

SOLAR ZONE
AREA CALCULATION

CANOPY: 3,354 SQ.FT.
BUILDING: 2,114 SQ.FT.
TOTAL: 5,468 SQ.FT.
SOLAR ZONE 15% REQ'D= 820.2 SQ.FT.
SOLAR ZONE PROVIDED= 2,046 SQ.FT.

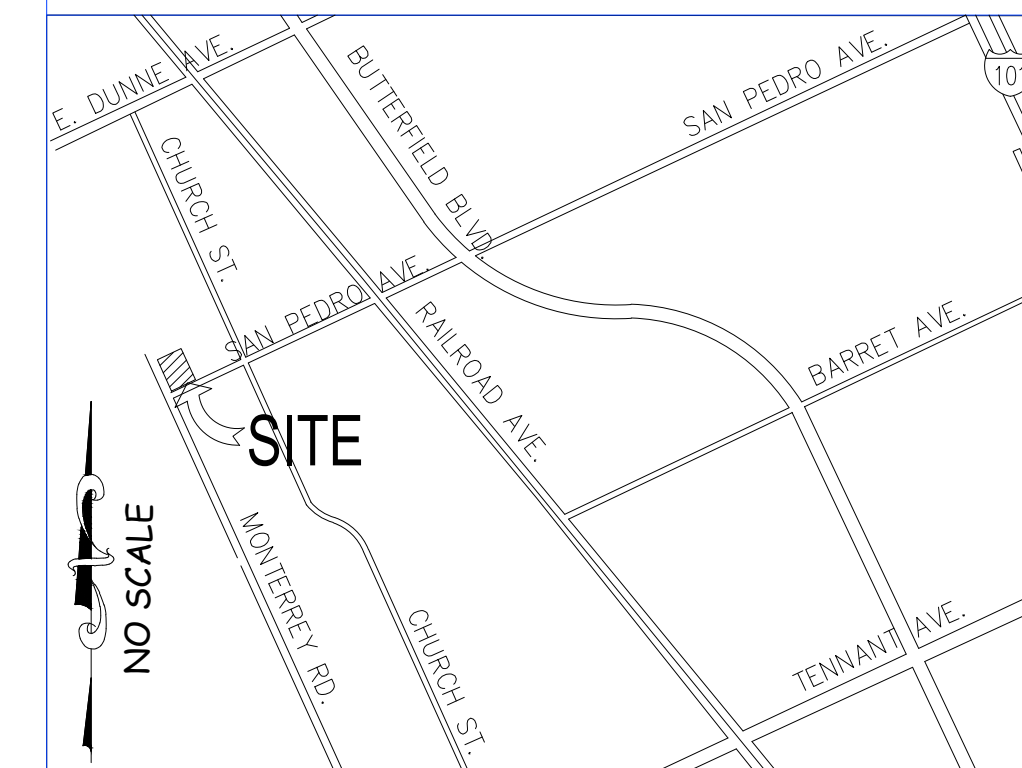
WOF052
REDEVELOPMENT

16720 MONTERREY HWY
MORGAN HILL, CA. 95037

ASSESSOR'S PARCEL #s.

817-01-002

VICINITY MAP



SCOPE OF WORK

- DEMOLITION AND REMOVAL OF EXISTING UST SYSTEM, FUEL CANOPY, COMMERCIAL BUILDING, UTILITY ENCLOSURE, AREA LIGHTS, WOOD FENCE, LANDSCAPE AND PAVEMENT
- CONSTRUCTION OF A NEW 2,114 SQ. FT. BUILDING, UST SYSTEM, A 43'X78' FUEL CANOPY, A 99 SQ. FT. TRASH ENCLOSURE, 5 AREA LIGHTS, PAVEMENT.
- MODIFICATION OF DRIVEWAY ALONG MONTERREY HWY.
- SIGNAGE PROGRAM

APPLICABLE CODES

ALL NEW CONSTRUCTION SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS OF THE 2022 CALIFORNIA CODE OF REGULATIONS AS AMENDED BY THE MORGAN HILL MUNICIPAL CODE TITLE 15; CALIFORNIA BUILDING CODES 2019 EDITIONS THAT INCLUDE THE BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, FIRE, GREEN BUILDING, AND ENERGY CODES; IN CASES WHERE THE CODES MAY CONFLICT WITH THE PROVISIONS IN THESE PLANS OR SPECIFICATIONS, THE MORE RESTRICTIVE PROVISIONS SHALL GOVERN.

LEGAL DESCRIPTION

PARCEL A OF RECORD OF SURVEY. RECORDED IN BOOK 164 PAGE 25 OF SANTA CLARA COUNTY RECORDS

PROJECT TEAM

OWNER/APPLICANT:
WORLD OIL MARKETING
COMPANY
9302 GARFIELD AVENUE
SOUTH GATE, CA. 90288

PROJECT DESIGNER AND MANAGER:
RAMCAM ENGINEERING GROUP, INC.
670 E. PARKRIDGE AVE., SUITE 101
CORONA, CA 92879
PH: (951) 734-6330 EXT 202
ALEX IRSHAD
ALEX@RCGROUP.US

PROJECT SUMMARY

BUILDING USE	CALCULATED AREA	OCCUPANCY	CONST. TYPE
C-STORE	2,114 SQ.FT	M	V-B NON-SPRINKLERED

-ZONE: MU-F -GENERAL PLAN: GP2035 -(E) USE: MERCANTILE -PROPOSED USE: MERCANTILE -(E) OCCUPANCY: M -PROPOSED USE: M	-FLOOR AREA RATIO (FAR): .10 -TYPE OF CONSTRUCTION: CONCRETE & WOOD WALLS, WOOD FRAMING, STUCCO AND CONCRETE SLABS ON GRADE -FIRE HAZARD AREA-TO COMPLY WITH WILDLAND-URBAN INTERFACE
--	---

	TOTAL AREA	LOT COVERAGE
TOTAL PROJECT AREA	.48 AC (21,003 SQ.FT.)	100 %
TOTAL BUILDING AREA (BLDG FOOTPRINT)	2,114 SQ. FT.	10.0 %
TOTAL LANDSCAPE AREA	3,912 SQ. FT.	18.7 %
TOTAL PAVED AREAS	14,878 SQ. FT.	70.8 %
TRASH & VACUUM ENCLOSURES	99 SQ. FT.	.5 %

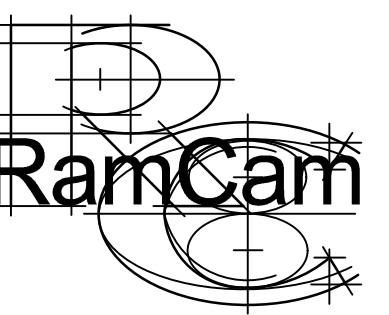
SHEET INDEX

SHEET	SHEET DESCRIPTION
A1.0	COVER SHEET & PROPOSED SITE PLAN
A2.0	FLOOR PLAN, ROOF PLAN & NOTES
A3.0	EXTERIOR ELEVATIONS, KEYNOTES & DETAILS
A4.0	WOF052 GAS STATION RENDERINGS
A5.0	FUEL CANOPY PLANS & ELEVATIONS
A6.0	TRASH ENCLOSURE PLANS & ELEVATIONS, DETAILS, AREA LIGHT POLE
A7.0	SITE LIGHTING PHOTOMETRIC

TENANT LIST AND PARKING REQUIREMENTS

TENANTS	CALCULATED AREA	PARKING RATIO USED	REQ'D SPACES	PROVIDED PARKING
C-STORE	2,114 SQ.FT.	1 PER 250 SQ. FT.	8.5 SPACES	9 SPACES
AIR/WATER			1 SPACES	1 SPACE
FUTURE CHARGING STATION ADA COMPLIANCE			1 SPACES	1 SPACE
TOTALS			11 SPACES	11 SPACES

PARKING COUNT	PROVIDED PARKING
REGULAR PARKING	9
ADA PARKING (VAN ACCESSIBLE)	1
ADA PARKING FUTURE CHARGING STATION	1
PUMP AREA UNDER FUEL CANOPY	12



RAMCAM ENGINEERING
GROUP, INC.
PLANNING & ENGINEERING
CORONA, CA 92819
670 E. PARKRIDGE AVENUE, SUITE 101
951.734.6330

All ideas, designs and layouts shown on these drawings, including all documents on electronic media are the property of ramcam group, and are intended to be used in connection with this specific project only and shall not otherwise be used for any purpose whatsoever without the written consent, and may not be reproduced or used without the written permission of ramcam group. All rights reserved

World Oil Marketing
Company
9302 GARFIELD AVENUE
SOUTH GATE, CA 90280
(562) 928-0100

WOF052

16720 MONTERREY HWY
MORGAN HILL, CA. 95037

01.25.2024

COVER SHEET &
PROPOSED SITE PLAN

A1.1

MONTERREY HWY

SAN PEDRO AVENUE

CITY OF MORGAN HILL
PLAN APPROVED

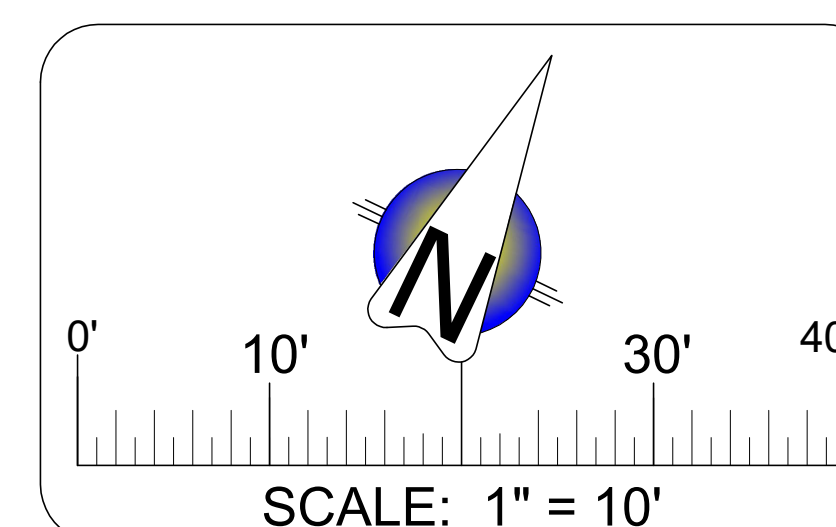
THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 12/15/2023

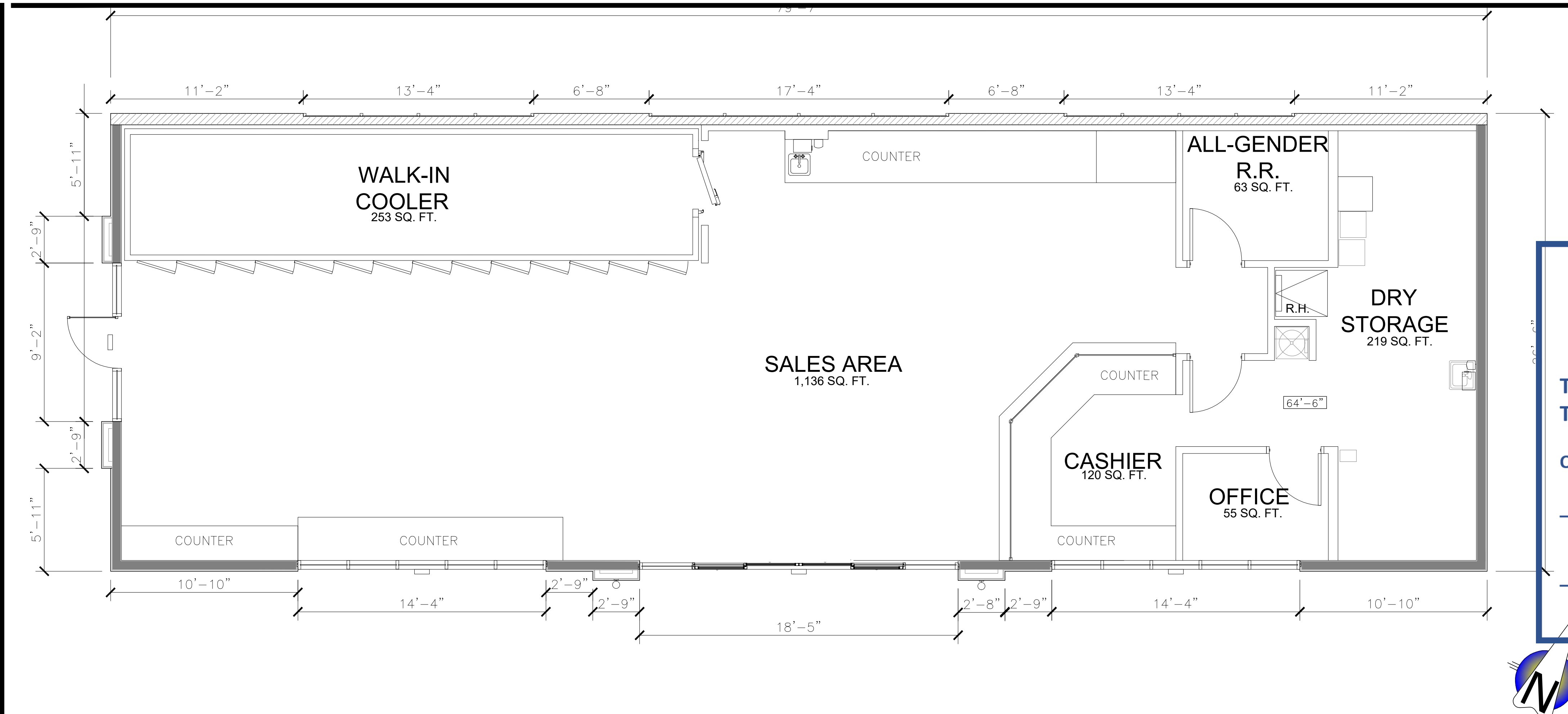
SR2021-0001

FILE NUMBER

PLANNING OFFICIAL



SCALE: 1" = 10'



OCCUPANT LOAD			
C-STORE OCCUPANCY	AREA	LOAD FACTOR	OCCUPANT LOAD
SALES	1,136 SQ. FT.	60 NET	19.00
CASHIER	120 SQ. FT.	100 NET	2.00
DRY STORAGE	219 SQ. FT.	300 NET	1.00
W.I. COOLER	253 SQ. FT.	300 NET	1.00
TOTAL OCCUPANCY LOAD			23.00

MINIMUM PLUMBING FACILITIES PER CPC TABLE 422.1 * FIXTURES PER PERSON							
TYPE OF OCCUPANCY	WATER CLOSETS * MALE	WATER CLOSETS * FEMALE	URINALS * MALE	MALE	FEMALE	FACILITIES *	OTHER
B/M	1:1-100	1:1-100	1:1-200	1:1-200	1:1-200	1: 1-250	1 SERVICE SINK
FIXTURES PROVIDED	1	1	1	1	1	1 @ SODA FOUNTAIN	1

CITY OF MORGAN HILL
PLAN APPROVED

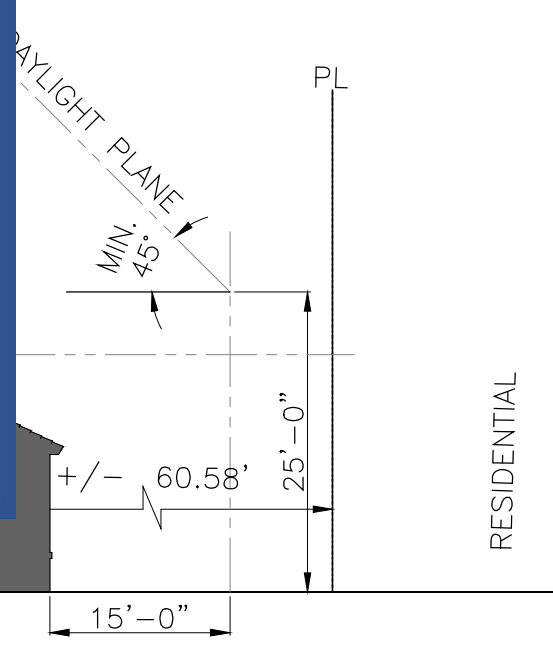
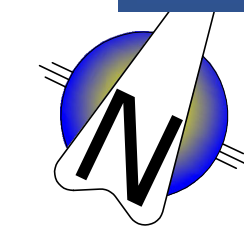
THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 12/15/2023

SR2021-0001

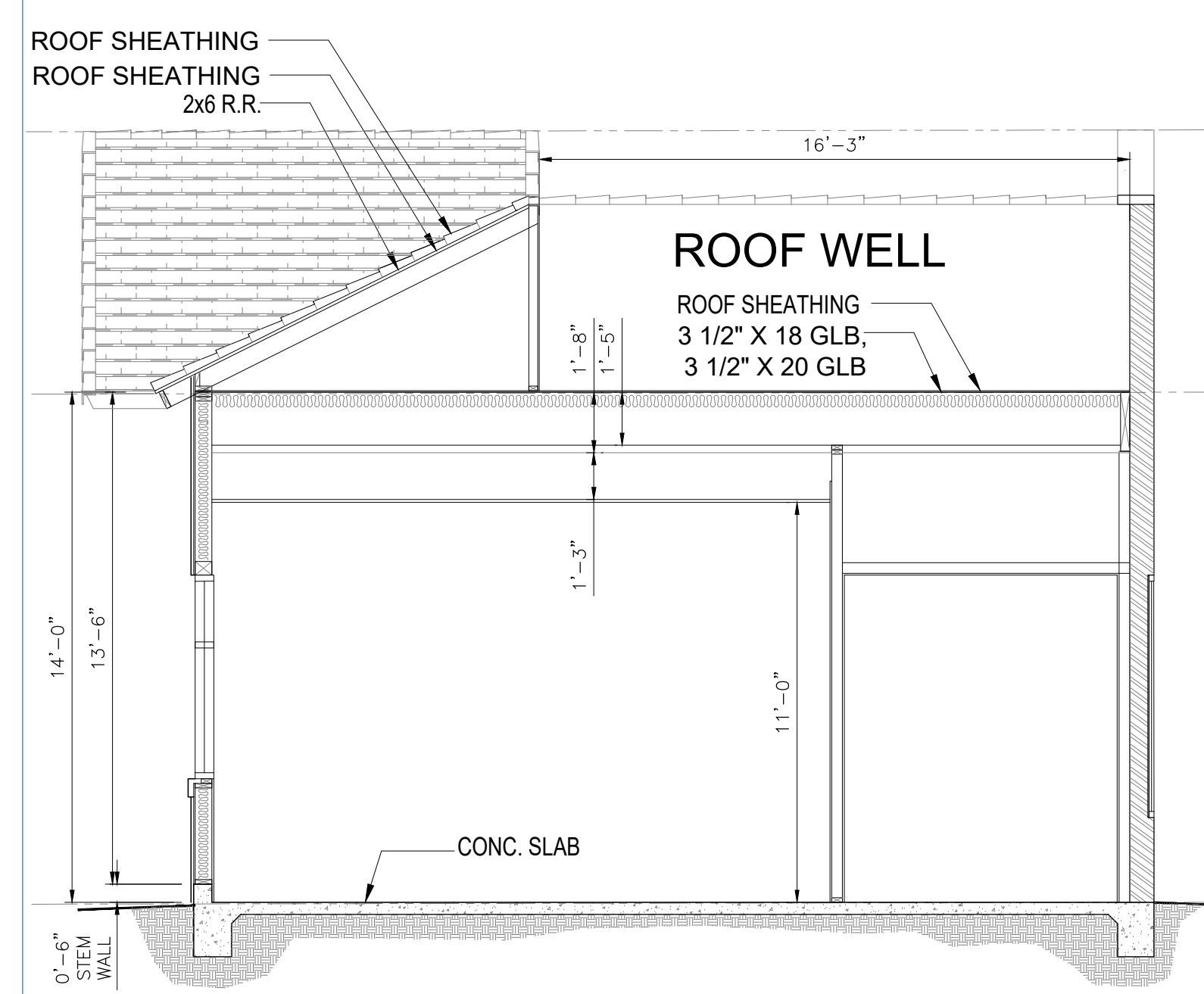
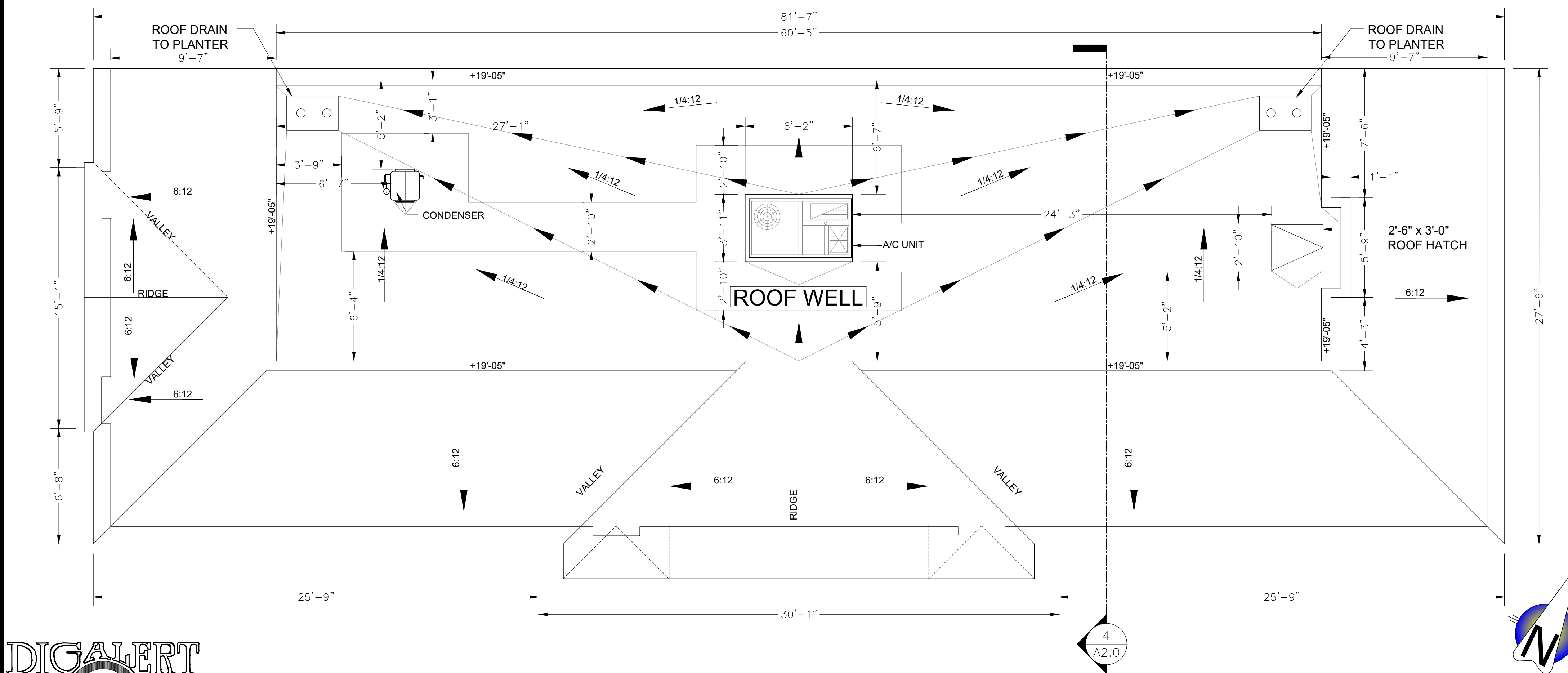
FILE NUMBER

PLANNING OFFICIAL



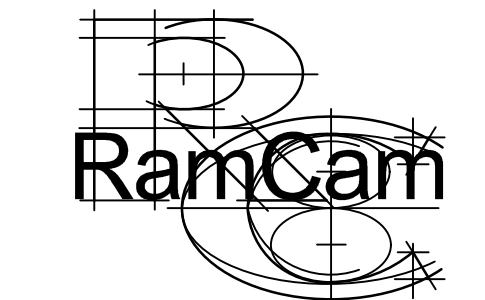
A2.0-01 FLOOR PLAN
SCALE: 1/4"=1'-0"

A2.0-02 DAYLIGHT PLANE (18.92.130)
SCALE: 1/16"=1'-0"



A2.0-03 ROOF PLAN
SCALE: 1/4"=1'-0"

A2.0-04 SECTION
SCALE: 1/4"=1'-0"



RAMCAM ENGINEERING GROUP, INC.
PLANNING & ENGINEERING
CORONA, CA 92819
951.734.6330

All ideas, designs and layouts shown on these drawings, including all documents on electronic media are the property of ramcam group, and are intended to be used in connection with this specific project only and shall not be reproduced or used without the written permission of ramcam group. All rights reserved.

World Oil Marketing Company
9302 GARFIELD AVENUE
SOUTH GATE, CA 90280
(562) 928-0100

WOF052
16720 MONTERREY HWY
MORGAN HILL, CA. 95037

01.25.2024

FLOOR PLAN, ROOF PLAN & NOTES

A2.0

DO NOT SCALE DRAWINGS.
WRITTEN DIMENSIONS TAKE
PRECEDENCE OVER SCALE
DIMENSIONS

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 12/15/2023

SR2021-0001

FILE NUMBER

PLANNING OFFICIAL

A3.0-01 SOUTH ELEVATION

SCALE: 1/4"=1'-0"

A3.0-02 SOUTHWEST ELEVATION

SCALE: 1/4"=1'-0"

A3.0-03 WEST ELEVATION

SCALE: 1/4"=1'-0"

A3.0-04 EAST ELEVATION

SCALE: 1/4"=1'-0"

A3.0-05 WALL MOLDING

SCALE: 1/2"=1'-0"

A3.0-06 WEEP SCREED DETAIL

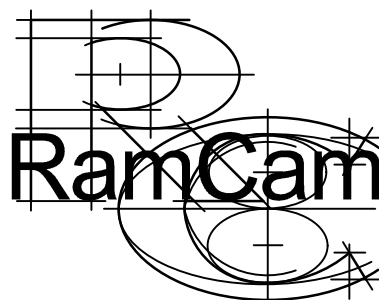
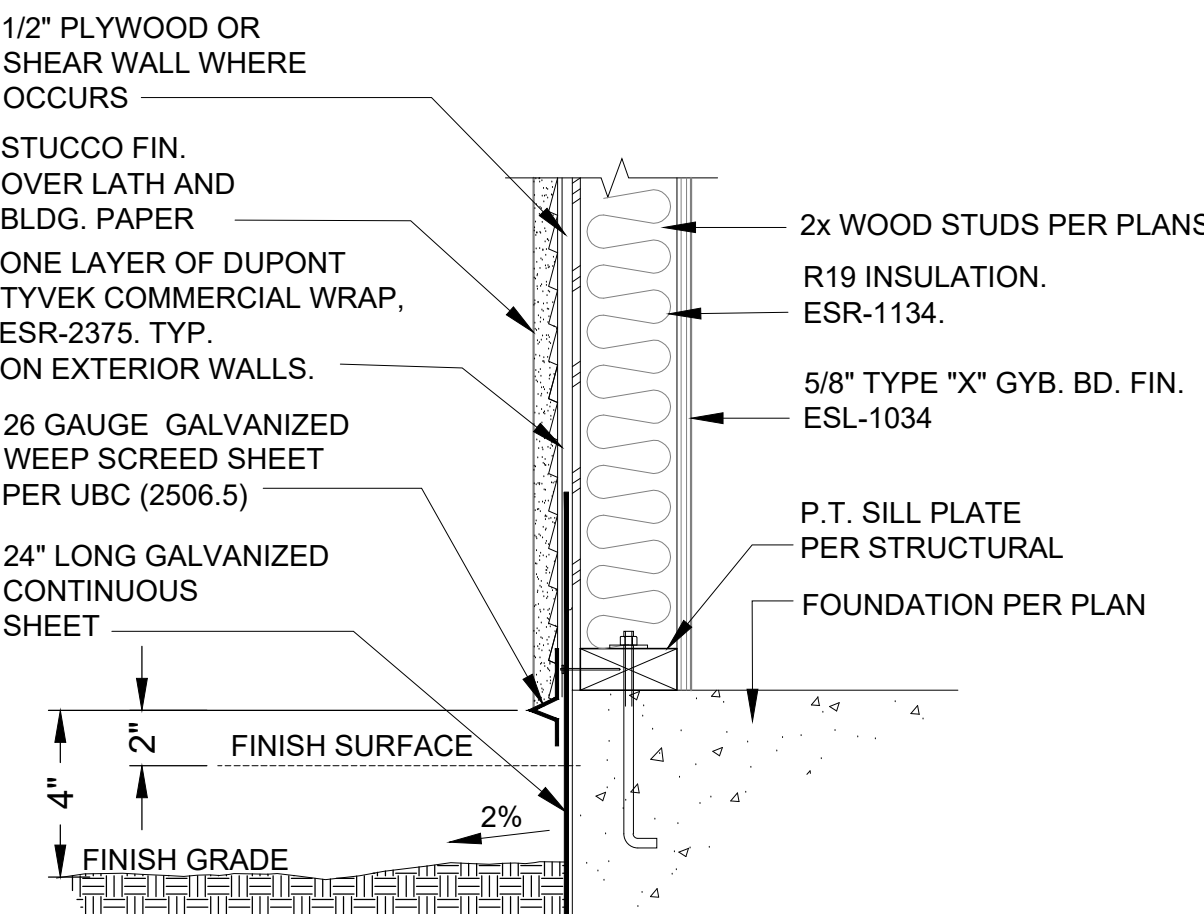
SCALE: NONE

ELEVATION KEYNOTES

- STUCCO FINISH: "POINTED ROCK" #DE6363 BY: DUNN-EDWARDS
- STUCCO FINISH: "WHITE" BY: DUNN-EDWARDS
- CLEAR ALUMINUM ANODIZED STOREFRONT SYSTEM WITH DUAL GLAZED TEMPERED GLASS
- LOW 'E' TRANSPARENT DUAL PANE TEMPERED GLASS DOOR TO MATCH STOREFRONT
- LOW 'E' TRANSPARENT DUAL PANE GLAZING-TEMPERED
- LOGO / SIGNAGE UNDER A SEPARATE PERMIT.
- G-O-N® 4 IN. DURABLE GLUE-ON ABS NOZZLE AND ESCUTCHEON OVERFLOW OUTLET PRIMARY OUTLET, UNLESS UNDER SLAB (SEE CIVIL PLANS)
- CLEAR ALUMINUM ANODIZED STOREFRONT SYSTEM WITH 1/4" SPANDREL GLASS
- STREET NUMBER
- TRIM AND FASCIA. COLOR: "POINTED ROCK" #DE6363 BY: DUNN-EDWARDS
- ARCHITECTURAL CANVAS AWNING. COLOR: TO MATCH "FOLL" #DE6360 BY: DUNN-EDWARDS. SHOP DRAWINGS REQUIRED.
- 6" PRECAST WALL FOAM MOLDING, CONCRETE COLORED BY VEFO INC. SEE A6.0-05
- SLATE TILE ROOF- 199 CHARCOAL RANGE-GOLDEN EAGLE BY EAGLE ROOFING OR APPROVED EQ. FOR A CLASS "A" ROOFING. ALL ROOF COVERINGS MUST CONFORM TO THE STANDARDS OF CBC 1506 & 1507.
- EXTERIOR LIGHT. SIGN BRACKET STORE - CLASSIC STYLE WALL FIXTURE DERRY HILL 23" HIGH MATTE OUTDOOR WALL LIGHT. COLOR: BLACK. TYP. OF 4.
- 80W FULL CUTOFF LED WALL-PACK WPCF2 SERIES-9200 LUMENS
- A/C UNIT
- CONDENSER UNIT
- BURNISH BLOCK WALL-BLACK 250 MW BY ORCO OR EQUAL WITH RACKED WHITE GROUT.
- BURNISH BLOCK WALL-WHITE MW BY ORCO OR EQUAL WITH RACKED BLACK GROUT.
- CLEAR ALUMINUM TRANSACTION DRAWER. INTERBANK QSP-713. SEE A12.0-08
- CLEAR ANODIZED ALUMINUM STORE FRONT SYSTEM WITH BULLET PROOF & LOW 'E' TRANSPARENT GLAZING
- BULLET PROOF/FIBER GLASS PANELS INSIDE WALL. SEE FLOOR PLAN FOR LOCATION.
- 2x12 PRECAST WALL CAP
- STANLEY DURA-GLIDE 3000 SERIES WITH TRANSOM

ANTI-GRAFFITI PAINT

- APPLY 3 COATS OF NON-SACRIFICIAL URETHANE ANTI-GRAFFITI PAINT ON EXTERIOR WALLS FROM FINISH FLOOR TO ROOF.
- WALLS MUST BE CLEAR OF DUST & DEBRIS PRIOR TO PAINT APPLICATION.
- CONTRACTOR TO PROVIDE PAINT SPECIFICATIONS FOR APPROVAL.
- PAINT APPLICATION MUST BE OBSERVED BY THE CONSTRUCTION ADMINISTRATOR



RAMCAM ENGINEERING
GROUP, INC.
PLANNING & ENGINEERING
670 E. PARKRIDGE AVENUE, SUITE 101
CORONA, CA 92819
951.734.6330

All ideas, designs and layouts shown on these drawings, including all documents on electronic media are the property of ramcam group, and are intended to be used in connection with this specific project only and shall not otherwise be used for any purpose whatsoever without the written consent, and may not be reproduced or used without the written permission of ramcam group. All rights reserved

World Oil Marketing
Company
9302 GARFIELD AVENUE
SOUTH GATE, CA 90280
(562) 928-0100

WOF052

16720 MONTERREY HWY
MORGAN HILL, CA. 95037

01.25.2024

EXTERIOR ELEVATIONS,
KEYNOTES & DETAILS

A3.0

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

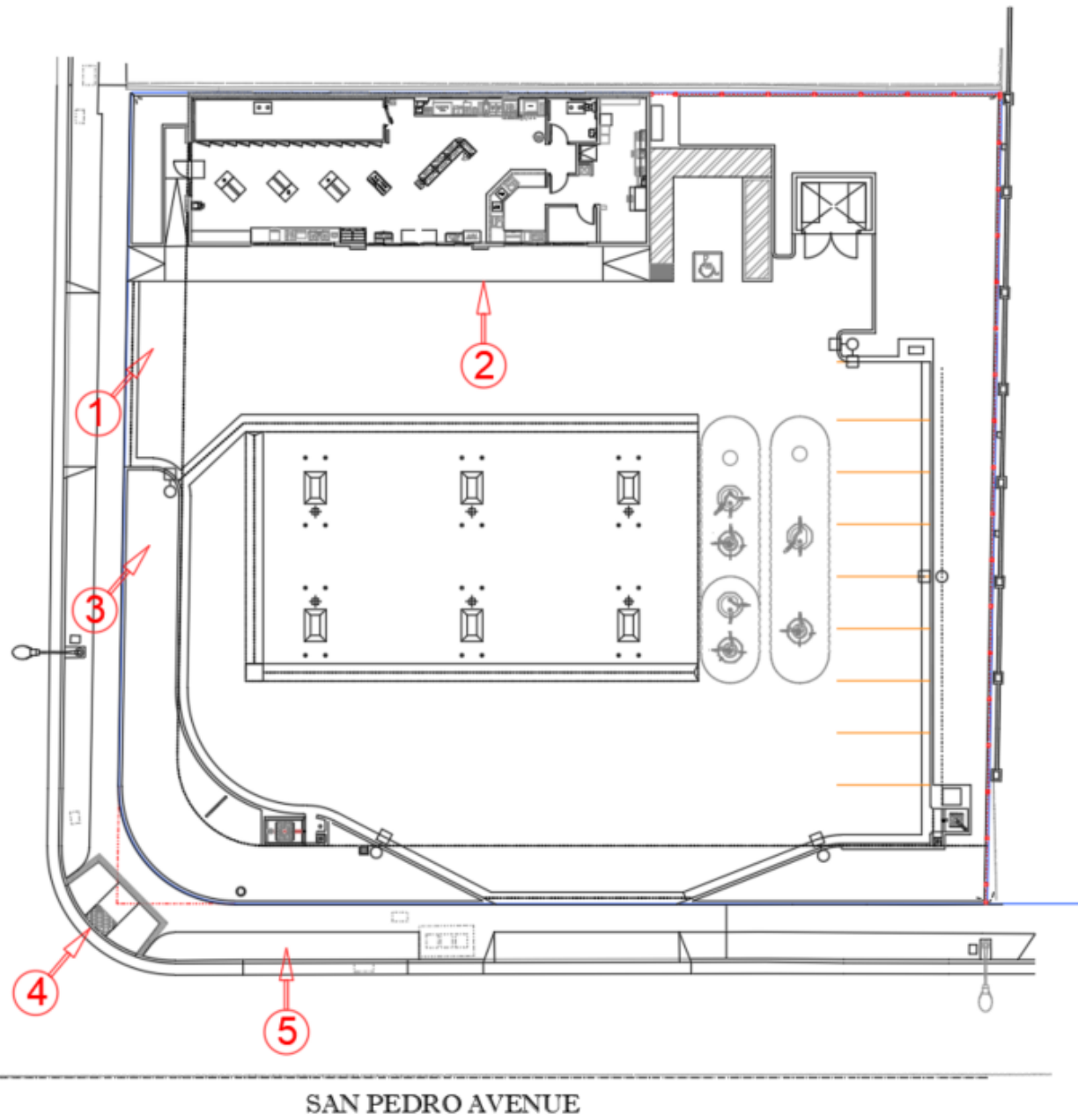
ON 12/15/2023

SR2021-0001

FILE NUMBER

PLANNING OFFICIAL

MONTEREY HWY



SAN PEDRO AVENUE

A4.0-01 BIRDS EYE VIEW AND KEY PLAN



A4.0-03 IMAGE #2



A4.0-05 IMAGE #4



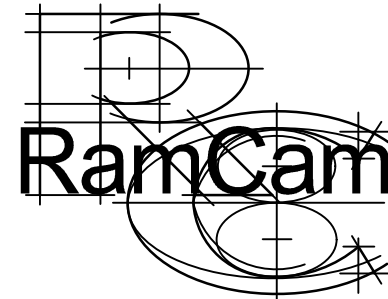
A4.0-02 IMAGE #1



A4.0-04 IMAGE #3



A4.0-06 IMAGE #5



RAMCAM ENGINEERING
GROUP, INC.
PLANNING & ENGINEERING
670 E. PARKRIDGE AVENUE, SUITE 101
CORONA, CA 92819
951.734.6330

All ideas, designs and layouts shown on these drawings, including all documents on electronic media are the property of ramcam group, and are intended to be used in connection with this specific project only and shall not otherwise be used for any purpose whatsoever without the written consent, and may not be reproduced or used without the written permission of ramcam group. All rights reserved.

World Oil Marketing
Company
9302 GARFIELD AVENUE
SOUTH GATE, CA 90280
(562) 928-0100

WOF052

16720 MONTERREY HWY
MORGAN HILL, CA. 95037

01.25.2024

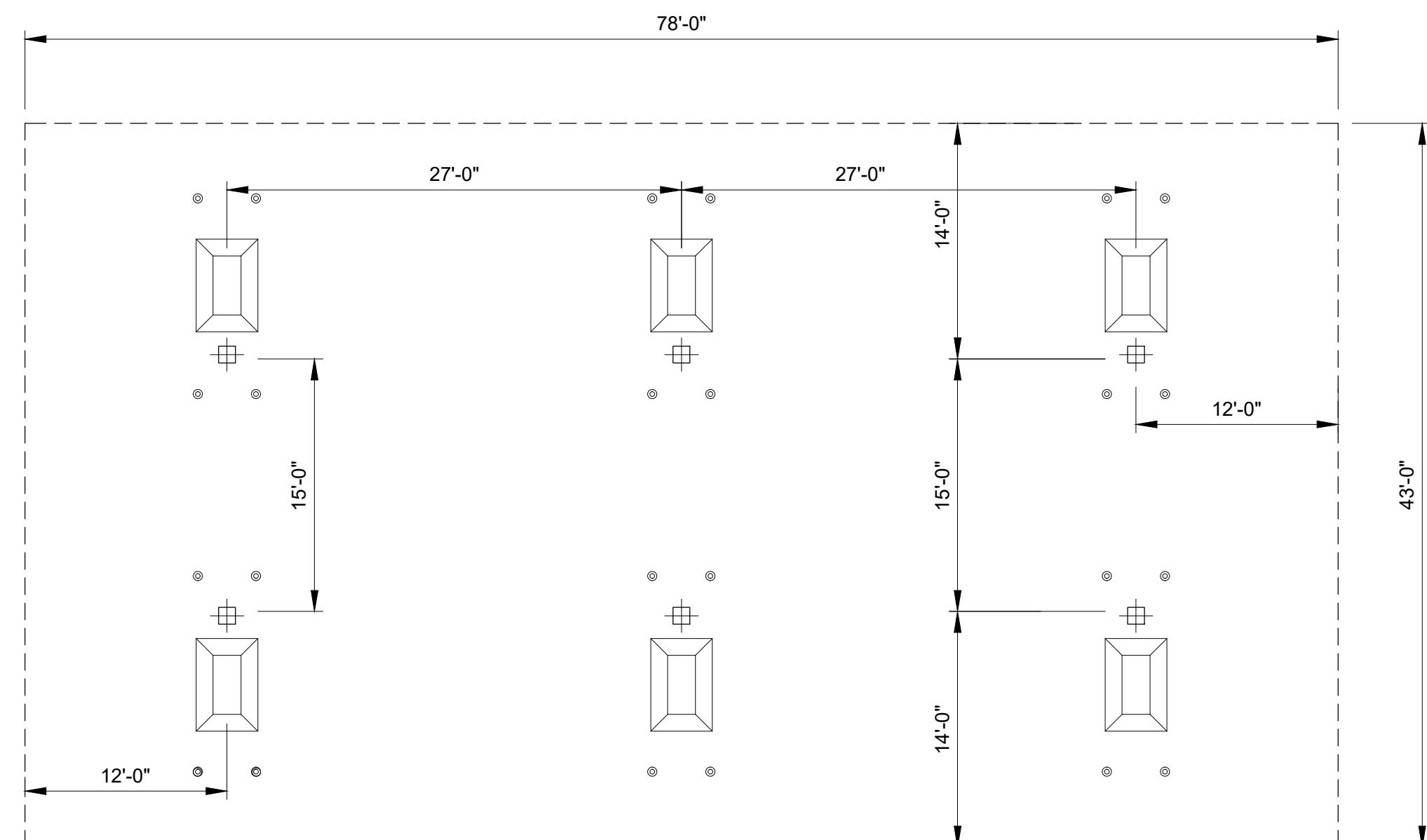
WOF052 GAS STATION
RENDERINGS

PPA19-0006

A4.0

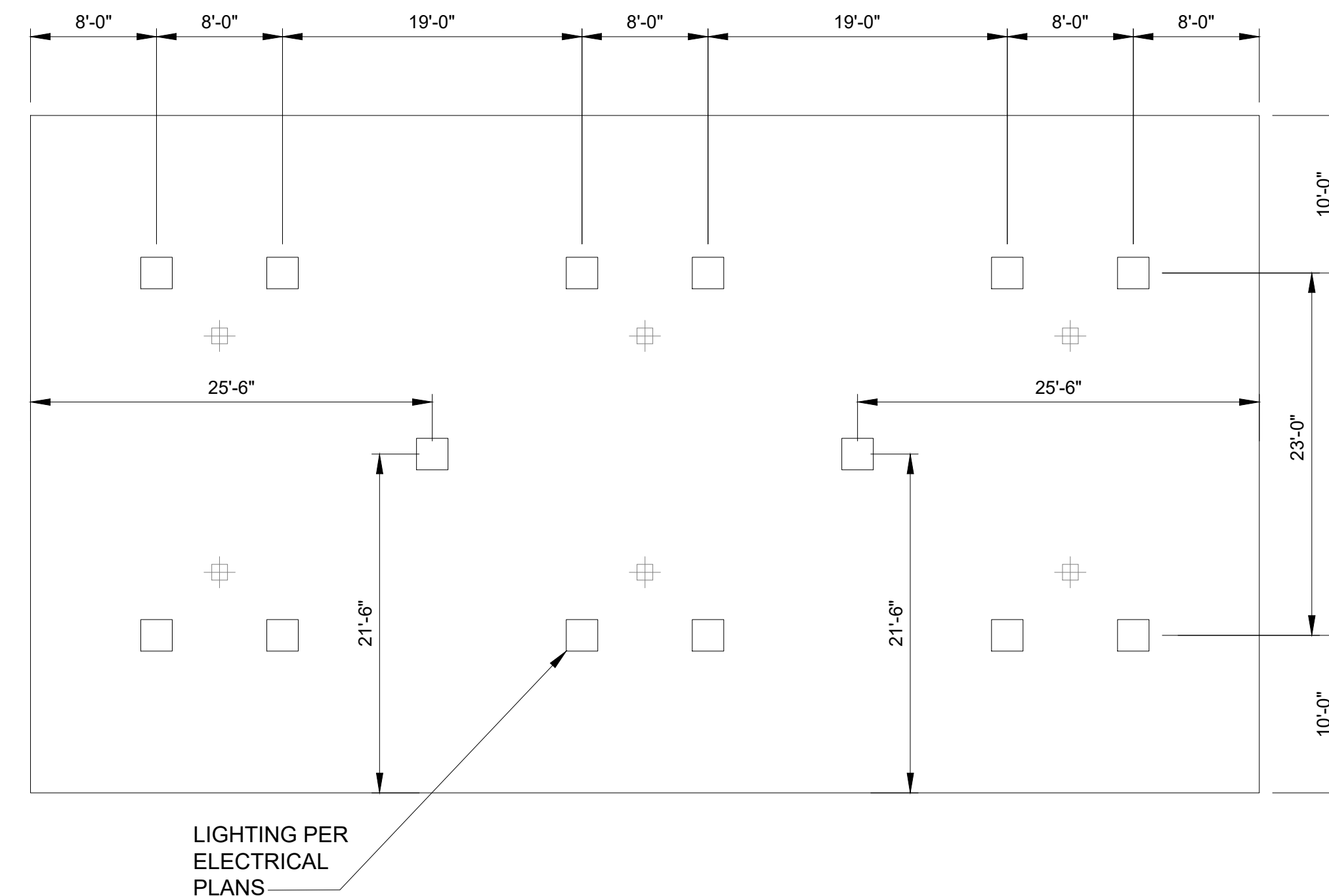
File: C:\Users\jake.coppa\OneDrive\ramcam\engineering\113-world oil marketing\wof052-morgan hill\01-engineering\01-construction documents\planing new.srf:150815558.a4.0 rendering:20240122.dwg, Saved: 1/22/2024 2:47 PM (jake) Plotter: 1/28/2024 1:54 AM



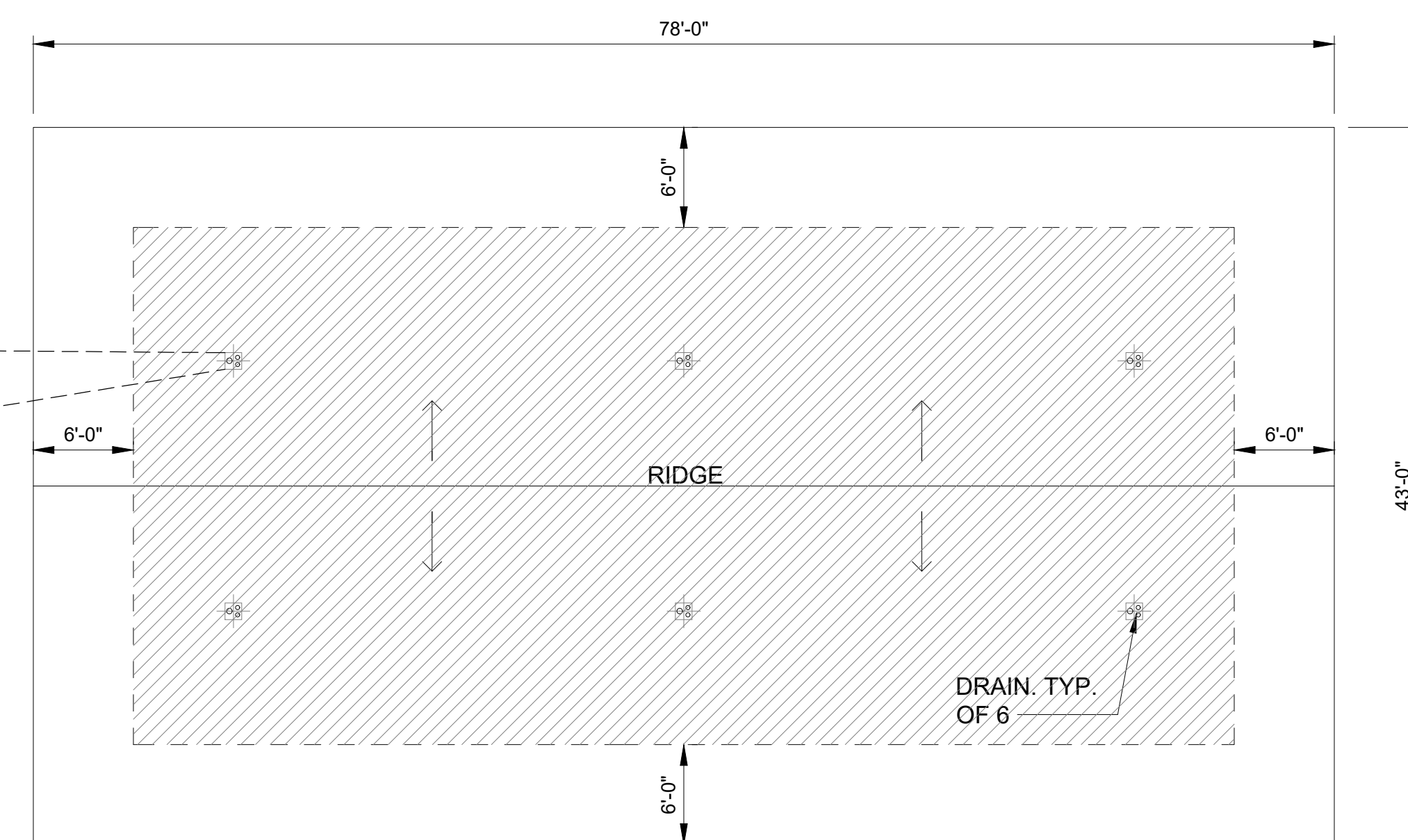


A5.0- 01 FUEL CANOPY FLOOR PLAN

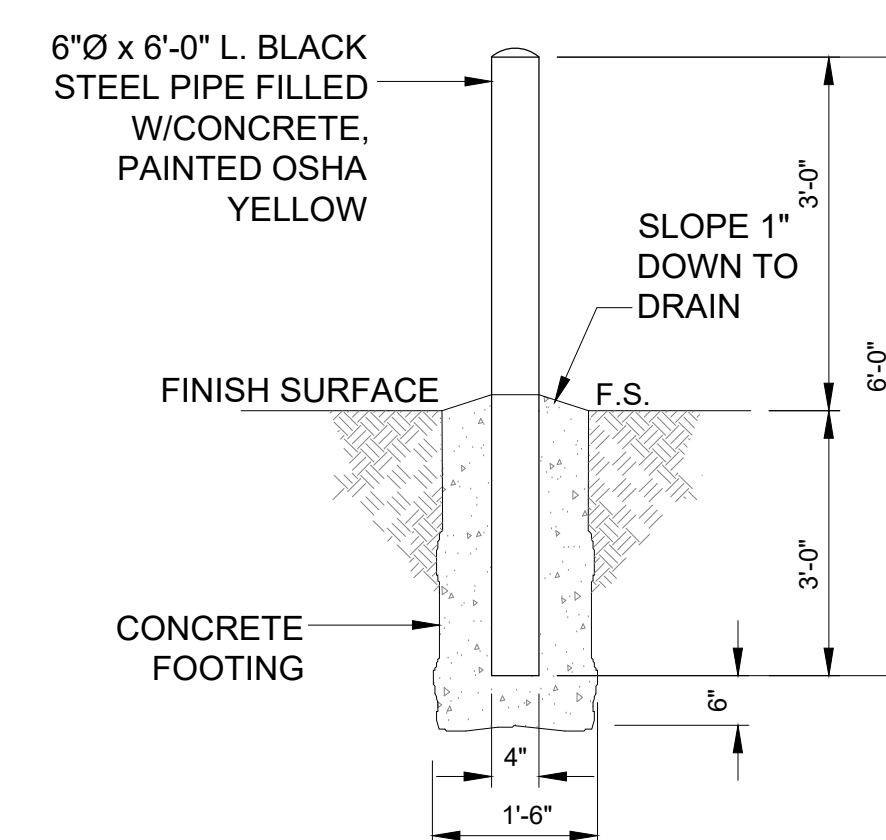
SCALE: 1/8" = 1'-0"



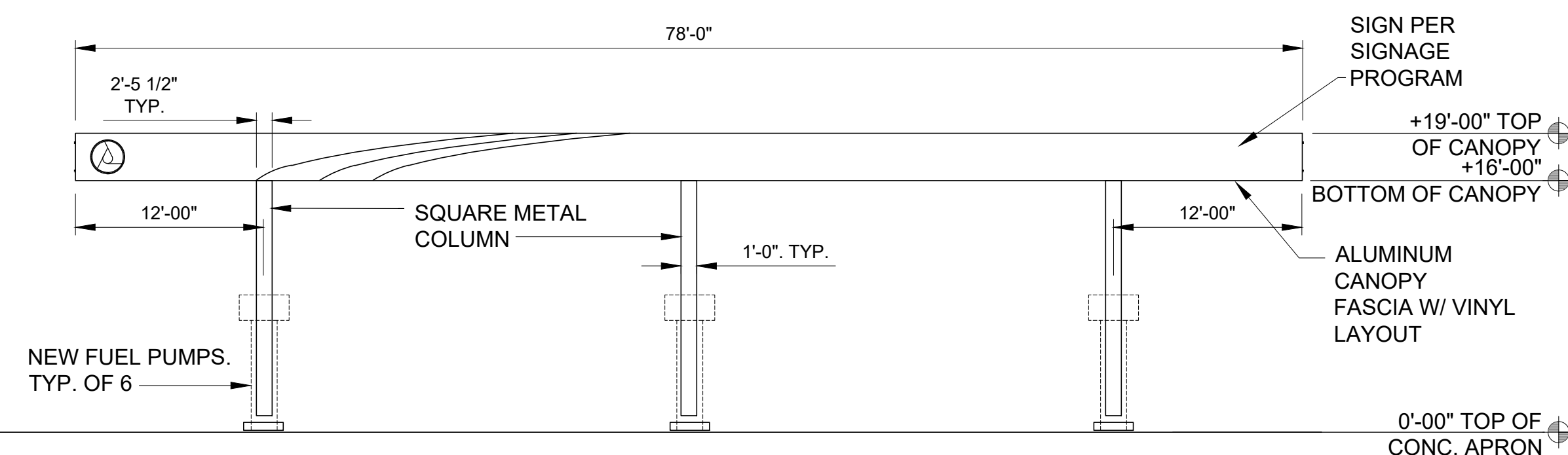
A5.0- 02 FUEL CANOPY REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



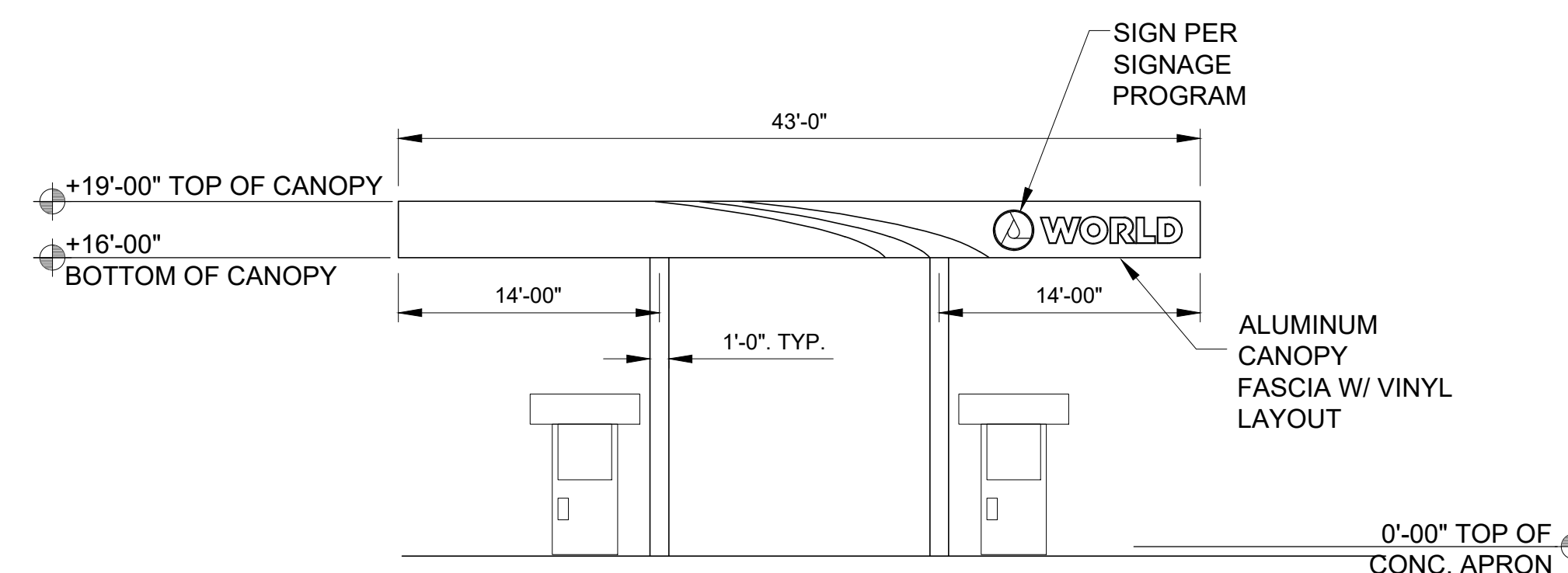
A5.0- 03 **FUEL CANOPY ROOF PLAN**
SCALE: 1/8" = 1'-0"



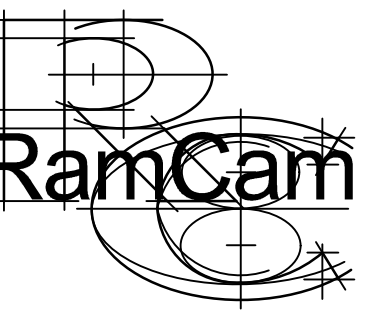
A15.0-05 POST GUARD DETAIL
SCALE: 1/4"=1'-0"



A5.0- 04 **FRONT ELEVATION**
SCALE: 1/8" = 1'-0"



A5.0- 05 **SIDE ELEVATION**
SCALE: 1/8" = 1'-0"



**RAMCAM ENGINEERING
GROUP, INC.**
PLANNING & ENGINEERING
670 E. PARKRIDGE AVENUE, SUITE 101
CORONA, CA 92819
951.734.6330

All ideas, designs and layouts shown on these drawings, including all documents on electronic media are the property of ramcam group, and are intended to be used in connection with this specific project only and shall not otherwise be used for any purpose whatsoever without the written consent, and may not be reproduced or used without the written permission of ramcam group.
All rights reserved

**World Oil Marketing
Company**
9302 GARFIELD AVENUE
SOUTH GATE, CA 90280
(562) 928-0100

WOF052

16720 MONTERREY HWY
MORGAN HILL, CA. 95037

01.25.2024

FUEL CANOPY PLANS & ELEVATIONS

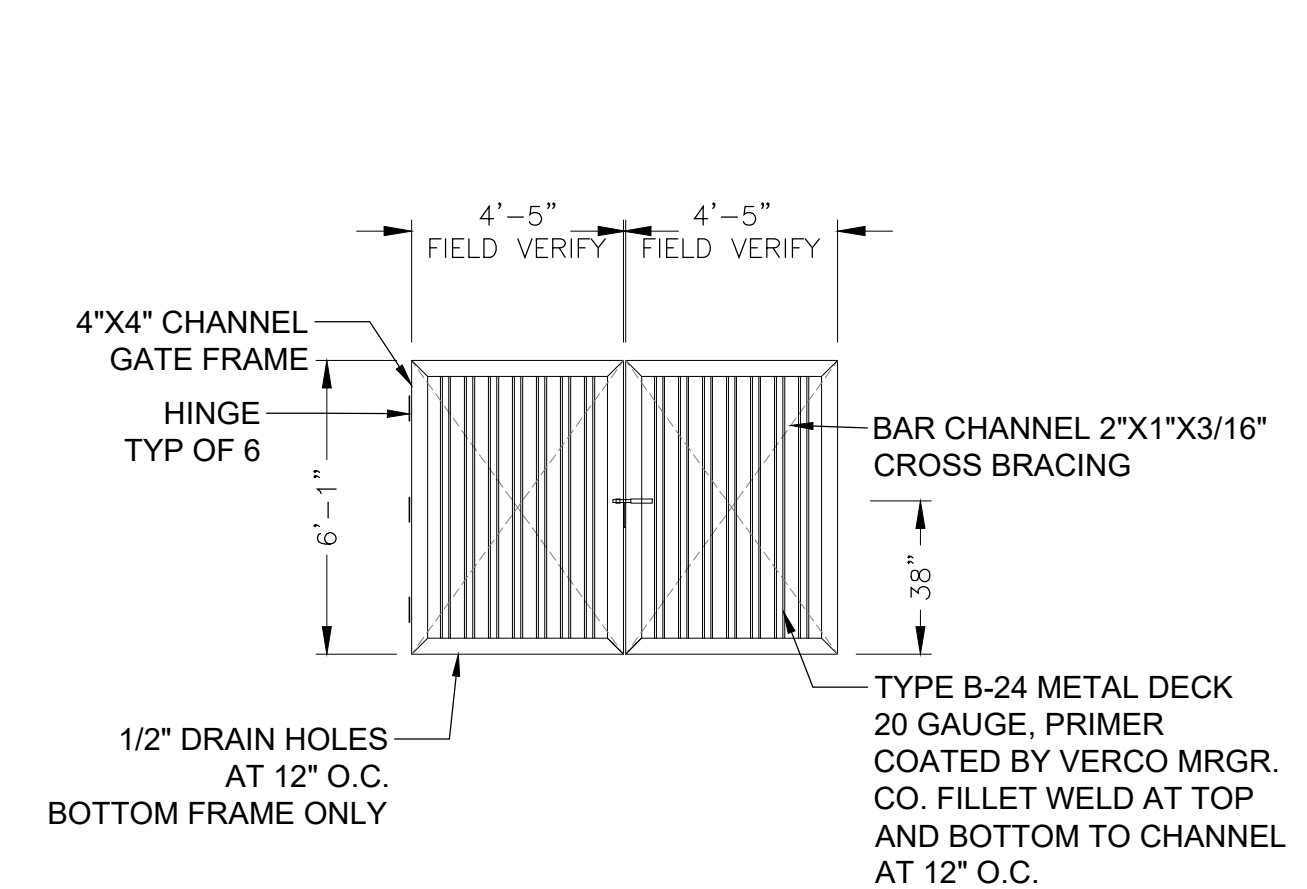
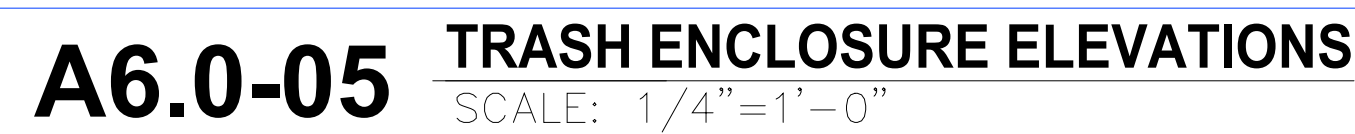
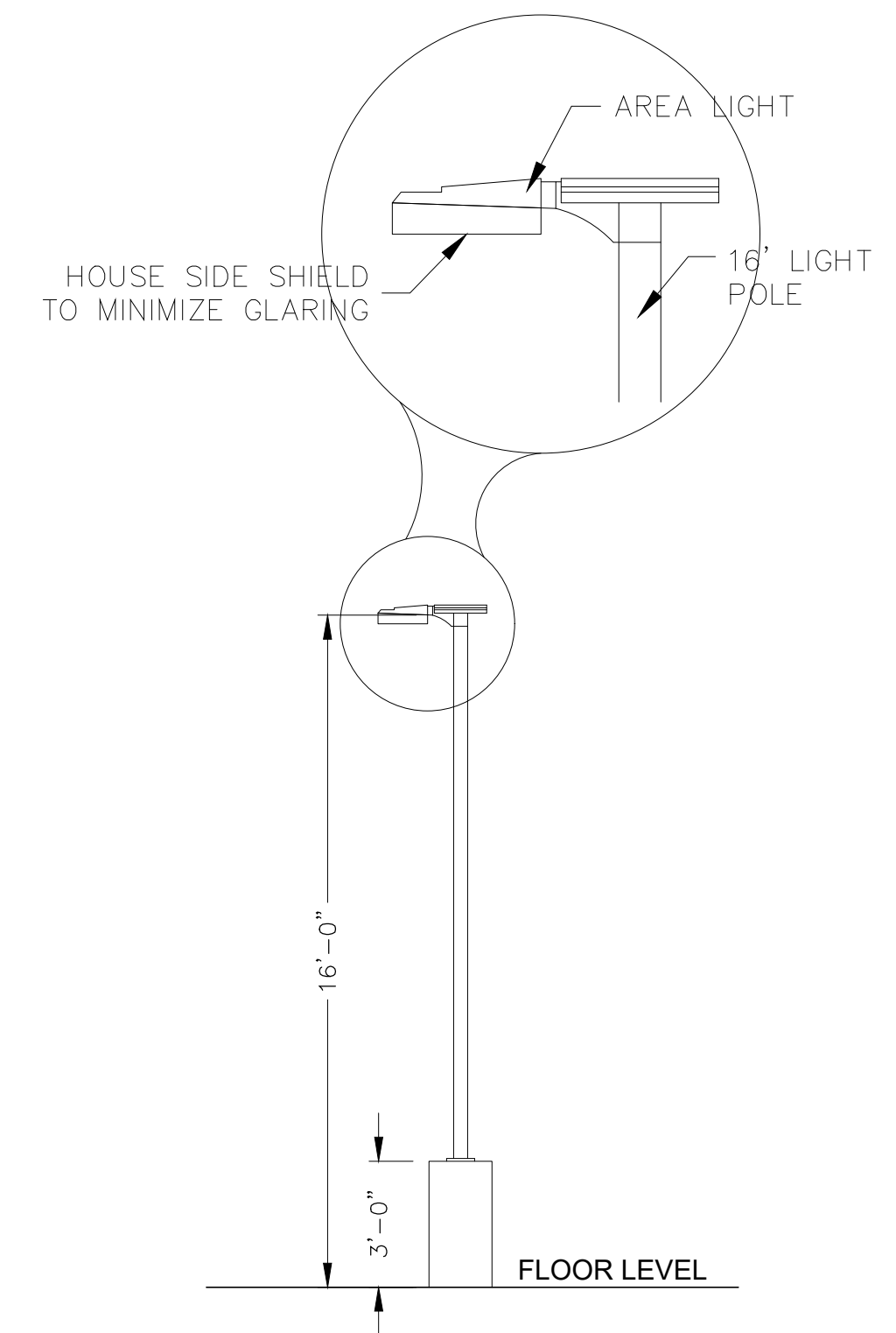
A5.0



A6.0-02 **TRASH ENCLOSURE ROOF PLAN**
SCALE: 1/4"=1'-0"

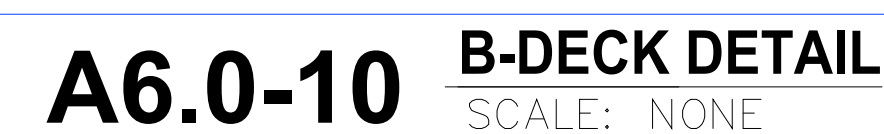


A6.0-04 AREA LIGHT POLE
SCALE: 1/4"=1'-0"



A6.0-06 **GATE DETAIL**
SCALE = 1/4" = 1'-0"
CITY OF MORGAN HILL
PLAN APPROVED

FILE NUMBER
T-1000
PLANNING OFFICIAL



A6.0-11 NOT USED
SCALE: NONE

All ideas, designs and layouts shown on these drawings, including all documents on electronic media are the property of ramcam group, and are intended to be used in connection with this specific project only and shall not otherwise be used for any purpose whatsoever without the written consent. and may not be reproduced or used without the written permission of ramcam group.
All rights reserved

**World Oil Marketing
Company**
9302 GARFIELD AVENUE
SOUTH GATE, CA 90280
(562) 928-0100

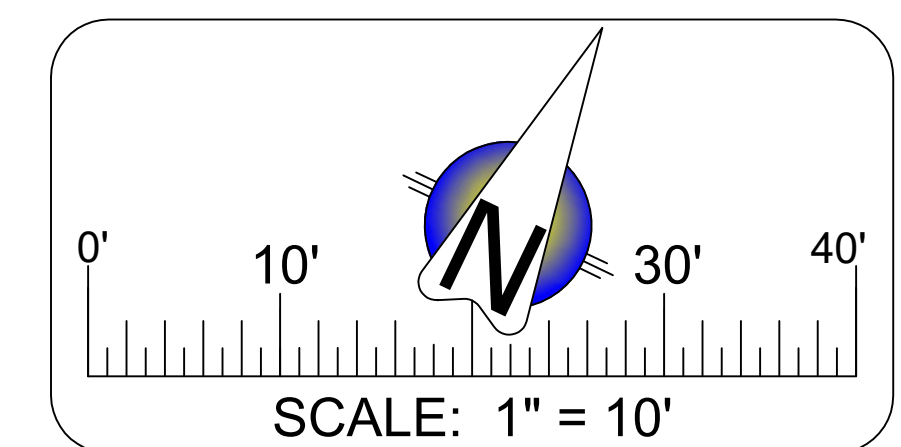
NOF052






6720 MONTERREY HWY
MORGAN HILL, CA. 95037

25.2024

STREET LIGHTING PHOTOMETRIC

A7.0



Luminaire Schedule						
Symbol	Qty.	Label	Arrangement	Lumens	L.L.F.	Description
	12	A	Single	-1	0.80	CAN-EDG-25-xx-06-E-UL-700-40K
	4	B	Single	-1	0.80	LED-FX-SAL-75-30K-DB-35
	1	C	2 @ 90 DEGREES	-1	0.80	(2) LED-FX-SAL-75-30K-DB-35
	3	D	Single	-1	0.80	AWP-6L-50K
	1	E	Single	-1	0.80	AWP-6L-50K

Numeric Summary							
Label	Calc. Type	Units	Avg.	Max.	Min.	Avg./Min.	Max./Min.
Calc. Points	Illuminance	Fc	9.78	136	0.0	N.A.	N.A.

Photometric data used is based on established IES procedures and published lamp ratings. Pt. x pt. values shown are horizontal illuminance at grade (single-plane), in footcandles. The Light Loss Factor (LLF) used is essentially industry standard. Field performance will depend on actual lamp, ballast, electrical, and site characteristics. Luminaire height shown is approximate overall mounting height above finished grade, unless noted otherwise.



PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	QTY.	WUCOLS IV REGION I
TREES						
	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	24' BOX	NATURAL DOUBLE STAKE SEE NOTE BELOW	34	LOW
	MAGNOLIA GRANDIFLORA 'TEDDY BEAR'	TEDDY BEAR MAGNOLIA	24' BOX	STANDARD DOUBLE STAKE	2	LOW
	PLATANUS ACERIFOLIA	LONDON PLANE TREE	24' BOX	STANDARD DOUBLE STAKE	5	LOW
SHRUBS AND GROUNDCOVERS						
	CALLISTEMON CITRINUS 'LITTLE JOHN'	DWARF BOTTLEBRUSH	5 GAL.	3'-0" O.C.	93	LOW
	ESCALLONIA FRAGRANS	PINK ESCALLONIA	5 GAL.	3'-0" O.C.	11	LOW
	FESTUCA OVINA 'GLAUCA'	BLUE FESCUE	FLATS	12' O.C.	640 SF.	LOW
	MULLENBERGIA CAPILLARIS 'REGAL MIST'	DEER GRASS	1 GAL.	2'-0" O.C.	1350 SF.	LOW
	FENISSETUM ALOPECUROIDES 'HAMELN'	FOUNTAIN GRASS	5 GAL.	3'-0" O.C.	13	LOW
	WESTRINGIA FRUTICOSA 'MORNING LIGHT'	COAST ROSEMARY	5 GAL.	4'-0" O.C.	15	LOW
	BARK MULCH IN PARKWAY		3' MIN. LAYER		930 SF.	
VINES						
	PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	5 GAL.	TRAIN TO WALL	2	LOW

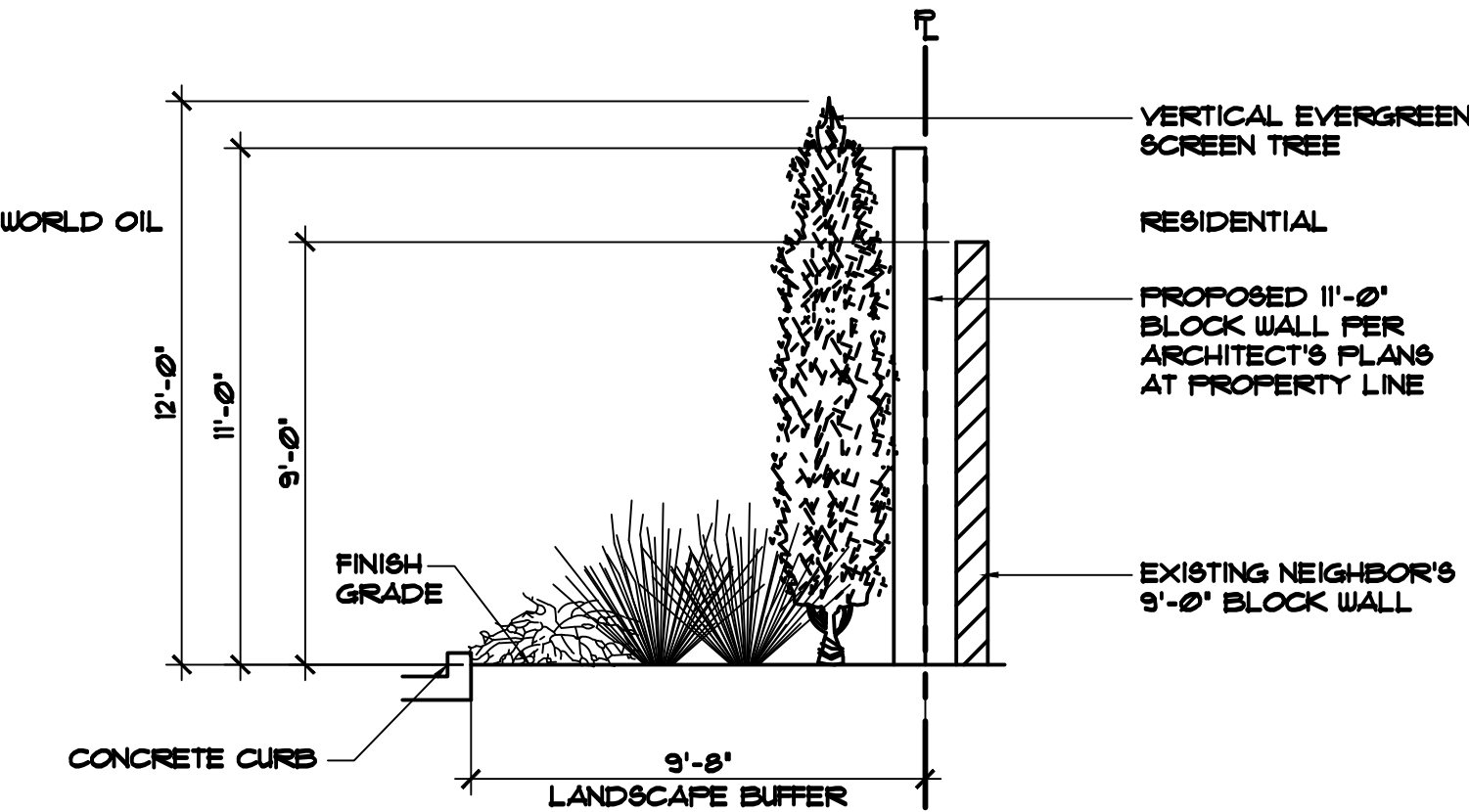
GENERAL PLANTING NOTES:

- A. ALL FLAT, SHRUB AND GROUND COVER AREAS (INCLUDING EXISTING SLOPE) TO BE TOP DRESSED WITH 3" LAYER OF SHREDDED BARK MULCH. ALL TOP DRESSING TO BE FLUSH WITH TOP OF WALK. PROVIDE SAMPLE TO LANDSCAPE ARCHITECT PRIOR TO DELIVERY ON-SITE.
- B. ALL STREET TREES AND ALL TREES WITHIN 6' OR WITHIN 10' OF PUBLIC RIGHT-OF-WAY OF HARDSCAPE ELEMENTS, SUCH AS CURBS, WALLS, BUILDINGS OR WALKS, SHALL BE PROVIDED WITH APPROVED ROOT BARRIER CONTROL DEVICES SUCH AS MODEL NO. UB 24-2, AVAILABLE FROM DEEPROOT: 800-458-1668 OR www.deeprooot.com. INSTALLATION TO BE PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS AND BE A MINIMUM OF 10 LINEAL FEET.
- C. CONTRACTOR TO REPAIR OR REPLACE ANY EXISTING WORK DONE BY OTHERS DAMAGED DUE TO CONSTRUCTION.
- D. CONTRACTOR TO VERIFY ALL UTILITIES AND EXISTING CONDITIONS IN FIELD PRIOR TO CONSTRUCTION.
- E. ALL PLANTING AND IRRIGATION TO COMPLY WITH CITY OF MORGAN HILL LANDSCAPE GUIDELINES AND CURRENT MUELLO (MODEL WATER EFFICIENT LANDSCAPE ORDINANCE).
- F. ALL PROPOSED GAS METERS, BACK FLOW DEVICES, TRANSFORMERS OR ANY OTHER ABOVE GROUND EQUIPMENT WILL BE SCREENED WITH SHRUBS OR OTHER LANDSCAPING PER CITY GUIDELINES.
- G. ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER.
- H. QUANTITIES ARE SHOWN FOR CITY AND OWNER USE ONLY. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES.
- I. PROPOSED ITALIAN CYPRESS SHALL BE CONTRACT GROWN AT A LOCAL NURSERY AND INSTALLED AT 12'-0" HEIGHT AT 48" O.C.

CITY GENERAL NOTES:

1. ALL TREES SHALL BE PLANTED AND STAKED PER CITY STANDARDS.
2. ROOT BARRIERS SHALL BE INSTALLED ON ALL TREES WHICH ARE PLANTED WITHIN 6' OF PAVEMENT, FOUNDATIONS OR FOOTINGS.
3. ALL PLANTING AREAS SHALL BE MULCHED TO A MINIMUM DEPTH OF 3".
4. LANDSCAPE SHALL COMPLY WITH CITY'S CURRENT WATER EFFICIENT LANDSCAPE ORDINANCE WITH ALL PLANTING AREAS TO BE AUTOMATICALLY IRRIGATED USING BUBBLERS OR DRIP METHODS. PLANTS TO BE GROUPED BY HYDROZONES AND IRRIGATED BY SEPARATE VALVES. CONTROLLER SHALL BE ET-BASED AND HAVE RAIN SHUT-OFF.
5. PLANTING IS COMPRISED OF AT LEAST 80% LOW-WATER USE PLANTS. NO INVASIVE PLANTS ARE SPECIFIED.
6. ALL STREET TREES ARE SPECIFIED TO BE 24' BOX SIZE (9' HGT. X 3' WIDTH) AT PLANTING. AT LEAST 10% OF ALL REMAINING TREES SPECIFIED TO BE 24' BOX SIZE AT TIME OF PLANTING.
7. AFTER COMPLETION OF ROUGH GRADING OF THE PROJECT SITE, THE CONTRACTOR SHALL OBTAIN A SOILS SAMPLE FOR AGRICULTURAL SUITABILITY FROM A CERTIFIED SOILS LABORATORY AND SHALL FOLLOW RECOMMENDATIONS FOR SOIL AMENDMENTS AND FERTIZATION. SOILS REPORT ANALYSIS SHALL BE PROVIDED TO CITY AND LANDSCAPE ARCHITECT.

NOTE: THERE ARE NO EXISTING TREES OR OTHER PLANTINGS ON THIS SITE.



SECTION AT PROPERTY LINE
1/4"=1'-0"

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 12/15/2023
SR2021-0001
FILE NUMBER
PLANNING OFFICIAL

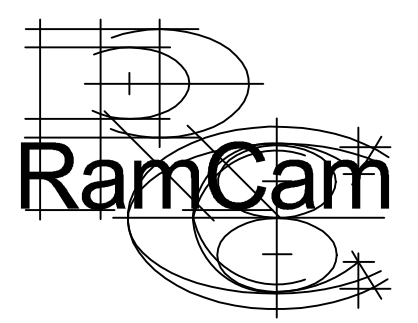
SAN PEDRO AVENUE

PROJECT DATA:

TOTAL LANDSCAPE AREA:	4531 SF.
TOTAL SHRUB AREA:	3601 SF.
TOTAL MULCH ONLY AREA:	930 SF.
TURF AREA:	0 SF.

I SHALL AGREE TO COMPLY WITH THE CRITERIA OF THE CITY OF MORGAN HILL WATER CONSERVATION CHAPTER 18.148 AND TO APPLY THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.
R. DALE HADFIELD
LANDSCAPE ARCHITECT
CA LICENSE 1780
11/16/2023
DATE

PLANTING PLAN
SCALE 1"=10'-0"



RAMCAM ENGINEERING GROUP, INC.
PLANNING & ENGINEERING
670 E. PARKRIDGE AVENUE, SUITE 101
CORONA, CA 92819
951.734.6330

All ideas, designs and layouts shown on these drawings, including all documents on electronic media are the property of ramcam group, and are intended to be used in connection with this specific project only and shall not otherwise be used for any purpose whatsoever without the written consent. All rights reserved.

R. DALE HADFIELD
LANDSCAPE ARCHITECT
28311 LAKEWOOD DRIVE
LAQUINA, NIGUEL, CALIFORNIA 92677
(949) 367-9275
dale@rchie.com

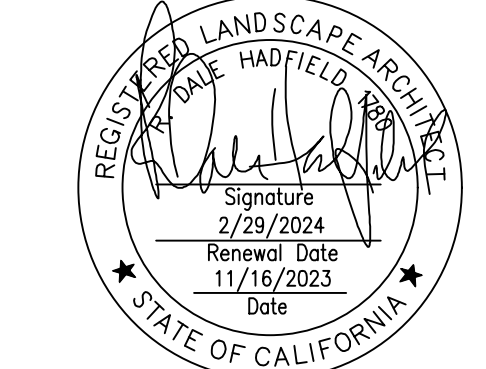
NOT VALID FOR CONSTRUCTION TILL APPROVED BY CITY AND SIGNED BY DESIGN ENGINEER

World Oil Marketing Company
9302 GARFIELD AVENUE
SOUTH GATE, CA 90280
(562) 928-0100

WOF052

16720 MONTEREY ROAD
MORGAN HILL, CA. 95037

11.16.2023



PLANTING PLAN

L1.1

File: c:\minds\autoplant\projects\landscape\project\details of morgan hill\msh2021-2.dwg, Saved: 2/25/2023 1:35 AM (msh2021-2.dwg)



CITY OF MORGAN HILL

PLAN APPROVED

THIS PLAN WAS APPROVED BY

THE PLANNING DIVISION

ON 12/15/2023

SR2021-0001

FILE NUMBER

PLANNING OFFICIAL

1. TOP OF CONTROL BARRIER MUST BE AT GRADE.

2. SOD.

3. GRADE.

4. 1/4" TO 1/2" GRAVEL OR CRUSHED ROCK.

5. DEEP ROOT CONTROL BARRIER PLANTER.

6. PLANTING MIX.

7. SOIL BACKFILL.

PRODUCT SPECIFICATIONS

DEEP ROOT -- UNIVERSAL BARRIER PLANTER #B24-2 -- THE NUMBER OF PANELS REQUIRED & MATERIAL: POLYPROPYLENE PLASTIC. THICKNESS: 0.00. INJECTION MOLDED: ROOT DEFLECTING RIBS AND GROUND LOCK TABS/ULTRA VIOLET STABILIZERS ADDED. JOINER TYPE: SELF LOCKING JOINER (NO GLUING REQUIRED)

MANUFACTURED BY: DEEP ROOT (800) 458-7668

THIS IS A LINEAR APPLICATION - DO NOT WRAP ROOTBALL.

E

TREE ROOT BARRIER

1. ROOTBALL.

2. CROWN-1" ABOVE FINISH GRADE.

3. FINISH GRADE.

4. 2 X ROOTBALL DIA.

5. BACKFILL MIX (SEE SPECS.).

6. PLANT TABLETS (SEE SPECS.).

7. 2" MAX. DEPTH.

8. TOP OF PAVING.

9. 3" HIGH WATERING BASIN.

10. UNDISTURBED NATIVE SOIL.

11. 1-1/2 X DEPTH OF ROOTBALL.

NOTES:

- ALL SHRUB AREAS SHALL BE TOP DRESSED WITH A 3" LAYER OF 3/8" BIRDSEYE BROWN DECORATIVE ROCK
- UNTANGLE MATTED ROOTS BY LOOSENING ALL ROOTS AT EDGE OF ROOTBALL WITH WATER FROM HOSE.
- REFER TO SPECIFICATIONS FOR FERTILIZER REQUIREMENTS.
- KEEP WEEDS AND GROUND COVER OUT OF WATERING BASIN.

C

SHRUB PLANTING DETAIL

1. ROOTBALL.

2. CROWN-1" ABOVE FINISH GRADE.

3. FINISH GRADE.

4. 2 X ROOTBALL WIDTH.

5. BACKFILL MIX (SEE SPECS.).

6. PLANT TABLETS (SEE SPECS.).

7. 2" MAX. DEPTH.

8. TOP OF PAVING.

9. 4" HIGH WATERING BASIN WITH 2" DEPTH MULCH.

10. UNDISTURBED NATIVE SOIL.

11. DEPTH OF ROOTBALL + 6".

12. INSTALL DEEPROOT BARRIERS ON ALL TREES WITHIN 5' OF PAVING, CURBS, WALLS OR BUILDINGS AND ALL STREET TREES.

13. PROVIDE 4" PERFORATED DRAIN TUBE 1/2" ABOVE FINISH GRADE. PROVIDE FILTER SOCK FOR ENTIRE LENGTH OF PIPE. TIE KNOT AT BOTTOM.

14. FILTER FABRIC ABOVE GRAVEL SUMP.

15. 12" DIAMETER X 3'-0" DEEP SUMP. FILL WITH 3/4" GRAVEL. COORDINATE INSTALLATION W/ INSPECTION / SIPHON TUBE.

16. T-CAP SECURED TO MALE ADAPTER.

NOTES:

- UNTANGLE MATTED ROOTS BY LOOSENING ALL ROOTS AT EDGE OF ROOTBALL WITH WATER FROM HOSE.
- REFER TO SPECIFICATIONS FOR FERTILIZER REQUIREMENTS.
- TREE TIES TO BE 'WONDER TIES' OR EQUAL.
- KEEP WEEDS AND GROUND COVER OUT OF WATERING BASIN.
- PROVIDE (1) SUMP FOR ALL 24" AND 36" BOX TREES.
- PROVIDE (2) SUMPS FOR ALL 48" BOX TREES OR LARGER OPPOSITE CORNERS FROM EACH OTHER.
- PROVIDE (4) SUMPS FOR ALL 12" BOX TREES OR LARGER LOCATE (1) SUMP IN EACH CORNER

A

TREE PLANTING DETAIL

1. GROUND COVER/SHRUB LOCATION TYPICAL

2. 2" DEEP MULCH

3. FINISH GRADE

4. PREPARED BACKFILL (SEE SPECIFICATIONS FOR TYPE AND DEPTH.)

5. EDGE OF PAVING, WALK, WALL OR CURB

6. 1/2 D

7. COMPACTED SUBGRADE

NOTES:

- LOCATE PLANTS SPACED EQUAL DISTANCE (D) FROM EACH OTHER AS SHOWN. D - AS NOTED ON PLAN.
- ALL SHRUB AREAS SHALL BE TOP DRESSED WITH A 3" LAYER OF 3/8" BIRDSEYE BROWN DECORATIVE ROCK
- UNTANGLE MATTED ROOTS BY LOOSENING ALL ROOTS AT EDGE OF ROOTBALL WITH WATER FROM HOSE.
- REFER TO SPECIFICATIONS FOR FERTILIZER REQUIREMENTS AND TYPICAL SHRUB PLANTING DETAIL.
- UNDERPLANT ALL SHRUB AREAS AS SHOWN ON PLAN.
- REFER TO PLANS FOR PLANTER EDGE TREATMENTS - IE. CONCRETE MOW BANDS, STEEL/REDWOOD HEADERS, ETC.

D

GROUND COVER/SHRUB DETAIL

1. 2" DIA. X 10' LODGEPOLE PINE STAKE (2 REQ'D.)

2. 4" HIGH WATERING BASIN. (6" BERM AT SLOPE CONDITION)

3. CINCH TIES (2 REQUIRED PER STAKE).

4. 24" MIN.

5. SEE TREE PLANTING DETAIL 'A'.

6. 12" MIN.

7. TREE TRUNK.

8. ROOTBALL.

9. SHOVEL CUT MULCH RING

NOTES:

- ALL SHRUB AREAS SHALL BE TOP DRESSED WITH A 3" LAYER OF 3/8" BIRDSEYE BROWN DECORATIVE ROCK
- UNTANGLE MATTED ROOTS BY LOOSENING ALL ROOTS AT EDGE OF ROOTBALL WITH WATER FROM HOSE.
- REFER TO SPECIFICATIONS FOR FERTILIZER REQUIREMENTS.
- TREE TIES TO BE 'WONDER TIES' OR EQUAL.

B

DOUBLE STAKING DETAIL

RAMCAM ENGINEERING GROUP, INC.

PLANNING & ENGINEERING

670 E. PARKRIDGE AVENUE, SUITE 101

CORONA, CA 92819

951.734.6330

All ideas, designs and layouts shown on these drawings, including all documents on electronic media are the property of ramcam group, and are intended to be used in connection with this specific project only and shall not be reproduced or used without the written permission of ramcam group. All rights reserved

R. DALE HADFIELD

LANDSCAPE ARCHITECT

28311 LAKEWOOD DRIVE

LAQUINA NUGIEL, CALIFORNIA 92677

(949) 367-9275

dale@dhia.com

NOT VALID FOR CONSTRUCTION TILL APPROVED BY CITY AND SIGNED BY DESIGN ENGINEER

World Oil Marketing Company

9302 GARFIELD AVENUE

SOUTH GATE, CA 90280

(562) 928-0100

WOF052

16720 MONTEREY ROAD

MORGAN HILL, CA. 95037

10.25.2023

REGISTERED LANDSCAPE ARCHITECT

Signature: [Signature]

2/29/2024

Renewal Date: 10/25/2023

Date

STATE OF CALIFORNIA

PLANTING DETAILS

L1.2

IRRIGATION LEGEND

SYM	MFG/MODEL NO.	DESCRIPTION	PSI	GPM	RAD PATTERN
▲	RAIN BIRD RU8-B-C-1402	ROOT WATERING SYSTEM (2 PER TREE)	30	0.50	-- FLOOD PRECIPITATION RATE IS 0.54
---		PRESSURE MAINLINE IN PLANTER AREA, 1-1/4" SCH 40 PVC, SOLVENT WELD, BURY 18" MIN. BELOW GRADE.			
---		NON-PRESSURE LATERAL PVC SCH 40 WITH PVC SCH 40 FITTINGS. BURY MIN. 12" BELOW GRADE. SIZE NOTED.			
---		PIPE SLEEVING PVC SCH 40. BURY MIN. 24" BELOW GRADE, EXTEND MIN. 12" BEYOND EDGE OF PAVING.			
---		WIRE SLEEVING PVC SCH 40. BURY MIN. 24" BELOW GRADE, EXTEND MIN. 12" BEYOND EDGE OF PAVING.			
---		RAIN BIRD XFCV-06-12 SERIES DRIPLINE TUBING (0.6 GPH EMITTERS AT 12" O.C.). INSTALL LATERALS 18" MAX. SPACING. REFER TO DETAILS. PRECIPITATION RATE IS 0.64.			
---		RAIN BIRD XGF-15 SERIES DRIPLINE HEADER. REFER TO DETAIL.			
(NOT SHOWN)		RAIN BIRD ARV-050 AIR RELIEF VALVE KIT IN VALVE BOX. REFER TO DETAIL.			
(NOT SHOWN)		RAIN BIRD MDCF-CAP FLUSH CAP IN VALVE BOX. REFER TO DETAIL.			
●		RAIN BIRD XCZ-100-FRB-COM CONTROL ZONE KIT (DRIP VALVE ASSEMBLY) - 1" FE8B VALVE AND 1" PRESSURE REGULATIN BASKET FILTER.			
⊕		RAIN BIRD 100-FEB REMOTE CONTROL VALVE. 1" SIZE.			
⊕		RAIN BIRD 33DLRC QUICK COUPLING VALVE WITH KEY AND RUBBER LOCKING CAP - 3/4".			
⊕		GRISWOLD #230 PRESSURE REGULATING MASTER VALVE. NORMALLY CLOSED. 3/4". SET AT 65 PSI			
⊕		NEW 3/4" IRRIGATION WATER METER (BY OTHERS). SEE POINT OF CONNECTION NOTE.			
⊕		FEBCO 825TA REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY. 3/4" SIZE.			
⊕		NIBCO LINE SIZED BALL VALVE			
⚠		RAIN BIRD ESP4ME3 4 STATION IRRIGATION CONTROLLER WITH (1) ADDITIONAL 3 STATION MODULE FOR A TOTAL OF 7 STATIONS). MOUNT ON OUTSIDE WALL OF TRASH ENCLOSURE AS SHOWN. INSTALL WITH RAIN BIRD LNK-WIFI MODULE AND WIRELESS RAIN SENSOR (AS LISTED BELOW) PER MANUFACTURER'S RECOMMENDATIONS. FINAL LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT. CONTRACTOR TO MAKE FINAL HOOKUP OF CONTROL WIRES.			
⊕		RAIN BIRD WR2-RFC WIRELESS RAIN/FREEZE SENSOR. INSTALL ON ROOF PER MANUFACTURERS RECOMMENDATIONS.			
⊕		VALVE SEQUENCE NUMBER			
⊕		FLOW IN GPM			
⊕		HYDROZONE			
⊕		VALVE SIZE			

NOTE: IRRIGATION PLAN IS DIAGRAMMATIC. CONTRACTOR SHALL ROUTE PIPING IN ORDER TO AVOID OBJECTS LIKE LIGHT STANDARDS, TRANSFORMER PADS, EQUIPMENT VAULTS, SUB-SURFACE ROCK TOO LARGE TO REMOVE, ETC. AS LONG AS ALL PLANTS RECEIVE THE THE PROPER NUMBER OF EMITTERS PER SCHEDULE.

IRRIGATION NOTES

- ALL MAIN LINE PIPING, NON-PRESSURE PIPING AND CONTROL WIRE SLEEVING SHALL BE INSTALLED IN SEPARATE SLEEVES. MAINLINE SLEEVE SIZE SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED. CONTROL WIRE SLEEVES SHALL BE OF SUFFICIENT SIZE FOR THE REQUIRED NUMBER OF WIRES.
- ALL LATERAL LINE PIPING UNDER PAVING SHALL BE PVC SCHEDULE 40 PIPE AND SHALL BE INSTALLED PRIOR TO PAVING.
- PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF SAID REJECTION.
- FINAL LOCATION OF THE AUTOMATIC CONTROLLER SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE.
- 120 VAC ELECTRICAL POWER SOURCE AT CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. THE IRRIGATION CONTRACTOR SHALL MAKE THE FINAL CONNECTION FROM THE ELECTRICAL SOURCE TO THE CONTROLLER.
- ALL IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE WITH MINIMAL OVERSPRAY ONTO WALKS, STREETS, WALLS, ETC.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, STRUCTURES AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS THROUGH WALLS, UNDER ROADWAYS AND PAVING, ETC.
- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE. THE CONTRACTOR SHALL LOCATE ALL VALVES IN SHRUB AREAS.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- REFER TO CIVIL ENGINEER PLANS FOR GRADING, ANY DRAINAGE STRUCTURES AND METERS. COORDINATE LOCATION OF IRRIGATION EQUIPMENT WITH CIVIL ENGINEER INFORMATION.
- COORDINATE LATERAL PIPE SLEEVING PRIOR TO INSTALLATION OF CONCRETE.
- LOCATE ALL VALVES IN SHRUB AREA, SHOWN FOR CLARITY ONLY.
- ALL IRRIGATION DESIGN AND IMPLEMENTATION SHALL FOLLOW ALL AB1881 WATER CONSERVATION ORDINANCE RULES AND GUIDELINES AND CITY OF YUCAIPA GUIDELINES.
- REFER TO SPECIFICATIONS FOR STANDARDS OF MATERIALS AND WORKMANSHIP.
- ALL ABOVE GROUND UTILITIES, INCLUDING BACKFLOW PREVENTERS, SHALL BE SCREENED WITH PLANTING AND PAINTED TO BLEND IN WITH PLANT MATERIAL USED SCREENING.
- ALL PLANTING AND IRRIGATION SHALL BE MAINTAINED INDEFINITELY.
- A LANDSCAPE IRRIGATION WATER AUDIT SHALL BE PERFORMED BY AN IA CERTIFIED IRRIGATION AUDITOR. REPORT SHALL BE SUBMITTED TO CITY INSPECTOR PRIOR TO FINAL INSTALLATION APPROVAL. THE AUDIT SHALL BE REPEATED ONCE EVERY 5 YEARS AS PART OF ON-GOING MAINTENANCE.

PRESSURE LOSS CALCULATIONS

	VALVE #A3	10.3 GPM
3/4" WATER METER	1.00	
3/4" BACKFLOW DEVICE	10.50	
1-1/4" PVC SCH 40 MAINLINE (160 L.F.)	0.90	
LATERALS	3.00	
FITTINGS	0.40	
OPERATING PRESSURE	25.00	
ELEVATION LOSS	0.00	
REMOTE CONTROL VALVE	3.10	
MISCELLANEOUS	3.00	
TOTAL PRESSURE LOSS	41.40	
STATIC PRESSURE	65.00	
RESIDUAL PRESSURE	17.60	

CONSTRUCTION NOTE:

LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR FOR THE INSTALLATION OF SLEEVES FOR MAINLINE, LATERAL LINES AND WIRES PRIOR TO POURING OF PAVING.

CONTROLLER LOCATION:

120 VOLT 2 AMP 60 CYCLE POWER AVAILABLE. LOCATE CONTROLLER ON OUTSIDE WALL OF TRASH ENCLOSURE AS SHOWN. IRRIGATION CONTRACTOR TO MAKE FINAL HOOK-UP OF FIELD WIRES. INSTALL WEATHER STATION PER MANUFACTURER'S RECOMMENDATIONS.

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 12/15/2023

SR2021-0001

FILE NUMBER

PLANNING OFFICIAL

POINT OF CONNECTION:

CONNECT INTO NEW 3/4" IRRIGATION WATER METER (BY OTHERS), AND PROVIDE BACKFLOW PREVENTER, MASTER VALVE AND BALL VALVES AS SHOWN. LOCATE ALL EQUIPMENT AND VALVES IN SHRUB AREAS. DRAWING SHOWN FOR CLARITY ONLY. REFER TO NOTES. SET PRESSURE REGULATOR AT 60 PSI.

STATIC PRESSURE:	65 PSI
DESIGN PRESSURE:	48 PSI
MAXIMUM FLOW (GPM):	10.3 GPM

THE LANDSCAPE CONTRACTOR SHALL VERIFY STATIC WATER PRESSURE ON-SITE AND TO NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. FAILURE TO DO SO MAY RESULT IN CHANGES TO THE IRRIGATION SYSTEM IN THE FIELD AT NO ADDITIONAL CHARGE TO THE OWNER.

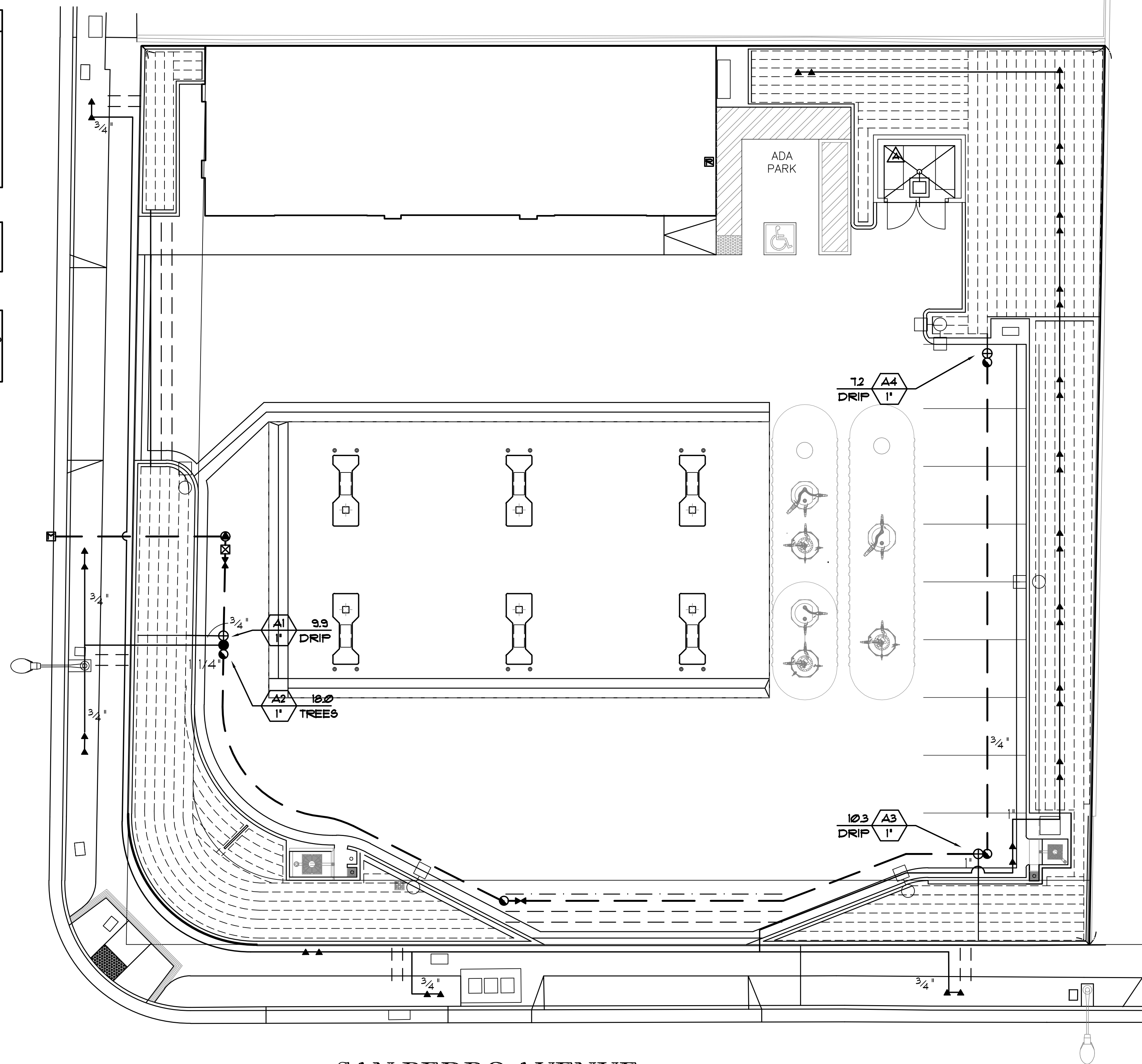
ADDITIONAL NOTES:

- TOTAL LANDSCAPE AREA = 5,938 SF.
- THIS PROJECT IS A RENOVATED OR REHABILITATED LANDSCAPE OF AN EXISTING GAS STATION SITE.
- IRRIGATION SYSTEM UTILIZES POTABLE WATER (RECYCLED WATER IS NOT AVAILABLE AT THIS TIME).

CERTIFICATE OF COMPLIANCE

AT THE TIME OF PROJECT ACCEPTANCE, THE LANDSCAPE ARCHITECT SHALL PROVIDE A CERTIFICATE OF COMPLIANCE INCLUDING:
- THE DATE, PROJECT NAME, APPLICANT NAME, PHONE, ADDRESS, PROJECT ADDRESS.
- OWNER'S NAME, PHONE AND ADDRESS.
- A STATEMENT THAT THE LANDSCAPE PROJECT HAS BEEN INSTALLED PER THE APPROVED PLANS.
- PLANTING AND IRRIGATION MAINTENANCE SCHEDULE.
- IRRIGATION AUDIT REPORT.
- SOIL ANALYSIS REPORT - VERIFY IMPLEMENTATION OF SOIL REPORT RECOMMENDATIONS.

SAN PEDRO AVENUE



REFERENCE NOTE:

REFER TO SHEET L2.3 FOR MUELO WATER EFFICIENT WORKSHEET CALCULATIONS AND IRRIGATION SCHEDULING.

I SHALL AGREE TO COMPLY WITH THE CRITERIA OF THE CITY OF MORGAN HILL WATER CONSERVATION CHAPTER 18.148 AND TO APPLY THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

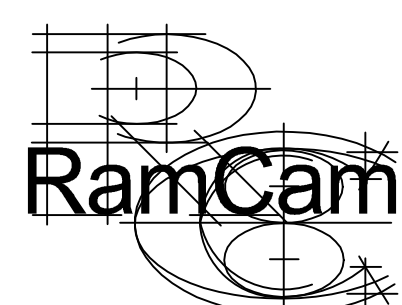
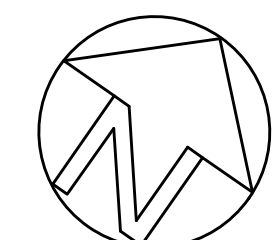
R. DALE HADFIELD
LANDSCAPE ARCHITECT
CA LICENSE 1760

IRRIGATION PLAN
SCALE 1"=10'-0"

0 10' 20' 30'

PROJECT DATA:

TOTAL LANDSCAPE AREA:	4,531 SF.
TOTAL SHRUB AREA:	3,601 SF.
TOTAL MULCH ONLY AREA:	930 SF.
TURF AREA:	0 SF.



RAMCAM ENGINEERING
GROUP, INC.
PLANNING & ENGINEERING
670 E. PARKRIDGE AVENUE, SUITE 101
CORONA, CA 92819
951.7734.0330

All ideas, designs and layouts shown on these drawings, including all documents on electronic media are the property of ramcam group, and are intended to be used in connection with this specific project only and shall not otherwise be used for any purpose whatsoever without the written consent. and may not be reproduced or used without the written permission of ramcam group. All rights reserved

R. DALE HADFIELD
LANDSCAPE ARCHITECT
28311 LAKEWOOD DRIVE
LAQUINA NIGUEL, CALIFORNIA 92677
(949) 367-9275 • dale@rha.com

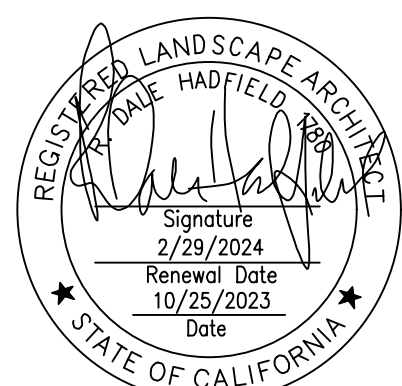
NOT VALID FOR CONSTRUCTION TILL APPROVED BY CITY AND SIGNED BY DESIGN ENGINEER

World Oil Marketing
Company
9302 GARFIELD AVENUE
SOUTH GATE, CA 90280
(562) 928-0100

WOF052

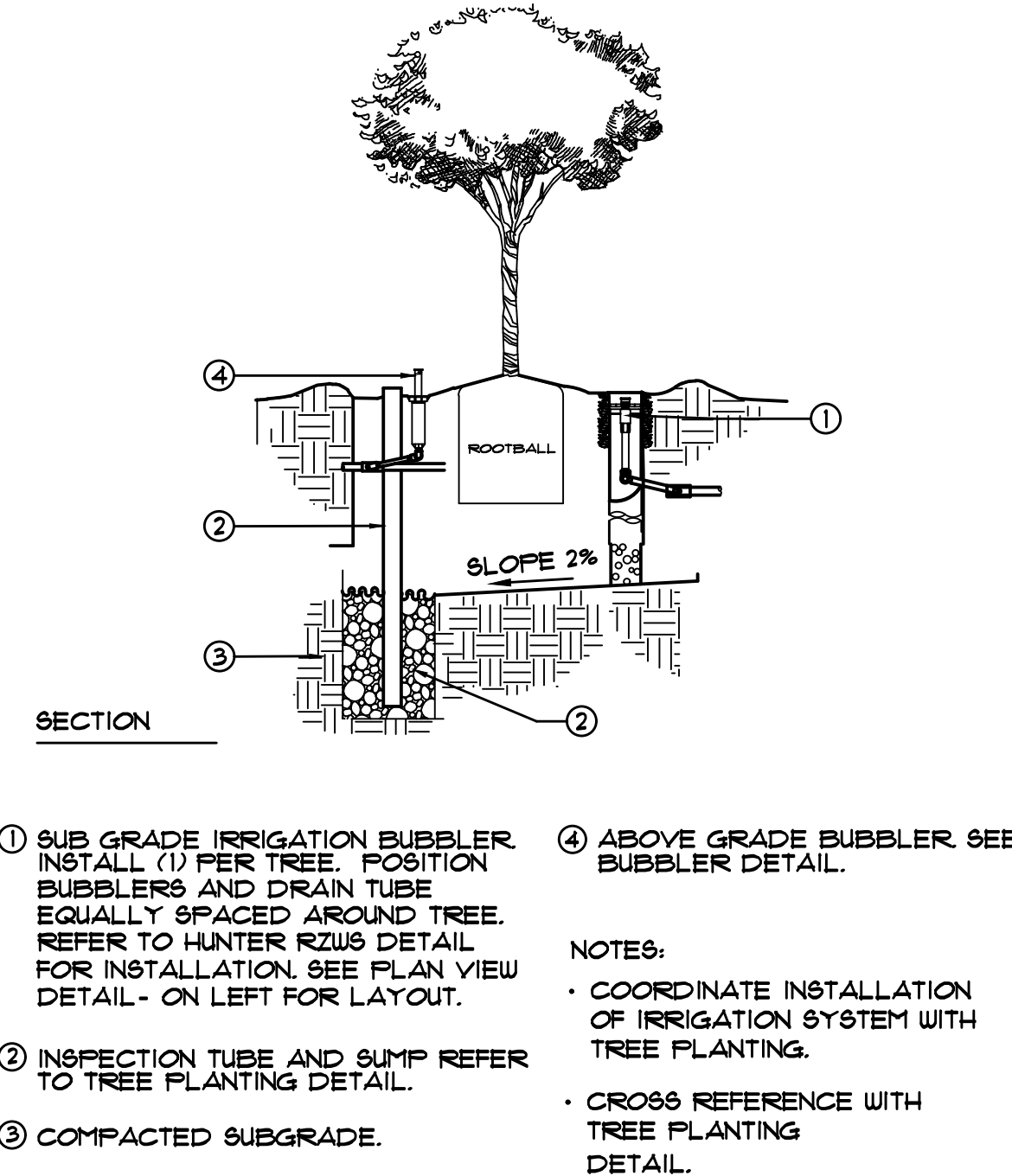
16720 MONTEREY ROAD
MORGAN HILL, CA. 95037

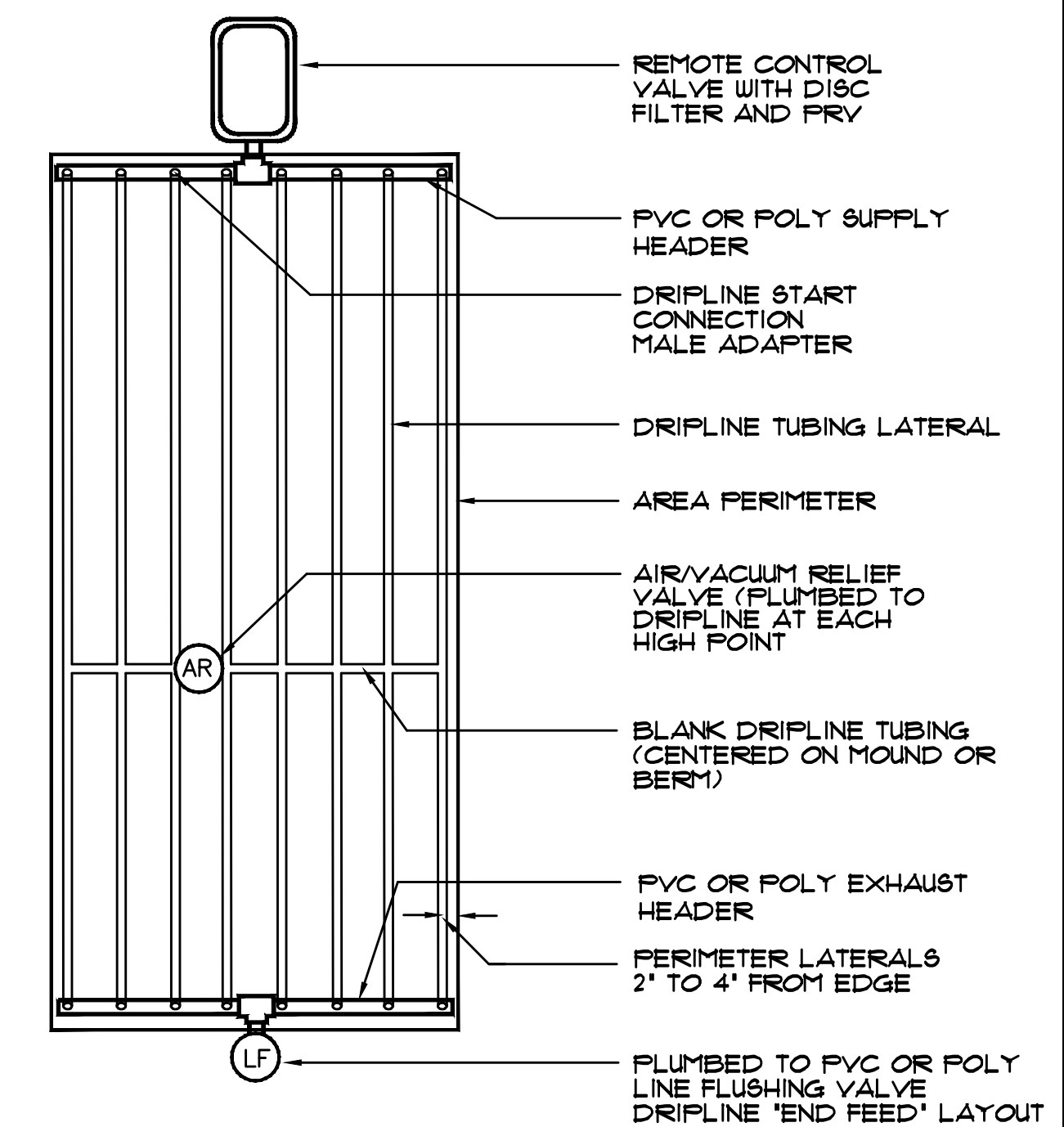
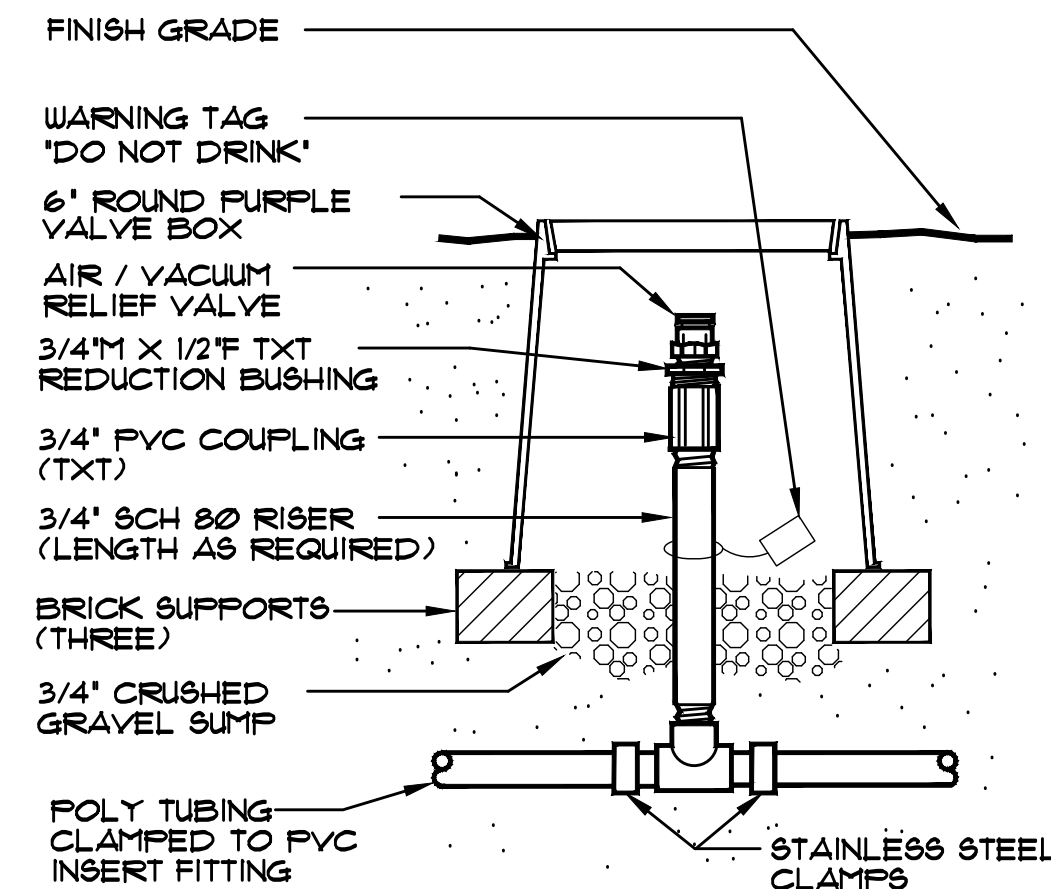
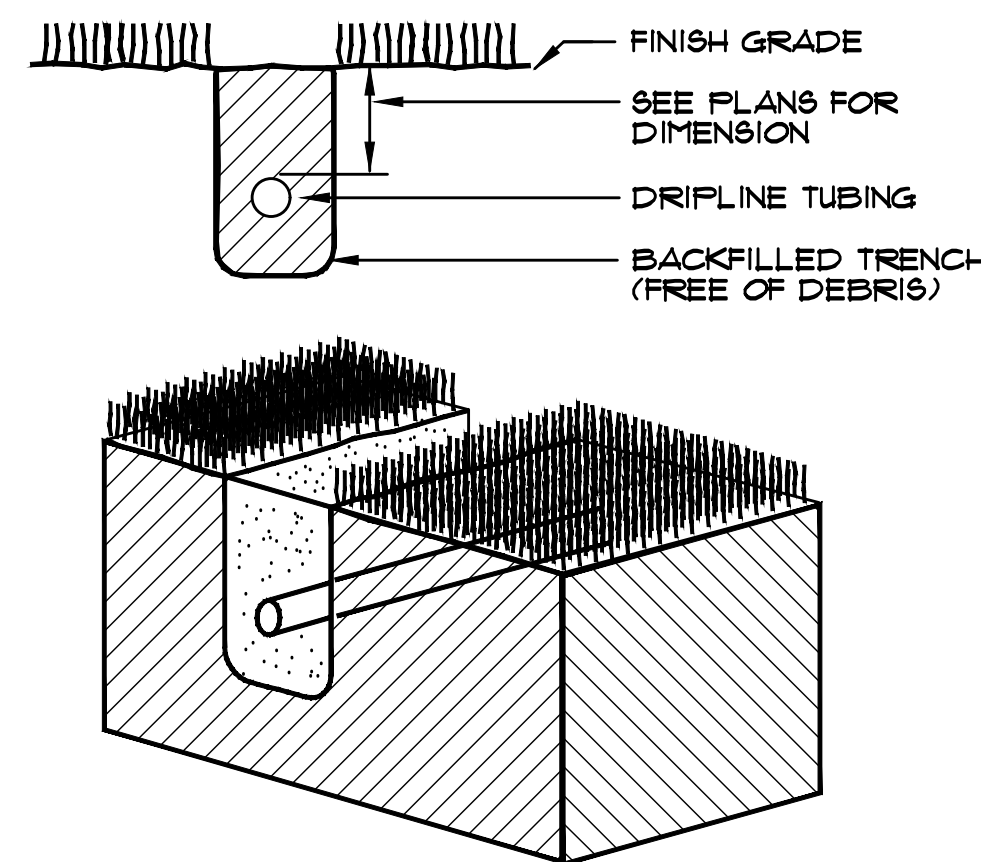
10.25.2023



IRRIGATION
PLAN

L2.1





NO SCALE

(PLUMBED TO POLY)

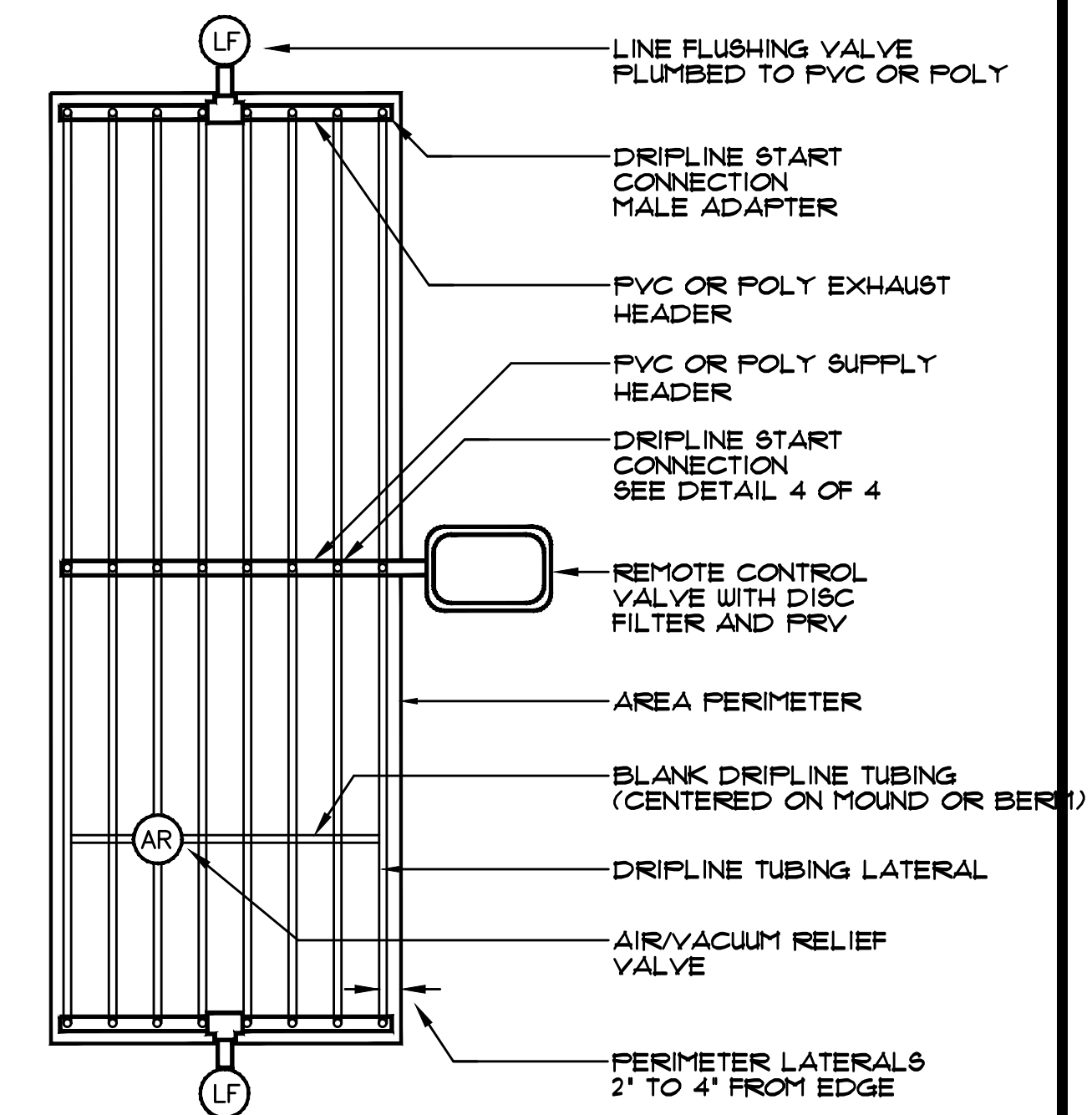
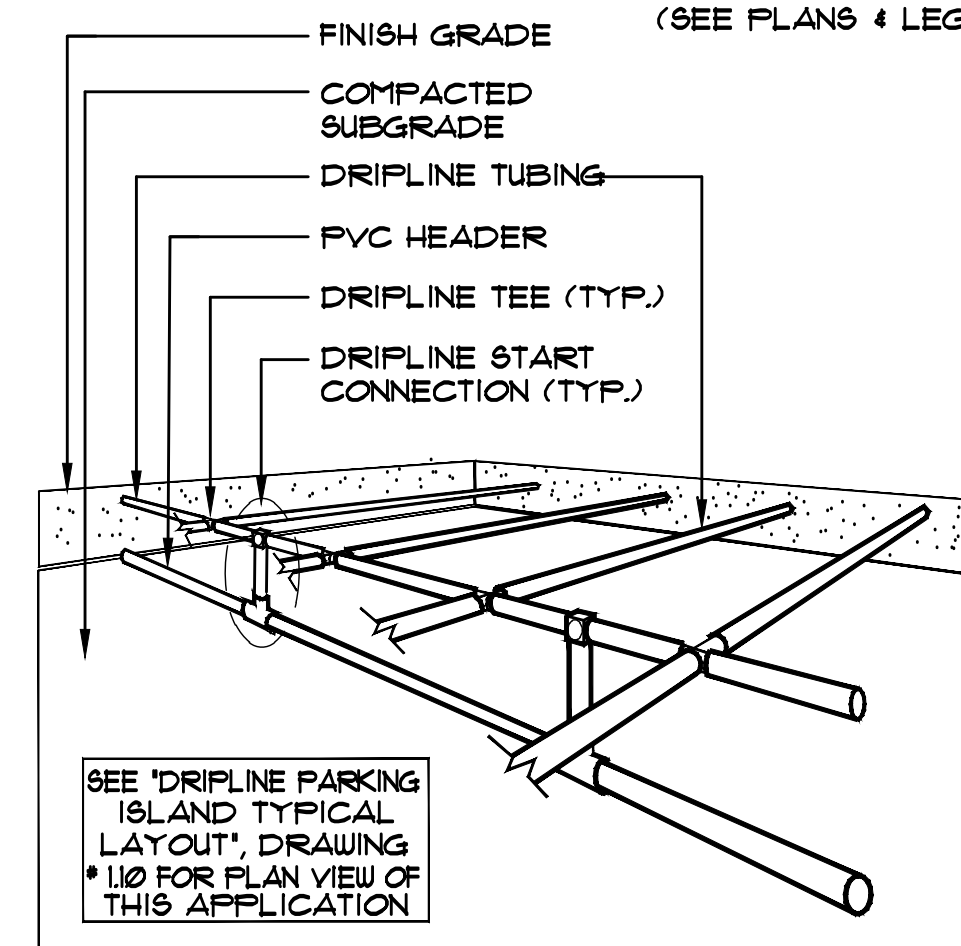
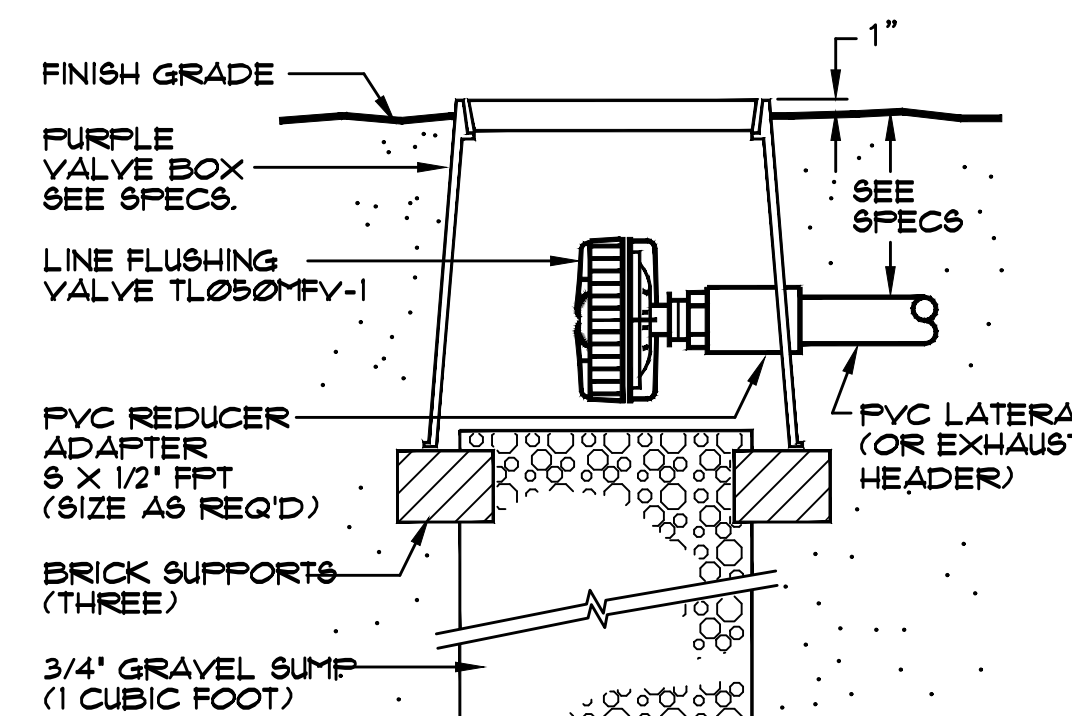
SECTION - NO SCALE

DETAIL - NO SCALE

F	DRIPLINE TRENCHING
---	--------------------

D	DRIPLINE AIR/VACUUM RELIEF
---	----------------------------

A	DISCIPLINE END FEED LAYOUT
---	----------------------------



(PLUMBED TO PVC)

SECTION - NO SCALE

NO SCALE

DETAIL - NO SCALE

G	DRIPLINE LINE FLUSHING VALVE
---	------------------------------

DRIPLINE SUB-HEADER INSTALLATION

B	DRIPLINE CENTER FEED LAYOUT
---	-----------------------------

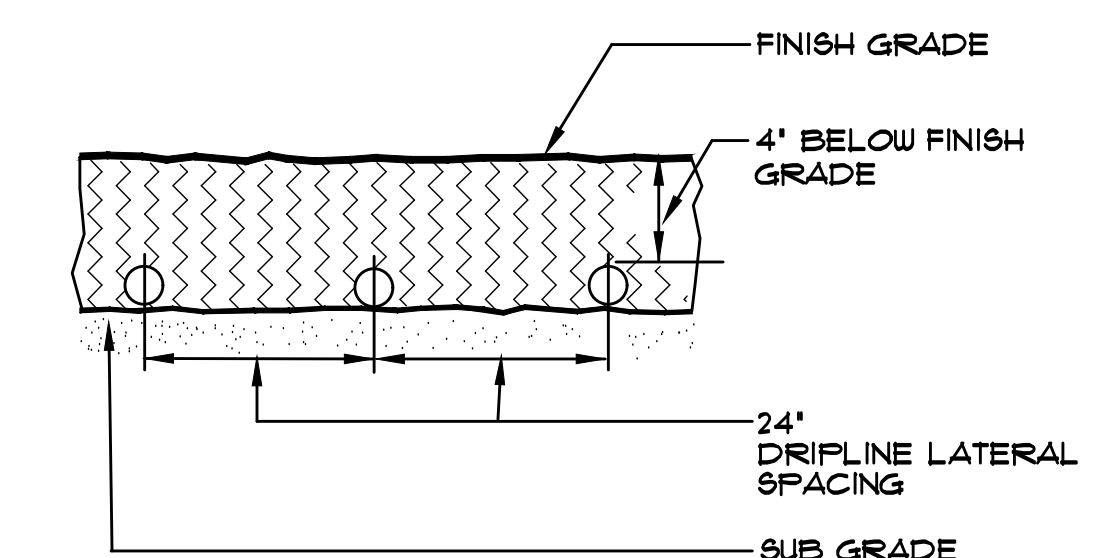
IRRIGATION SCHEDULE - INITIAL-ESTABLISHMENT PERIOD

TIMING CHART					MINUTES OF OPERATION PER CYCLE												
STATION	VALVE SIZE	GPM	HYDRO-ZONE	NO. OF DAYS	CYCLE\$/DAY	JAN.	FEB.	MAR.	APR.	MAY	JUN.	JUL.	AUG.	SEP.	OCT.	NOV.	DEC.
A1	1"	9.9	DRIP	6	2	5	7	9	12	16	18	20	20	15	13	9	5
A2	1"	9.0	TREES	6	2	2	2	3	4	5	6	8	8	6	4	2	2
A3	1"	10.3	DRIP	6	2	5	7	9	12	16	18	20	20	15	13	9	5
A4	1"	7.2	DRIP	6	2	5	7	9	12	16	18	20	20	15	13	9	5

IRRIGATION SCHEDULE - POST-ESTABLISHMENT PERIOD

TIMING CHART					MINUTES OF OPERATION PER CYCLE												
STATION	VALVE SIZE	GPM	HYDRO-ZONE	NO. OF DAYS	CYCLES/DAY	JAN.	FEB.	MAR.	APR.	MAY	JUN.	JUL.	AUG.	SEP.	OCT.	NOV.	DEC.
A1	1"	9.9	DRIP	5	1	5	7	9	12	16	18	20	20	15	13	9	5
A2	1"	9.0	TREES	5	1	2	2	3	4	5	6	8	8	6	4	2	2
A3	1"	10.3	DRIP	5	1	5	7	9	12	16	18	20	20	15	13	9	5
A4	1"	7.2	DRIP	5	1	5	7	9	12	16	18	20	20	15	13	9	5

IRRIGATION SCHEDULES ARE A GUIDELINE ONLY AND DO NOT PROVIDE FOR CHANGING WEATHER CONDITIONS, ETC. CONTRACTOR MAY NEED TO MAKE SLIGHT ADJUSTMENTS IN THE FIELD TO MAINTAIN COVERAGE AND MOISTURE CONTENT IN THE SOIL FOR PROPER AND REQUIRED PLANT GROWTH.



C	DRIPLINE SUBGRADE INSTALLATION
---	--------------------------------

CITY OF MORGAN HILL
PLAN APPROVED

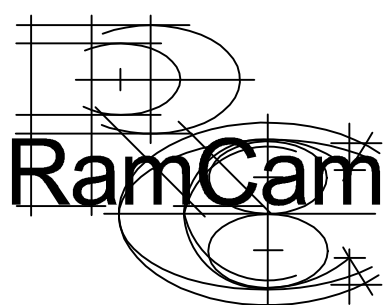
**THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION**

ON 12/15/2023

SR2021-0001

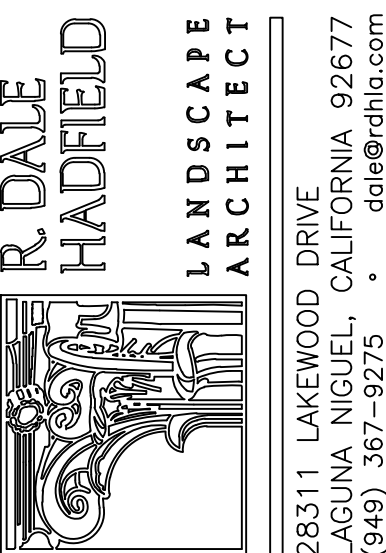
~~FILE NUMBER~~

PLANNING OFFICIAL



**PRAMCAM ENGINEERING
GROUP, INC.**
PLANNING & ENGINEERING
670 E. PARKRIDGE AVENUE, SUITE 101
CORONA, CA 92819
951.734.6330

All ideas, designs and layouts shown on these drawings, including all documents on electronic media are the property of ramcam group, and are intended to be used in connection with this specific project only and shall not otherwise be used for any purpose whatsoever without the written consent. and may not be reproduced or used without the written permission of ramcam group.
All rights reserved



NOT VALID FOR CONSTRUCTION TILL APPROVED BY
CITY AND SIGNED BY DESIGN ENGINEER

World Oil Marketing
Company

9302 GARFIELD AVENUE
SOUTH GATE, CA 90280
(562) 928-0100

WOF052

16720 MONTEREY ROAD
MORGAN HILL, CA. 95037

10.25.2023



IRRIGATION DETAILS

L2.3

File: e:\marks stuff\projects\dwgs-rch\vamcam projects\world oil morgan hill wo52\l3.1 sp.dwg Saved: 8/12/2023 10:42 PM (mark) Plotted: 10/26/2023 1:39 AM

- ## SOIL PREPARATION

- ALL TREES, SHRUBS, AND VINES ARE TO BE BACKFILLED WITH MIX DESCRIBED BELOW.

5. DIG PLANTING PITS 1½ TIMES THE WIDTH AND 1 TIME THE DEPTH OF THE ROOTBALL. FILL PITS WITH BACKFILL MIX TO THE DEPTH OF THE ROOTBALL AND IRRIGATE THOROUGHLY. BE SURE ENTIRE ROOTBALL AREA IS COVERED.

TOPSOIL

- IMPORTED SOILS - PROVIDE SANDY TEXTURED MATERIAL FROM AN APPROVED SOURCE. USE MATERIALS WHICH DO NOT EXCEED THE FOLLOWING LIMITS:

- ## WEED CONTROL

ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR TO APPLYING PRE-EMERGENT. PRE-EMERGENT SHALL BE AS PER MANUFACTURER'S RECOMMENDATION.

CLEAN-UP

AT THE COMPLETION OF ALL PLANTING OPERATIONS, THE PREMISES ARE TO BE LEFT NEAT AND CLEAN. ALL SURPLUS MATERIALS, NURSERY TAGS AND WASTE ARE TO BE REMOVED FROM THE SITE.

MAINTENANCE

- ## GUARANTEE

ALL PLANT MATERIAL UNDER 15 GAL. SIZE TO BE GUARANTEED FOR A PERIOD OF (30) DAYS FROM THE DATE OF ACCEPTANCE. ALL 15 GAL. AND LARGER SIZE PLANT MATERIAL TO BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OF PROJECT.

FINAL INSPECTION

AFTER ALL WORK HAS BEEN ACCOMPLISHED AND THE MAINTENANCE PERIOD HAS BEEN COMPLETED, THE LANDSCAPE ARCHITECT SHALL INSPECT THE WORK FOR FINAL ACCEPTANCE.

A. RECORD DRAWINGS:

- B. CONTROLLER CHARTS:

4. CHART MAY BE A REDUCTION OF THE RECORD DRAWING IF REQUIRED TO FIT THE CONTROLLER DIOR. HOWEVER, KEEP REDUCTION TO MAXIMUM SIZE POSSIBLE.
5. IDENTIFY EACH AREA OF COVERAGE FOR EACH STATION, WITH A PASTEL COLOR CODING OF TOTAL CONTROLLER AREA.
6. WHEN CHARTS ARE APPROVED BY THE LANDSCAPE ARCHITECT, THEY SHALL BE HERMETICALLY SEALED BETWEEN TWO LAYERS OF 20 MIL. THICK PLASTIC SHEETS.
7. CHART MUST BE COMPLETED AND APPROVED PRIOR TO FINAL REVIEW OF IRRIGATION SYSTEM.

C. OPERATING/MAINTENANCE MANUALS:

1. PROVIDE TWO INDIVIDUALLY BOUND MANUALS DETAILING OPERATIONS AND MAINTENANCE REQUIREMENTS FOR IRRIGATION SYSTEMS.
2. ASSEMBLED MATERIAL SHALL BE DELIVERED TO THE LANDSCAPE ARCHITECT PRIOR TO COMPLETION OF WORK.
3. INCLUDE DESCRIPTION OF ALL INSTALLED MATERIALS AND SYSTEMS IN SUFFICIENT DETAIL TO PERMIT OPERATION PERSONNEL TO UNDERSTAND, OPERATE AND MAINTAIN THE EQUIPMENT.
4. PROVIDE THE FOLLOWING IN EACH MANUAL:

INDEX SHEET, STATING IRRIGATION CONTRACTOR'S NAME, ADDRESS, TELEPHONE NUMBER, AND NAME OF PERSON TO CONTACT.

DURATION OF GUARANTEE PERIOD (NEW WORK ONLY).

EQUIPMENT LIST FOR EACH ITEM (EXISTING AND NEW)
SHOWING MANUFACTURER'S REPRESENTATIVE, SPARE PARTS
LISTED IN DETAIL, AND DETAILED OPERATION AND
MAINTENANCE INSTRUCTIONS FOR MAJOR EQUIPMENT.



GROUP, INC.
PLANNING & ENGINEERING
670 E. PARKRIDGE AVENUE, SUITE 101
CORONA, CA 92819
951.734.6330

All ideas, designs and layouts shown on these drawings, including all documents on electronic media are the property of ramcam group, and are intended to be used in connection with this specific project only and shall not otherwise be used for any purpose whatsoever without the written consent. and may not be reproduced or used without the written permission of ramcam group.
All rights reserved



World Oil Marketing
Company

9302 GARFIELD AVENUE
SOUTH GATE, CA 90280
(562) 928-0100

WOF052

16720 MONTEREY ROAD
MORGAN HILL, CA. 95037

10.25.2023



**THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION**

ON 12/15/2023

SR2021-0001

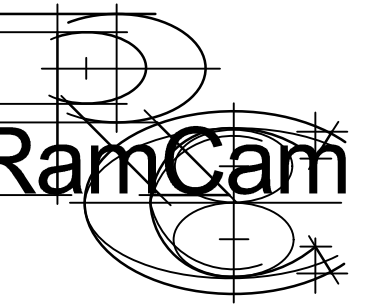
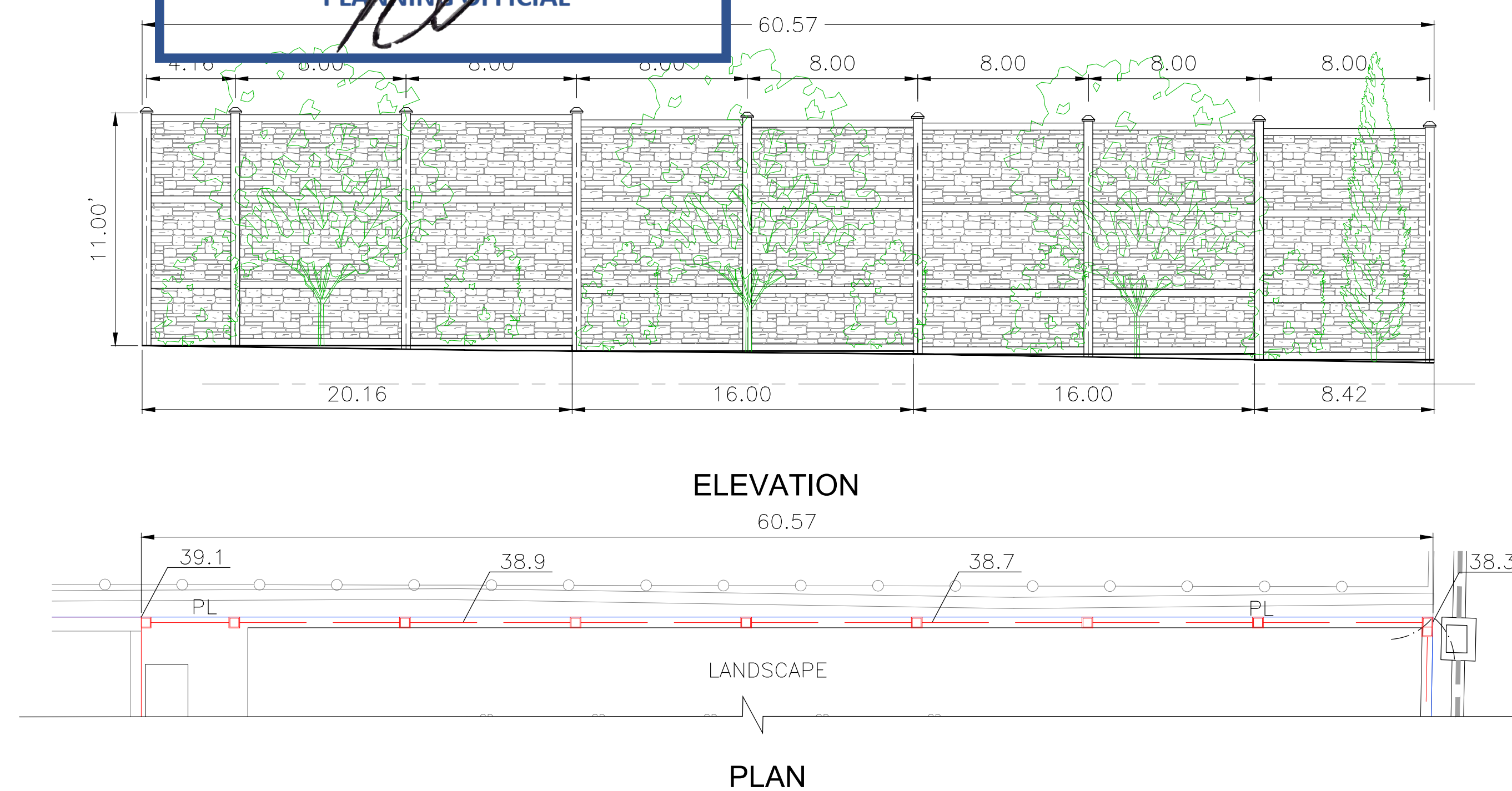
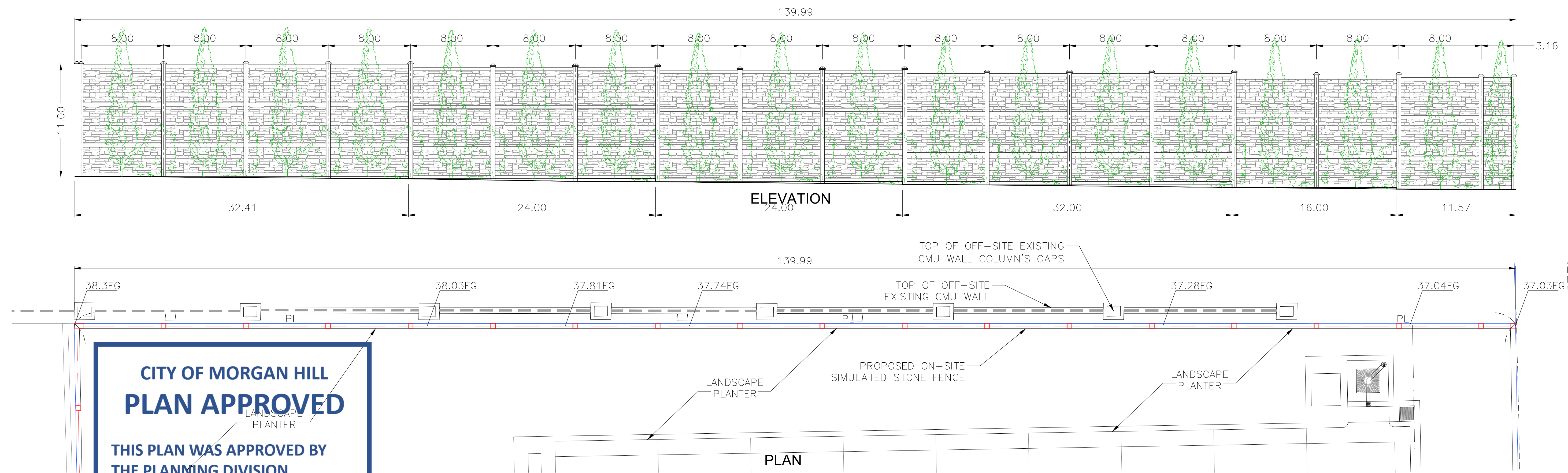
~~FILE NUMBER~~

PLANNING OFFICIAL

LANDSCAPE SPECIFICATIONS

L3.1





**RAMCAM ENGINEERING
GROUP, INC.**
PLANNING & ENGINEERING
670 E. PARKRIDGE AVENUE, SUITE 101
CORONA, CA 92819
951.734.6330

All ideas, designs and layouts shown on these drawings, including all documents on electronic media are the property of ramcom group, and are intended to be used in connection with this specific project only and shall not otherwise be used for any purpose whatsoever without the written consent, and may not be reproduced or used without the written permission of ramcom group. All rights reserved

**World Oil Marketing
Company**
9302 GARFIELD AVENUE
SOUTH GATE, CA 90280
(562) 928-0100

NOF052

6720 MONTERREY HWY
MORGAN HILL, CA. 95037

16.2023

SITE PLAN

A1.1



DO NOT SCALE DRAWINGS.
WRITTEN DIMENSIONS TAKE
PRECEDENCE OVER SCALE
DIMENSIONS

CITY OF MORGAN HILL
PLAN APPROVED

**THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION**

ON 12/15/2023

SR2021-0001

~~FILE NUMBER~~

PLANNING OFFICIAL

A6.0-01 **SOUTH ELEVATION**
SCALE: 1/4"=1'-0"

A6.0-02 **SOUTHWEST ELEVATION**
SCALE: 1/4"=1'-0"

A6.0-03 **WEST ELEVATION**
SCALE: 1/4"=1'-0"

A6.0-04 **EAST ELEVATION**
SCALE: 1/4"=1'-0"

A6.0-05 WALL MOLDING
SCALE: 1/2"=1'-0"

A6.1-06 **WEEP SCREED DETAIL**
SCALE: NONE

ELEVATION KEYNOTES

- 1 STUCCO FINISH: "POINTED ROCK" #DE6363 BY: DUNN-EDWARDS
- 2 STUCCO FINISH: "WHITE" BY: DUNN-EDWARDS
- 3 CLEAR ALUMINUM ANODIZED STOREFRONT SYSTEM WITH DUAL GLAZED TEMPERED GLASS
- 4 TEMPERED GLASS DOOR TO MATCH STOREFRONT
- 5 LOW 'E' TRANSPARENT 1/4" GLAZING-TEMPERED
- 6 LOGO / SIGNAGE UNDER A SEPARATE PERMIT.
- 7 G-O-N® 4 IN. DURABLE GLUE-ON ABS NOZZLE AND ESCUTCHEON OVERFLOW OUTLET PRIMARY OUTLET, UNLESS UNDER SLAB (SEE CIVIL PLANS)
- 8 CLEAR ALUMINUM ANODIZED STOREFRONT SYSTEM WITH DUAL SPANDREL GLASS
- 9 STREET NUMBER
- 10 TRIM AND FASCIA. COLOR: "POINTED ROCK" #DE6363 BY: DUNN-EDWARDS
- 11 ARCHITECTURAL CANVAS AWNING. COLOR: TO MATCH "FOLL" #DE6360 BY: DUNN-EDWARDS. SHOP DRAWINGS REQUIRED.
- 12 PRECAST WALL FOAM MOLDING, CONCRETE COLORED BY VEFO INC. SEE A6.0-05
- 13 SLATE TILE ROOF- 199 CHARCOAL RANGE-GOLDEN EAGLE BY EAGLE ROOFING OR APPROVED EQ. FOR A CLASS "A" ROOFING. ALL ROOF COVERINGS MUST CONFORM TO THE STANDARDS OF CBC 1506 & 1507.
- 14 EXTERIOR LIGHT. SIGN BRACKET STORE - CLASSIC STYLE WALL FIXTURE DERRY HILL 23" HIGH MATTE OUTDOOR WALL LIGHT. COLOR: BLACK. TYP. OF 4.
- 15 80W FULL CUTOFF LED WALL-PACK WPFC2 SERIES-9200 LUMENS
- 16 A/C UNIT
- 17 CONDENSER UNIT
- 18 BURNISH BLOCK WALL-BLACK 250 MW BY ORCO OR EQUAL WITH RACKED WHITE GROUT.
- 19 BURNISH BLOCK WALL-WHITE MW BY ORCO OR EQUAL WITH RACKED BLACK GROUT.
- 20 CLEAR ALUMINUM TRANSACTION DRAWER. INTERBANK QSP-713. SEE A12.0-08
- 21 CLEAR ANODIZED ALUMINUM STORE FRONT SYSTEM WITH BULLET PROOF & LOW 'E' TRANSPARENT GLAZING
- 22 BULLET PROOF/FIBER GLASS PANELS
- 23 2x12 PRECAST WALL CAP

ANTI-GRAFFITI PAINT

- APPLY 3 COATS OF NON-SACRIFICIAL URETHANE ANTI-GRAFFITI PAINT ON EXTERIOR WALLS FROM FINISH FLOOR TO ROOF.
- WALLS MUST BE CLEAR OF DUST & DEBRIS PRIOR TO PAINT APPLICATION.
- CONTRACTOR TO PROVIDE PAINT SPECIFICATIONS FOR APPROVAL.
- PAINT APPLICATION MUST BE OBSERVED BY THE CONSTRUCTION ADMINISTRATOR

1/2" PLYWOOD OR SHEAR WALL WHERE OCCURS

STUCCO FIN. OVER LATH AND BLDG. PAPER

ONE LAYER OF DUPONT TYVEK COMMERCIAL WRAP, ESR-2375. TYP. ON EXTERIOR WALLS.

26 GAUGE GALVANIZED WEEP SCREED SHEET PER UBC (2506.5)

24" LONG GALVANIZED CONTINUOUS SHEET

2x WOOD STUDS PER PLANS

R19 INSULATION. ESR-1134.

5/8" TYPE "X" GYB. BD. FIN. ESL-1034

P.T. SILL PLATE PER STRUCTURAL

FOUNDATION PER PLAN

FINISH SURFACE

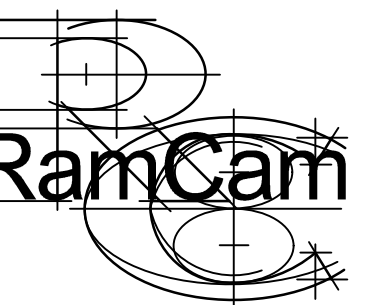
FINISH GRADE

2%

A6.1-06

WEEP SCREED DETAIL

SCALE: NONE



**RAMCAM ENGINEERING
GROUP, INC.**
PLANNING & ENGINEERING
670 E. PARKRIDGE AVENUE, SUITE 101
CORONA, CA 92819
951.734.6330

Ideas, designs and layouts shown on these drawings, including all documents on electronic media are the property of ramcom group, and are intended to be used in connection with this specific project only and shall not otherwise be used for any purpose whatsoever without the written consent, and may not be reproduced or used without the written permission of ramcom group.

**World Oil Marketing
Company**
9302 GARFIELD AVENUE
SOUTH GATE, CA 90280
(562) 928-0100

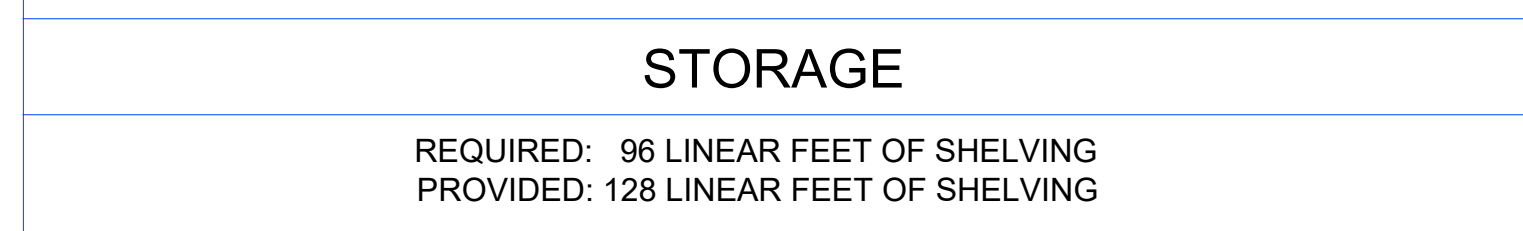
NOF052

6720 MONTERREY HWY
MORGAN HILL, CA. 95037

01.2023

EXTERIOR ELEVATIONS & DETAILS

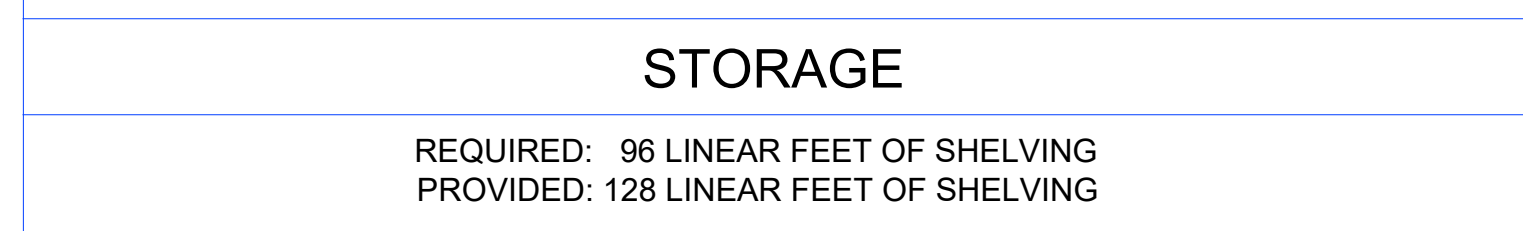
A6.0



All ideas, designs and layouts shown on these drawings, including all documents on electronic media are the property of ramcam group, and are intended to be used in connection with this specific project only and shall not otherwise be used for any purpose whatsoever without the written consent, and may not be reproduced or used without the written permission of ramcam group.
All rights reserved.

11.01.2023

A4.0



All ideas, designs and layouts shown on these drawings, including all documents on electronic media are the property of ramcam group, and are intended to be used in connection with this specific project only and shall not otherwise be used for any purpose whatsoever without the written consent, and may not be reproduced or used without the written permission of ramcam group.
All rights reserved.

11.01.2023

A4.0

A4.0-03 **EQUIPMENT SCHEDULE**
SCALE: NONE