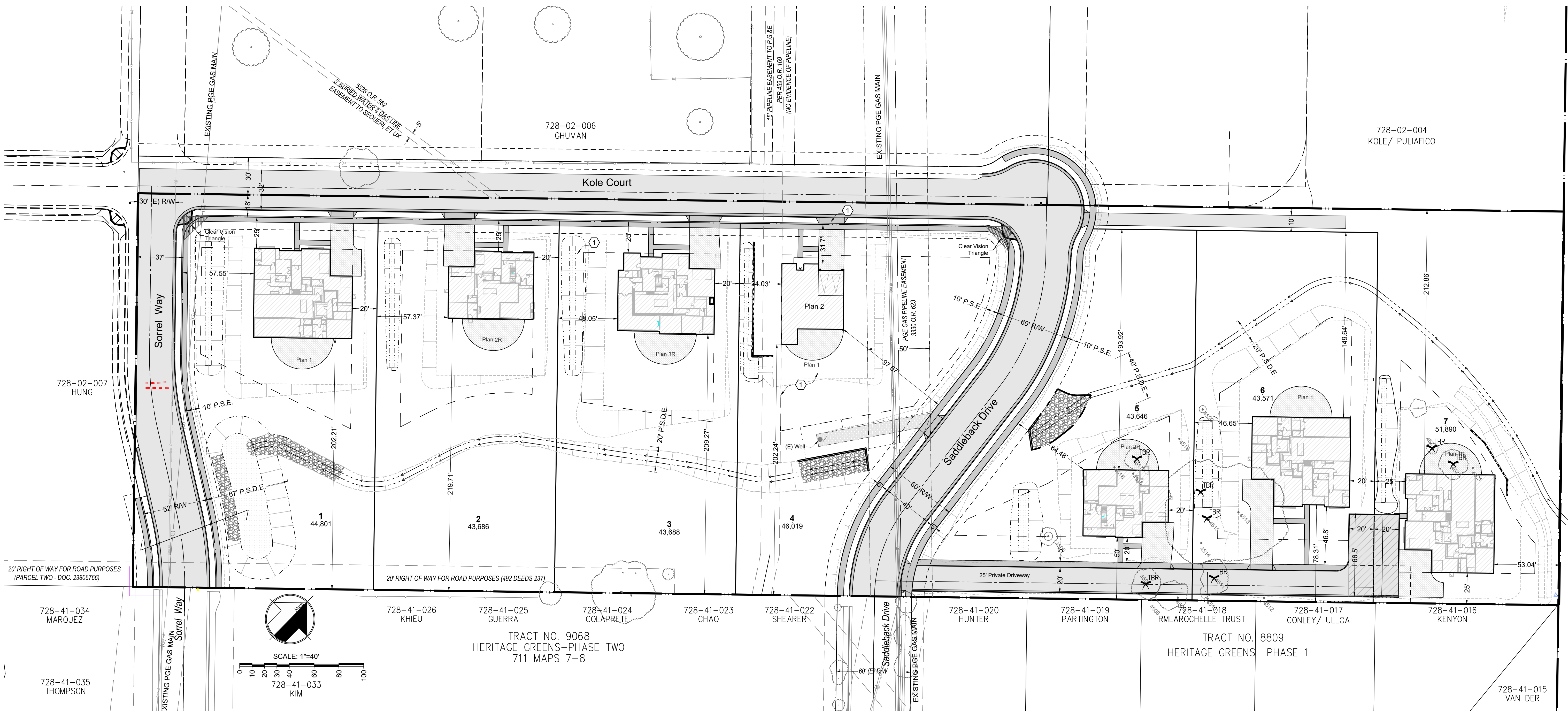




Building Coverage Calculations			
Lot #	Lot Area (SF)	Building Area (SF)	Building Coverage (%)
1	44,801	5300	11.83%
2	43,686	3463	7.93%
3	43,688	4631	10.60%
4	46,019	5300	11.52%
5	43,646	3463	7.93%
6	43,571	5300	12.16%
7	51,890	5300	10.21%

Applicant/Owner:

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Cupertino, CA 95014
(408) 396-2706

Engineer:

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MH Engineering
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Morgan Hill, CA 95037
(408) 779-7381
billm@mhengineering.com

Planner:

Vince Burgos
2424 Calle Galicia
Santa Barbara, CA 93109
(408) 421-2695

Project Information:

APN: 728-02-003
Present Use: Residential / Open
Proposed Use: Residential
Present Zoning: Residential Estate (RE 1)
Proposed Zoning: Residential (RE 1)
Sanitary Sewer: City of Morgan Hill
Gas and Electric: PG&E
Water: City of Morgan Hill
Telephone: Verizon
Existing Improvements: As Shown
Area: 8.37 ac

Legend:

- TBR Existing tree to be removed
- Building Setback Line
- Relocate (E) Water Lines and Easements

Vicinity Map

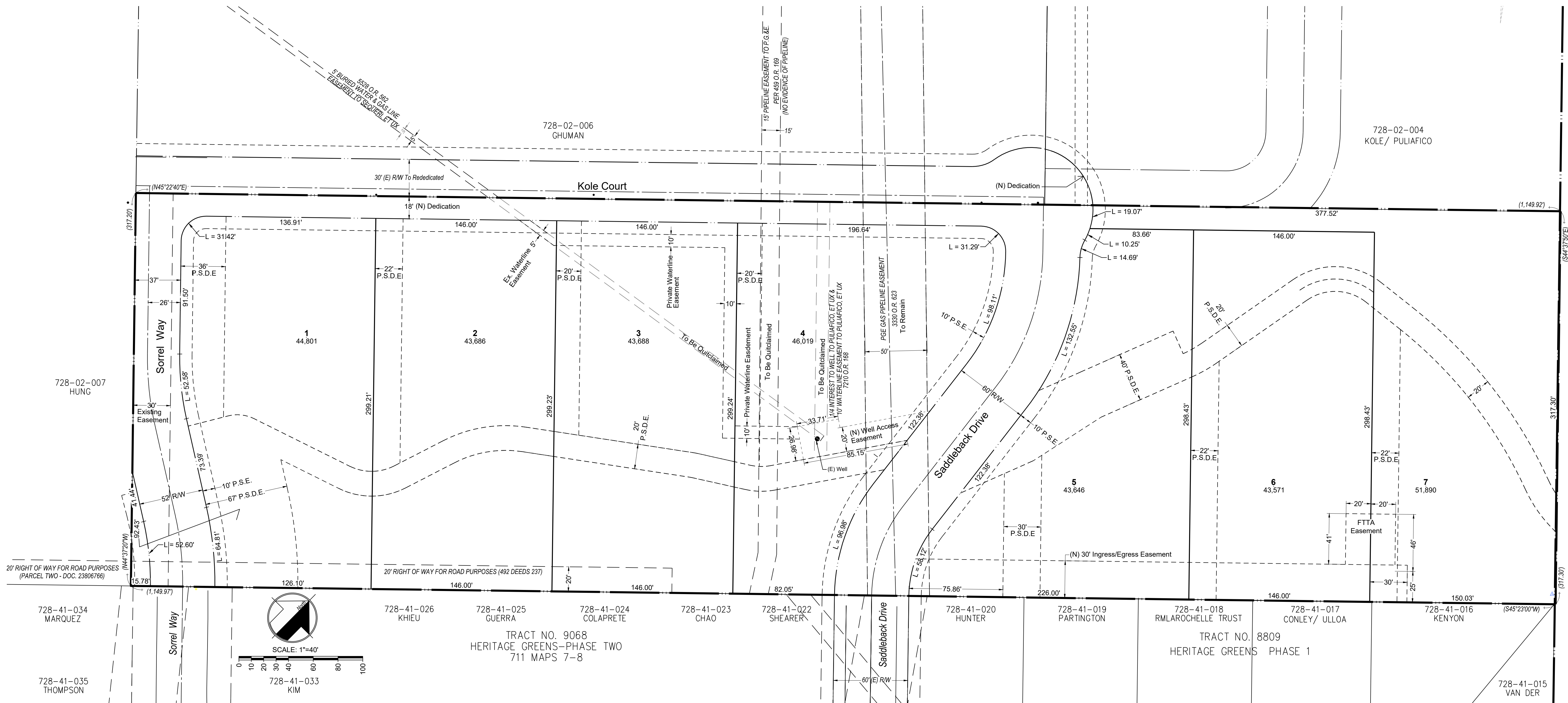


Sheet Index

#	Sheet Title
1	Site Development Plan
2	Tentative Map
3	Preliminary Grading Plan
4	Preliminary Grading Cross Sections
5	Preliminary Utility Plan
6	Preliminary Stormwater Control Plan

Serene Hills

Site Development Plan



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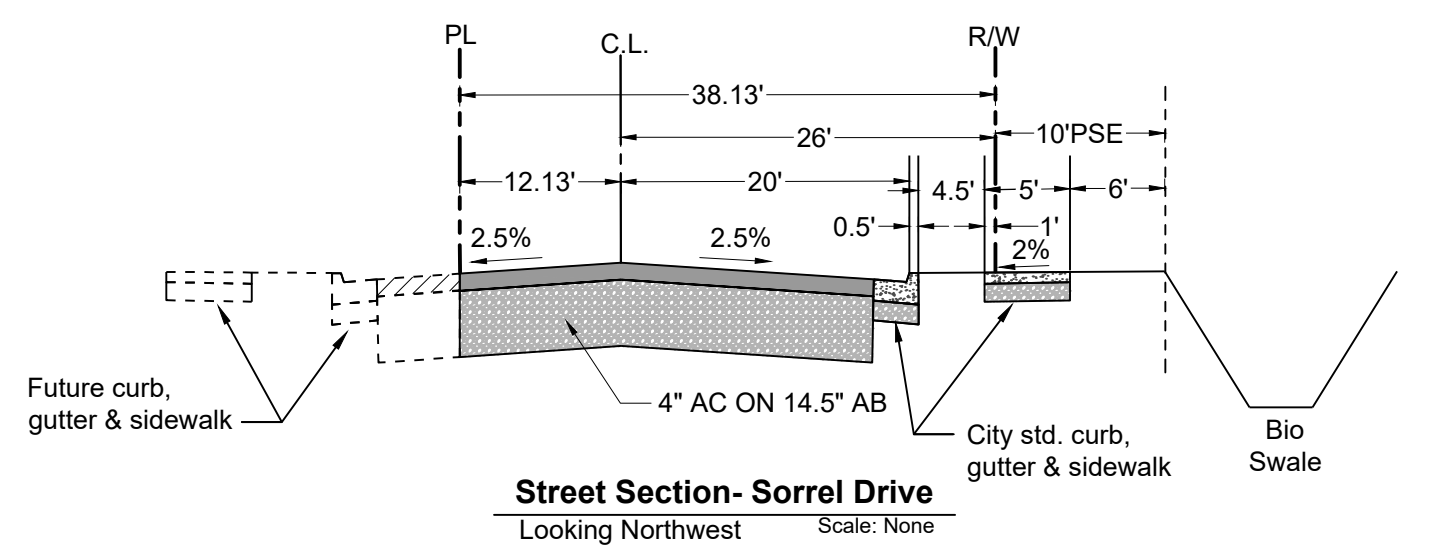
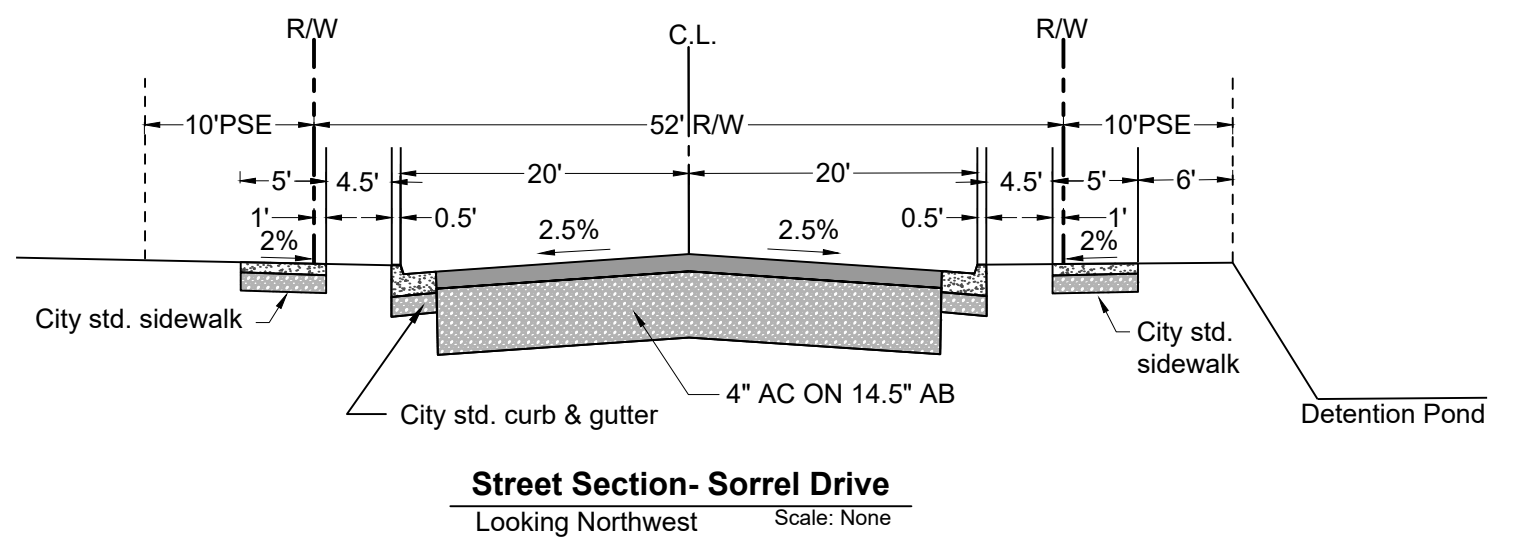
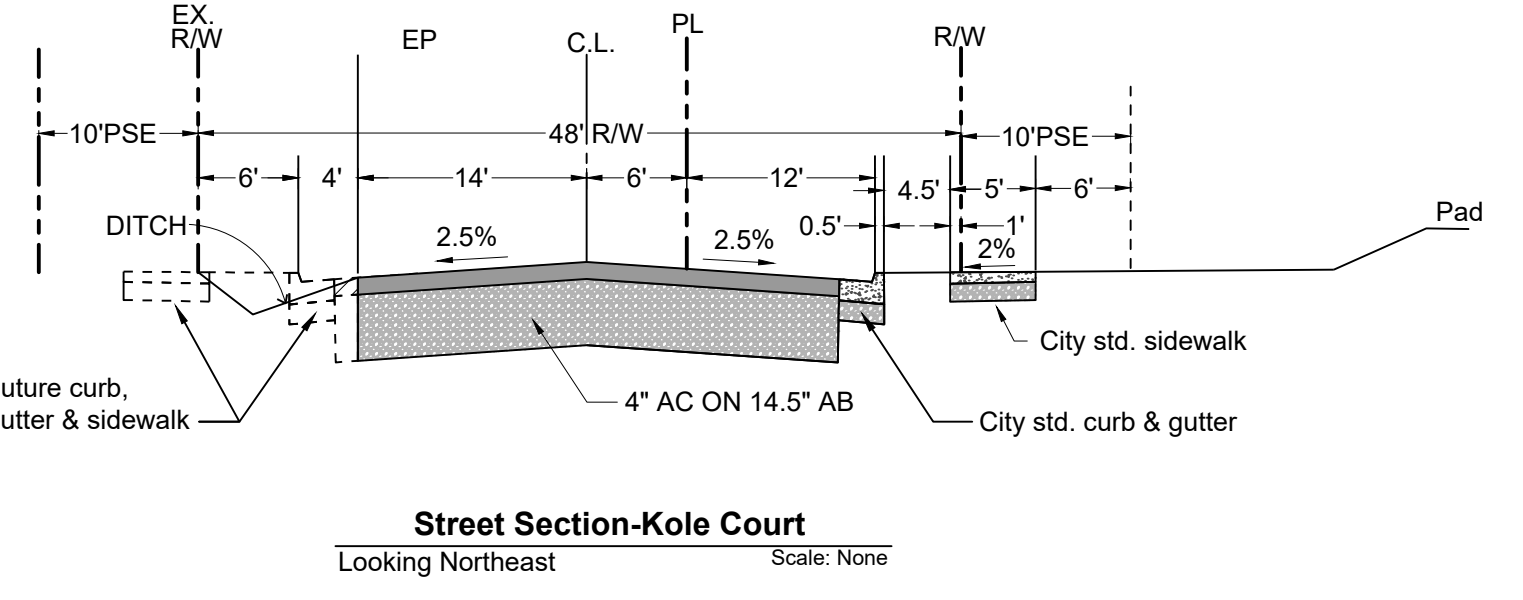
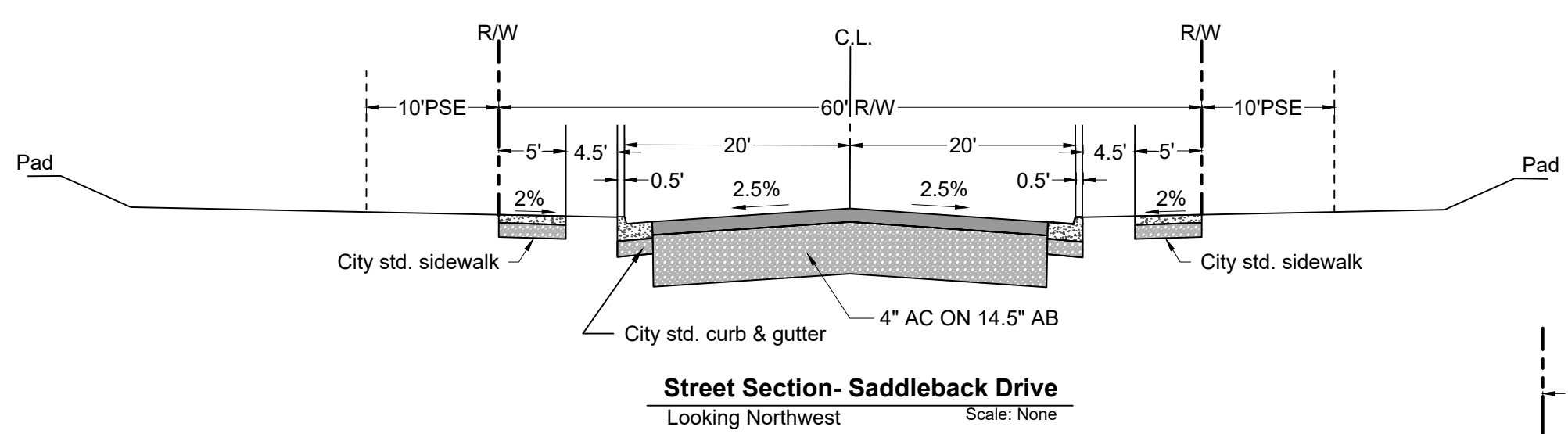
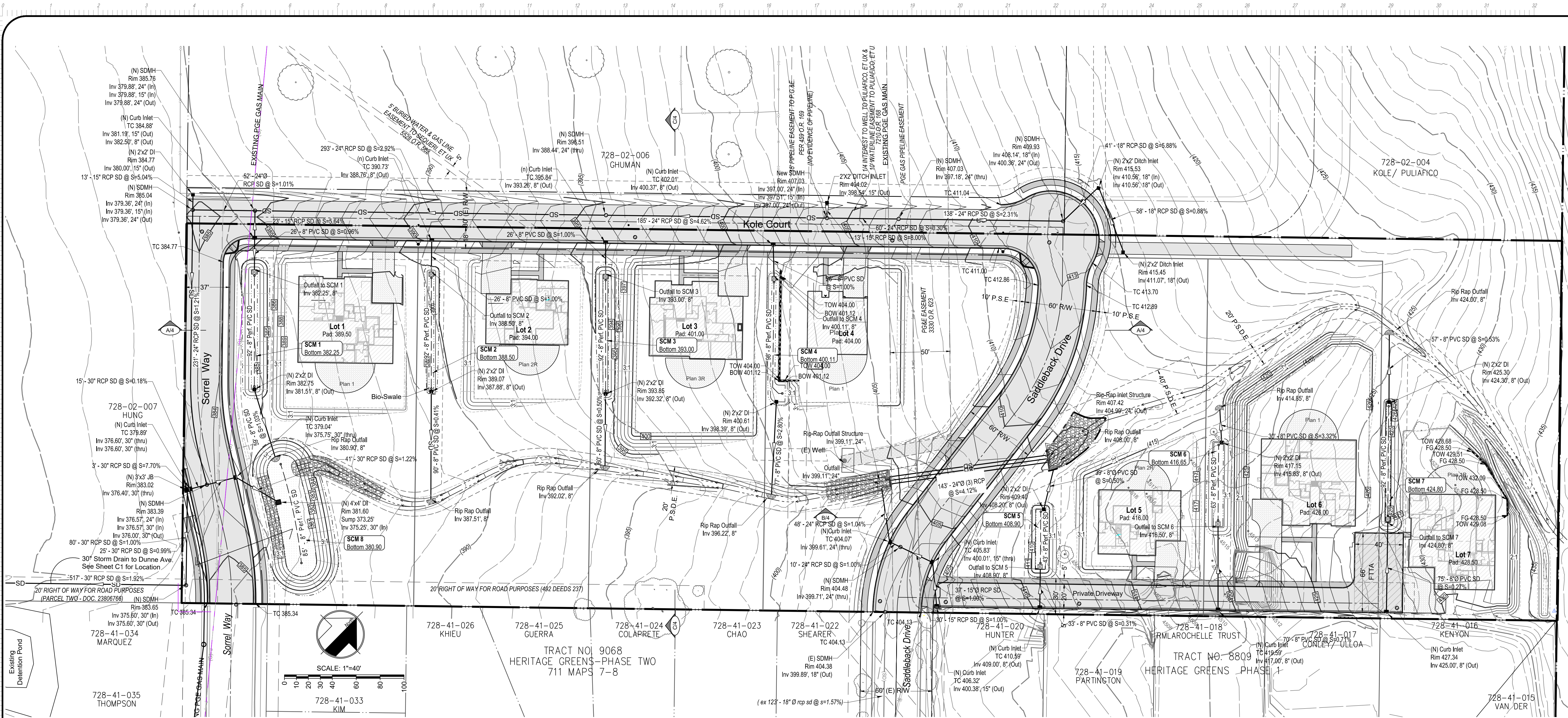
Planner:
Vince Burgos
220 Live Oak Drive
Danville, CA 94506
(408) 421-2695

Project Information:

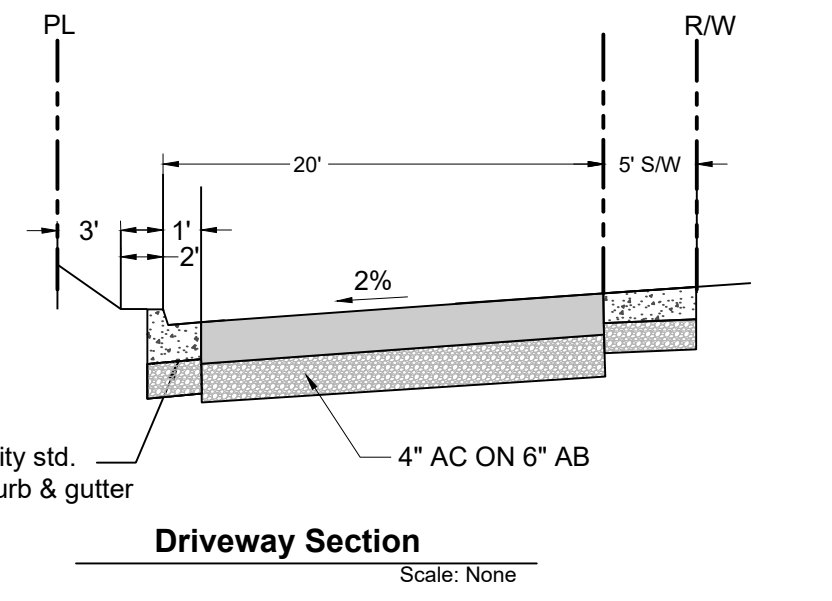
APN:	728-02-003
Present Use:	Residential / Open
Proposed Use:	Residential
Present Zoning:	Residential Estate (RE 1)
Proposed Zoning:	Residential (RE 1)
Sanitary Sewer:	City of Morgan Hill
Gas and Electric:	PG&E
Water:	City of Morgan Hill
Telephone:	Verizon
Existing Improvements:	As Shown
Area:	8.37 ac

Serene Hills

Tentative Map



Grading Quantities		
	Cut (CY)	Fill (CY)
Rough Grading	4990	7754
Import		2,764 CY



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Serene Hills

Preliminary Grading Plan

Broadband Standards

CITY OF MORGAN HILL

For Broadband connectivity, a project is required to install conduits in all the public rights-of-way fronting the project site to accommodate multiple broadband providers. The following standards apply:

A. Design Plans

- The project is required to submit design plans to include an engineering plan and profile of each street showing the location of existing underground utilities in the proposed path of the broadband conduit installation.
- The design plans shall also include the approximate locations and dimensions for surface restoration.

B. Broadband Conduit

- Provide a minimum of two (2) conduits each with at least two pull cables. At least one conduit shall remain empty and reserved for use by a potential future broadband service provider.
- Each conduit shall be a 4" diameter PVC pipe, non-pressure type but has adequate stiffness for direct burial usage without encasement in concrete. The type of pipe shall be consistent with industry standards and be orange in color.
- Broadband system designers shall field-verify the locations of existing utilities and surface features along and adjacent to the proposed conduit alignment.
- The preferred horizontal conduit alignment is at centerline of sidewalk or as approved by the City Engineer.
 - For conduits allowed in the street: Locate new conduit 3' from face of curb. Conduits shall be located parallel to the street centerline, where practicable, and shall not meander along the street. Street crossings shall be perpendicular to the street centerline.
- Horizontal Clearance:
 - Minimum 1' horizontal clearance from new conduit to other existing utilities, excluding water mains, gas lines, and electric lines.

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- Minimum 3' horizontal clearance from new conduit to existing water main.

- The applicant is responsible for checking with owners of adjacent non-City utilities (ex. gas and electric lines) to verify their required horizontal separation requirements.

- All conduits shall be installed underground using directional boring method or open trench.

a. For Directional Bore Design

- Plans shall include a layout plan and profile sheets for directional bores. All existing utilities must be shown to scale on the plan and profile views.

- Vertical Clearance: Provide 3' minimum vertical clearance from all utilities. This includes minor services, such as water services and sewer laterals. For deep crossings, provide a minimum of 5' clearance from utilities and structures. The applicant is responsible for checking with owners of adjacent non-City utilities (ex. gas and electric lines) to verify their required vertical separation requirements.

- Boring and Receiving Pits: Show the length, width, depth, and location of the boring and receiving pits on the plans and profiles. The pits are to be located to minimize the construction impact to the adjacent properties and streets. Pits should not be in front of existing driveways, restaurants, bus stops, fire hydrants, and within street intersections.

- Conflicts with Trees: If trees are in the way of the directional bore, the conduit shall be bored 8' to 12' underneath the tree roots rather than around the tree.

b. For Trench Design

- For open-trench construction in the street: Conduit shall have a minimum cover of 36" above the top of the conduit and allow at least 6" between the top of the conduit and the bottom of the street structural pavement section.

- For a trench outside the street section: Conduit shall have a minimum cover of 30".

- Open trenches deeper than 60" must comply with Cal/OSHA standards, requiring protective systems, such as shoring.

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- Vertical Clearance: Provide 12" minimum vertical clearance from all other utility lines and services, including other telecommunication lines.

- Tracer Wire: The conduits shall be installed with a tracer wire.

- Install tracer wire in the trench or bore with all underground conduits. Ensure the tracer wire provides end-to-end electrical continuity for electronically locating the underground conduit system.

- In a trenching operation, install the tracer wire no more than 3" above the conduit.

- In a boring operation, install the tracer wire in an encasement.

C. Pullboxes

- Indicate locations of all pullboxes, other service boxes and manholes on the design plans.
- Pullboxes shall be a No. 8 pullbox per City of Morgan Hill Standard E-6.
- Pullboxes and splice boxes shall be located within the park strip/planter strip or at the back of sidewalk unless the City Engineer approves an alternative location.
- The maximum distance between any two pull boxes shall not exceed 1,200 feet. Within the 1,200-foot distance, provide pullboxes at locations wherever the cumulative change of direction of the conduit exceeds 180 degrees.
- The minimum bending radius for conduit shall be 3 feet.
- Pullboxes shall be located a minimum of 12 inches from all structures.

D. Manholes

- A detail of the manhole must be shown on the plans.
- Manholes for broadband conduit shall not be allowed in the street unless an exception is granted by the City Engineer.

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- Manholes allowed to be in the street must have cast iron frames and covers.

- Manholes that are in sidewalks shall have a concrete polymer frame and cover that matches the color and texture of the sidewalk.

- Manholes shall not be placed within a driveway approach or within the curb return at intersections.

- All manholes must be rated for a minimum H-20 wheel load.

- The name "BROADBAND" shall be permanently cast into or engraved on the manhole covers.

E. Related Work

Refer to the City's Design Standards and Standard Details for Construction for pavement materials, trench limits of restoration, backfill for boring, and backfill for trenching.

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Legend

Proposed	Description	Existing
	Project Property Boundary	
	Centerline	
	Easement, as noted	
	Curb and Gutter	
	Driveway Approach	
	Storm Drain	
	Perforated Storm Drain	
	Sanitary Sewer	
	Water Main	
	Irrigation Line	
	Fire Service	
	Gas Main	
	Underground Electric	
	Overhead Electric	
	Telephone	
	Overhead Telephone	
	Joint Trench/Broadband	
	Chainlink Fence	
	Wood Fence	
	Street Barricade	
	Major Contour	
	Minor Contour	
	Benchmark	
	Monument, Type as shown	
	Revision	
	Section	
	Swale Slope	
	Storm Drain Manhole	
	Curb Inlet	
	Drop Inlet	
	Sanitary Sewer Manhole	
	Fire Hydrant	
	Cleanout	
	Gate Valve	
	Utility Pole	
	Electroliner	
	Sewer Service	
	Water Service	
	AC Pavement	
	AB Areas	
	PCC walks/driveways	
	Structures	
	Bio-Retention Area	
	Decorative Pavers	

* existing features are labeled in italics and parenthesis, typical

Serene Hills

Preliminary Grading Cross Sections

Applicant/Owner:

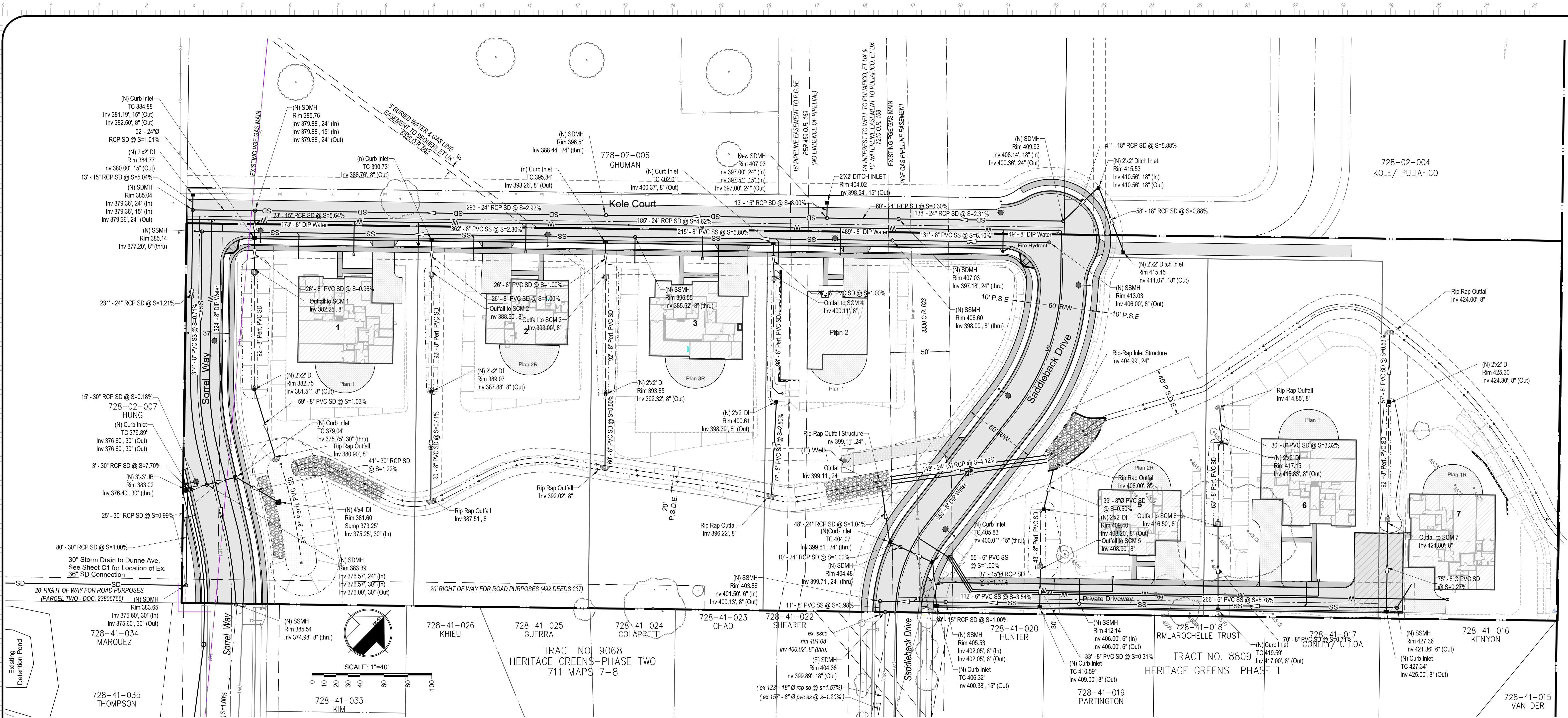
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Planner:

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Fire Hydrant Location Identifier:
Prior to project final inspection, the general contractor shall ensure that an approved ("Blue Dot") fire hydrant location identifier has been placed in the roadway, as directed by the fire department.

Utility Note:
Underground all existing overhead utilities along Kole Court and within the project boundary in accordance with city standards and affected utility company standards.

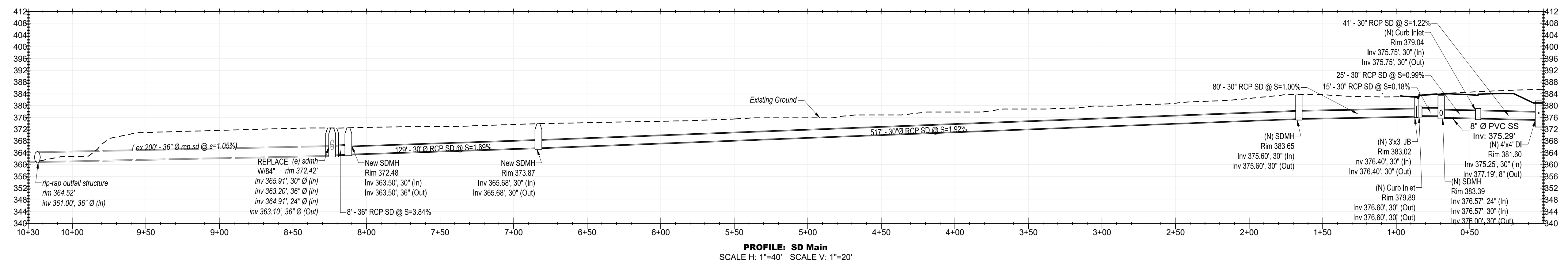
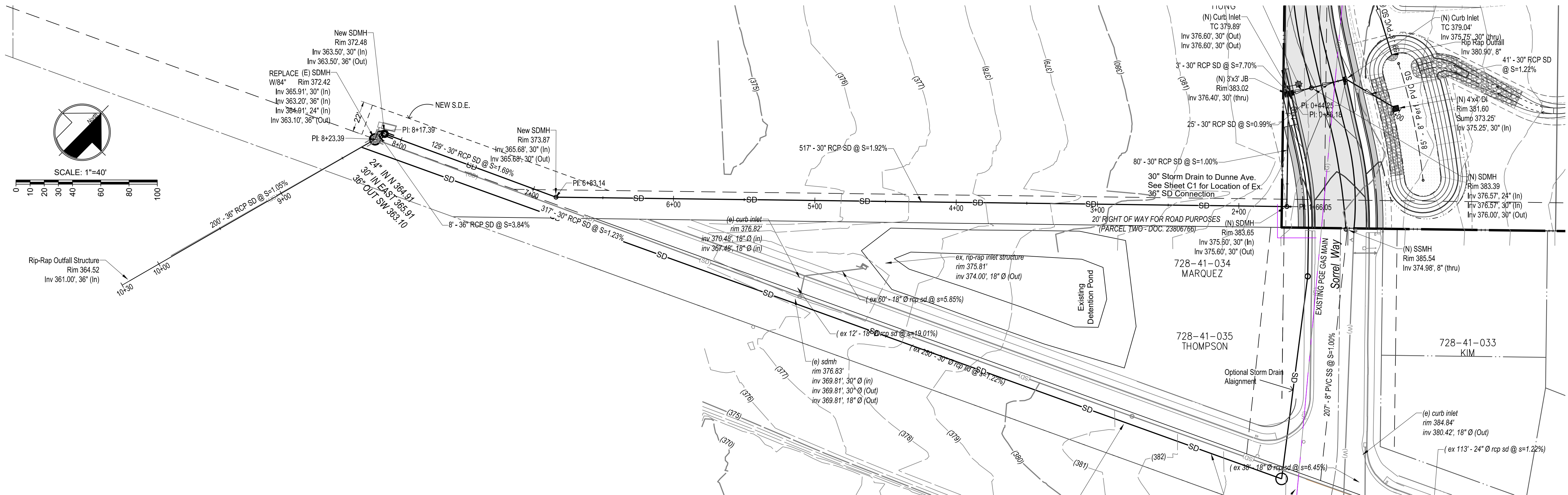
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Preliminary Utility Plan



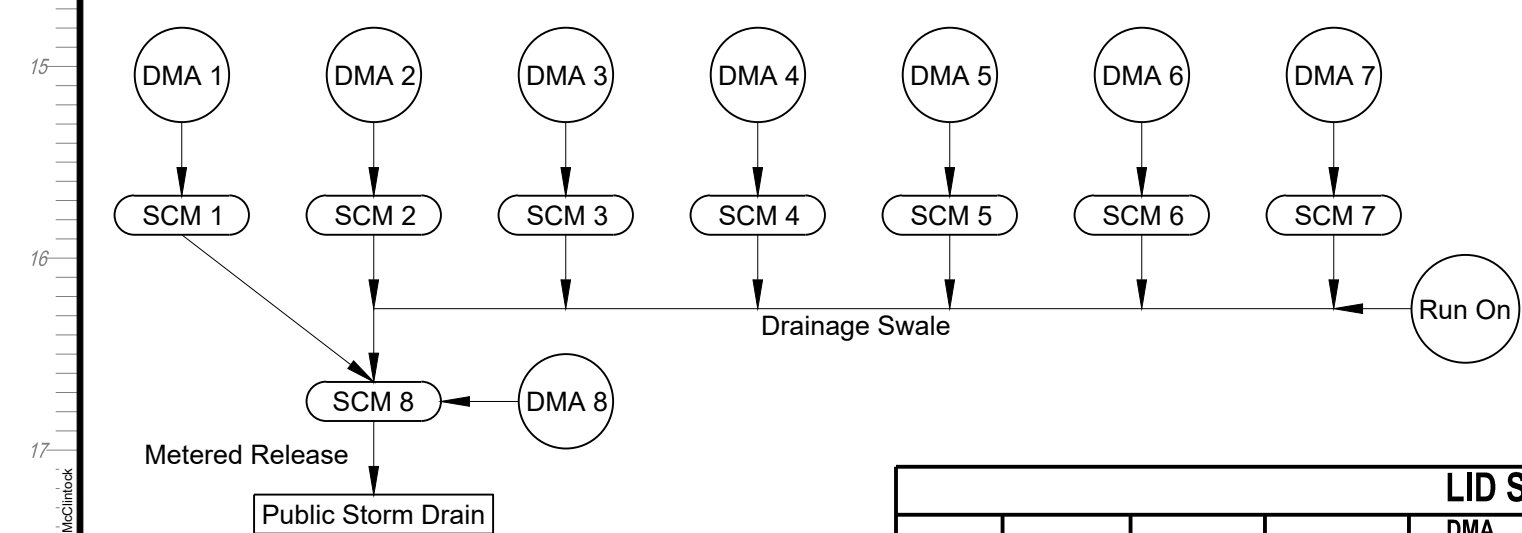
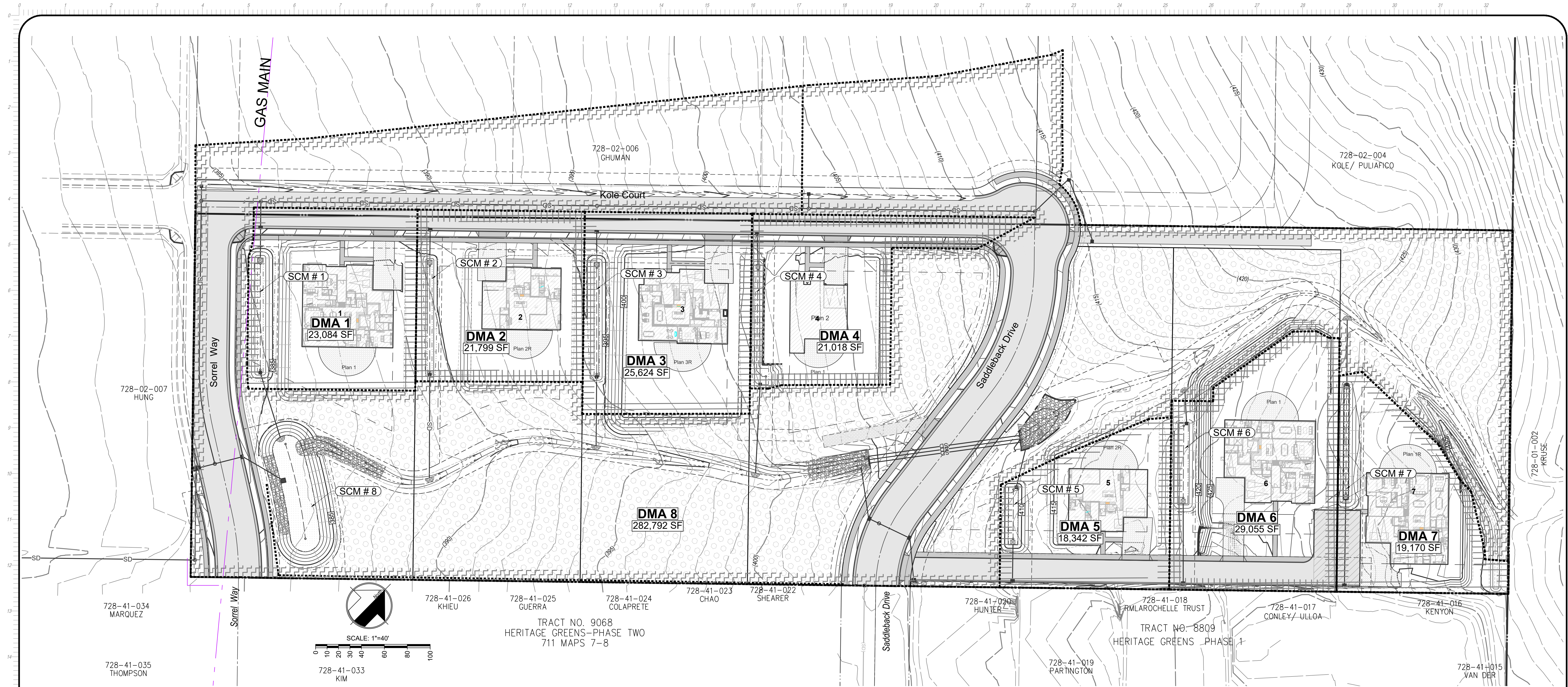
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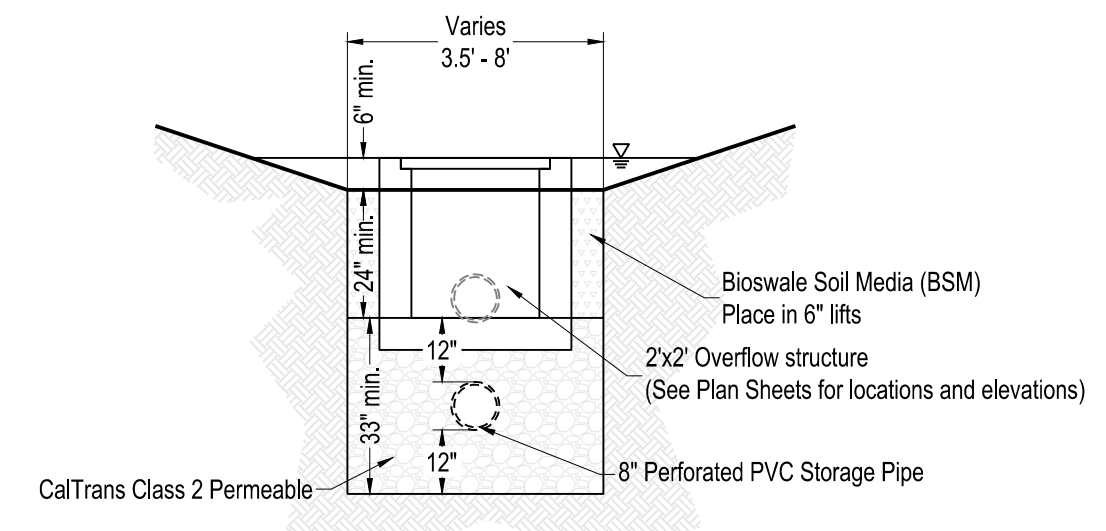
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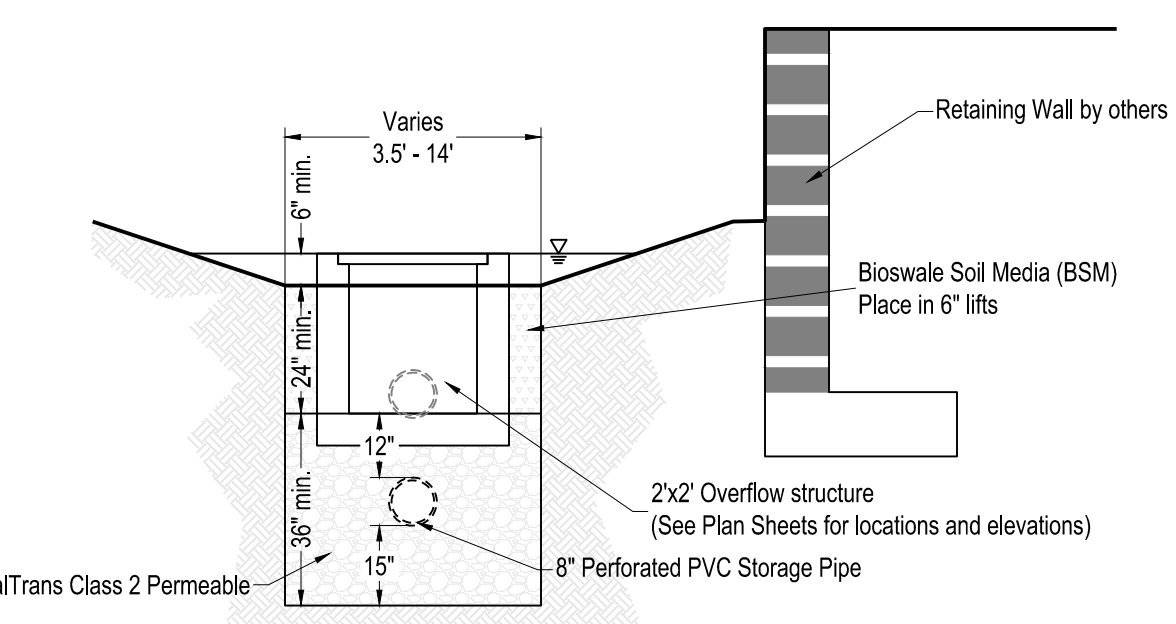
Plan-Profile - Storm Drain Extension



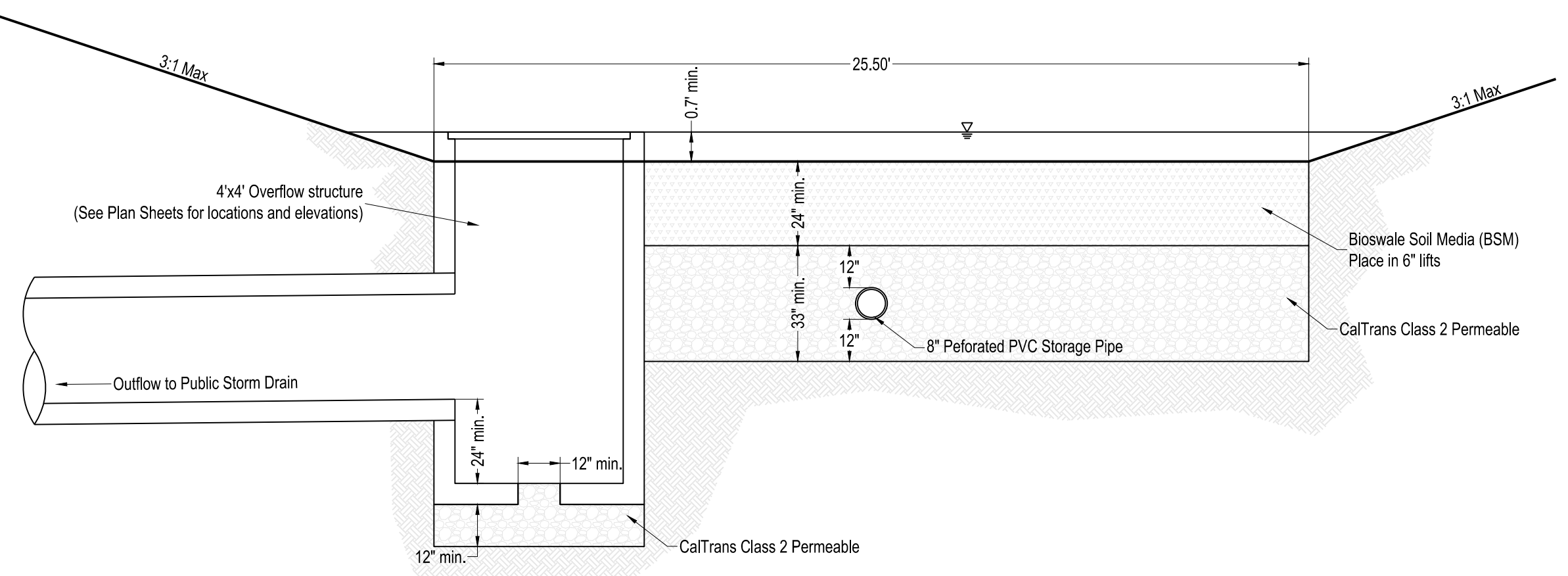
LID Sizing Table											
DMA	BMP	Description	Total DMA Area	DMA Impervious Area	i	C	Required Treatment Area	Provided Treatment Area	Required Retention Volume	Provided Retention Volume	
1	SCM 1	Bioswale	23,084 SF	10,852 SF	0.47	0.32	434 SF	500 SF	1,018 CF	1,147 CF	
2	SCM 2	Bioswale	21,799 SF	8,997 SF	0.41	0.29	360 SF	400 SF	860 CF	937 CF	
3	SCM 3	Bioswale	34,456 SF	10,185 SF	0.40	0.28	407 SF	450 SF	981 CF	1,041 CF	
4	SCM 4	Bioswale	53,317 SF	12,247 SF	0.58	0.40	490 SF	486 SF	1,144 CF	1,174 CF	
5	SCM 5	Bioswale	18,342 SF	8,916 SF	0.49	0.33	357 SF	400 SF	834 CF	893 CF	
6	SCM 6	Bioswale	29,055 SF	12,286 SF	0.42	0.29	491 SF	560 SF	1,169 CF	1,247 CF	
7	SCM 7	Bioswale	19,170 SF	8,791 SF	0.46	0.31	352 SF	400 SF	827 CF	830 CF	
8	SCM 8	Bioretention/ Detention Pond	282,792 SF	45,861 SF	0.16	0.15	1,834 SF	1,867 SF	3,366 CF	4,622 CF	
Total			482,016 SF	118,134 SF	0.27	0.21	4,725 SF	5,063 SF	10,198 CF	11,892 CF	



Bioswale Detail: SCMs 1-3, & 5-7
Scale: none



Bioswale Detail: SCM 4
Scale: none



Bioswale Detail: SCM 8
Scale: none

- Legend:**
- SCM # Source Control Measure
 - DMA Boundary
 - Undisturbed Landscape

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Preliminary Stormwater Control Plan