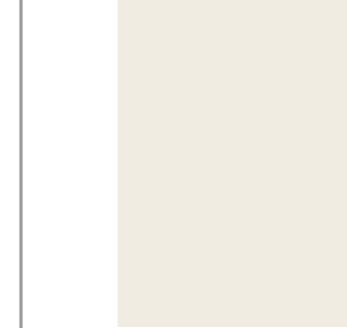
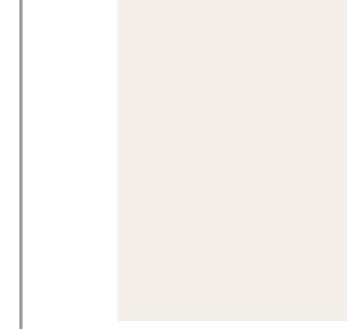
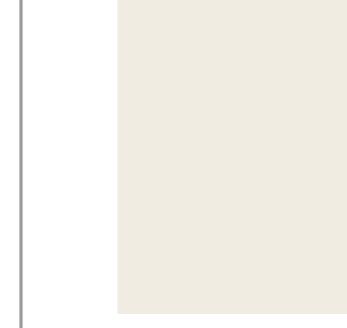




	PRIMARY STUCCO BODY	SECONDARY STUCCO BODY	FASCIA / EAVE / GARAGE DOOR	TRIM	ENTRY DOOR / ACCENT	DECORATIVE METAL	BUILDING MATERIAL
SCHEME 1 CLUBHOUSE AND POOL BUILDING							ROOF (CAPISTRANO S'TILE) / BRICK (STANDARD) / STONE (ENHANCED) 3684 SAN RAFAEL BLEND CANYON COBBLE TUSCAN VILLA (PRAIRIE MOSS)
SCHEME 2 TOWNHOMES LIGHT SCHEME							3646 SUNSET BLEND WIRECUT BRICK (OLD CHICAGO) ITALIAN VILLA (ASPEN)
SCHEME 3 TOWNHOMES DARK SCHEME							3606 VALLEJO RANGE WIRECUT BRICK (COUNTRY) TUSCAN VILLA (PRAIRIE MOSS)
SCHEME 4 TOWNHOMES MEDIUM SCHEME							SCC 8829 SANTA FE BLEND WEATHERED BRICK (SAVANNAH) COUNTRY RUBBLE (COASTAL BROWN)

** Stone and brick selection is tentative. A similar stone may be used based on availability.



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CONCEPTUAL DESIGN
JUNE 7, 2024

COLOR & MATERIAL SELECTION

A0-1



BUILDING TYPE A - 6-PLEX
TOWNHOUSE - 2-, 3- AND 4-BED
FRONT ELEVATION
COLOR SCHEME 3

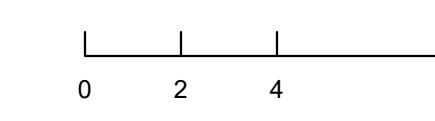


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CONCEPTUAL EXTERIOR ELEVATIONS

A1-1



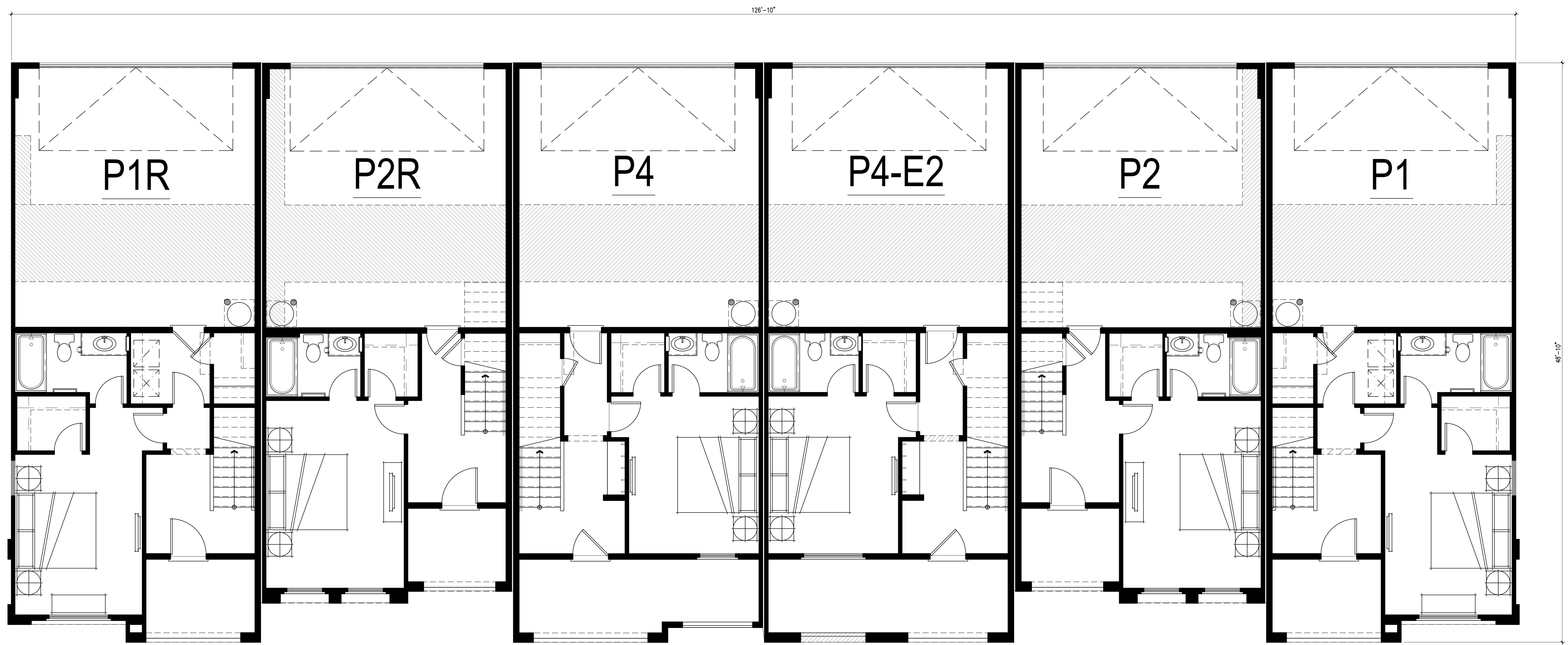
BUILDING TYPE A - 6-PLEX
TOWNHOUSE - 2-, 3- AND 4-BED
REAR ELEVATION



BUILDING TYPE A - 6-PLEX
TOWNHOUSE - 2-, 3- AND 4-BED
LEFT ELEVATION



BUILDING TYPE A - 6-PLEX
TOWNHOUSE - 2-, 3- AND 4-BED
RIGHT ELEVATION



BUILDING TYPE A - 6-PLEX
TOWNHOUSE - 2-, 3- AND 4-BED
FIRST FLOOR PLAN

MORGAN HILL HOUSING PROJECT
760 TENANT AVENUE, MORGAN HILL, CA.

PROJECT DESCRIPTION:

2- AND 3-STORY, 6 UNIT TOWNHOUSE BUILDING W/ PRIVATE GARAGE PARKING. TYPE V-B CONSTRUCTION W/ NFPA-13D AUTOMATIC SPRINKLER SYSTEM.

TOTAL UNITS:	6 UNITS
TOTAL BUILDING AREA	
FIRST FLOOR	5930
SECOND FLOOR	5856
THIRD FLOOR	3305
TOTAL:	15,091 SF

EXISTING/ PROPOSED USES

EXISTING USE:	AGRICULTURAL
PROPOSED USE:	RESIDENTIAL (6 UNITS)

CODE SUMMARY

CODE	YEAR	TITLE
BUILDING CODE	2022	CALIFORNIA BUILDING CODE 1 & 2
FIRE CODE	2022	CALIFORNIA FIRE CODE
ENERGY CODE	2022	BUILDING EFFICIENCY STANDARDS FOR RESIDENTIAL AND NON-RESIDENTIAL BUILDINGS
MECHANICAL CODE	2022	CALIFORNIA MECHANICAL CODE
PLUMBING CODE	2022	CALIFORNIA PLUMBING CODE
ELECTRICAL CODE	2022	CALIFORNIA ELECTRICAL CODE
GREEN STANDARD	2022	CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN)
CALIFORNIA CODE OF REGULATIONS	TITLE 24	

TABLE 504.3
ALLOWABLE / ACTUAL BUILDING HEIGHT ABOVE GRADE PLANE

OCCUPANCY CLASSIFICATION	FOOTNOTES	TYPE V - B	
R-3	S13D (WITHOUT AREA INCREASE)	40'	38'

SEE CHAPTERS 4 & 5 FOR SPECIFIC EXCEPTIONS TO THE ALLOWABLE HEIGHT IN THIS CHAPTER

SEE SECTION 903.2 FOR THE MINIMUM THRESHOLDS FOR PROTECTION BY AN AUTOMATIC SPRINKLER SYSTEM

S = BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1

6 UNIT - TOWNHOUSE BUILDING AREAS (SF)

BUILDING LEVEL	UNCONDITIONED (GARAGE/UTILITY) U	UNCONDITIONED (PORCH/DECK) 3	APARTMENTS R-3	FLOOR (NET)	FLOOR (GROSS)
1	2646	463	2348	5457	5930
2	-	751	4602	5353	5856
3	-	-	2944	2944	3305
SUBTOTALS		2646	1214	9894	-
TOTAL BLDG AREA				13,754	15,091

TABLE 504.4
ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE

OCCUPANCY CLASSIFICATION	FOOTNOTES	TYPE V - B	
R-3	S13D (WITHOUT AREA INCREASE)	3	3

SEE SECTION 903.2 FOR THE MINIMUM THRESHOLDS FOR PROTECTION BY AN AUTOMATIC SPRINKLER SYSTEM

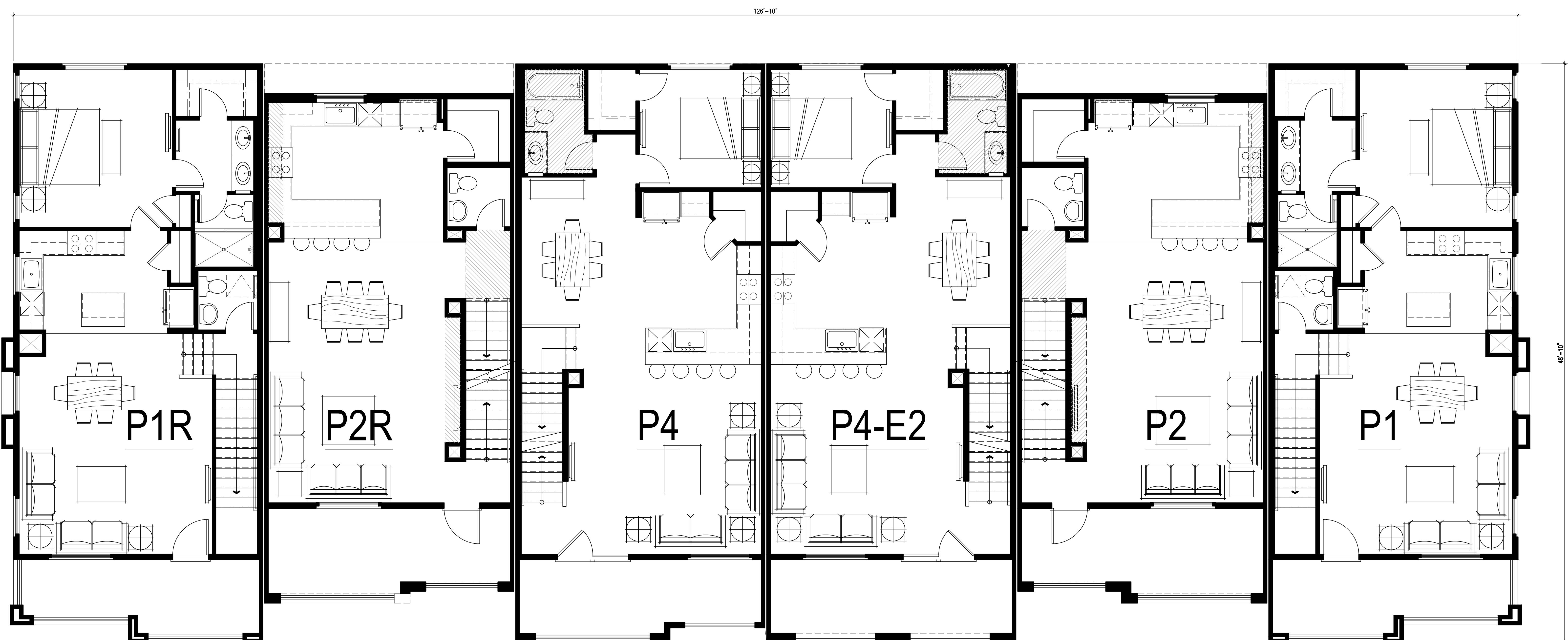
S = BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1

TABLE 506.2
ALLOWABLE AREA PER STORY IN SQUARE FEET

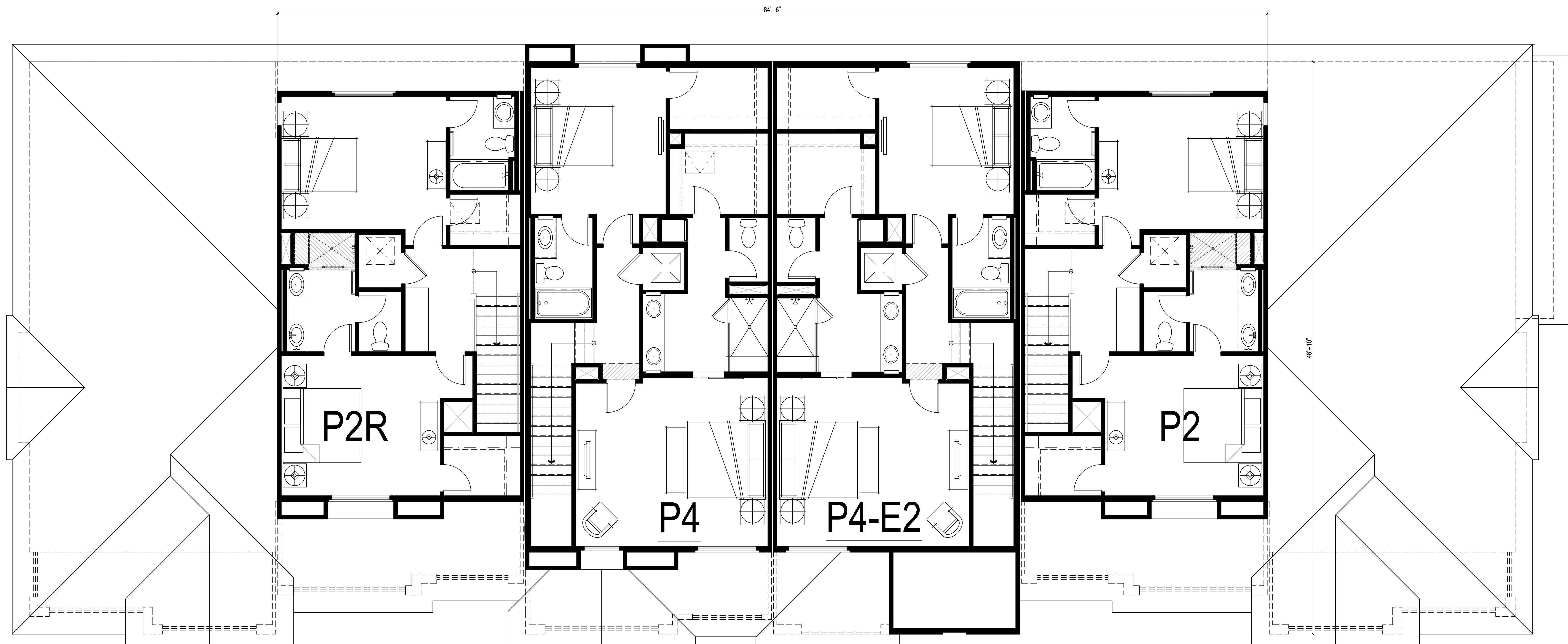
OCCUPANCY CLASSIFICATION	FOOTNOTES	TYPE V - B	
R-3	S13D (WITHOUT AREA INCREASE)	UL	5,930

THE ALLOWABLE AREA IS UNLIMITED FOR R-3 CLASSIFIED TOWNHOUSES PER CBC TABLE 506.2. EACH PRIVATE GARAGE CLASSIFIED AS GROUP U SHALL NOT EXCEED 1,000 SQUARE FEET PER CBC 406.3.1.

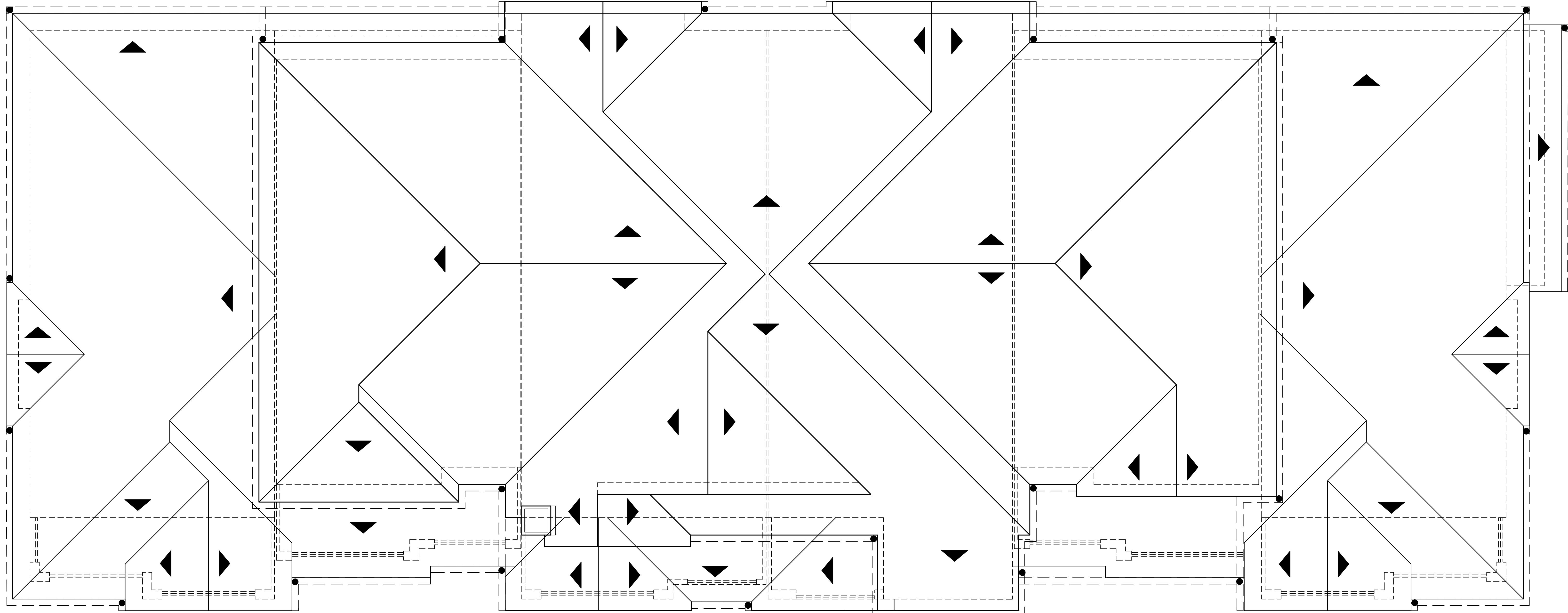
ONLY ONE EXIT IS REQUIRED FOR R-3 CLASSIFIED TOWNHOUSES NOT MORE THAN THREE STORIES.



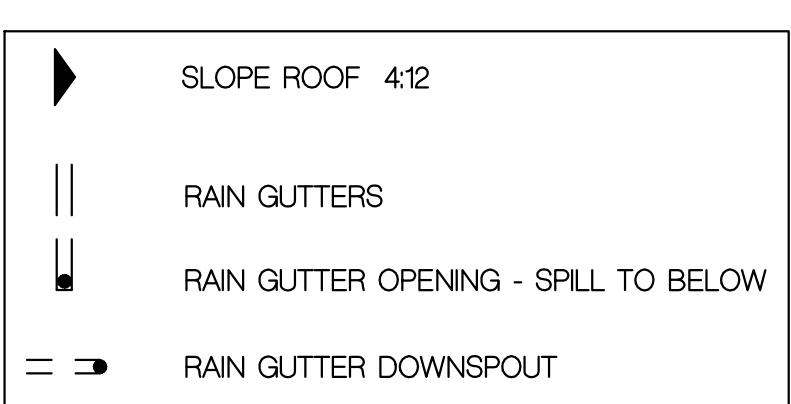
BUILDING TYPE A - 6-PLEX
TOWNHOUSE - 2-, 3- AND 4-BED
SECOND FLOOR PLAN



BUILDING TYPE A - 6-PLEX
TOWNHOUSE - 2-, 3- AND 4-BED
THIRD FLOOR PLAN



BUILDING TYPE A - 6-PLEX
TOWNHOUSE - 2-, 3- AND 4-BED
ROOF PLAN



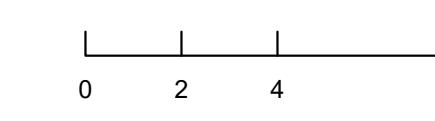


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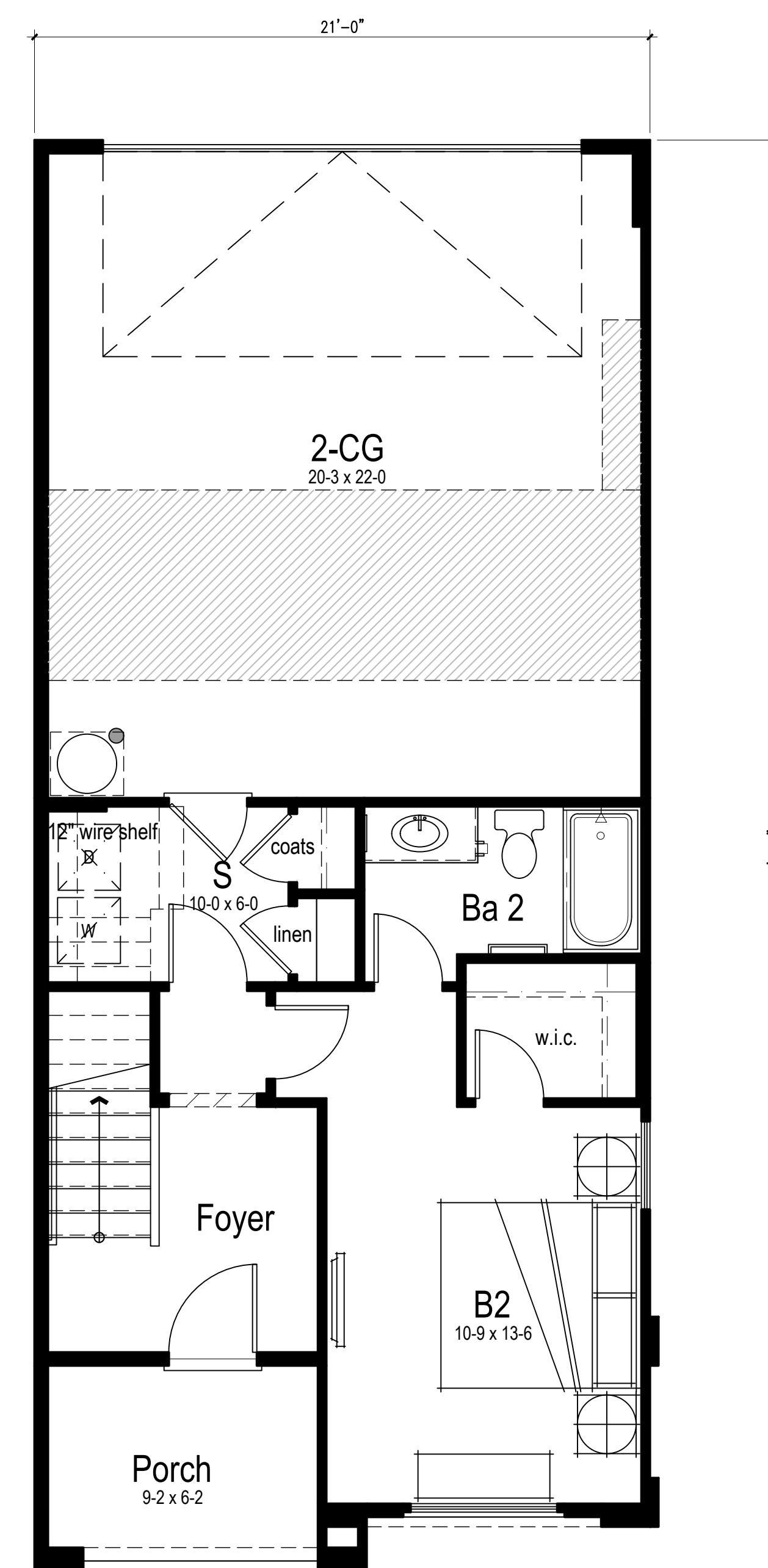
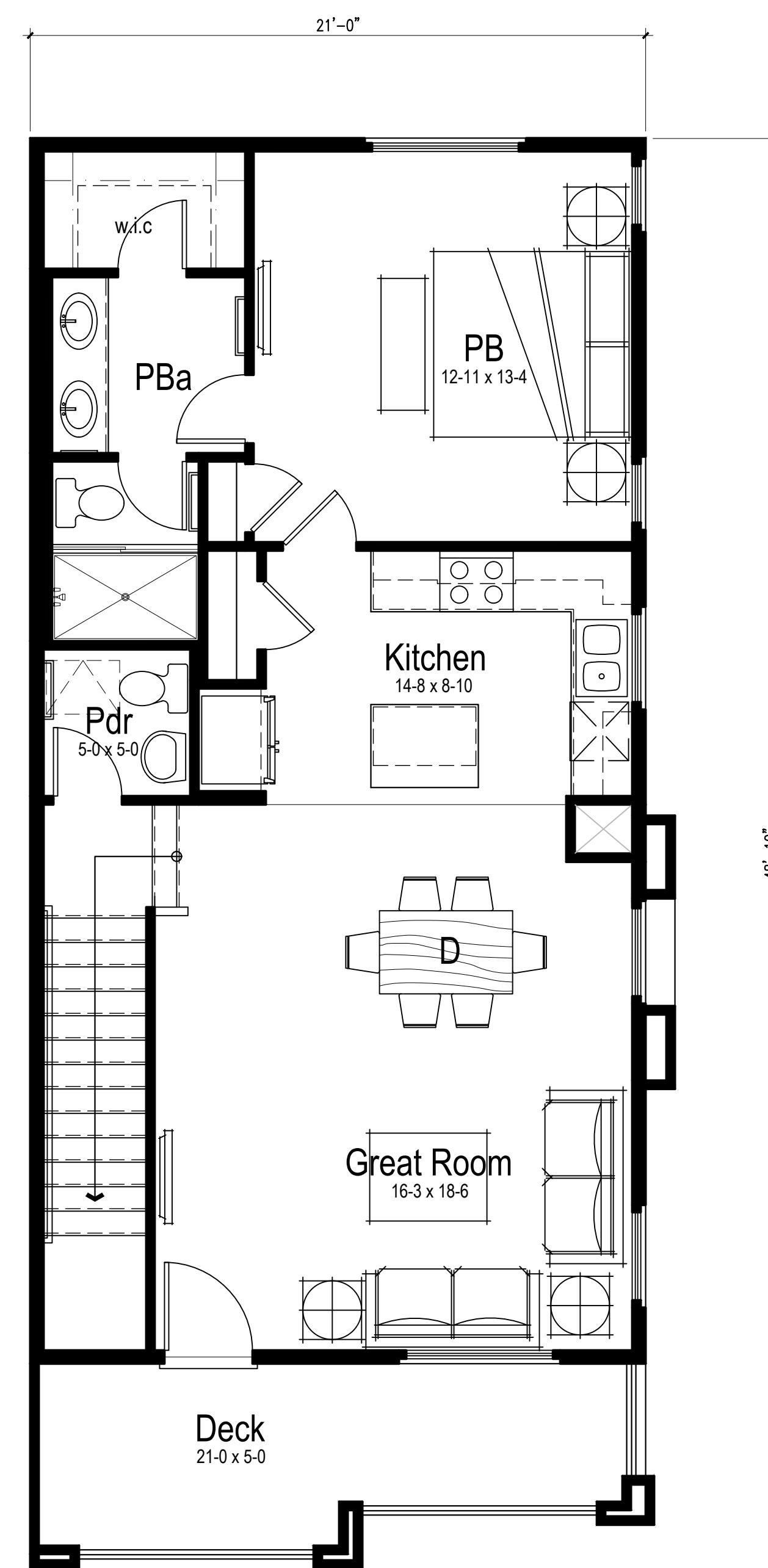
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6-PLEX NIGHTTIME LIGHTING

A1-7



PLAN 1

(IN GROSS SQUARE FEET)				
UNIT FLOOR	CONDITIONED R-3	UNCONDITIONED (PORCH/DECK) R-3	UNCONDITIONED (GARAGE/STOR) U	FLOOR TOTAL
FIRST FLOOR	468	68	463	999
SECOND FLOOR	878	130	0	1008
UNIT TOTAL:	1346	198	463	2007

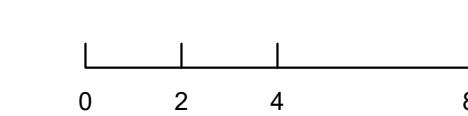


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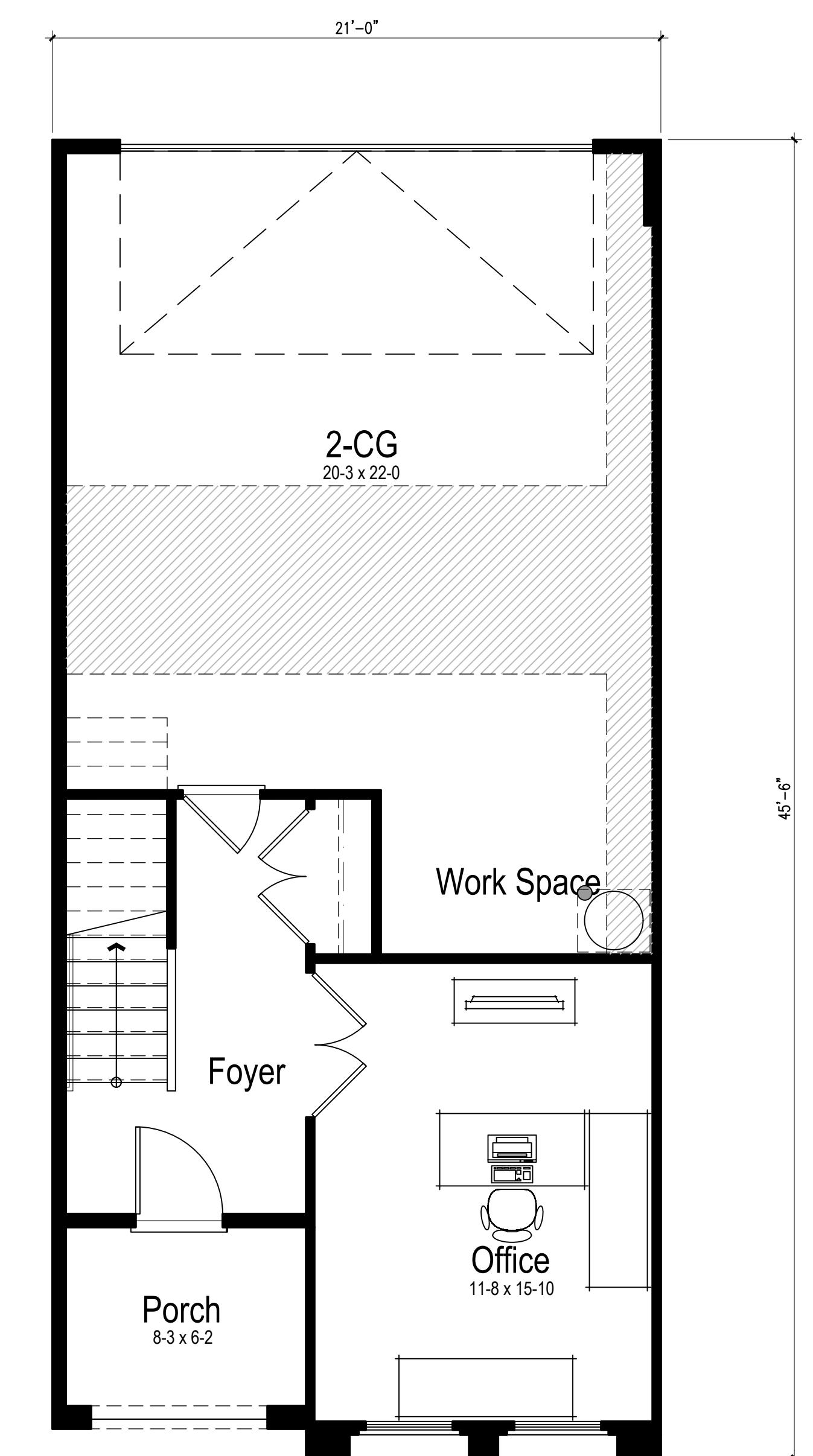
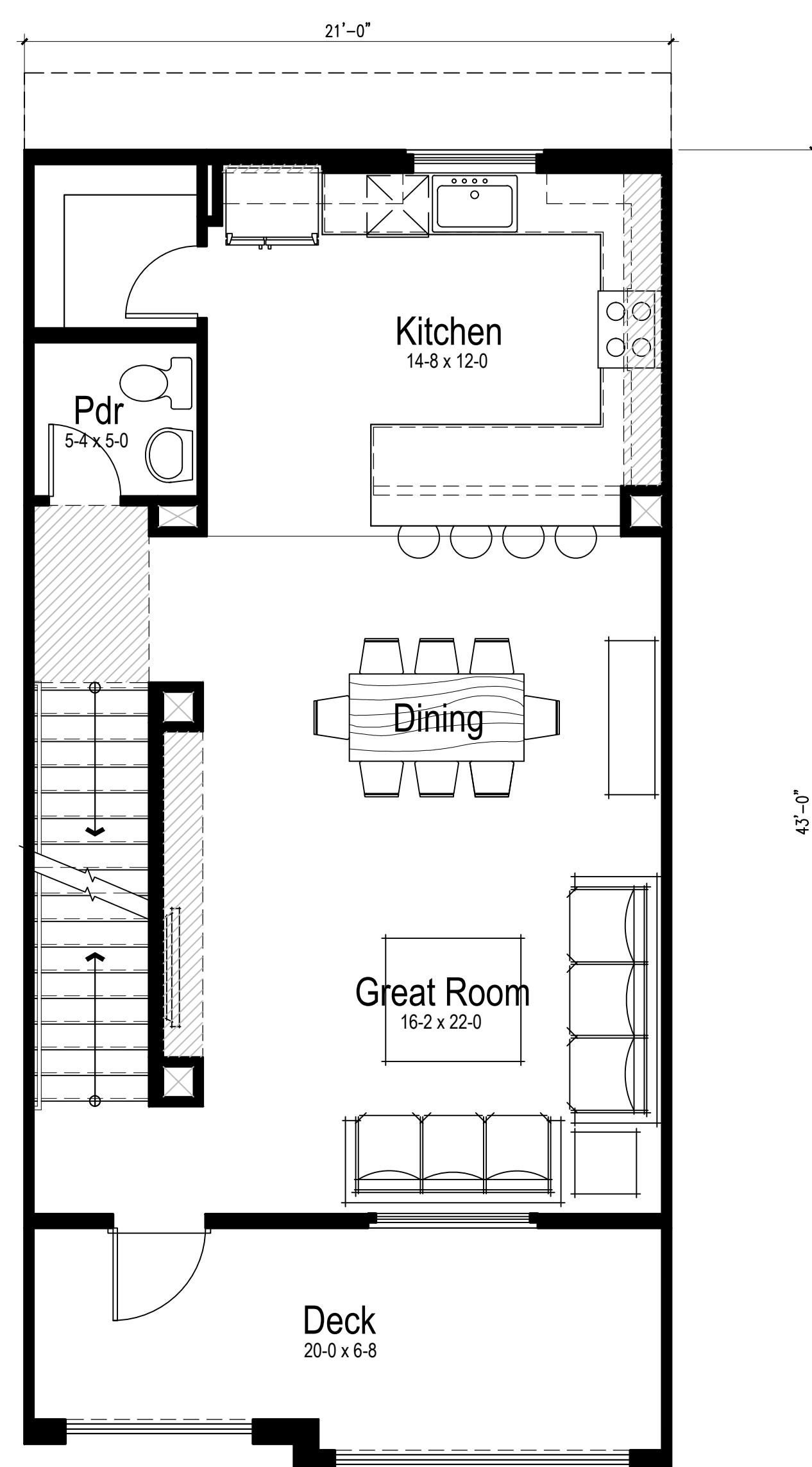
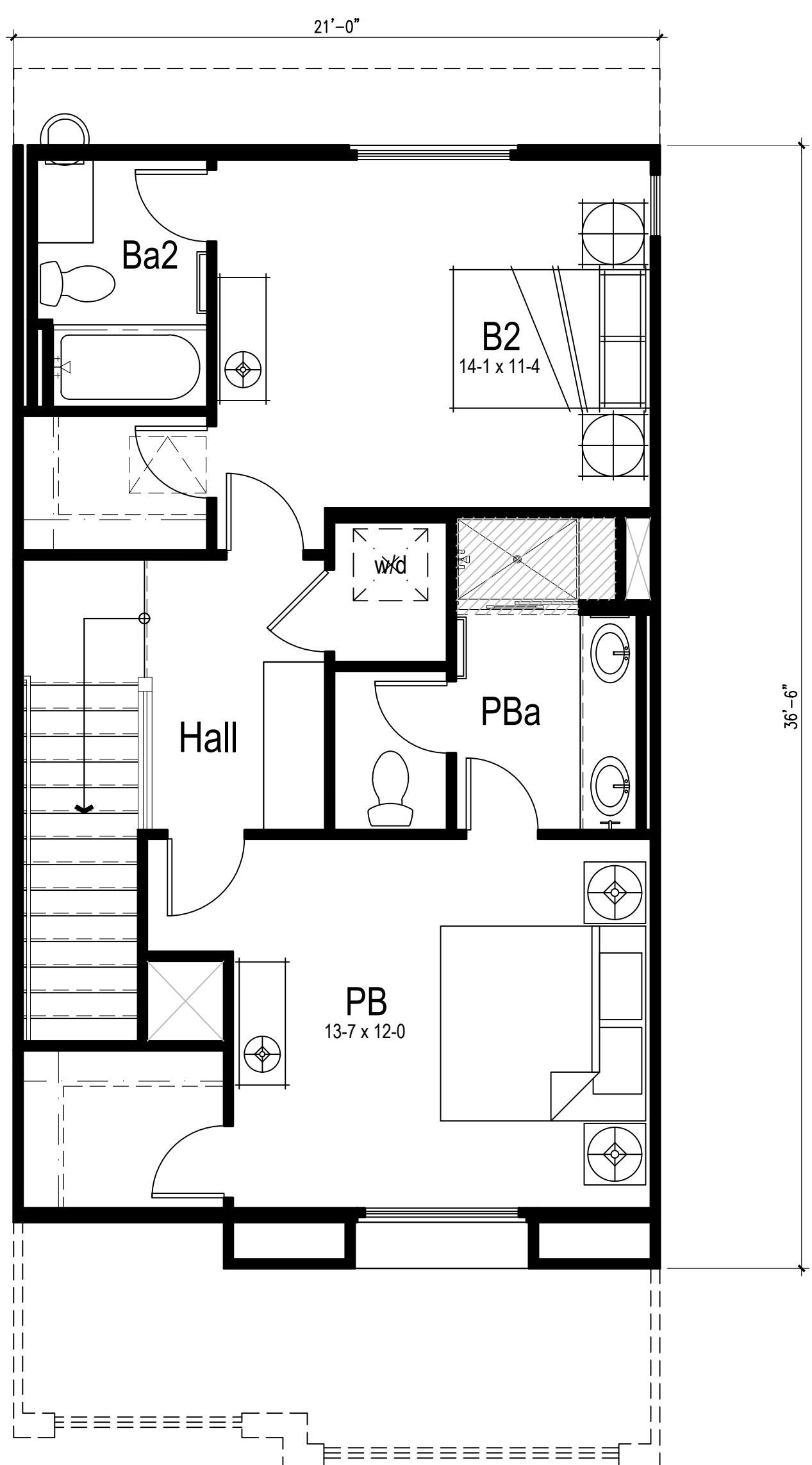
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CONCEPTUAL UNIT PLAN 1

A2-1



PLAN 2

(IN GROSS SQUARE FEET)				
UNIT FLOOR	CONDITIONED R-3	UNCONDITIONED (PORCH/DECK) R-3	UNCONDITIONED (GARAGE/STOR) U	FLOOR TOTAL
FIRST FLOOR	417	61	468	946
SECOND FLOOR	735	159	0	894
THIRD FLOOR	735	0	0	735
UNIT TOTAL:	1887	220	468	2575

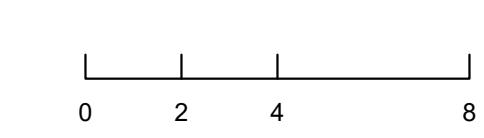


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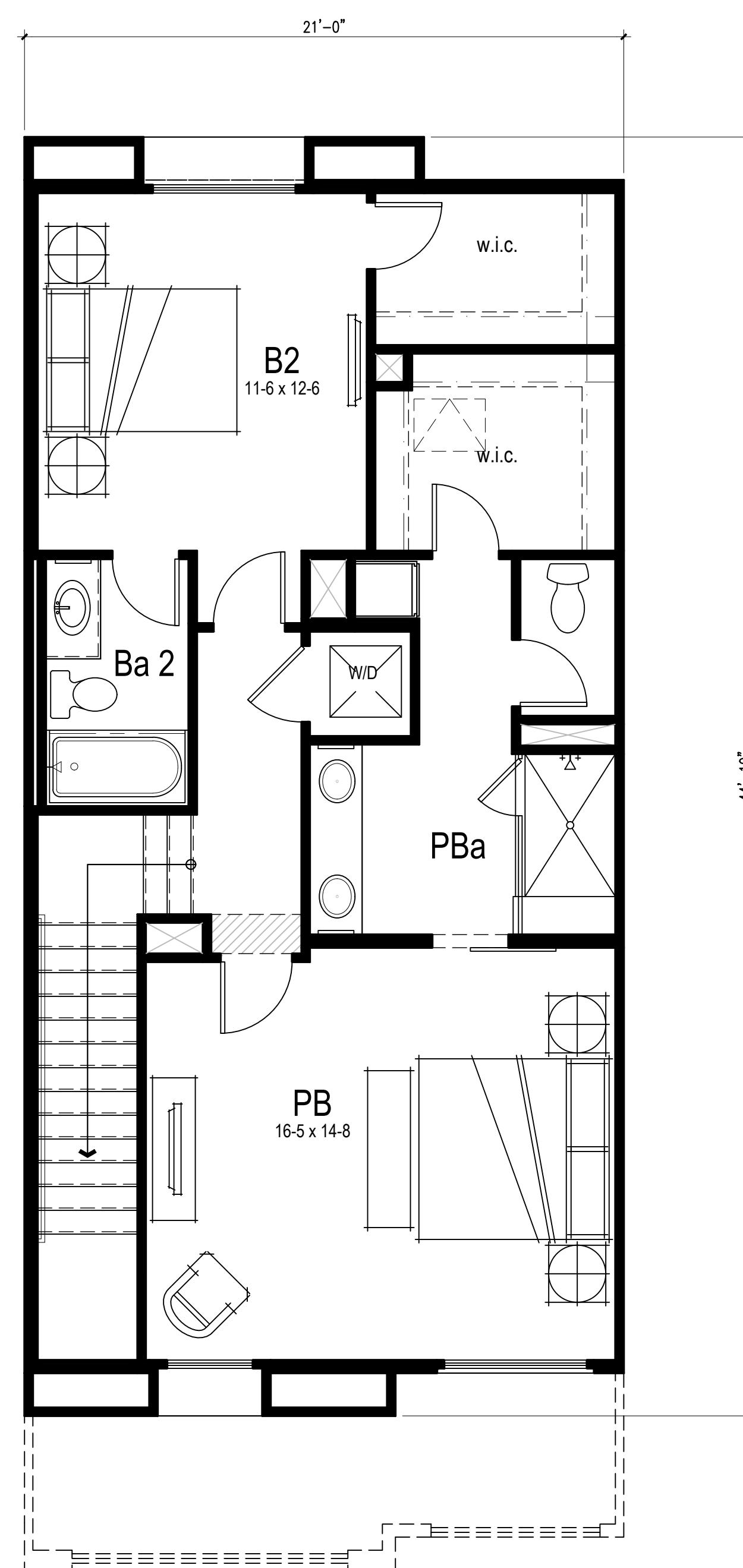
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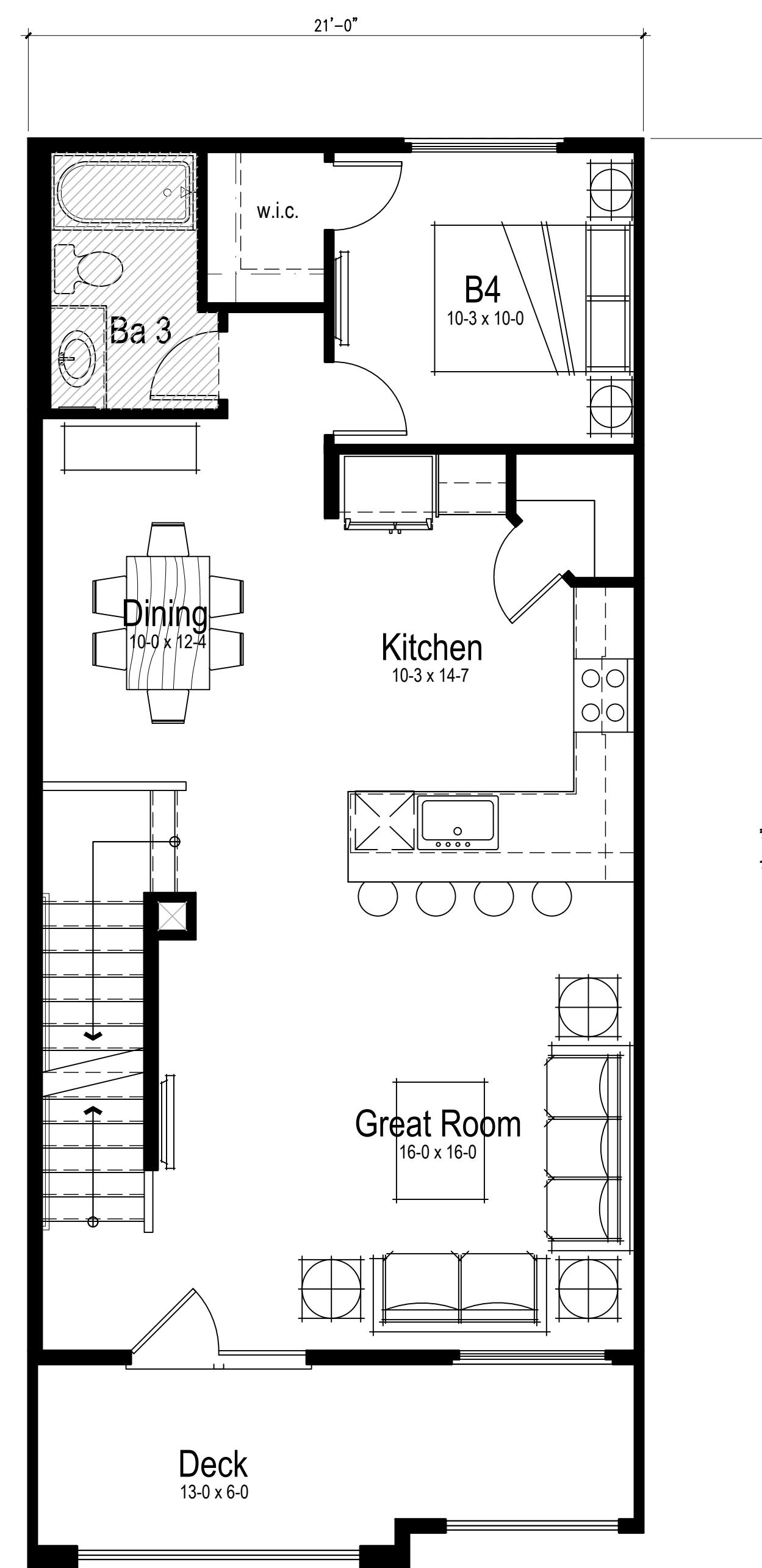


CONCEPTUAL UNIT PLAN 2A

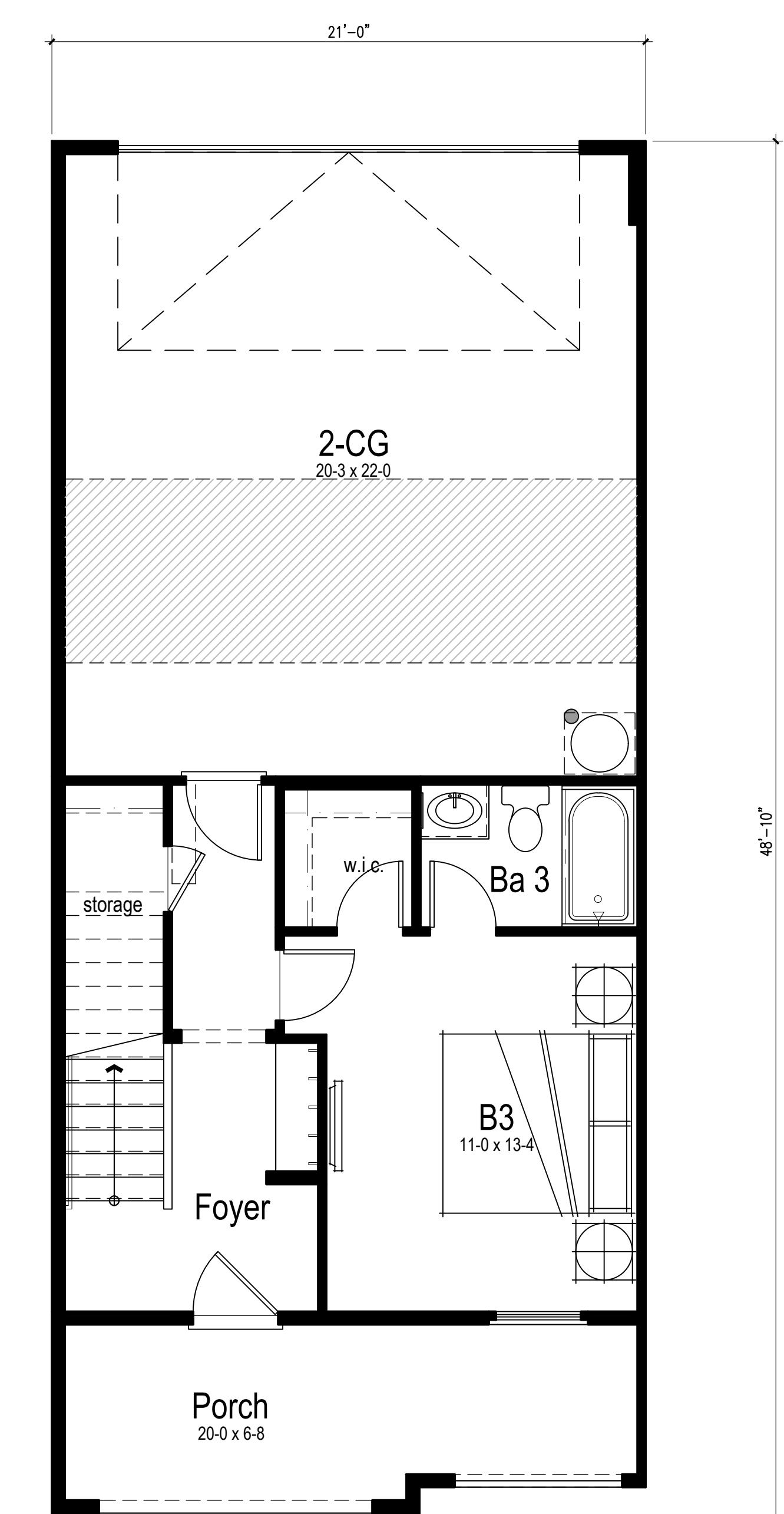
A2-2



Third Floor Plan 4



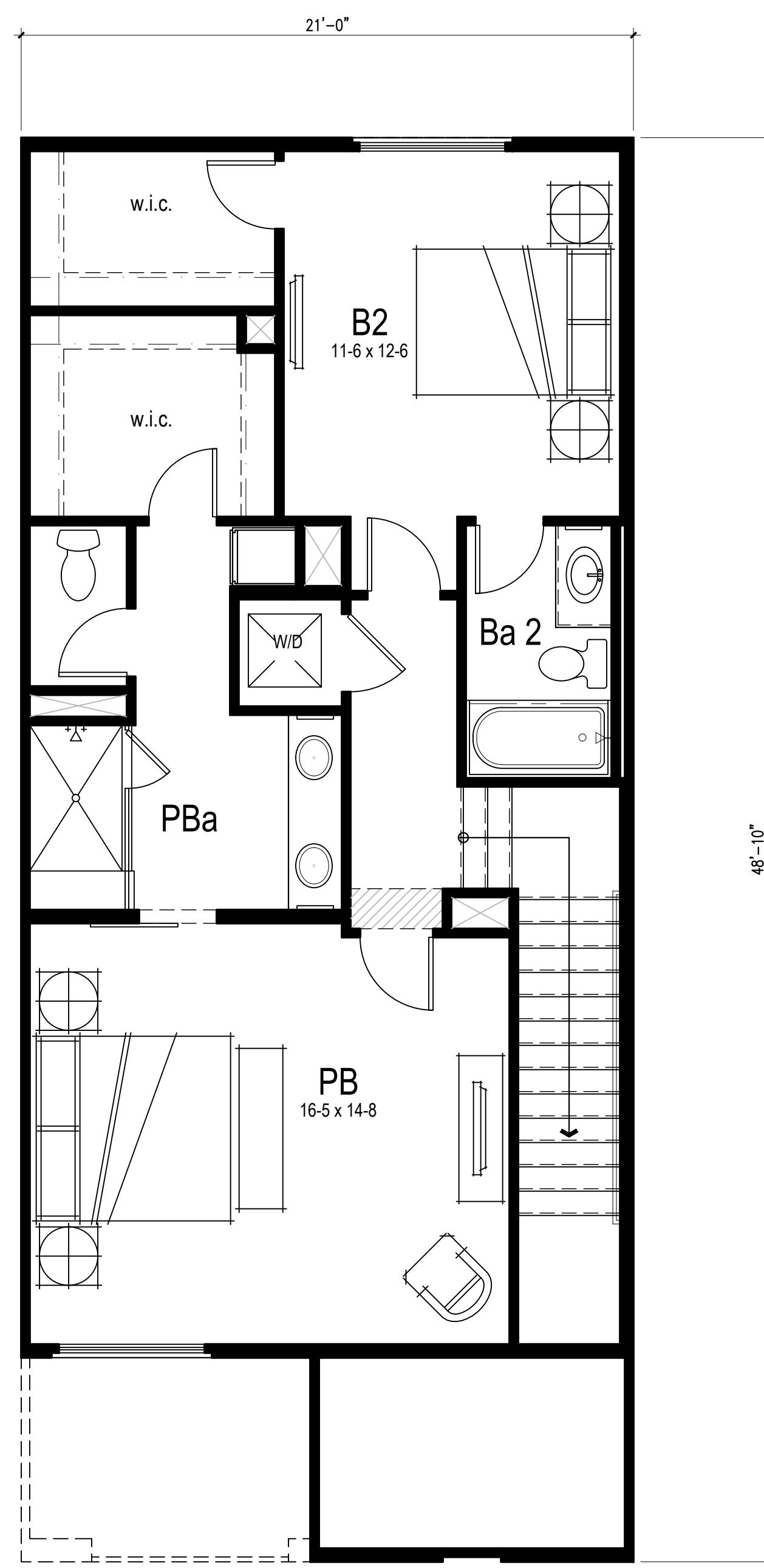
Second Floor Plan 4A



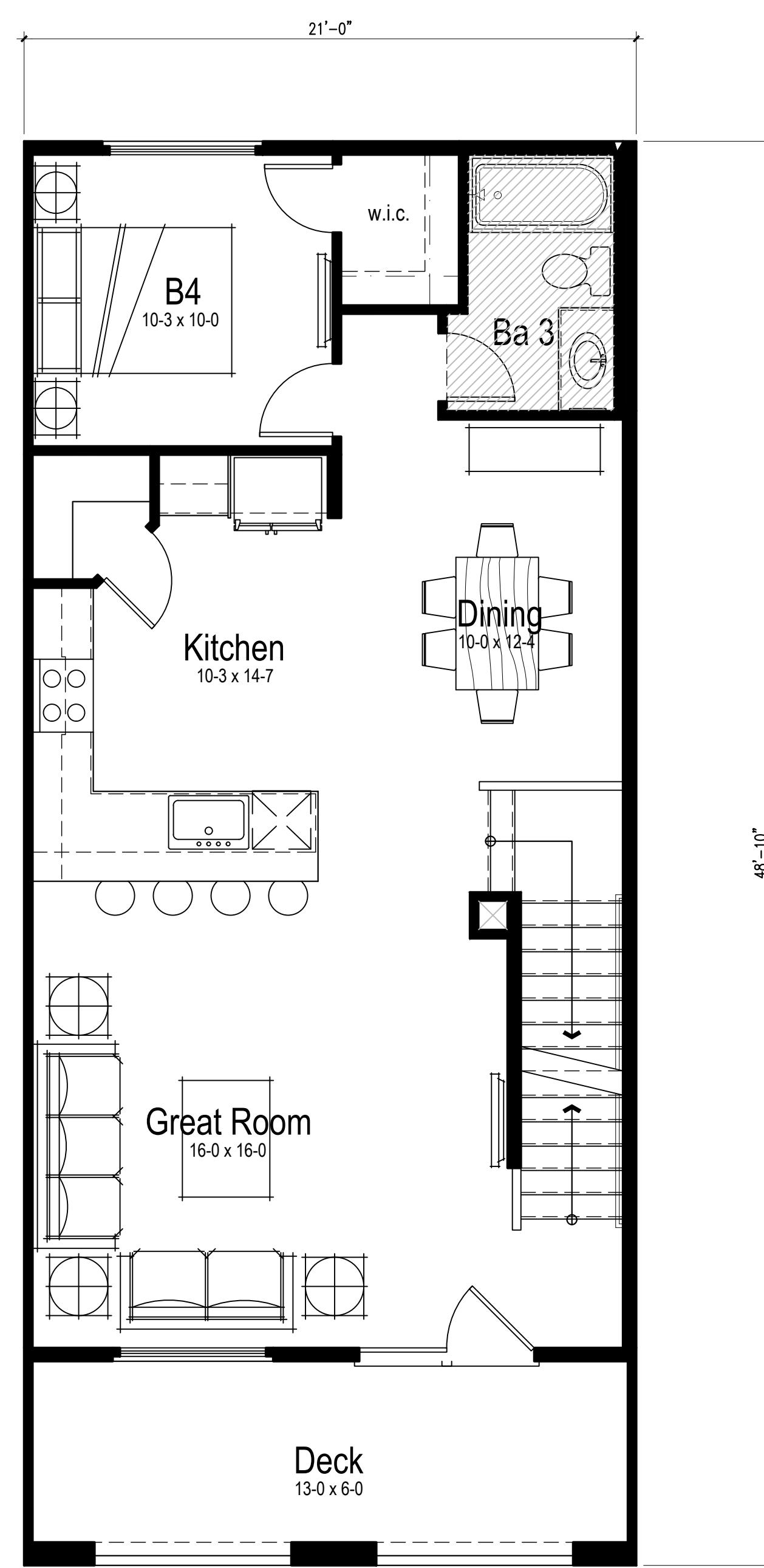
First Floor Plan 4

PLAN 4

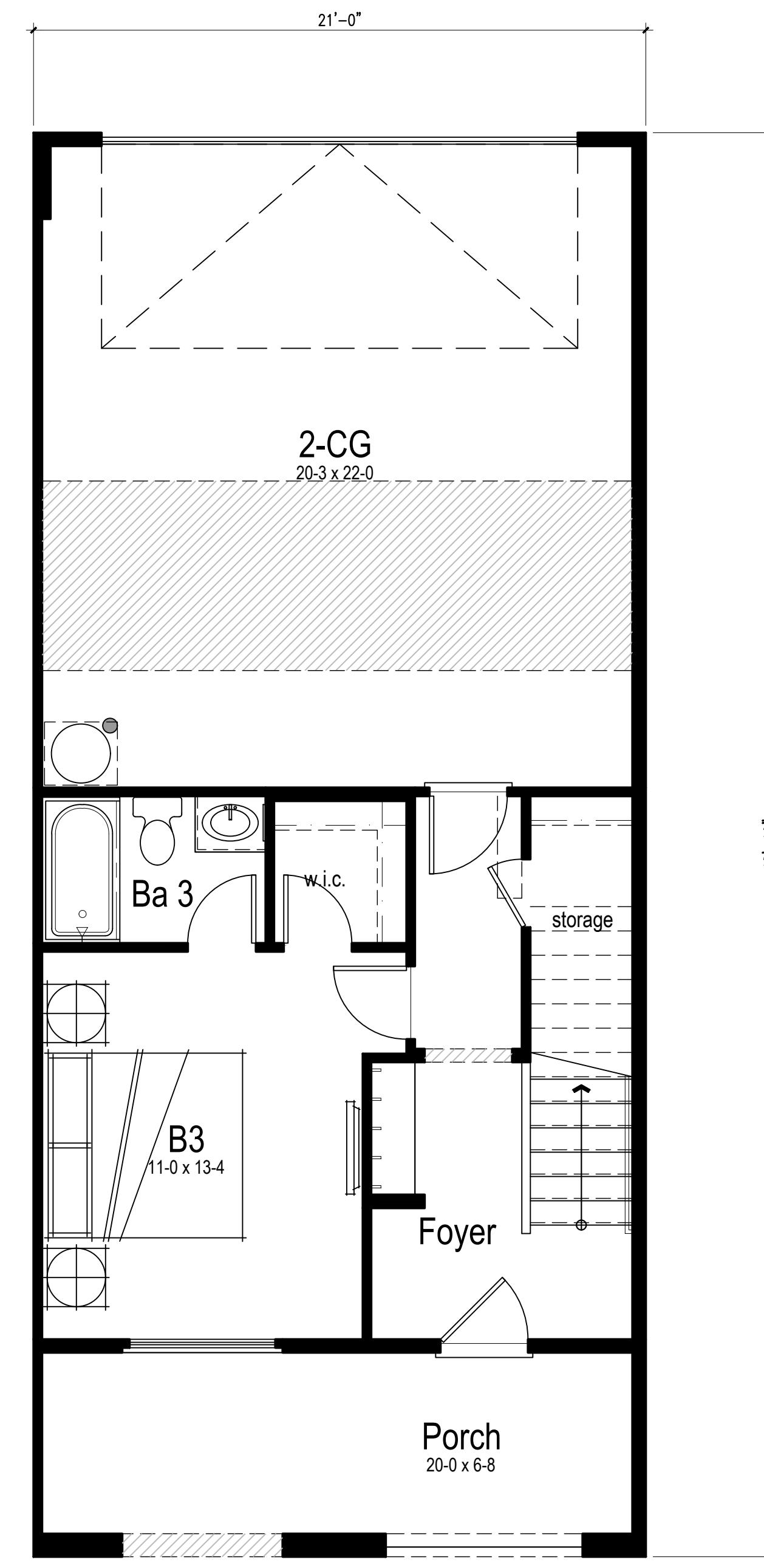
(IN GROSS SQUARE FEET)				
UNIT FLOOR	CONDITIONED R-3	UNCONDITIONED (PORCH/DECK) R-3	UNCONDITIONED (GARAGE/STOR) U	FLOOR TOTAL
FIRST FLOOR	410	137	468	1015
SECOND FLOOR	879	137	0	1016
THIRD FLOOR	879	0	0	879
UNIT TOTAL:	2168	274	468	2910



Third Floor Plan 4-E2



Second Floor Plan 4-E2



First Floor Plan 4-E2

PLAN 4-E2

(IN GROSS SQUARE FEET)				
UNIT FLOOR	CONDITIONED R-3	UNCONDITIONED (PORCH/DECK) R-3	UNCONDITIONED (GARAGE/STOR) U	FLOOR TOTAL
FIRST FLOOR	410	147	468	1025
SECOND FLOOR	879	157	0	1036
THIRD FLOOR	879	0	0	879
UNIT TOTAL:	2168	304	468	2940



BUILDING TYPE B - 39-PLEX
NORTH ELEVATION
COLOR SCHEME 1



BUILDING TYPE B - 39-PLEX
SOUTH ELEVATION



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0 4 8 16

CONCEPTUAL EXTERIOR ELEVATIONS

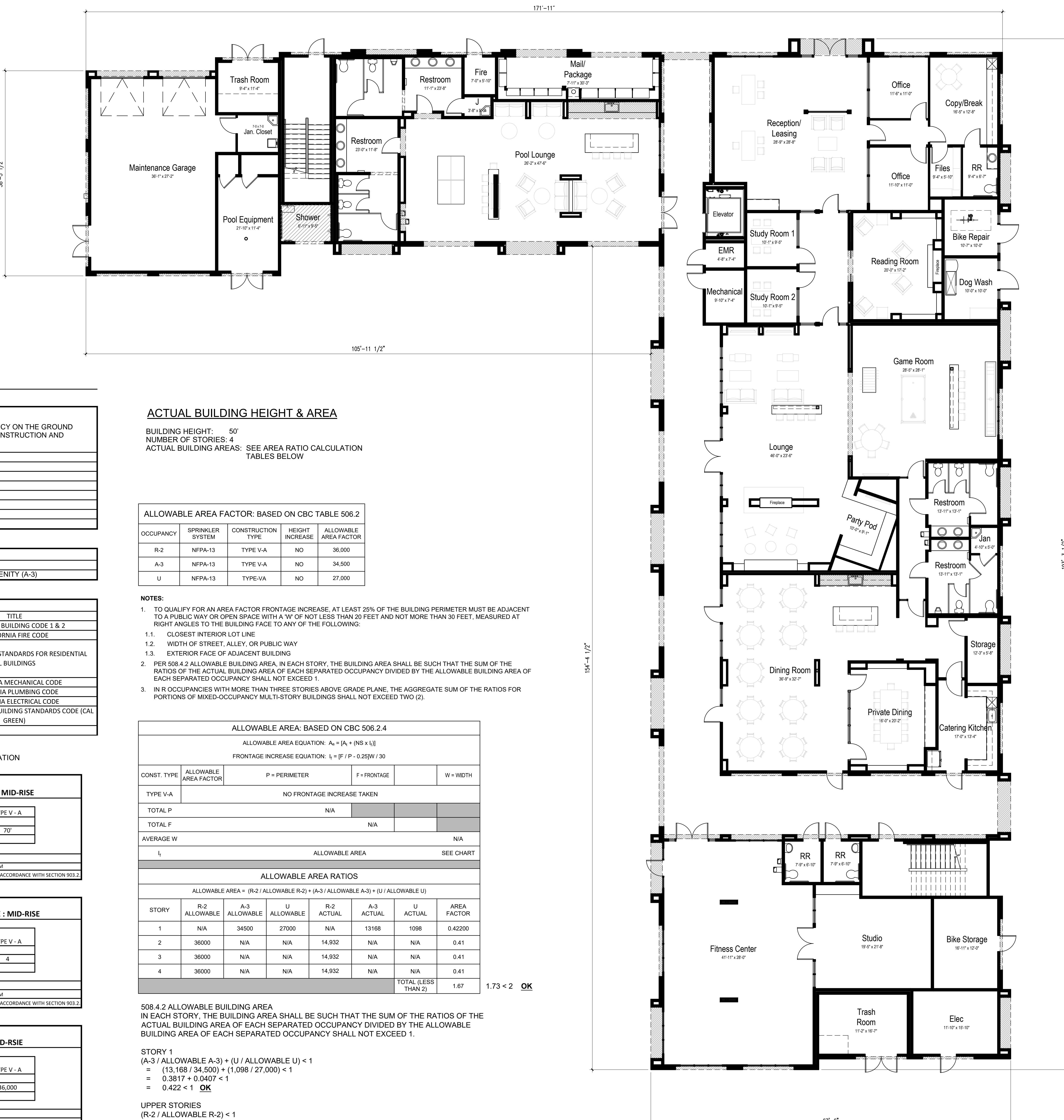
A3-1

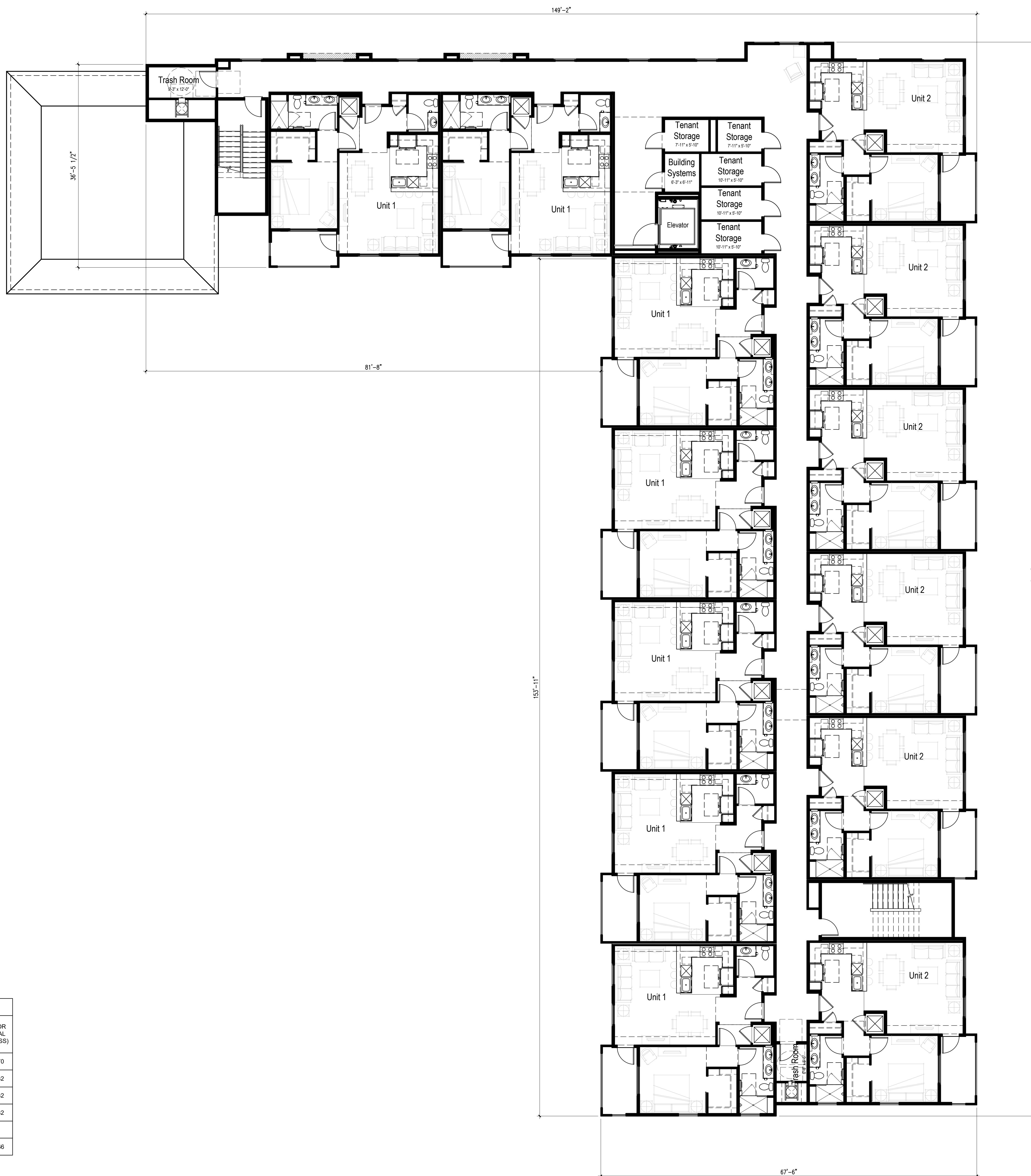


BUILDING TYPE B - 39-PLEX
EAST ELEVATION



BUILDING TYPE B - 39-PLEX
WEST ELEVATION





BUILDING TYPE B - 39-PLEX
SECOND FLOOR PLAN

39-PLEX

(IN SQUARE FEET)								
BUILDING LEVEL	INTERIOR COMMON SPACE (A)	UNCONDITIONED COMMON SPACE (A)	APARTMENTS (R-2)	INTERIOR COMMON SPACE (R-2)	APARTMENT DECKS (R-2)	UTILITY (U)	FLOOR TOTAL (NET)	FLOOR TOTAL (GROSS)
1	9077	4091	0	0	0	1098	14266	15870
2	0	0	10507	2926	962	170	14565	14932
3	0	0	10507	2926	962	170	14565	14932
4	0	0	10507	2926	962	170	14565	14932
TOTAL BY OCC	9077	4091	31521	8778	2886	1608	—	—
BUILDING TOTAL:							57961	60666

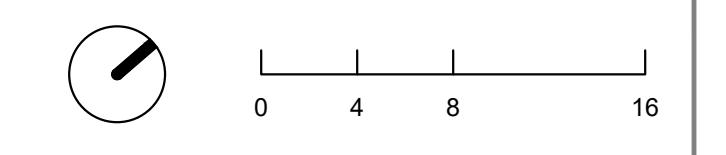


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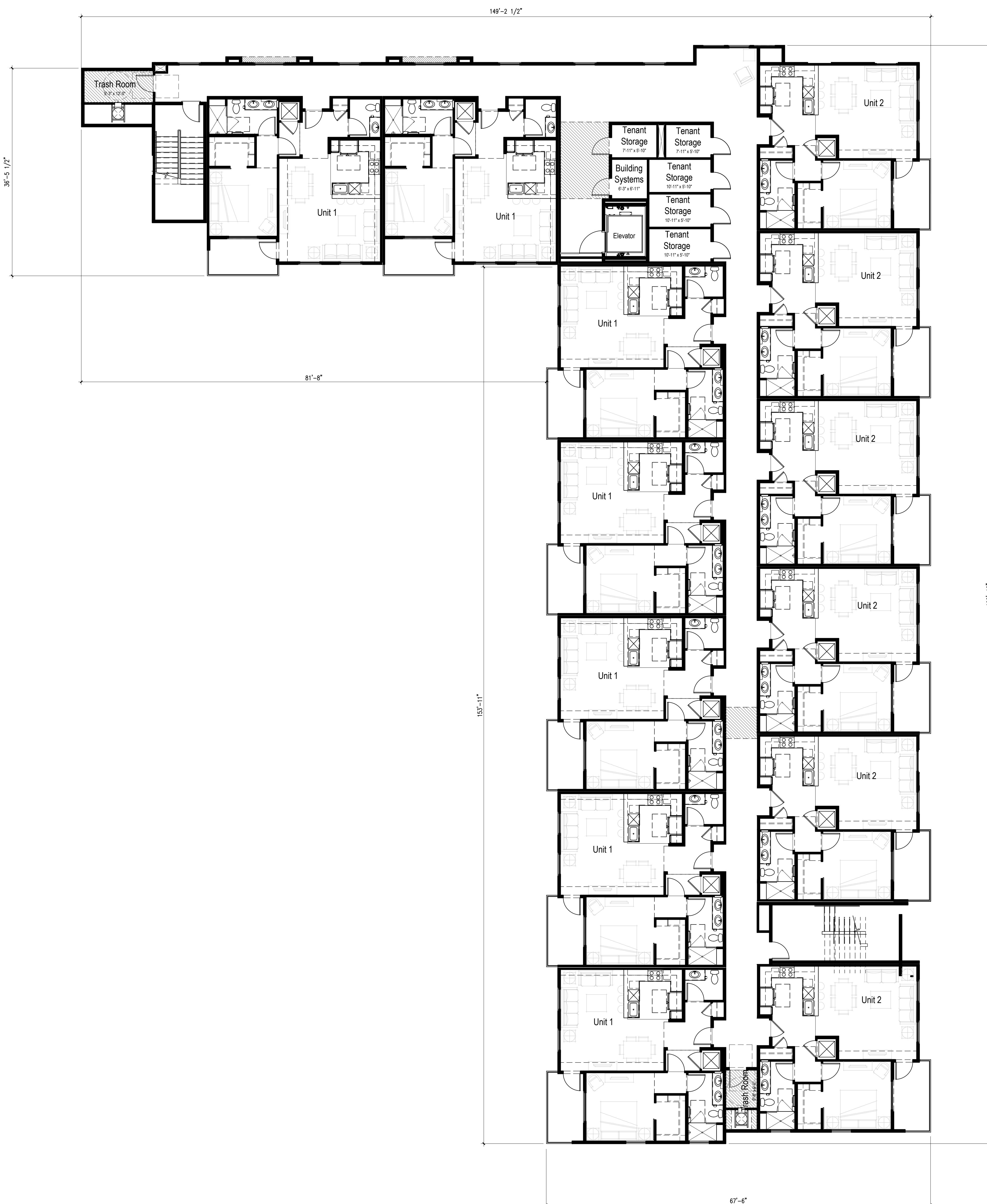
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CONCEPTUAL COMPOSITE PLAN

A3-4



BUILDING TYPE B - 39-PLEX
THIRD FLOOR PLAN

39-PLEX

(IN SQUARE FEET)								
BUILDING LEVEL	INTERIOR COMMON SPACE (A)	UNCONDITIONED COMMON SPACE (A)	APARTMENTS (R-2)	INTERIOR COMMON SPACE (R-2)	APARTMENT DECKS (R-2)	UTILITY (U)	FLOOR TOTAL (NET)	FLOOR TOTAL (GROSS)
1	9077	4091	0	0	0	1098	14266	15870
2	0	0	10507	2926	962	170	14565	14932
3	0	0	10507	2926	962	170	14565	14932
4	0	0	10507	2926	962	170	14565	14932
TOTAL BY OCC	9077	4091	31521	8778	2886	1608	—	—
BUILDING TOTAL:							57961	60666

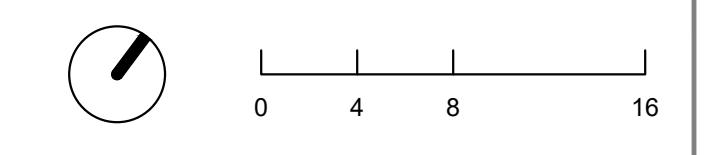


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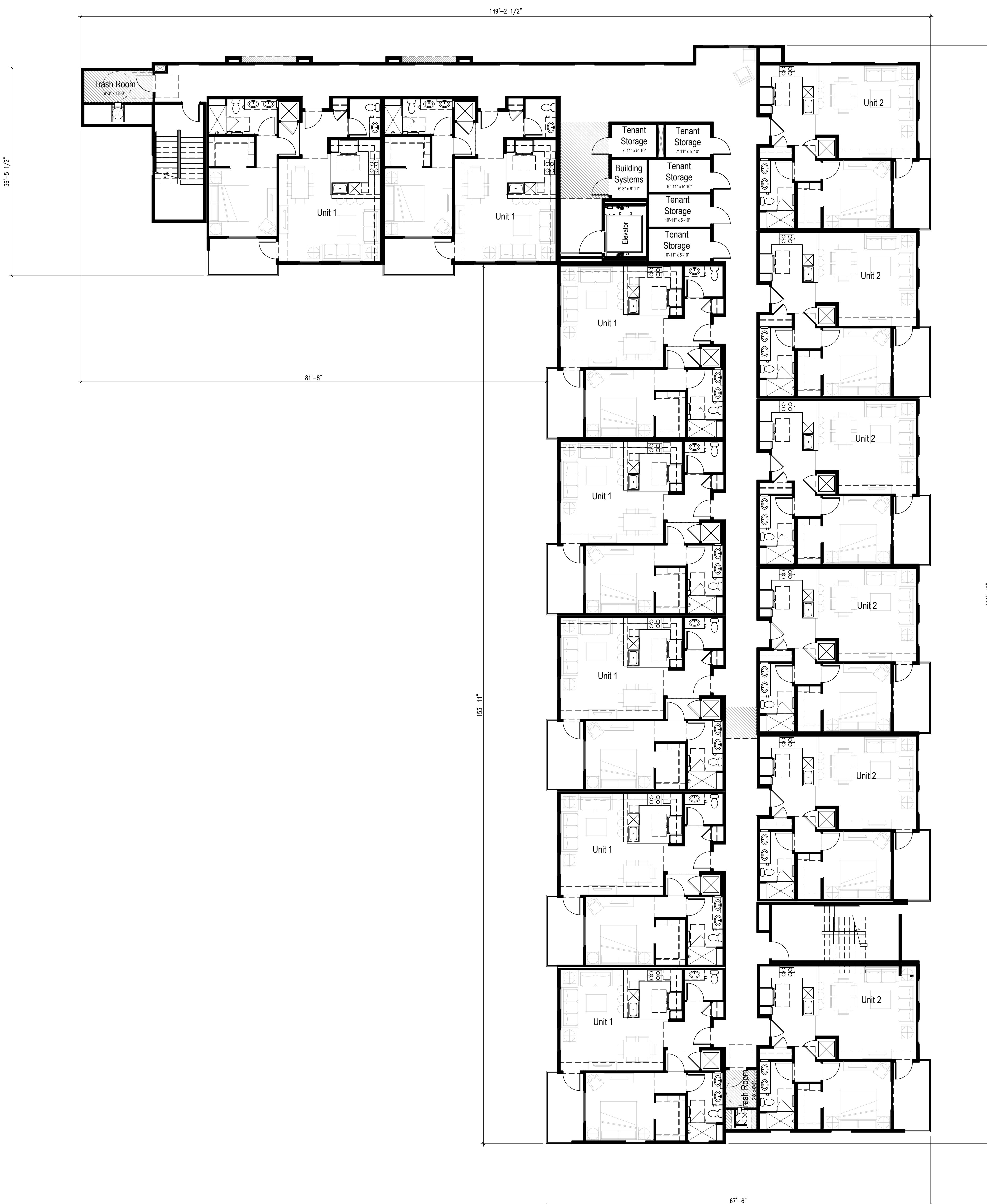
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CONCEPTUAL COMPOSITE PLAN

A3-5



BUILDING TYPE B - 39-PLEX
FOURTH FLOOR PLAN

39-PLEX

(IN SQUARE FEET)								
BUILDING LEVEL	INTERIOR COMMON SPACE (A)	UNCONDITIONED COMMON SPACE (A)	APARTMENTS (R-2)	INTERIOR COMMON SPACE (R-2)	APARTMENT DECKS (R-2)	UTILITY (U)	FLOOR TOTAL (NET)	FLOOR TOTAL (GROSS)
1	9077	4091	0	0	0	1098	14266	15870
2	0	0	10507	2926	962	170	14565	14932
3	0	0	10507	2926	962	170	14565	14932
4	0	0	10507	2926	962	170	14565	14932
TOTAL BY OCC	9077	4091	31521	8778	2886	1608	—	—
BUILDING TOTAL:							57961	60666

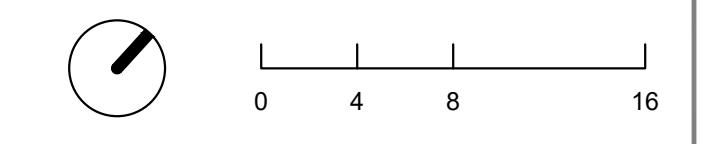


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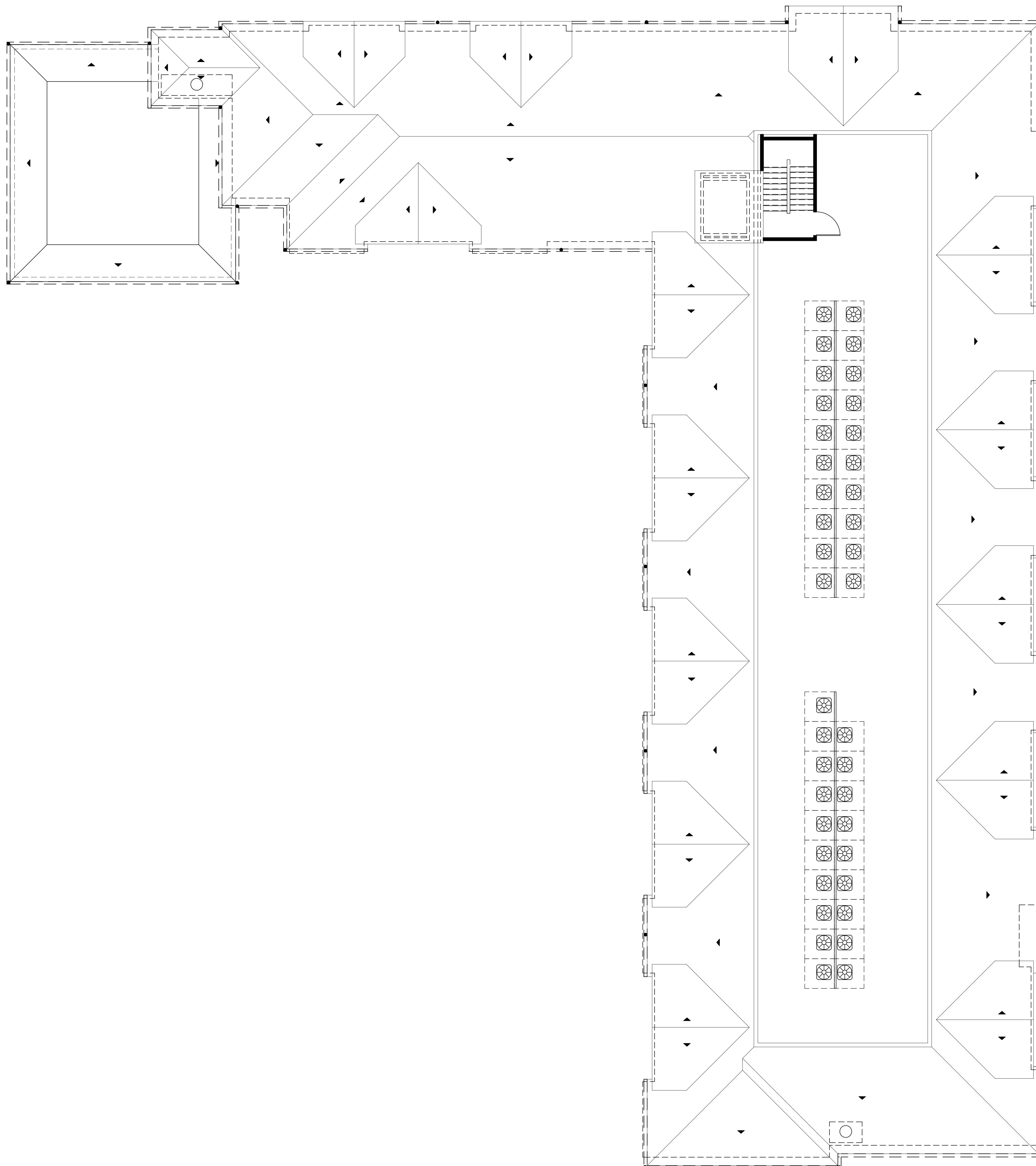
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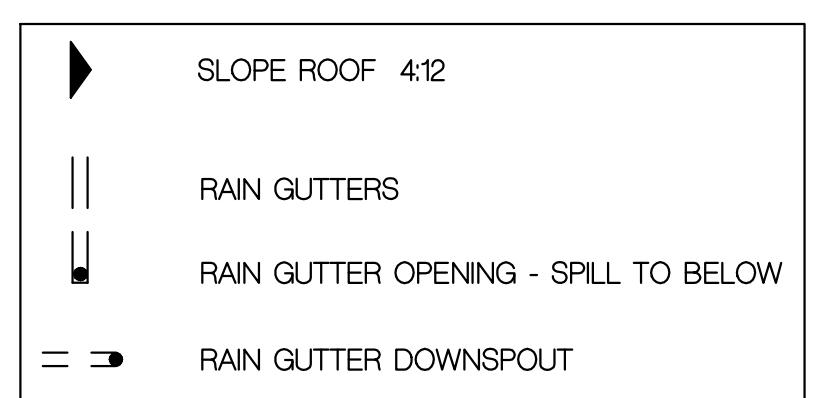


CONCEPTUAL COMPOSITE PLAN

A3-6



BUILDING TYPE B - 39-PLEX
ROOF PLAN



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0 4 8 16

CONCEPTUAL ROOF PLAN

A3-7

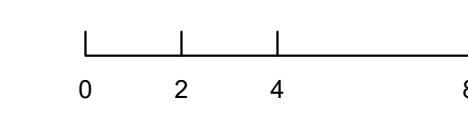


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39-PLEX NIGHTTIME LIGHTING

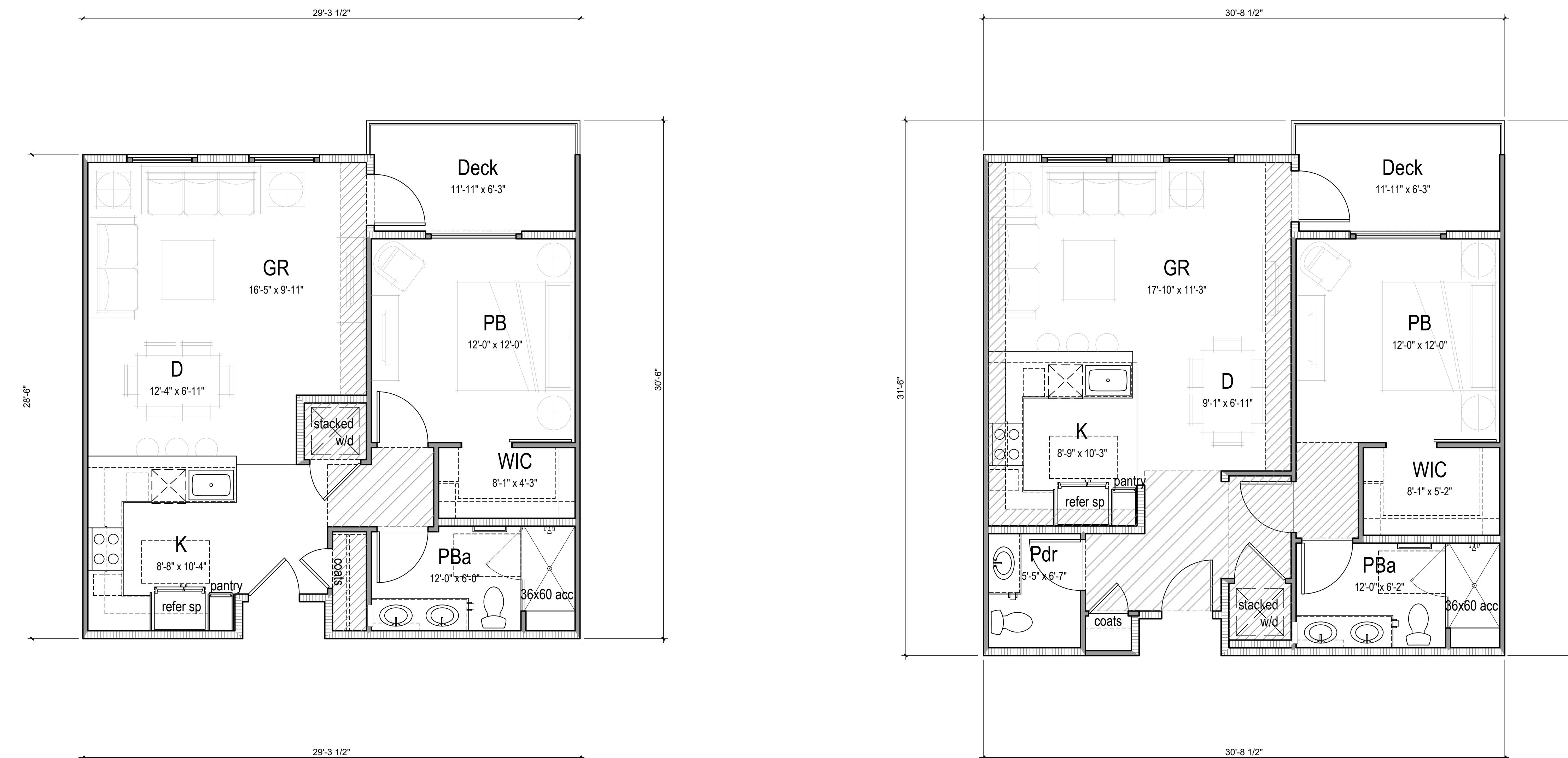
A3-8

UNIT1

(IN SQUARE FEET)		GROSS	
	CONDITIONED R-2	UNCONDITIONED (PORCH/DECK) R-2	APARTMENT TOTAL
APT. 1	841	75	916

UNIT 2

(IN SQUARE FEET)		GROSS	
	CONDITIONED R-2	UNCONDITIONED (PORCH/DECK) R-2	APARTMENT TOTAL
APT. 2	770	75	845

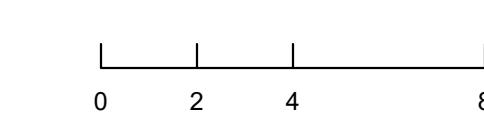


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CONCEPTUAL UNIT PLANS

A4-1