

Notes:

Street Address: 270 W. Dunne Avenue
Morgan Hill, CA 95037

Owner: Barbie Borello Eisenback & Richard Borello

Subdivider: DRP Construction

Assessor's Parcel No: 767-12-060

Existing Use: Single Family Residential

Proposed Use: Residential Low Density

Present Zoning: Residential Low Density (RAL-3,000)

Proposed Zoning: Residential Low Density (RAL-3,000)

Sewer: City of Morgan Hill

Storm Drainage: City of Morgan Hill

Source of Water: City of Morgan Hill.

Existing Improvements: As Shown

Gross Parcel Area: 44,735 sf (1.027 ac)

Public Street Dedication: 552 sf

Private Street Area: 10,454 sf

Net Area: 33,729 sf (0.774 ac)

LEGEND

EVAE EMERGENCY VEHICULAR ACCESS EASEMENT
PIEE PRIVATE INGRESS & EGRESS EASEMENT
PUE PRIVATE UTILITY EASEMENT
PSDE PRIVATE STORM DRAINAGE EASEMENT
PSE PUBLIC SERVICE EASEMENT

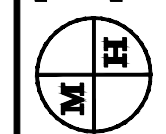


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1. Tentative Map
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3. Preliminary Grading & Drainage Plan
4. Preliminary Grading Sections
5. Preliminary Storm Water Management Plan
6. Preliminary Utility Plan



MH engineering Co.
16075 Vineyard Boulevard
Morgan Hill, CA 95037



Tentative Map
270 W. Dunne Avenue

DATE:	Jan 2024
SCALE:	1"=20'
DRAWN BY:	RS
CHECKED BY:	HS
JOB NO.	221089
SHEET	1
OF	6

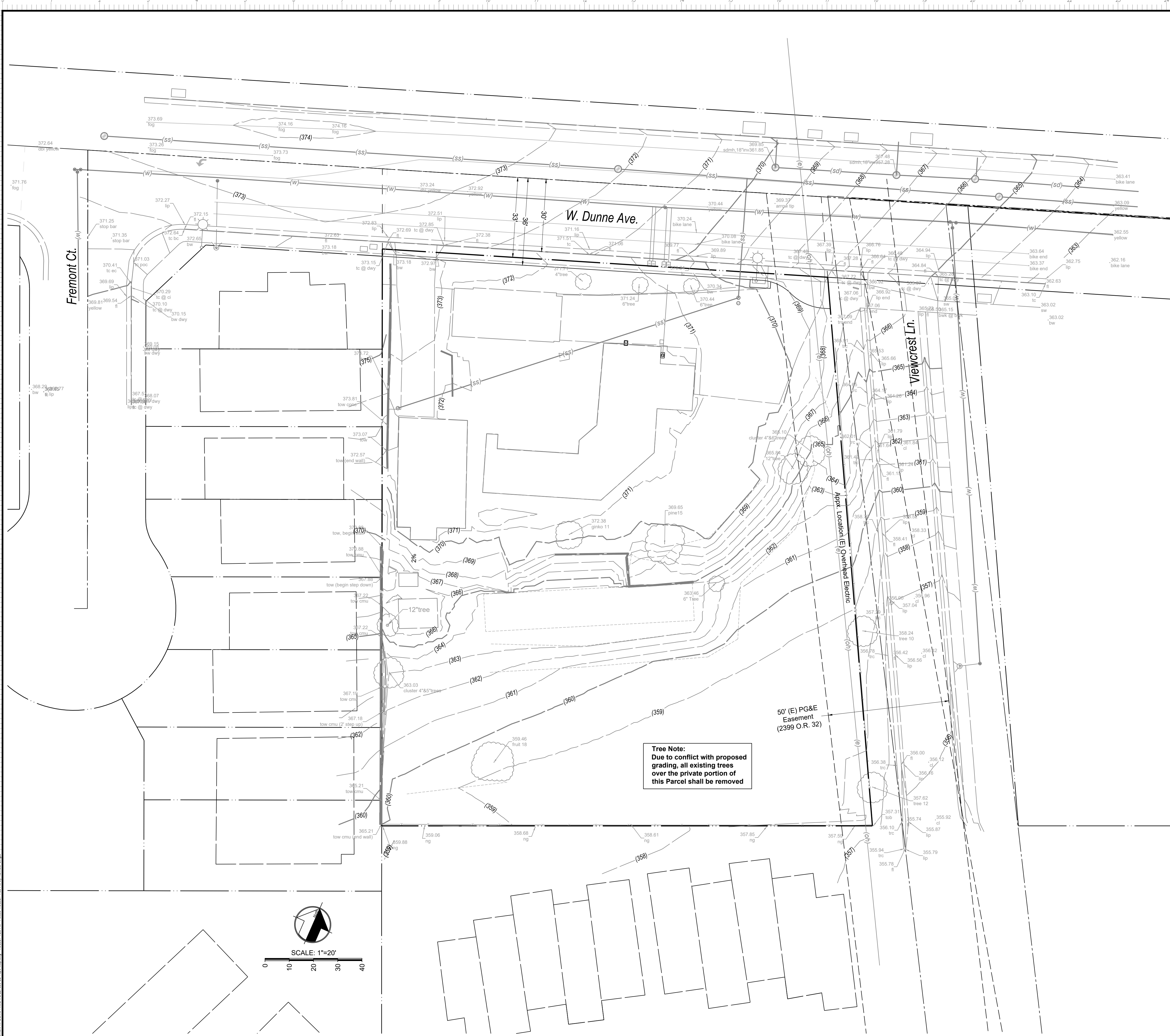
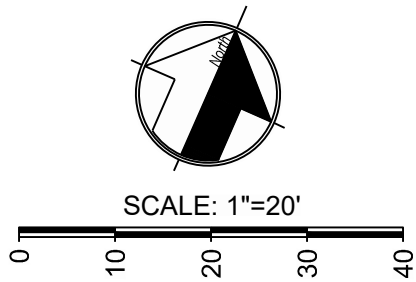
Benchmark: Valley Water BM002 (NAVD88) Elev. 342.80
Bench mark brass disk (N1870161 E6226277) is located on top of curb at the NW corner of Monterey Road and W. Dunne Avenue intersection.

LEGEND		
PROPOSED	EXISTING	DESCRIPTION
		PROPERTY LINE
		CENTER LINE
		CURB AND GUTTER
		DRIVEWAY APPROACH
		STORM DRAIN
		SANITARY SEWER
		WATER MAIN
		Fire Service
		Private Storm Drain
		Private Sewer
		Private Water
		GAS
		ELECTRIC OVERHEAD
		TELEPHONE
		FENCE, TYPE AS SHOWN
		STREET BARRICADE (A-32)
		BENCH MARK
		MONUMENT, TYPE AS SHOWN (A-31)
		REVISION
		SECTION - DETAIL
		SHEET NO.
		SWALE
		SLOPE
		STORM DRAIN MANHOLE (SD-1)
		CURB INLET (SD-5)
		DROP INLET (SD-4)
		STORM JUNCTION BOX
		SANITARY SEWER MANHOLE (S-4)
		SANITARY SEWER LATERAL (S-2)
		SEWER CLEAN OUT (S-1)
		WATER SERVICE (W-1)
		FIRE HYDRANT (W-14)
		BLOW OFF VALVE (W-20) / AIR RELIEF VALVE
		WATER GATE VALVE (W-12)
		ELECTRICAL SERVICE
		PUBLIC STREET LIGHT (E-2)
		PRIVATE STREET LIGHT
		DOUBLE DETECTOR CHECK VALVE ASSEMBLY

ABBREVIATIONS:			
AC	ASPHALT CONCRETE	GV	GATE VALVE
BC	BEGINNING OF CURVE	HP	HIGH POINT
BFE	BASE FLOOD ELEVATION	INV.	INVERT
BLDG	BUILDING	JP	JOINT POLE
BVC	BEG. VERTICAL CURVE	LP	LOW POINT
BW	BACK OF SIDEWALK	MAX.	MAXIMUM
CB	CATCH BASIN	MIN.	MINIMUM
CI	CURB INLET	NG	NATURAL GROUND
CL	CENTERLINE	PB	PULL BOX
CL DW	CENTERLINE OF DRIVEWAY	P	PROPERTY LINE
CMP	CORRUGATED METAL PIPE	P.S.E.	PUBLIC SERVICE EASEMENT
CO	CLEAN OUT	P.S.D.E.	PRIVATE STORM DRAIN EASEMENT
DI	DROP INLET	PVI	POINT OF VERTICAL INTERSECTION
D.I.P.	DUCTILE IRON PIPE	RCP	REINFORCED CONCRETE PIPE
DWY	DRIVEWAY	R/W	RIGHT OF WAY
EC	END OF CURVE	SDMH	STORM DRAIN MANHOLE
EG	EXISTING GRADE	SS	SANITARY SEWER
ELCT	ELECTROLIER	SLT	SLOTTED DRAIN
EP	EDGE OF PAVEMENT	SSMH	SANITARY SEWER MANHOLE
ER	END OF RETURN	STD.	STANDARD
EVC	END VERTICAL CURVE	SW	SIDEWALK
EX, EXST.	EXISTING	TBM	TEMPORARY BENCH MARK
FF	FINISH FLOOR	TC	TOP OF CURB
FG	FINISH GRADE	TW	TOP OF WALL
FH	FIRE HYDRANT	TYP.	TYPICAL
FL	FLOW LINE	VF	FIBER OPTIC BOX
GB	GRADE BREAK	WM	WATER METER
		WV	WATER VALVE

Tree Note:
Due to conflict with proposed grading, all existing trees over the private portion of this Parcel shall be removed

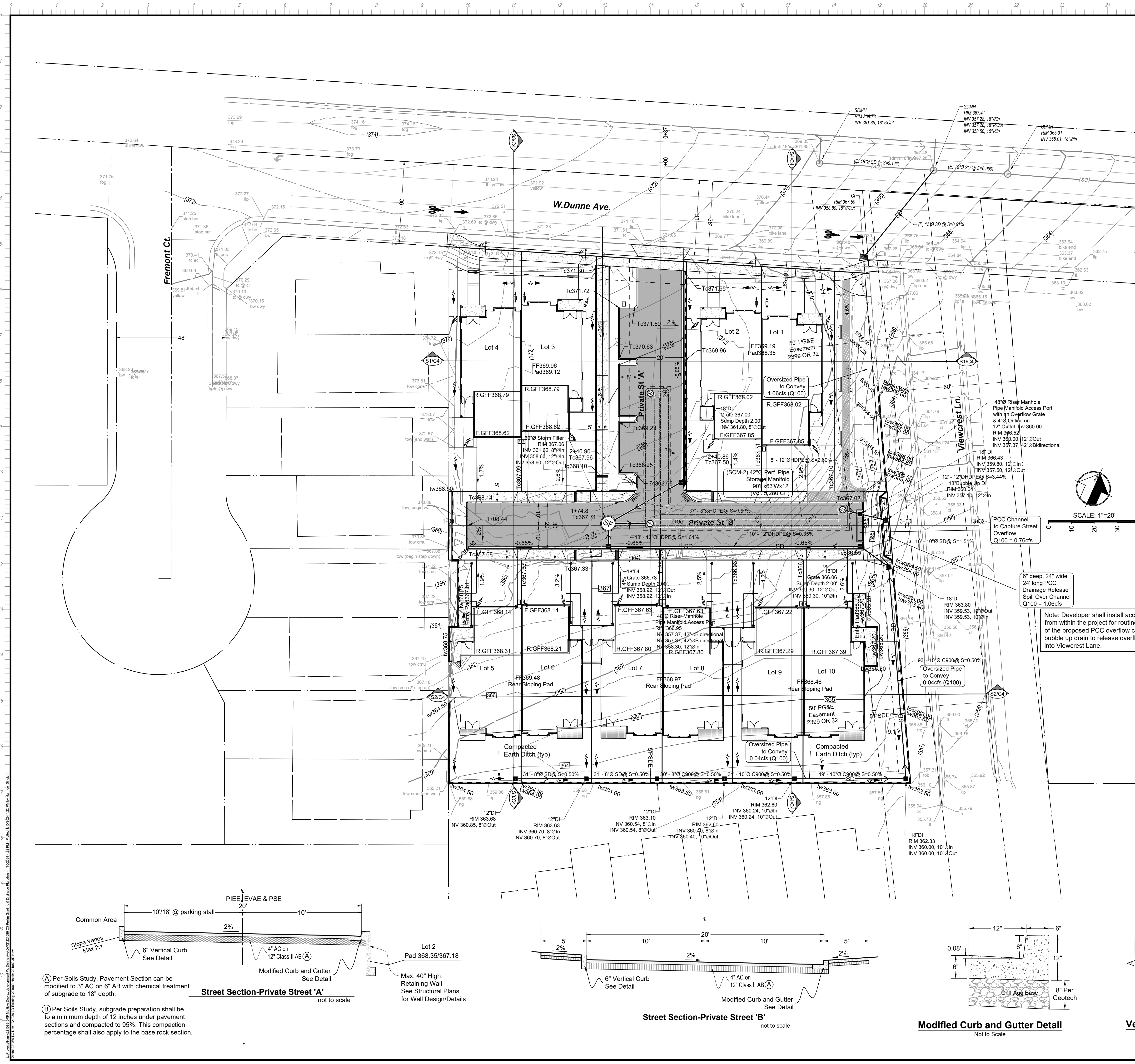
50' (E) PG&E Easement (2399 O.R. 32)



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Site Topographic Map
270 W. Dunne Avenue

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OF: 6



- GRADING AND SITE PREPARATION NOTES:**
- ALL AREAS TO RECEIVE FILL SHALL BE STRIPPED TO A DEPTH DETERMINED BY THE SOILS ENGINEER. ANY A.C. OR P.C.C. PAVING SHALL BE SCARIFIED & REMOVED & SUBGRADE PREPARED & COMPACTED PER SOILS ENGINEER'S RECOMMENDATIONS PRIOR TO ANY FILLING.
 - ALL MATERIAL TO BE USED AS FILL WITHIN BUILDING PAD AREAS & PARKING OR DRIVEWAY AREAS TO BE FREE OF ALL VEGETATION & FOREIGN MATTER AND SHALL BE APPROVED BY SOILS ENGINEER.
 - BUILDING PADS & DRIVEWAY SUBGRADE SHALL BE COMPACTED PER RECOMMENDATIONS MADE BY THE SOILS ENGINEER.
 - BUILDING PADS SHALL BE LEVEL SIDE-TO-SIDE AND FRONT-TO-REAR, UNLESS OTHERWISE SHOWN.
 - STRIPPINGS MAY BE PLACED IN PLANTING AREA OR BURIED IN DESIGNATED PARK AREAS; ALL EXCESS STRIPPINGS SHALL BE HAULED AWAY. PAVING DEBRIS SHALL BE HAULED AWAY TO AN APPROVED DISPOSAL SITE.
 - ALL WORK SHOWN OR NOTED ON THESE PLANS SHALL BE DONE IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS ENGINEER, ALL LOCAL, STATE, AND FEDERAL MINIMUM STANDARDS AND THE LATEST EDITION OF THE UNIFORM BUILDING CODE. NOTIFY SOILS ENGINEER 2 WORKING DAYS PRIOR TO BEGINNING OF ANY GRADING. REFER TO SOILS STUDY BY Cleary Consultants (Project No. 1425.1, Dated May 2022).
 - CONNECTIONS TO EXISTING PUBLIC UTILITIES SHALL BE DONE WITH APPROVAL & IN ACCORDANCE WITH THE UTILITY COMPANY'S REQUIREMENTS.
 - CONTRACTOR SHALL PROTECT ALL EXISTING SITE IMPROVEMENTS NOT SCHEDULED FOR REMOVAL DURING CONSTRUCTION. THEY SHALL REPAIR ANY DAMAGE TO NEW CONDITION AT THEIR EXPENSE.
 - VERIFY ALL EXISTING SITE CONDITIONS, SITE DIMENSIONS AND GRADES PRIOR TO START OF WORK.
 - CONFORM TO THE RECOMMENDATIONS OF THE DRAWINGS, DETAILS AND SITE SOILS REPORT FOR COMPACTION, STRIPPING, GRADING, PAVING AND UTILITY TRENCHES.
 - SOIL COMPACTION TESTS SHALL BE PAID FOR BY THE OWNER/DEVELOPER AS PER NOTE 3.
 - ALL GRADING AND RELATED WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF MORGAN HILL AND THE RECOMMENDATION OF THE SOILS ENGINEER.
 - CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING SERVICES AND UNDERGROUND UTILITIES & SEWERS. LOCATIONS SHOWN ON THE PLAN ARE APPROXIMATE AND SHOWN FOR GENERAL INFORMATION ONLY. CONTRACTOR SHALL CALL U.S.A. AT 800-227-2600 48 HOURS PRIOR TO UNDERGROUND WORK FOR FIELD LOCATOR SERVICE.
 - CONTRACTOR SHALL VERIFY THE LOCATIONS OF THE BUILDING AND PARKING IMPROVEMENTS FROM THE ARCHITECT'S DIMENSIONED DRAWING.
 - FOUNDATIONS AND FOOTING DETAILS SHOWN ARE FOR GRADING RELATIONSHIPS ONLY. CONTRACTOR SHALL REFER TO DIMENSIONED STRUCTURAL OR ARCHITECTURAL PLANS FOR ACTUAL DIMENSIONED DETAILS.
 - ANY VOIDS CREATED BY STRUCTURE REMOVAL, TREE REMOVAL, SEPTIC TANK AND LEACH LINE REMOVAL MUST BE BACKFILLED WITH PROPERLY COMPACTED NATIVE SOILS THAT ARE FREE OF ORGANICS & OTHER DELETERIOUS MATERIALS OR WITH APPROVED IMPORT FILL & COMPACTED TO THE SOILS ENGINEER'S RECOMMENDATIONS.
 - IT SHALL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR, DURING GRADING OPERATION, IN COOPERATION WITH MH ENGINEERING TO VERIFY QUANTITIES OF EARTHWORK. QUANTITIES SHOWN HAVE BEEN DILIGENTLY ESTIMATED BY THE ENGINEER, BASED UPON AVAILABLE INFORMATION. IN ORDER TO ASSIST THE CONTRACTOR, THE GROUND TOPOGRAPHY ELEVATIONS & CONTOURS WERE FURNISHED BY MH Engineering, dated June 2021. MH Engineering DOES NOT GUARANTEE CURRENT ACCURACY OF THE GROUND ELEVATIONS. CONTRACTOR SHALL FIELD VERIFY FOR HIMSELF THAT NO ADDITIONAL GRADING, IMPORTING OR EXPORTING OF EARTH HAS TAKEN PLACE SINCE THE TOPO SURVEY OF PROPERTY.
 - THE EARTHWORK QUANTITIES SHOWN ARE PROVIDED AS A COURTESY AND CONVENIENCE TO THE CONTRACTOR. THE CUT & FILLS SHOWN ARE APPROXIMATE CALCULATED QUANTITIES BASED ON THE DIFFERENCE BETWEEN EXISTING GROUND ELEVATIONS (CONTOURS) & ROUGH GRADE ELEVATIONS. THE CALCULATION MAKES NO PROVISION FOR SCARIFICATION & COMPACTION WORK OR FILLS. FOR THIS REASON & BECAUSE OF VARIABLES SUCH AS COMPACTION, SHRINKAGE & THE CONTRACTOR'S METHOD OF OPERATION, THE VOLUME OF DIRT ACTUALLY MOVED IN THE FIELD WILL PROBABLY VARY TO SOME EXTENT FROM THE CALCULATED VOLUME. FOR THE PURPOSE OF APPROXIMATING THE SHRINKAGE, 12% WAS USED FOR THE FILL VOLUMES.
 - THE CONTRACTOR'S EARTHWORK BID REFLECTS HIS OWN CALCULATION OF THE EARTHWORK COMPACTED & COMPLETE IN PLACE TO THE DETAILS, LINE, AND GRADE SHOWN ON THE PLANS.

Earthwork Summary-----10" Slab Section

Description	Cut	Fill
Strippings loss (2" depth)	Typically Absorbed Onsite	
Streets & Site grading (incl. 12% compaction)	4,079	7,943
Underground Pipe manifold excavation Spoils	200	
Trench Spoils (wet & dry)	900	
Hardscape & Fine Grading-estimate	250	
Net volume	5,429	7,943

Estimated Import 2,514±

Note: all unusable strippings shall be hauled offsite as part of the site clearing and grubbing item of work.

A) Per Soils Study, Pavement Section can be modified to 3" AC on 6" AB with chemical treatment of subgrade to 18" depth.

B) Per Soils Study, subgrade preparation shall be to a minimum depth of 12 inches under pavement sections and compacted to 95%. This compaction percentage shall also apply to the base rock section.

Street Section-Private Street 'A'

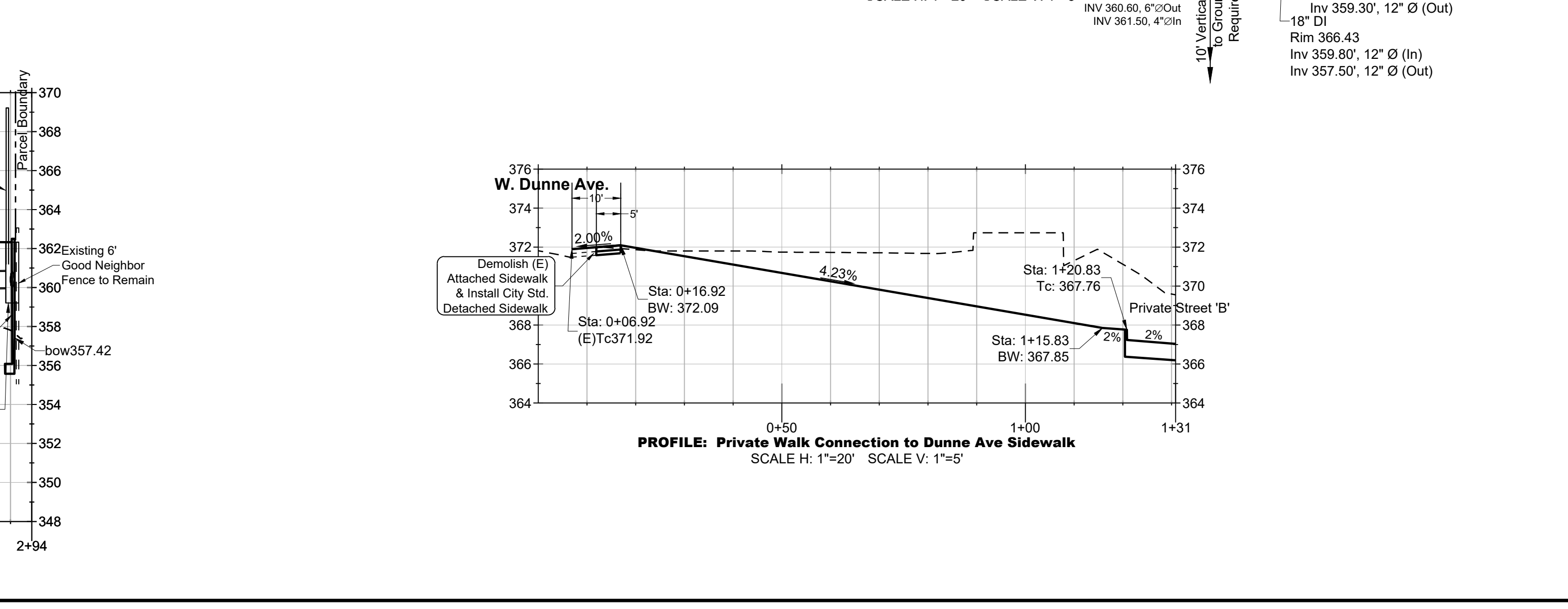
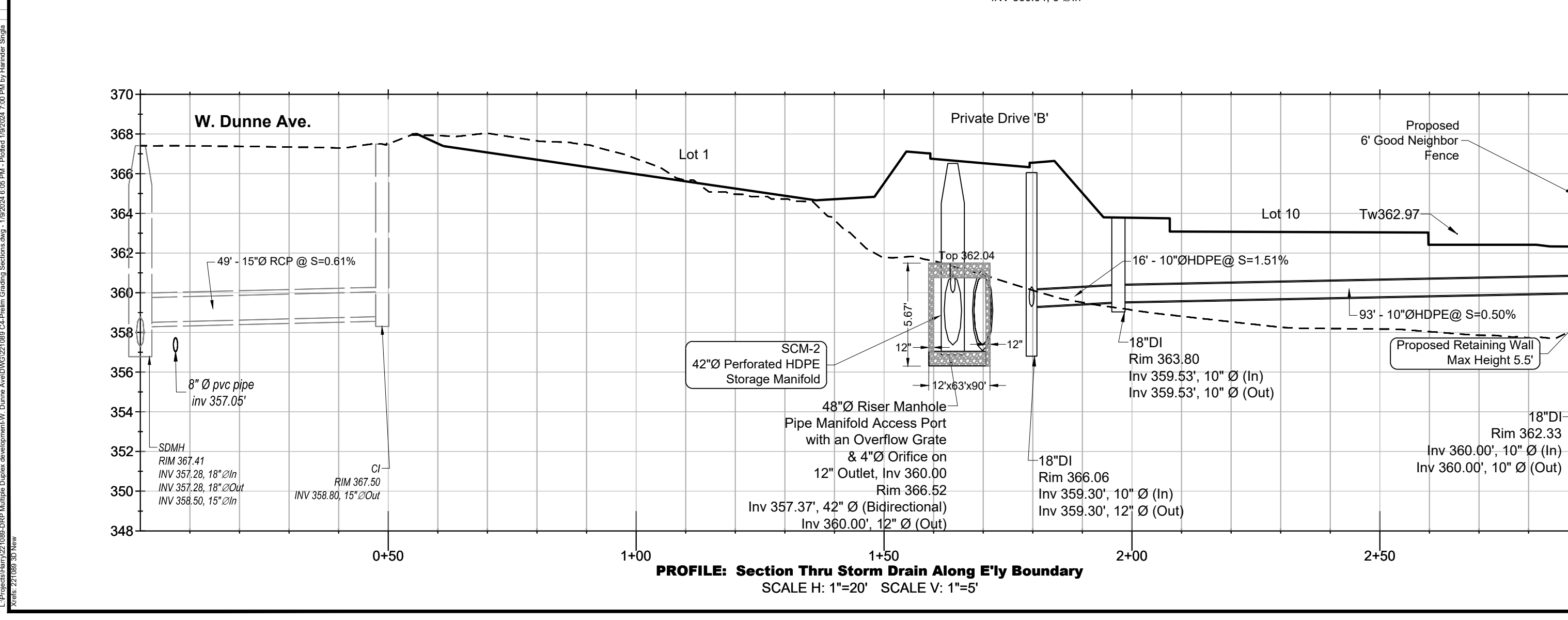
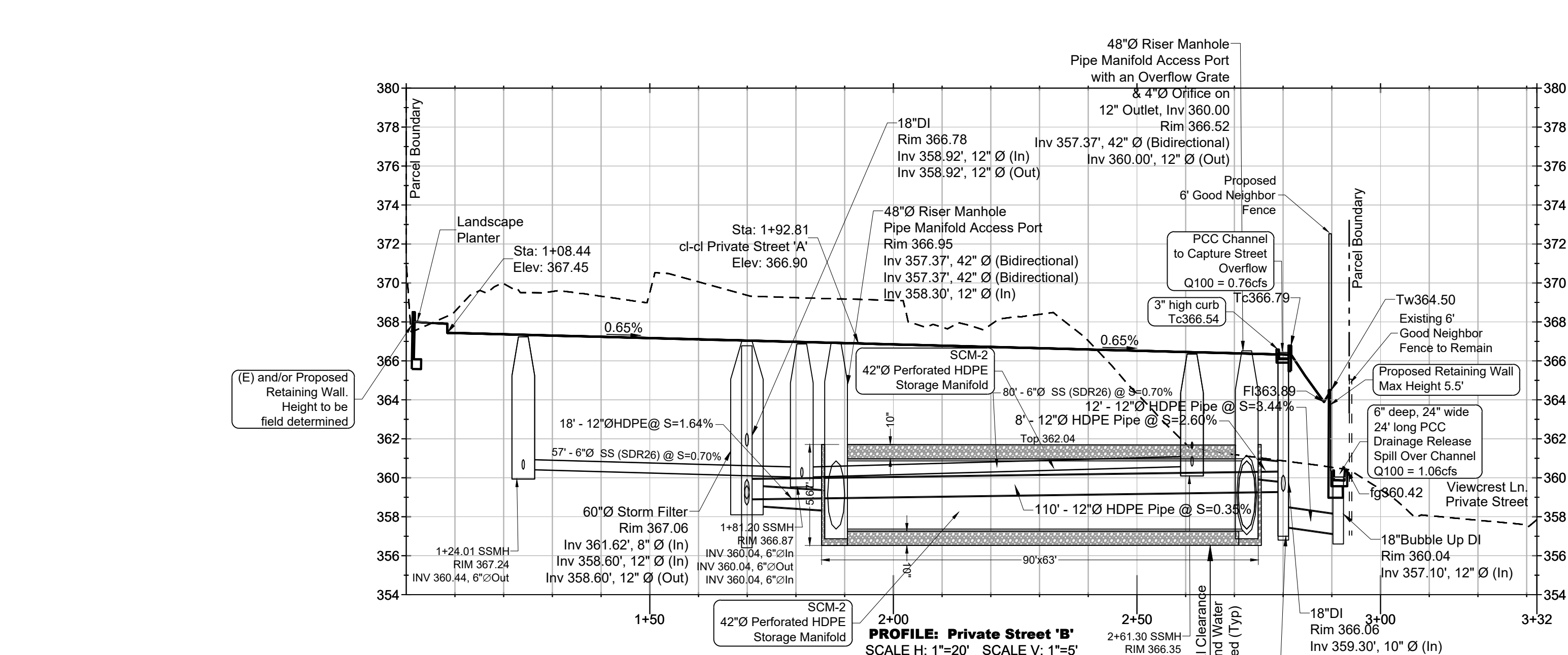
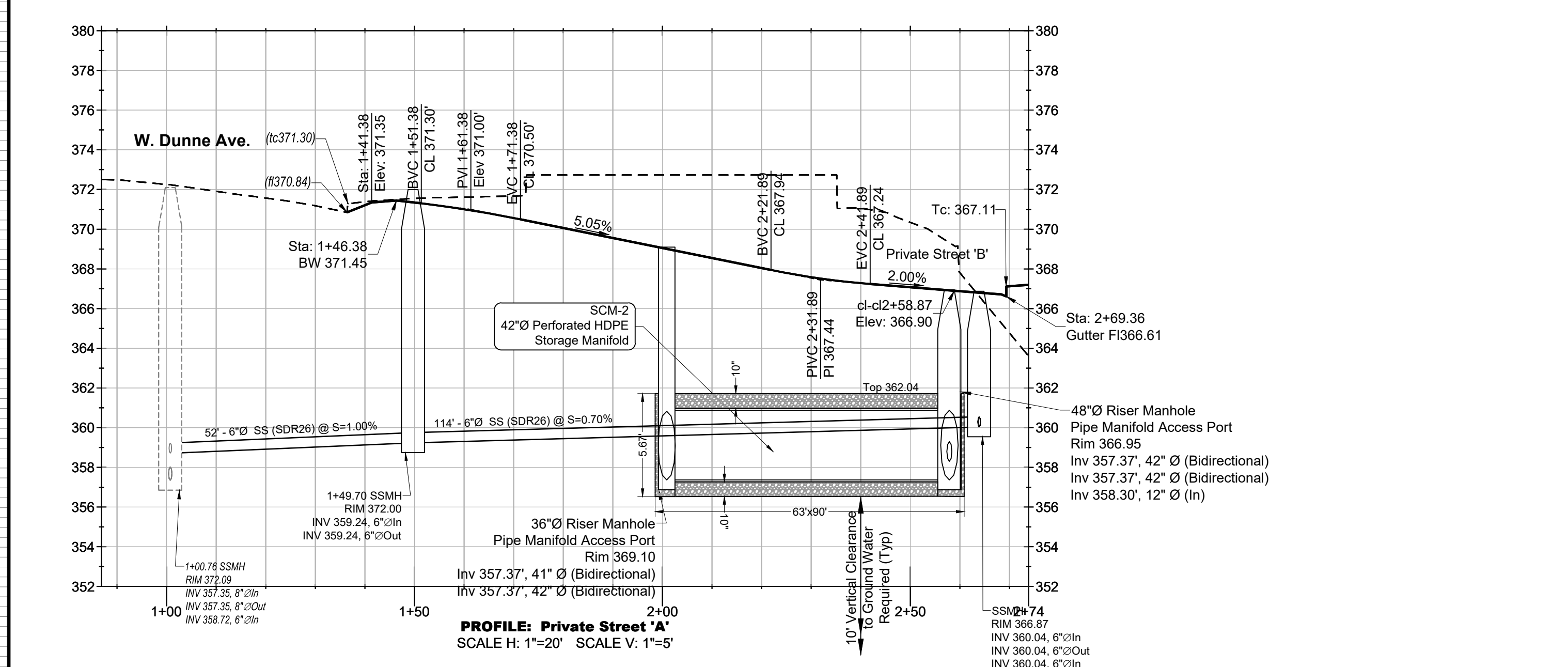
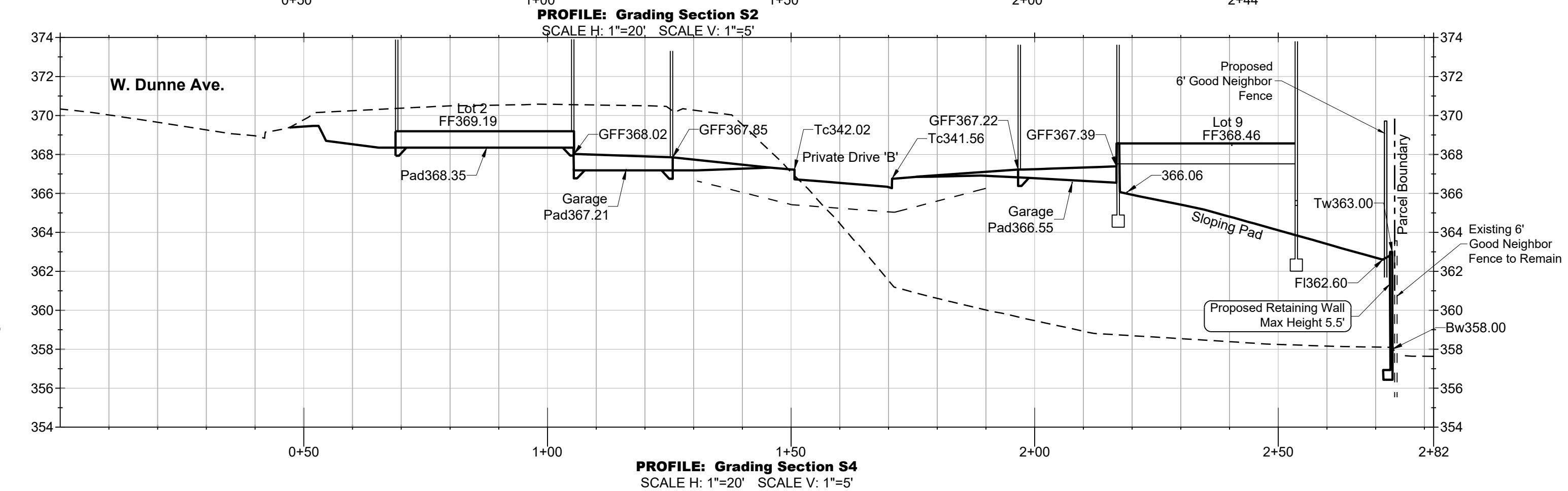
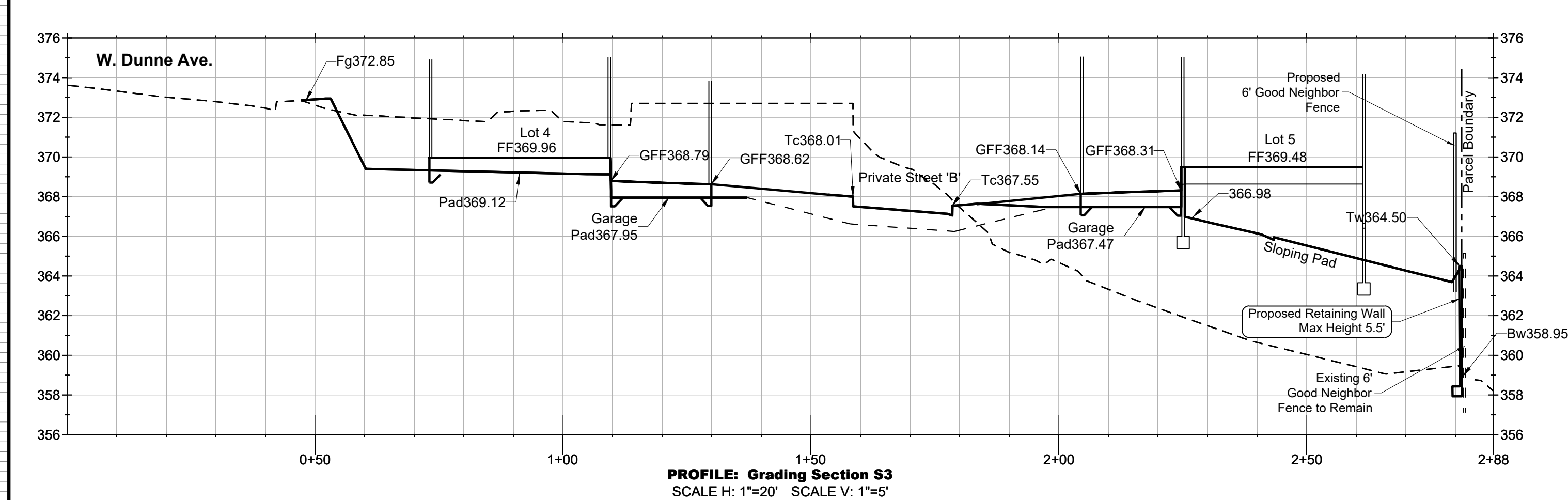
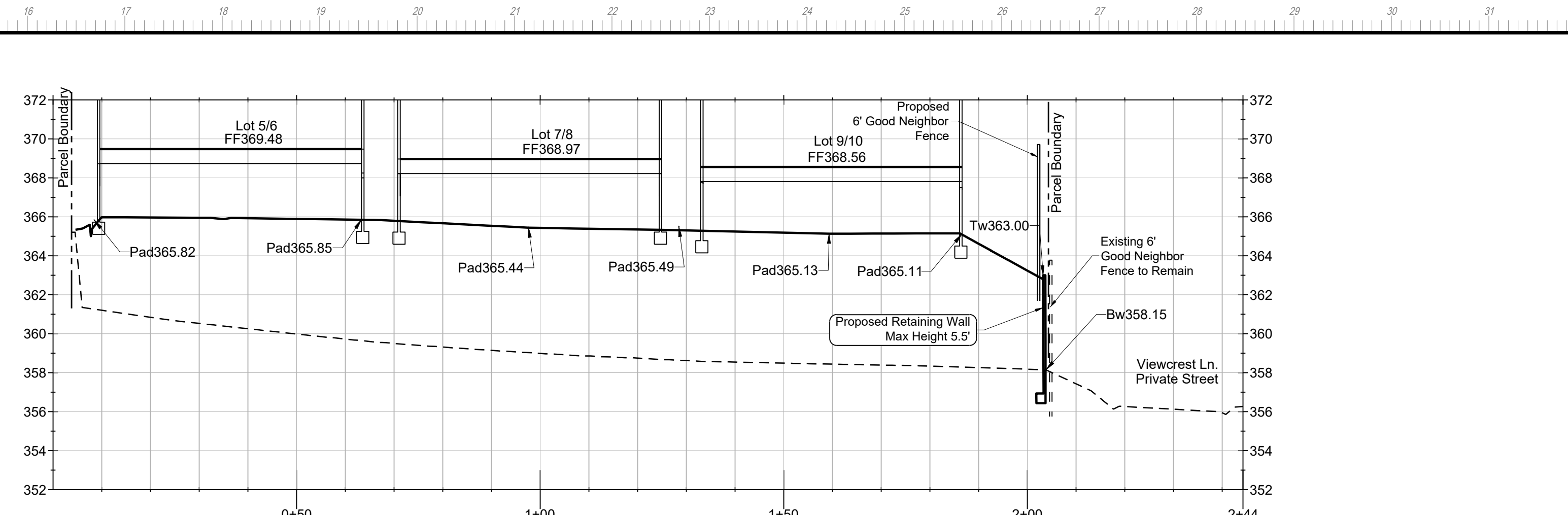
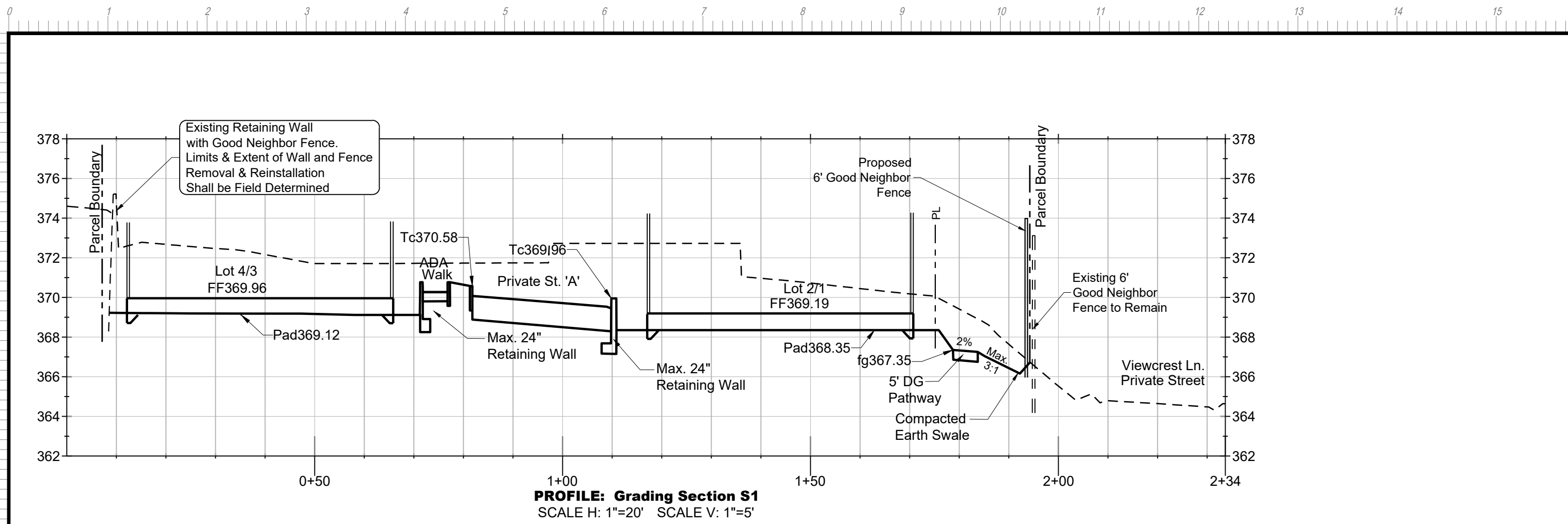
Lot 2
Pad 368.35/367.18

Max. 40" High Retaining Wall
See Structural Plans for Wall Design/Details

Street Section-Private Street 'B'

Modified Curb and Gutter Detail

Vertical Curb Detail



	
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