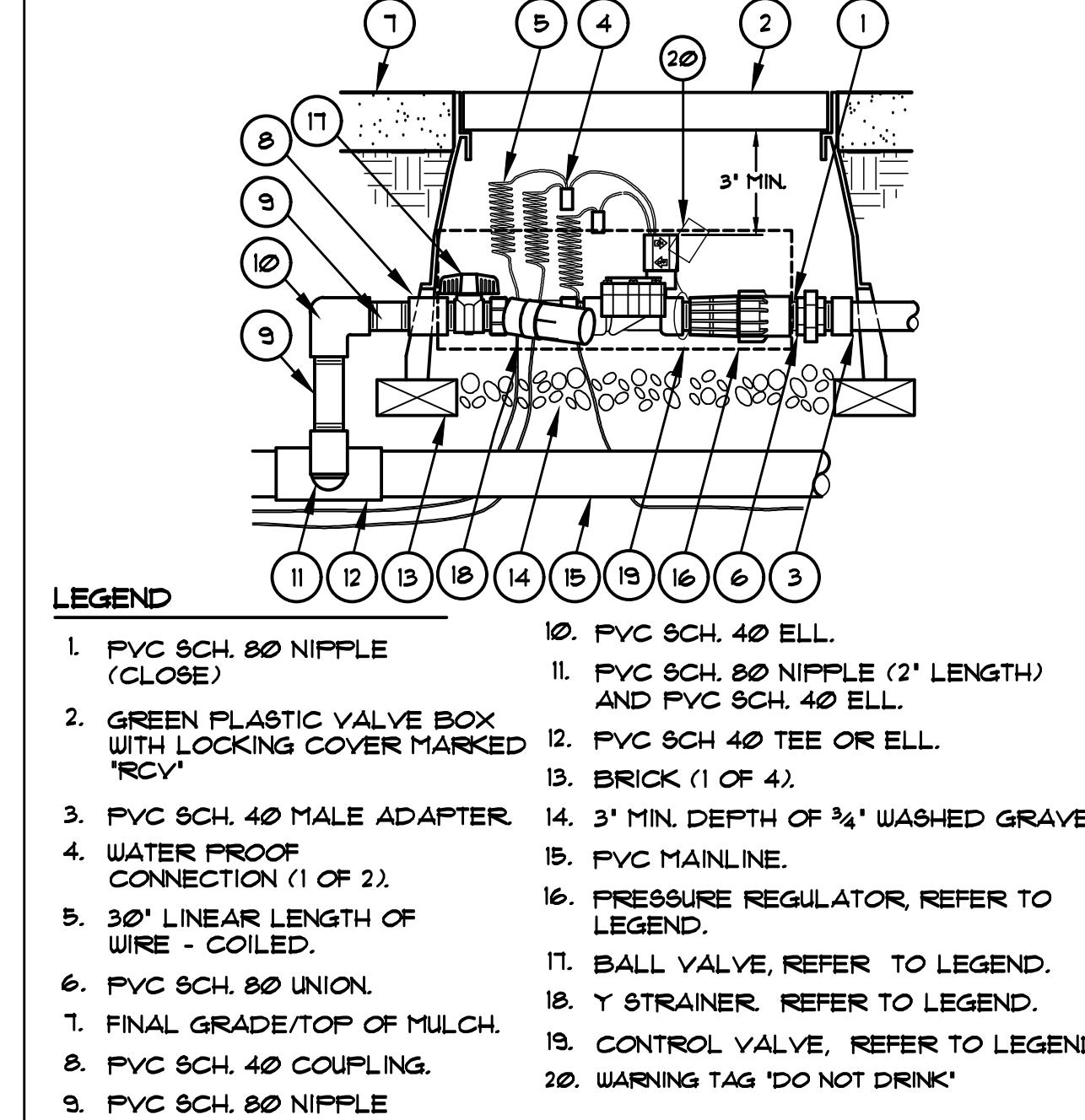
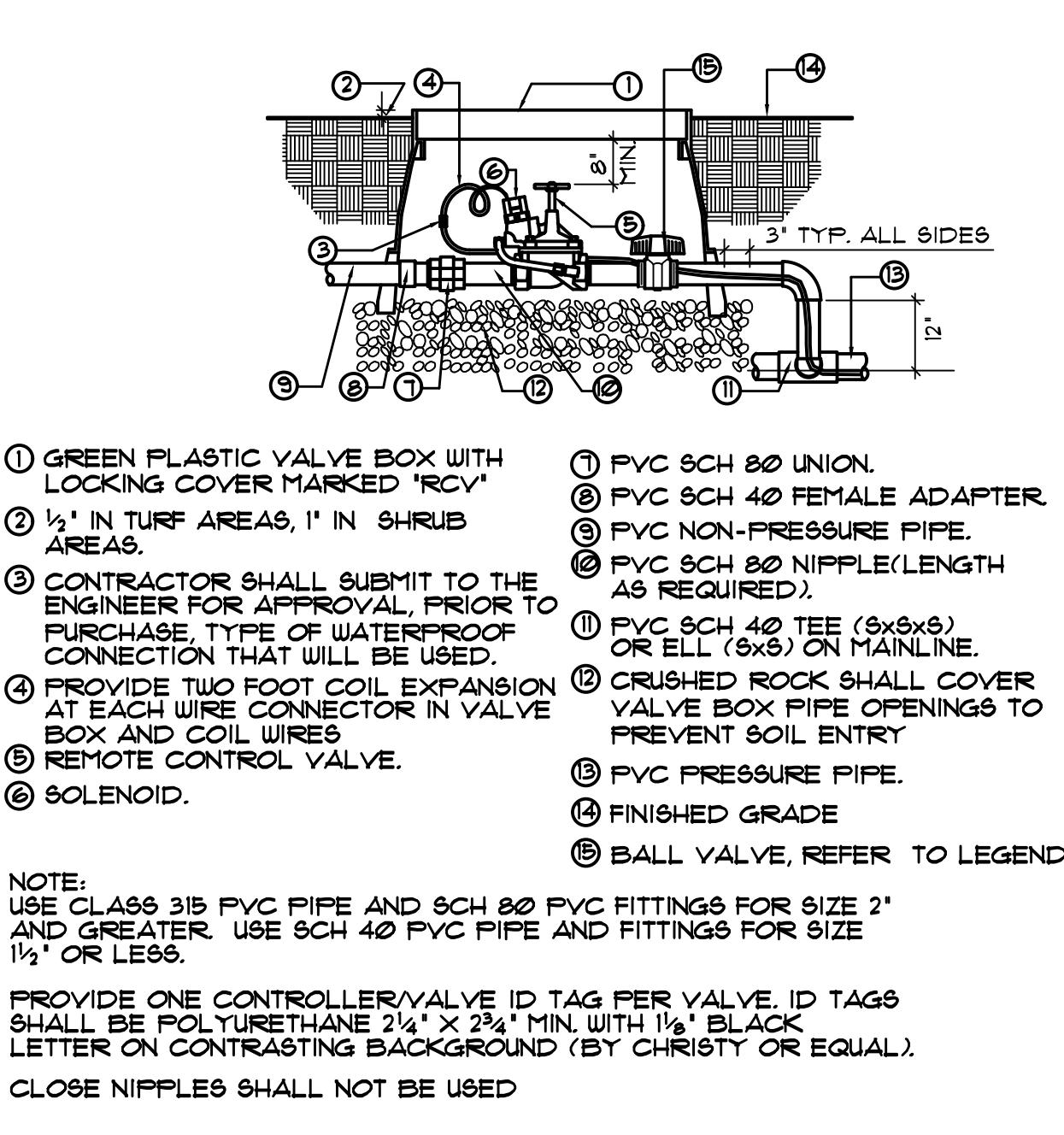


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(949) 367-9275
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SOUTH GATE, CA 90280
(562) 928-0100
WOF052
16720 MONTEREY ROAD
MORGAN HILL, CA. 95030
10.25.2023




J IRRIGATION FOR TREES

G TRENCHING

D BALL VALVE

A AUTOMATIC CONTROLLER

K MASTER VALVE AND FLOW SENSOR (IF USED)
H SLEEVING

E QUICK COUPLER VALVE

B REDUCED PRESSURE BACKFLOW PREVENTER

**CITY OF MORGAN HILL
PLAN APPROVED**

 THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 12/15/2023

SR2021-0001

FILE NUMBER


 PLANNING OFFICIAL



**CITY OF MORGAN HILL
PLAN APPROVED**

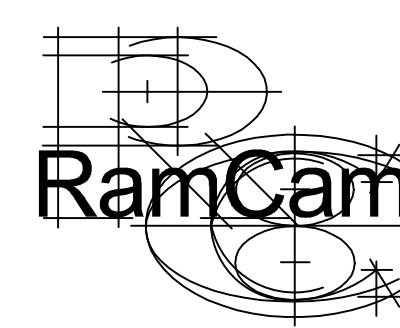
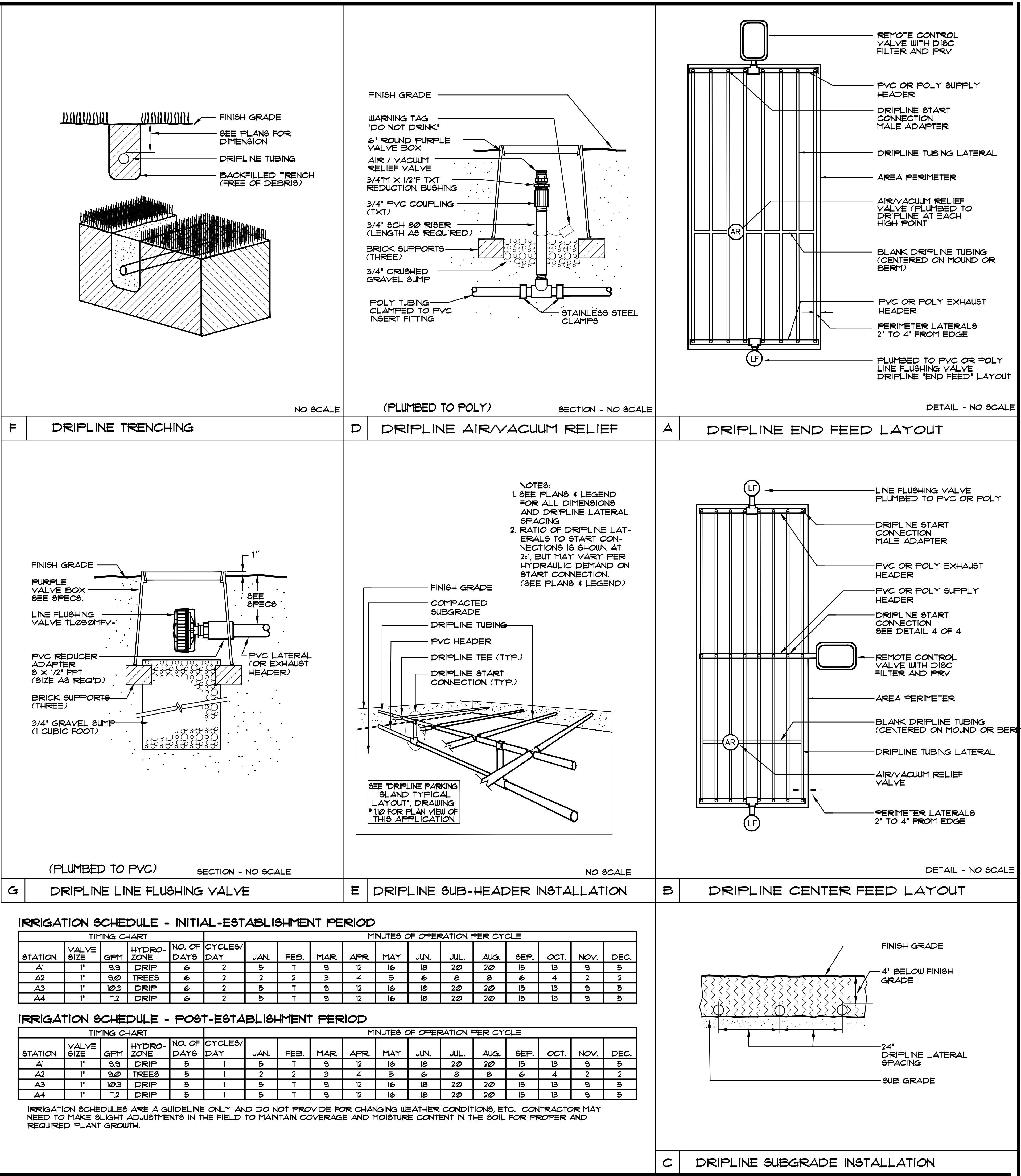
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THE PLANNING DIVISION

ON 12/15/2023

SR2021-0001

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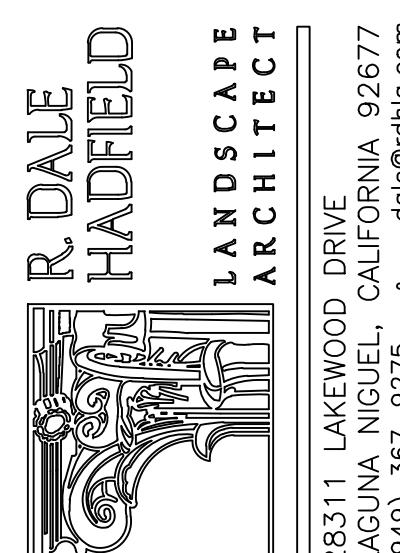
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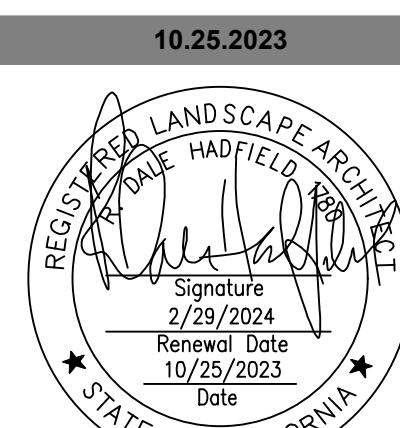
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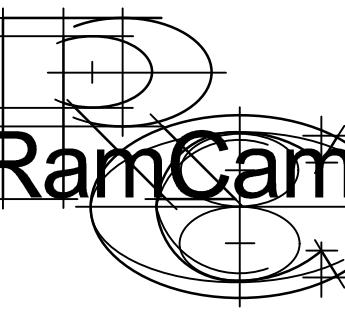
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(562) 928-0100

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16720 MONTEREY ROAD
MORGAN HILL, CA. 95037



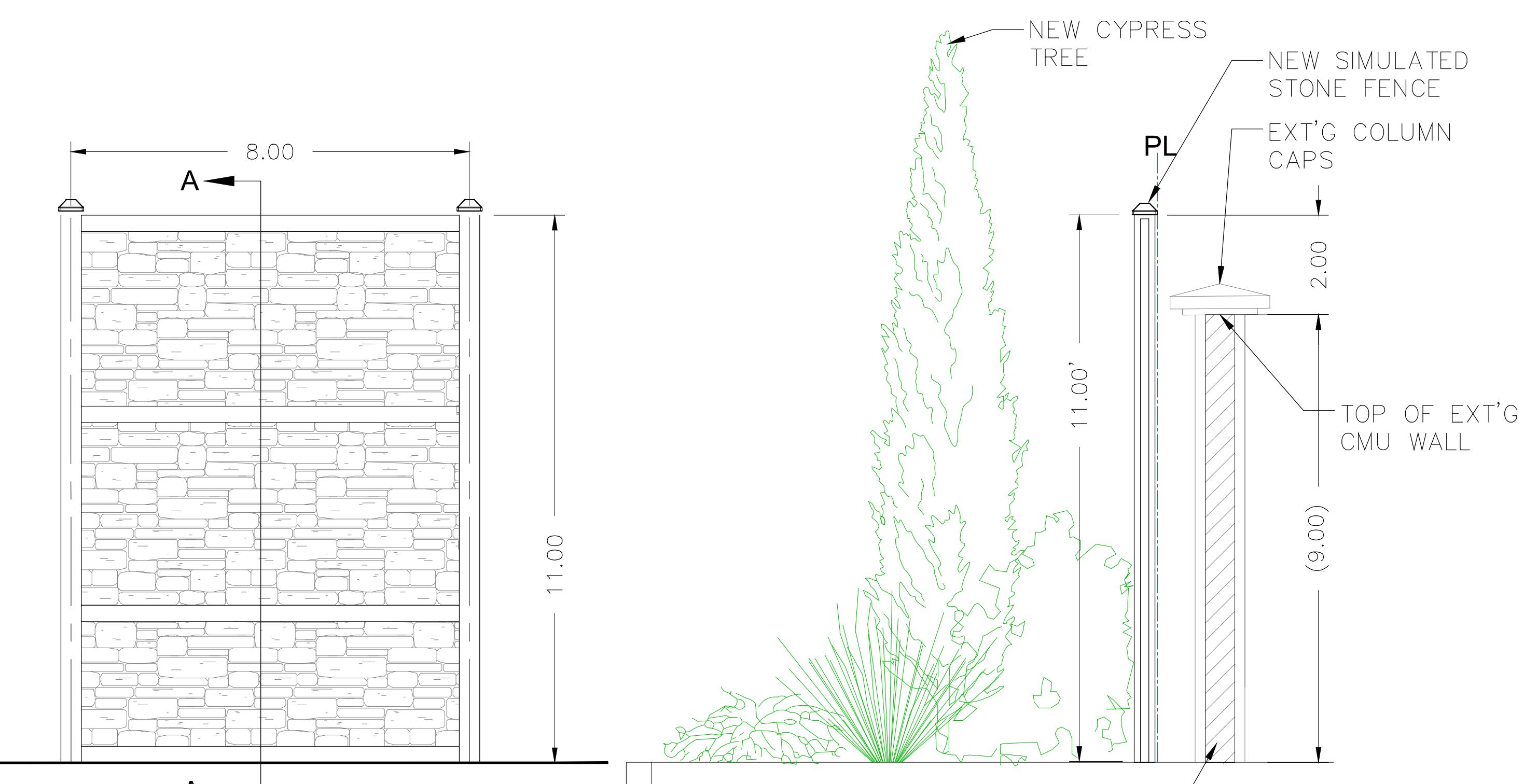
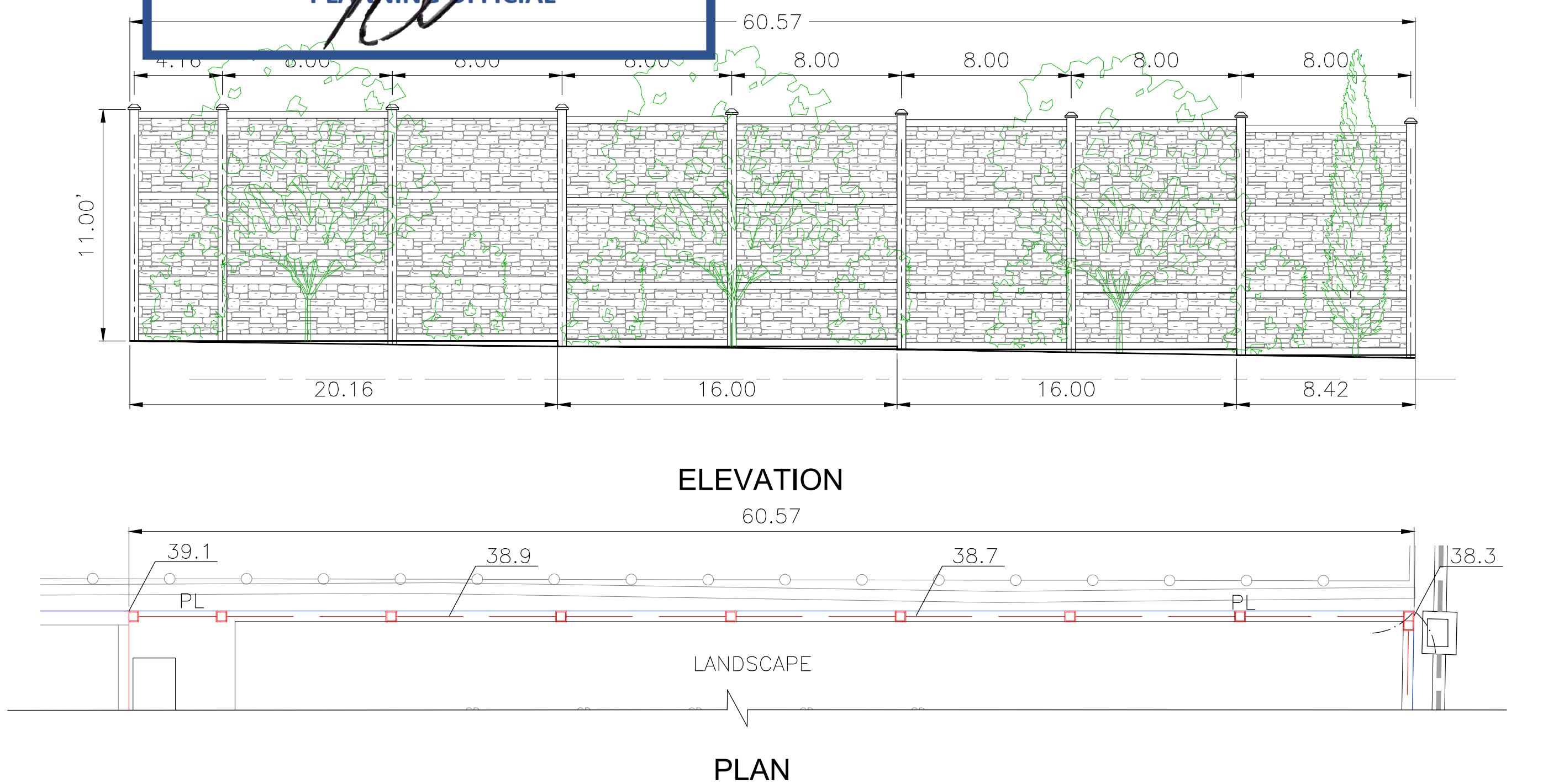
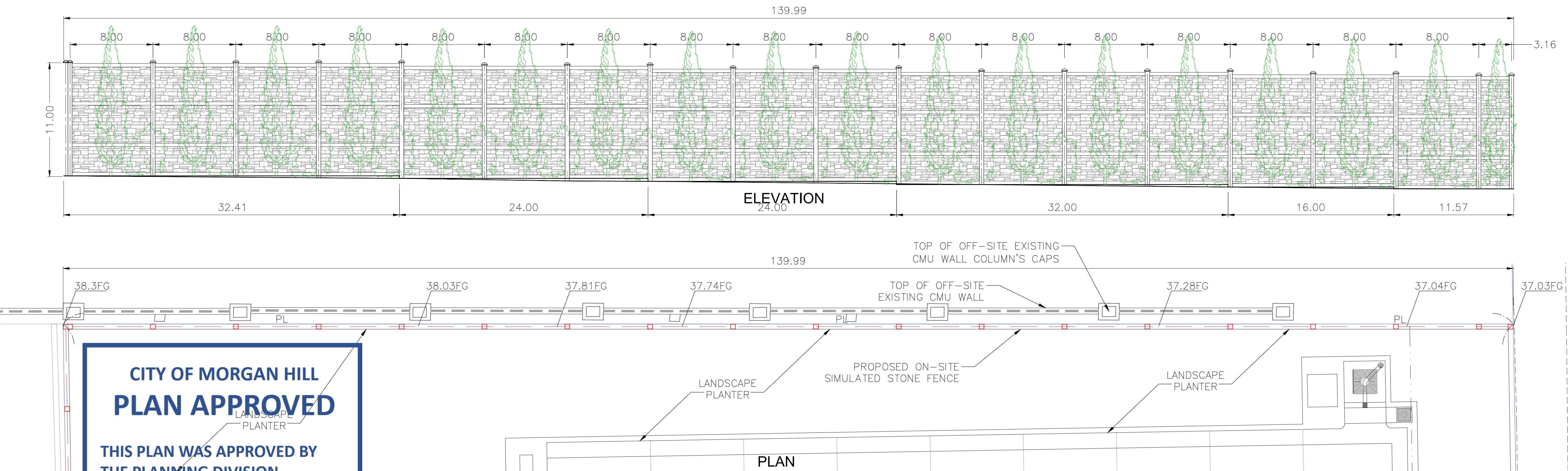
IRRIGATION DETAILS

L2.3



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A1.1-3 TYPICAL ELEVATION & SECTION
SCALE: 6"=1'-0"

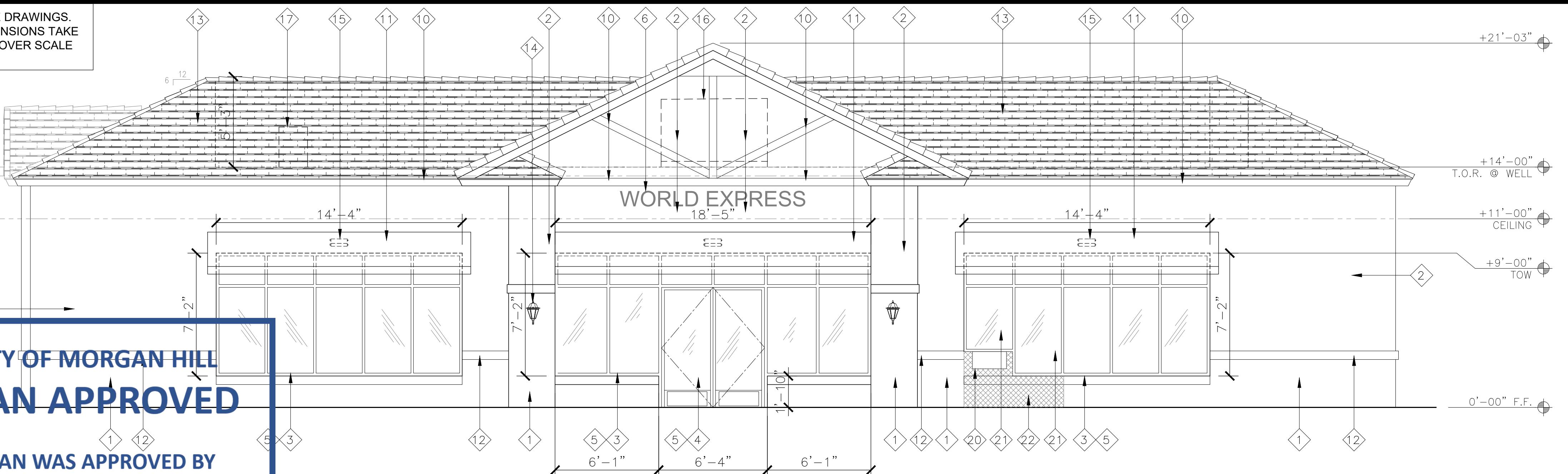
SITE PLAN

World Oil Marketing
Company
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SOUTH GATE, CA 90280
(562) 928-0100

WOF052
16720 MONTERREY HWY
MORGAN HILL, CA. 95037

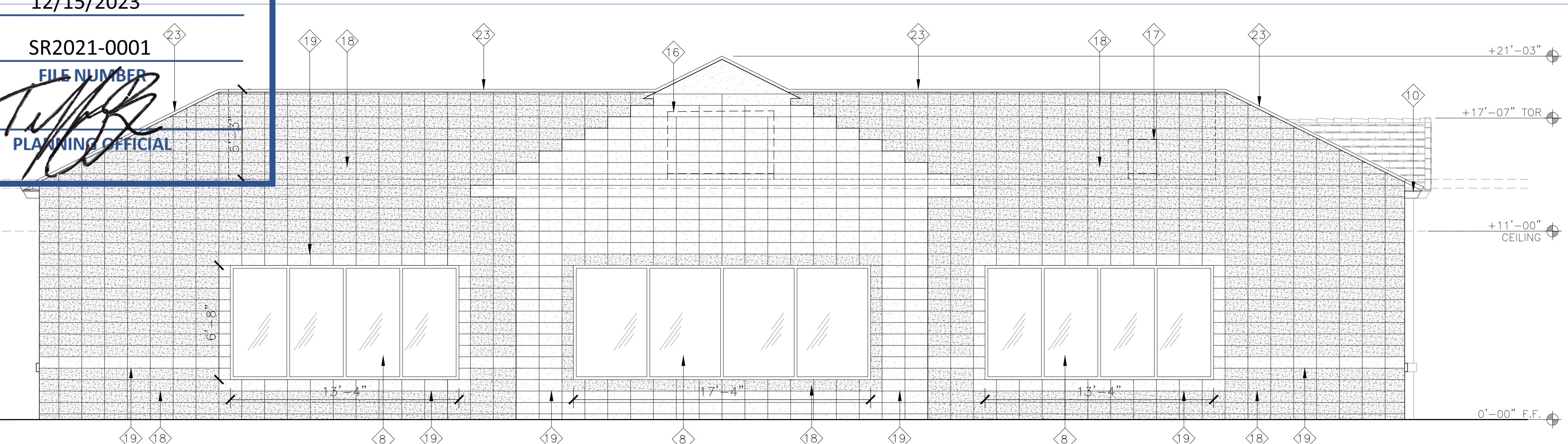
A1.1

DO NOT SCALE DRAWINGS.
WRITTEN DIMENSIONS TAKE
PRECEDENCE OVER SCALE
DIMENSIONS



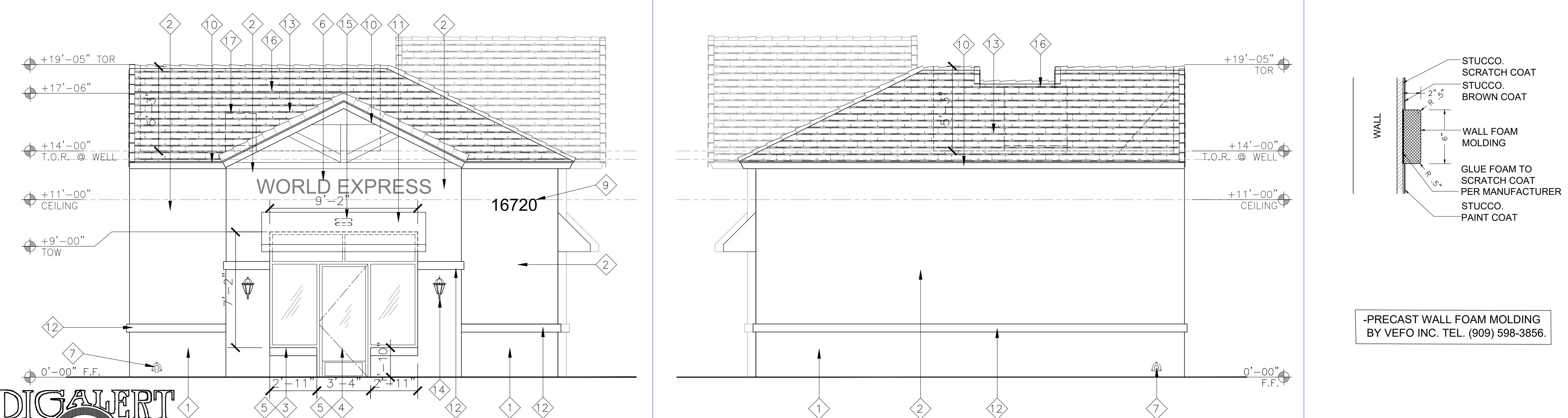
A6.0-01 SOUTH ELEVATION

SCALE: 1/4"=1'-0"



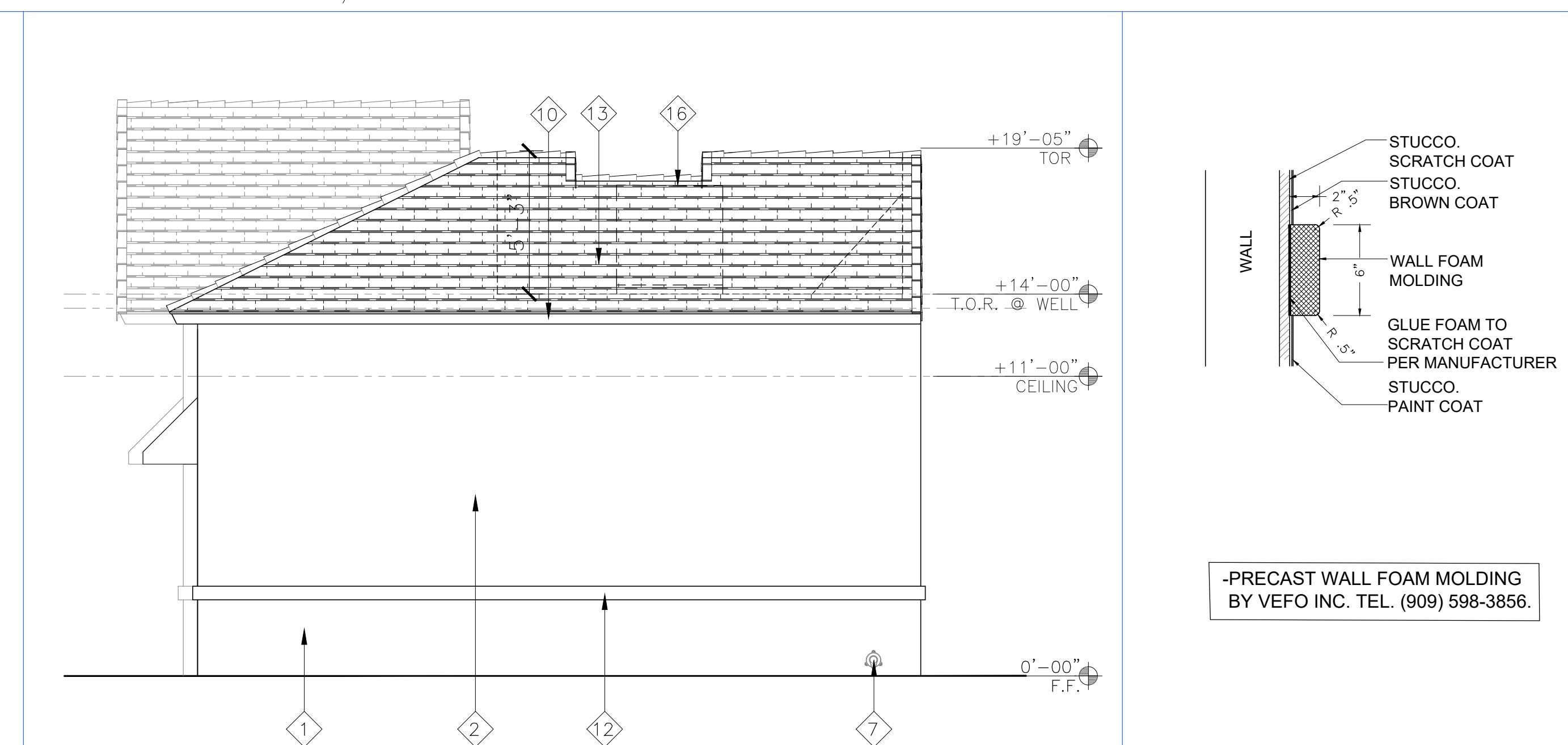
A6.0-02 SOUTHWEST ELEVATION

SCALE: 1/4"=1'-0"



A6.0-03 WEST ELEVATION

SCALE: 1/4"=1'-0"



A6.0-04 EAST ELEVATION

SCALE: 1/4"=1'-0"

A6.0-05 WALL MOLDING

SCALE: 1/2"=1'-0"

ELEVATION KEYNOTES

① STUCCO FINISH: "POINTED ROCK" #DE6363 BY: DUNN-EDWARDS

② STUCCO FINISH: "WHITE" BY: DUNN-EDWARDS

③ CLEAR ALUMINUM ANODIZED STOREFRONT SYSTEM WITH DUAL
GLAZED TEMPERED GLASS

④ TEMPERED GLASS DOOR TO MATCH STOREFRONT

⑤ LOW 'E' TRANSPARENT 1/4" GLAZING-TEMPERED

⑥ LOGO / SIGNAGE UNDER A SEPARATE PERMIT.

⑦ G-O-N® 4 IN. DURABLE GLUE-ON ABS NOZZLE AND ESCUTCHEON
OVERFLOW OUTLET PRIMARY OUTLET, UNLESS UNDER SLAB (SEE
CIVIL PLANS)

⑧ CLEAR ALUMINUM ANODIZED STOREFRONT SYSTEM WITH DUAL
SPANDREL GLASS

⑨ STREET NUMBER

⑩ TRIM AND FASCIA. COLOR: "POINTED ROCK" #DE6363 BY:
DUNN-EDWARDS

⑪ ARCHITECTURAL CANVAS AWNING. COLOR: TO MATCH "FOLL"
#DE6360 BY: DUNN-EDWARDS. SHOP DRAWINGS REQUIRED.

⑫ PRECAST WALL FOAM MOLDING, CONCRETE COLORED BY VEFO INC.
SEE A6.0-05

⑬ SLATE TILE ROOF- 199 CHARCOAL RANGE-GOLDEN EAGLE BY EAGLE
ROOFING OR APPROVED EQ. FOR A CLASS "A" ROOFING. ALL ROOF
COVERINGS MUST CONFORM TO THE STANDARDS OF CBC 1506 &
1507.

⑭ EXTERIOR LIGHT, SIGN BRACKET STORE - CLASSIC STYLE WALL
FIXTURE DERRY HILL 23" HIGH MATTE OUTDOOR WALL LIGHT.
COLOR: BLACK. TYP. OF 4.

⑮ 80W FULL CUT-OFF LED WALL-PACK WPFC2 SERIES-9200 LUMENS

⑯ A/C UNIT

⑰ CONDENSER UNIT

⑱ BURNISH BLOCK WALL-BLACK 250 MW BY ORCO OR EQUAL WITH
RACKED WHITE GROUT.

⑲ BURNISH BLOCK WALL-WHITE MW BY ORCO OR EQUAL WITH RACKED
BLACK GROUT.

⑳ CLEAR ALUMINUM TRANSACTION DRAWER. INTERBANK QSP-713. SEE
A12.0-08

㉑ CLEAR ANODIZED ALUMINUM STORE FRONT SYSTEM WITH BULLET
PROOF & LOW 'E' TRANSPARENT GLAZING

㉒ BULLET PROOF/FIBER GLASS PANELS

㉓ 2x12 PRECAST WALL CAP

RAMCAM ENGINEERING
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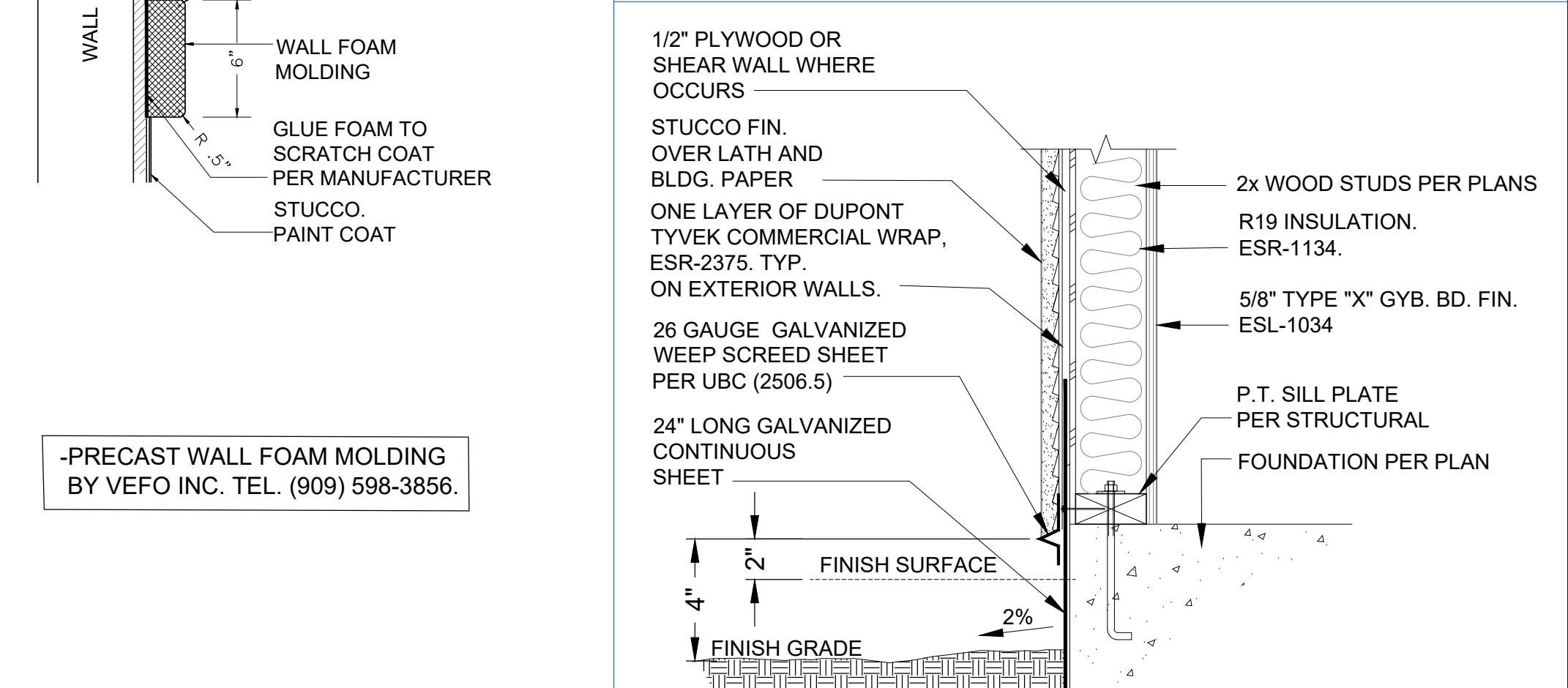
WOF052

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MORGAN HILL, CA. 95037

11/01/2023

ANTI-GRAFFITI PAINT

- APPLY 3 COATS OF NON-SACRIFICIAL URETHANE ANTI-GRAFFITI PAINT ON EXTERIOR WALLS FROM FINISH FLOOR TO ROOF.
- WALLS MUST BE CLEAR OF DUST & DEBRIS PRIOR TO PAINT APPLICATION.
- CONTRACTOR TO PROVIDE PAINT SPECIFICATIONS FOR APPROVAL.
- PAINT APPLICATION MUST BE OBSERVED BY THE CONSTRUCTION ADMINISTRATOR



EXTERIOR ELEVATIONS & DETAILS

A6.0

A6.1-06 WEEP SCREED DETAIL

SCALE: NONE

