





	PRIMARY STUCCO BODY	SECONDARY STUCCO BODY	FASCIA / EAVE / GARAGE DOOR	TRIM	ENTRY DOOR / ACCENT	DECORATIVE METAL	BUILDING MATERIAL ROOF <small>(CAPISTRANO 'S TILE)</small> / BRICK <small>(STANDARD)</small> / STONE <small>(ENHANCED)</small>		
SCHEME 1 CLUBHOUSE AND POOL BUILDING	 SW 7537 IRISH CREAM	 SW 6151 QUIVER TAN	 SW 7034 STATUS BRONZE	 SW 7551 GREEK VILLA	 SW 7595 SOMMELIER	 SW 6994 GREENBLACK	 3684 SAN RAFAEL BLEND	 CANYON COBBLE	 TUSCAN VILLA <small>(PRAIRIE MOSS)</small>
SCHEME 2 TOWNHOMES LIGHT SCHEME	 SW 7517 CHINA DOLL	 SW 7502 DRY DOCK	 SW 6167 GARDEN GATE	 SW 7100 ARCADE WHITE	 SW 0005 DEEPEST MAUVE	 SW 6994 GREENBLACK	 3646 SUNSET BLEND	 WIRECUT BRICK <small>(OLD CHICAGO)</small>	 ITALIAN VILLA <small>(ASPEN)</small>
SCHEME 3 TOWNHOMES DARK SCHEME	 SW 7537 IRISH CREAM	 SW 6151 QUIVER TAN	 SW 7034 STATUS BRONZE	 SW 7551 GREEK VILLA	 SW 7595 SOMMELIER	 SW 6994 GREENBLACK	 3606 VALLEJO RANGE	 WIRECUT BRICK <small>(COUNTRY)</small>	 TUSCAN VILLA <small>(PRAIRIE MOSS)</small>
SCHEME 4 TOWNHOMES MEDIUM SCHEME	 SW 6171 CHATROOM	 SW 2851 SAGE GREEN LIGHT	 SW 6146 UMBER	 SW 7049 NUANCE	 SW 9141 WATERLOO	 SW 6994 GREENBLACK	 SCC 8829 SANTA FE BLEND	 WEATHERED BRICK <small>(SAVANNAH)</small>	 COUNTRY RUBBLE <small>(COASTAL BROWN)</small>
** Stone and brick selection is tentative. A similar stone may be used based on availability.									





BUILDING TYPE A - 6-PLEX  
TOWNHOUSE - 2-, 3- AND 4-BED  
FRONT ELEVATION  
COLOR SCHEME 3





BUILDING TYPE A - 6-PLEX  
TOWNHOUSE - 2-, 3- AND 4-BED  
REAR ELEVATION

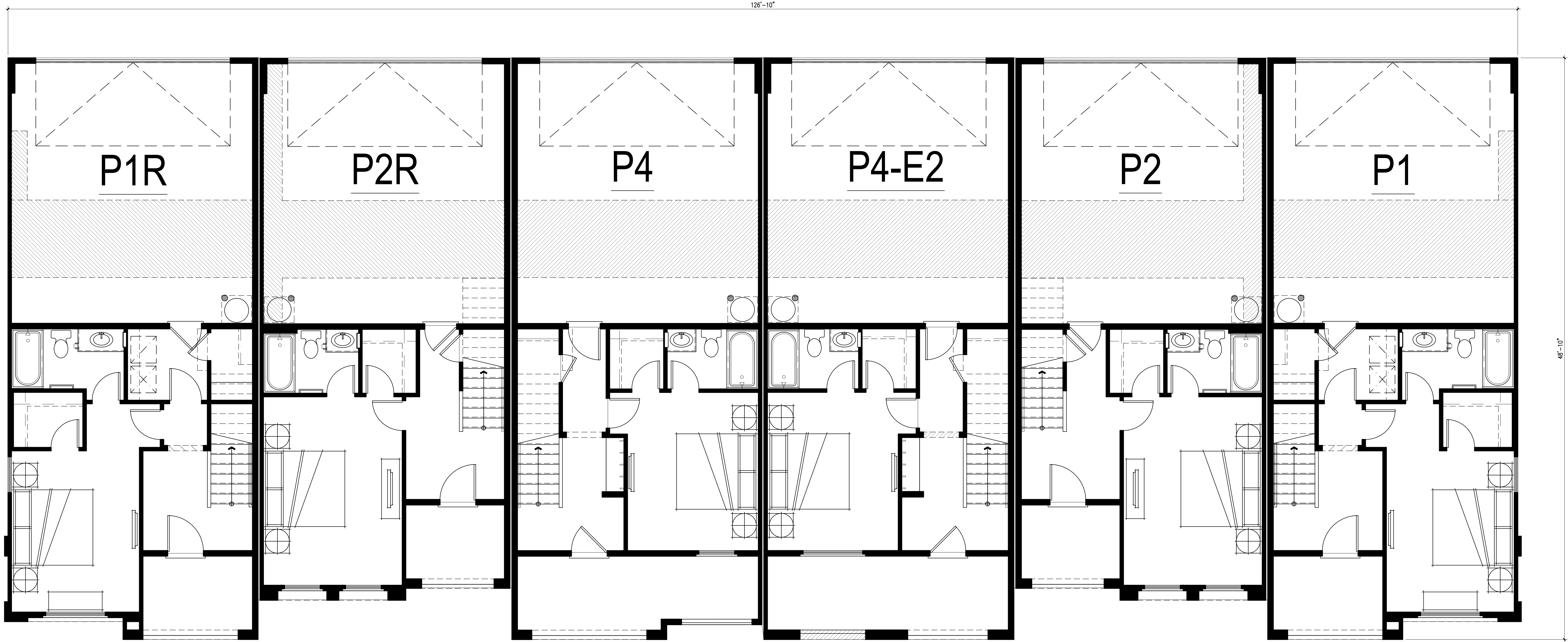


BUILDING TYPE A - 6-PLEX  
TOWNHOUSE - 2-, 3- AND 4-BED  
LEFT ELEVATION



BUILDING TYPE A - 6-PLEX  
TOWNHOUSE - 2-, 3- AND 4-BED  
RIGHT ELEVATION





BUILDING TYPE A - 6-PLEX  
TOWNHOUSE - 2-, 3- AND 4-BED  
FIRST FLOOR PLAN

MORGAN HILL HOUSING PROJECT  
760 TENNANT AVENUE, MORGAN HILL, CA.

PROJECT DESCRIPTION:		
2- AND 3-STORY, 6 UNIT TOWNHOUSE BUILDING W/ PRIVATE GARAGE PARKING. TYPE V-B CONSTRUCTION W/ NFPA-13D AUTOMATIC SPRINKLER SYSTEM.		
TOTAL UNITS:		6 UNITS
TOTAL BUILDING AREA		
FIRST FLOOR		5930
SECOND FLOOR		5856
THIRD FLOOR		3305
	TOTAL:	15,091 SF

EXISTING/ PROPOSED USES		
EXISTING USE:	AGRICULTURAL	
PROPOSED USE:	RESIDENTIAL (6 UNITS)	

CODE SUMMARY		
CODE	YEAR	TITLE
BUILDING CODE	2022	CALIFORNIA BUILDING CODE 1 & 2
FIRE CODE	2022	CALIFORNIA FIRE CODE
ENERGY CODE	2022	BUILDING EFFICIENCY STANDARDS FOR RESIDENTIAL AND NON-RESIDENTIAL BUILDINGS
MECHANICAL CODE	2022	CALIFORNIA MECHANICAL CODE
PLUMBING CODE	2022	CALIFORNIA PLUMBING CODE
ELECTRICAL CODE	2022	CALIFORNIA ELECTRICAL CODE
GREEN STANDARD	2022	CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN)
CALIFORNIA CODE OF REGULATIONS		TITLE 24

TABLE 504.3  
ALLOWABLE / ACTUAL BUILDING HEIGHT ABOVE GRADE PLANE

OCCUPANCY CLASSIFICATION	FOOTNOTES	TYPE V - B	
R-3	S13D (WITHOUT AREA INCREASE)	40'	38'
		ALLOWABLE	ACTUAL

SEE CHAPTERS 4 & 5 FOR SPECIFIC EXCEPTIONS TO THE ALLOWABLE HEIGHT IN THIS CHAPTER.  
SEE SECTION 903.2 FOR THE MINIMUM THRESHOLDS FOR PROTECTION BY AN AUTOMATIC SPRINKLER SYSTEM.  
S = BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1

TABLE 504.4			
ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE			
OCCUPANCY CLASSIFICATION	FOOTNOTES	TYPE V - B	
R-3	S13D (WITHOUT AREA INCREASE)	3	3
		ALLOWABLE	ACTUAL
SEE SECTION 903.2 FOR THE MINIMUM THRESHOLDS FOR PROTECTION BY AN AUTOMATIC SPRINKLER SYSTEM			
S = BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1			

TABLE 506.2

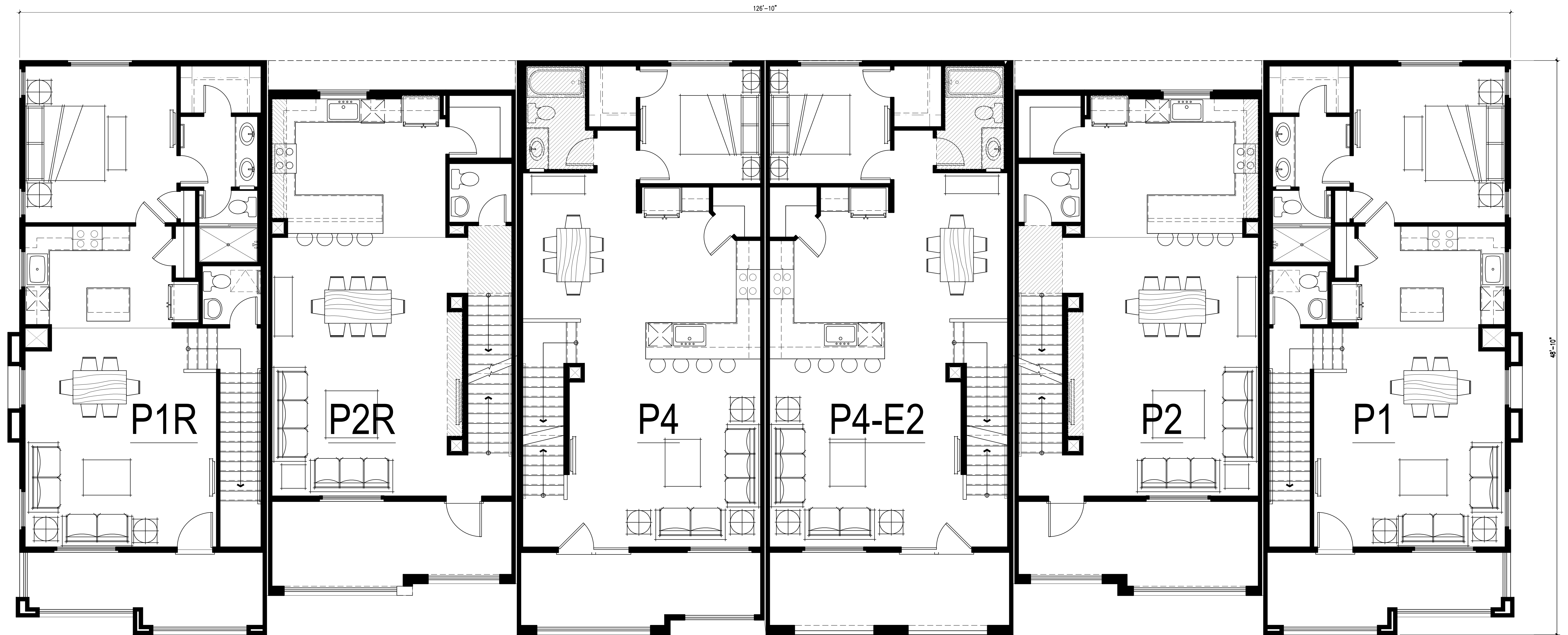
ALLOWABLE AREA PER STORY IN SQUARE FEET

OCCUPANCY CLASSIFICATION	FOOTNOTES	TYPE V - B	
R-3	S13D (WITHOUT AREA INCREASE)	UL	5,930
		ALLOWABLE	ACTUAL

THE ALLOWABLE AREA IS UNLIMITED FOR R-3 CLASSIFIED TOWNHOUSES PER CBC TABLE 506.2. EACH PRIVATE GARAGE CLASSIFIED AS GROUP U SHALL NOT EXCEED 1,000 SQUARE FEET PER CBC 406.3.1. ONLY ONE EXIT IS REQUIRED FOR R-3 CLASSIFIED TOWNHOUSES NOT MORE THAN THREE STORIES.

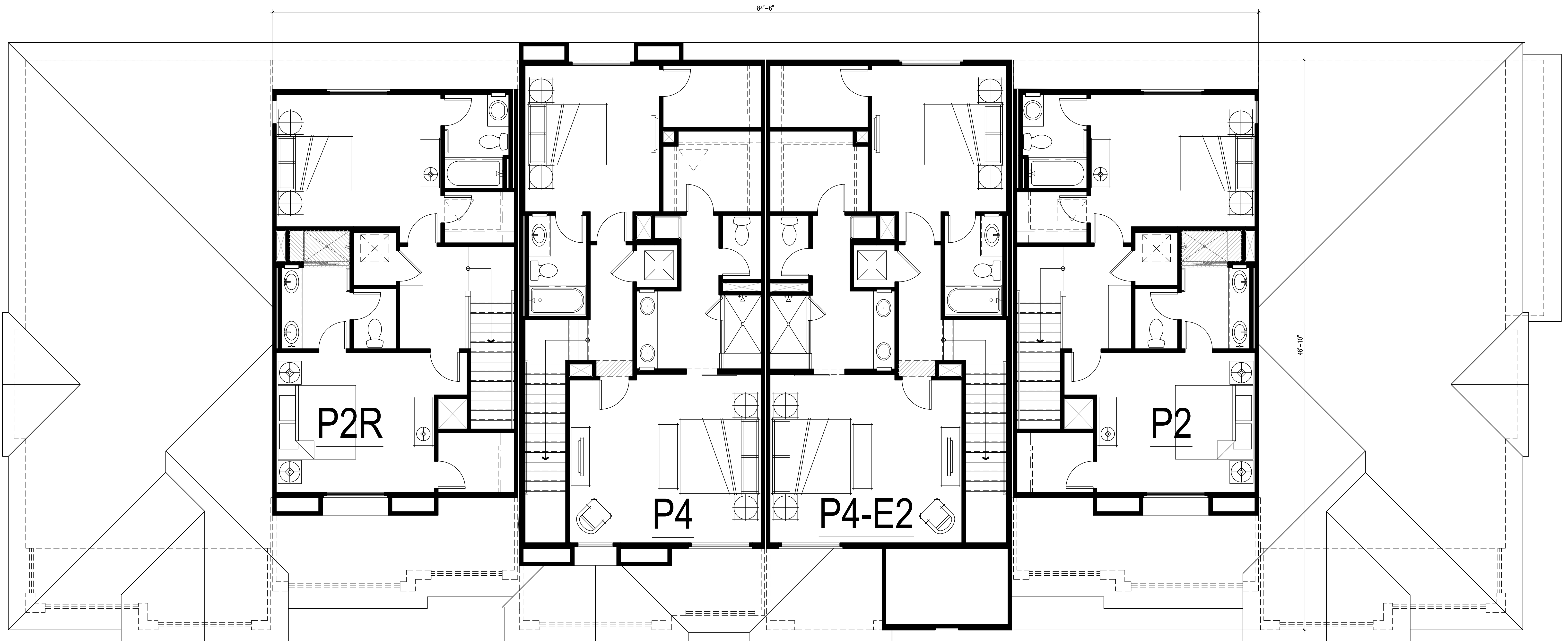
6 UNIT - TOWNHOUSE BUILDING AREAS (SF)					
BUILDING LEVEL	UNCONDITIONED (GARAGE/UTILITY) U	UNCONDITIONED (PORCH/DECK) R-3	APARTMENTS R-3	FLOOR (NET)	FLOOR (GROSS)
1	2646	463	2348	5457	5930
2	-	751	4602	5353	5856
3	-	-	2944	2944	3305
SUBTOTALS	2646	1214	9894		
TOTAL BLDG AREA				13,754	15,091





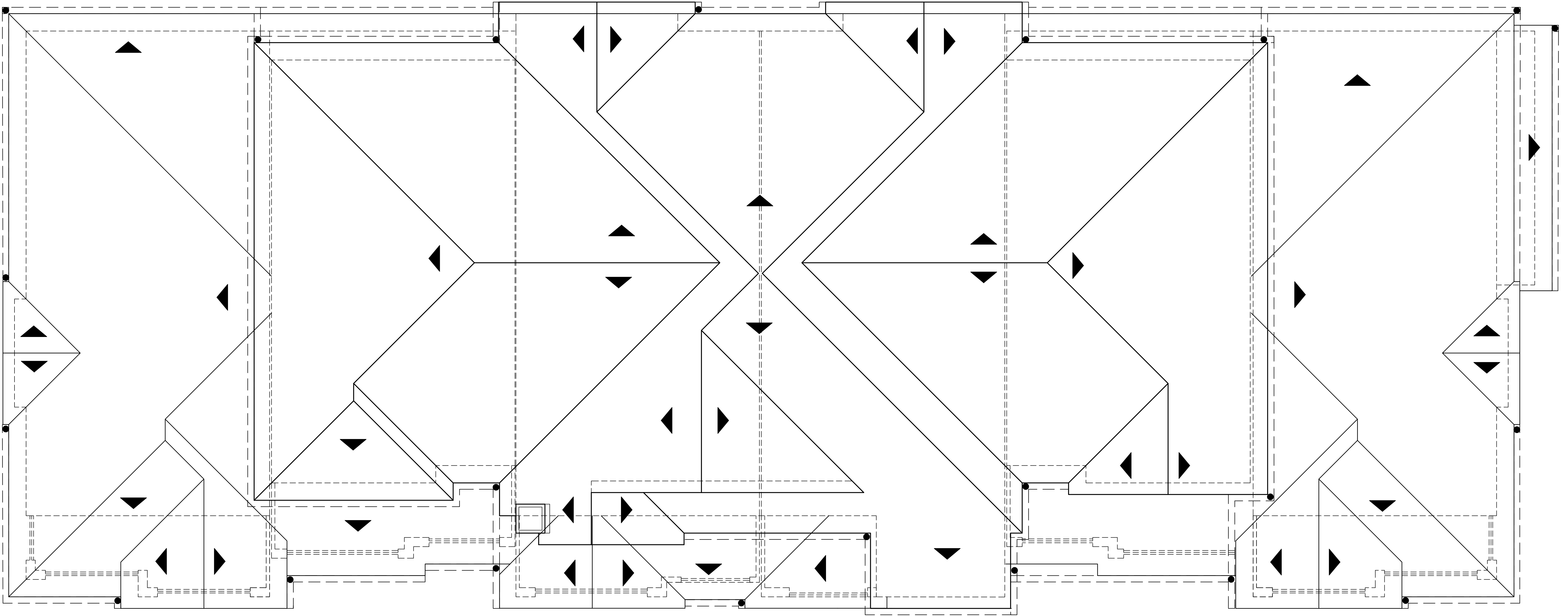
BUILDING TYPE A - 6-PLEX  
TOWNHOUSE - 2-, 3- AND 4-BED  
SECOND FLOOR PLAN





BUILDING TYPE A - 6-PLEX  
TOWNHOUSE - 2-, 3- AND 4-BED  
THIRD FLOOR PLAN





BUILDING TYPE A - 6-PLEX  
TOWNHOUSE - 2-, 3- AND 4-BED  
ROOF PLAN

▶

SLOPE ROOF 4:12

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RAIN GUTTERS

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RAIN GUTTER OPENING - SPILL TO BELOW

≡ ➔

RAIN GUTTER DOWNSPOUT

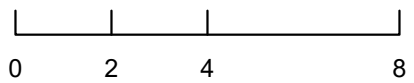


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JUNE 7, 2024



CONCEPTUAL ROOF PLAN

A1-6



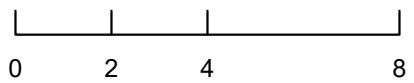


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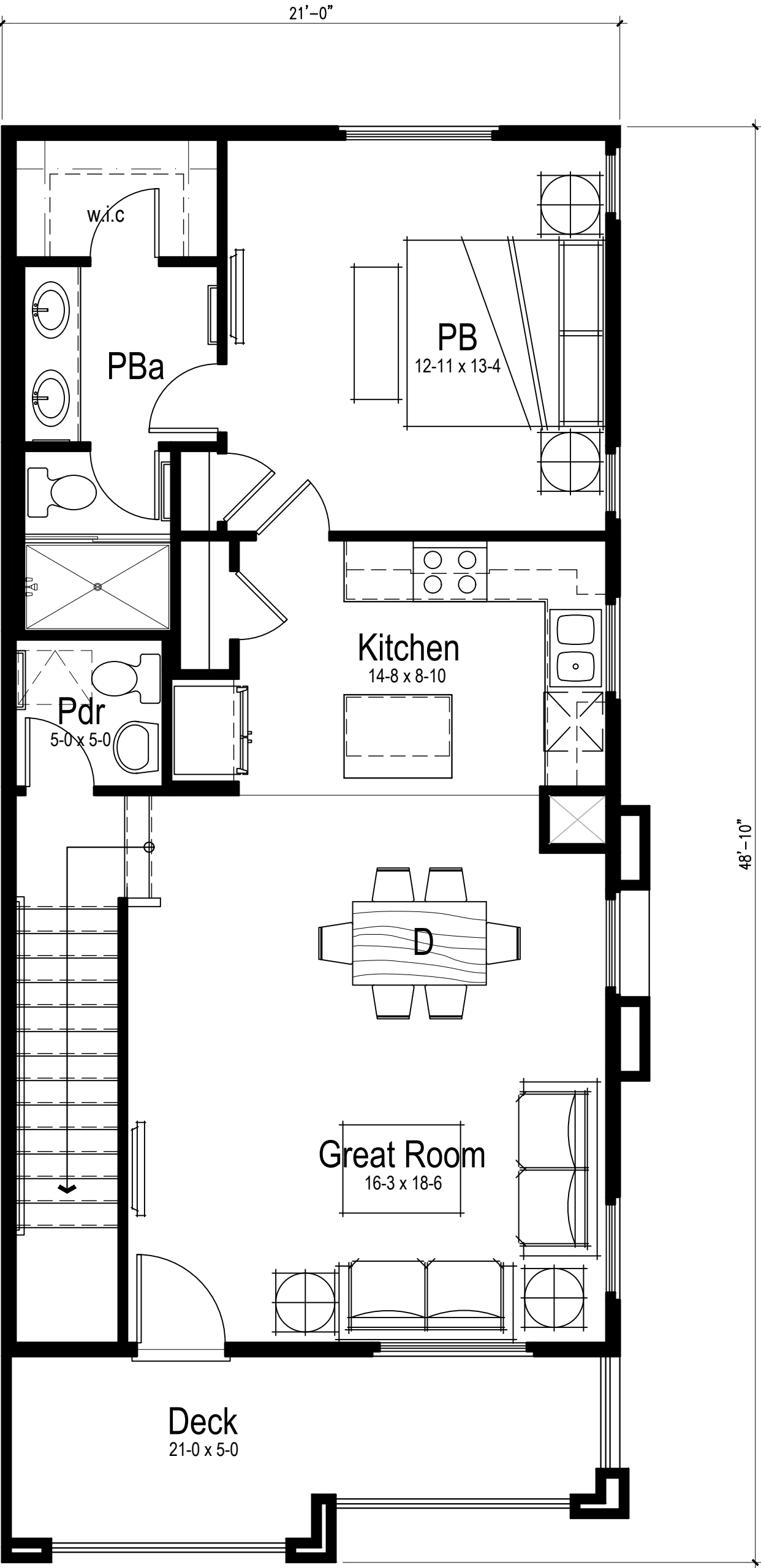
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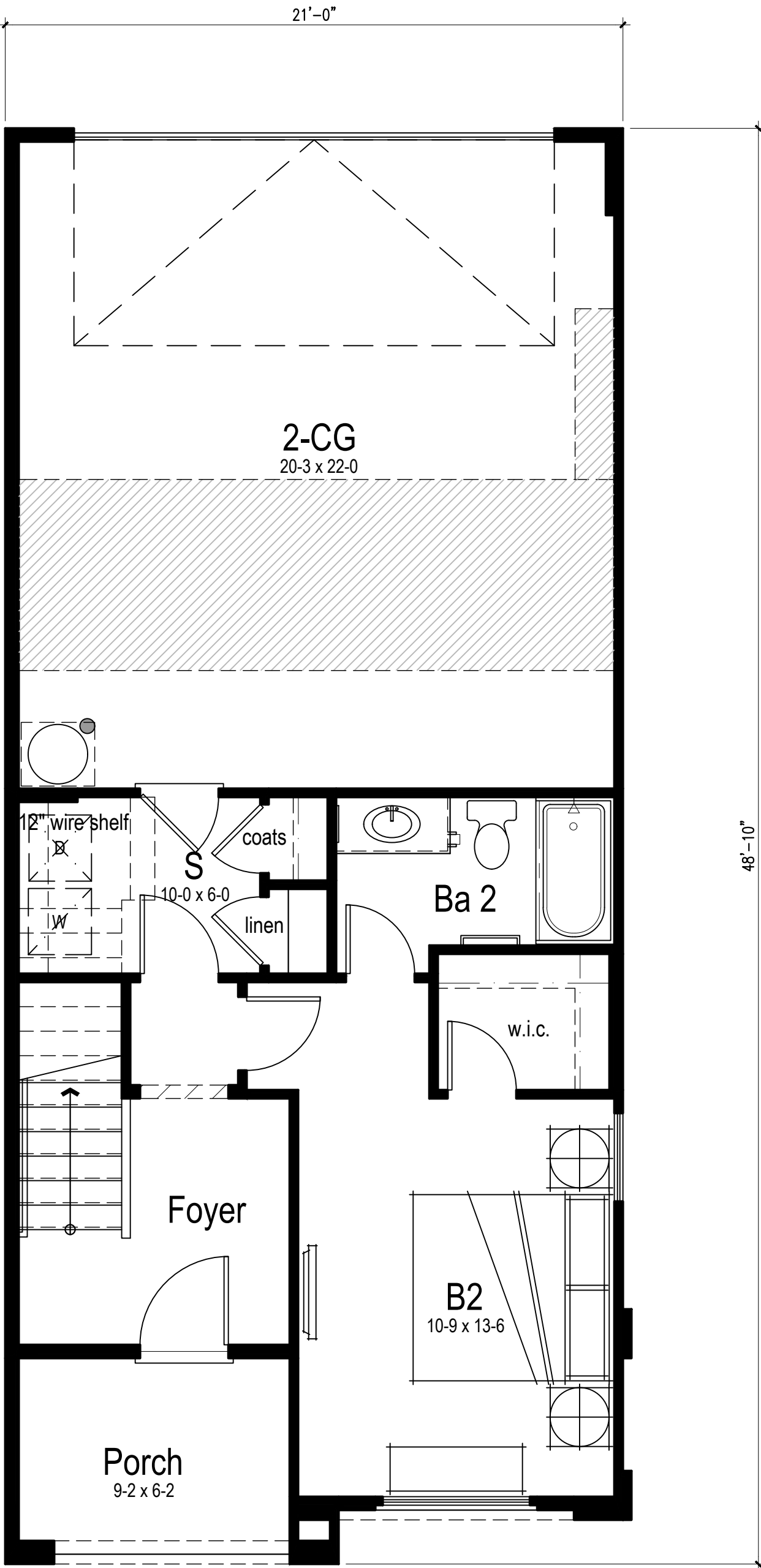
6-PLEX NIGHTTIME LIGHTING

A1-7





Second Floor Plan 1



First Floor Plan 1

PLAN 1

(IN GROSS SQUARE FEET)				
UNIT FLOOR	CONDITIONED R-3	UNCONDITIONED (PORCH/DECK) R-3	UNCONDITIONED (GARAGE/STOR) U	FLOOR TOTAL
FIRST FLOOR	468	68	463	999
SECOND FLOOR	878	130	0	1008
UNIT TOTAL:	1346	198	463	2007

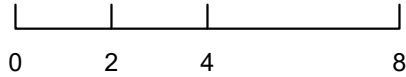


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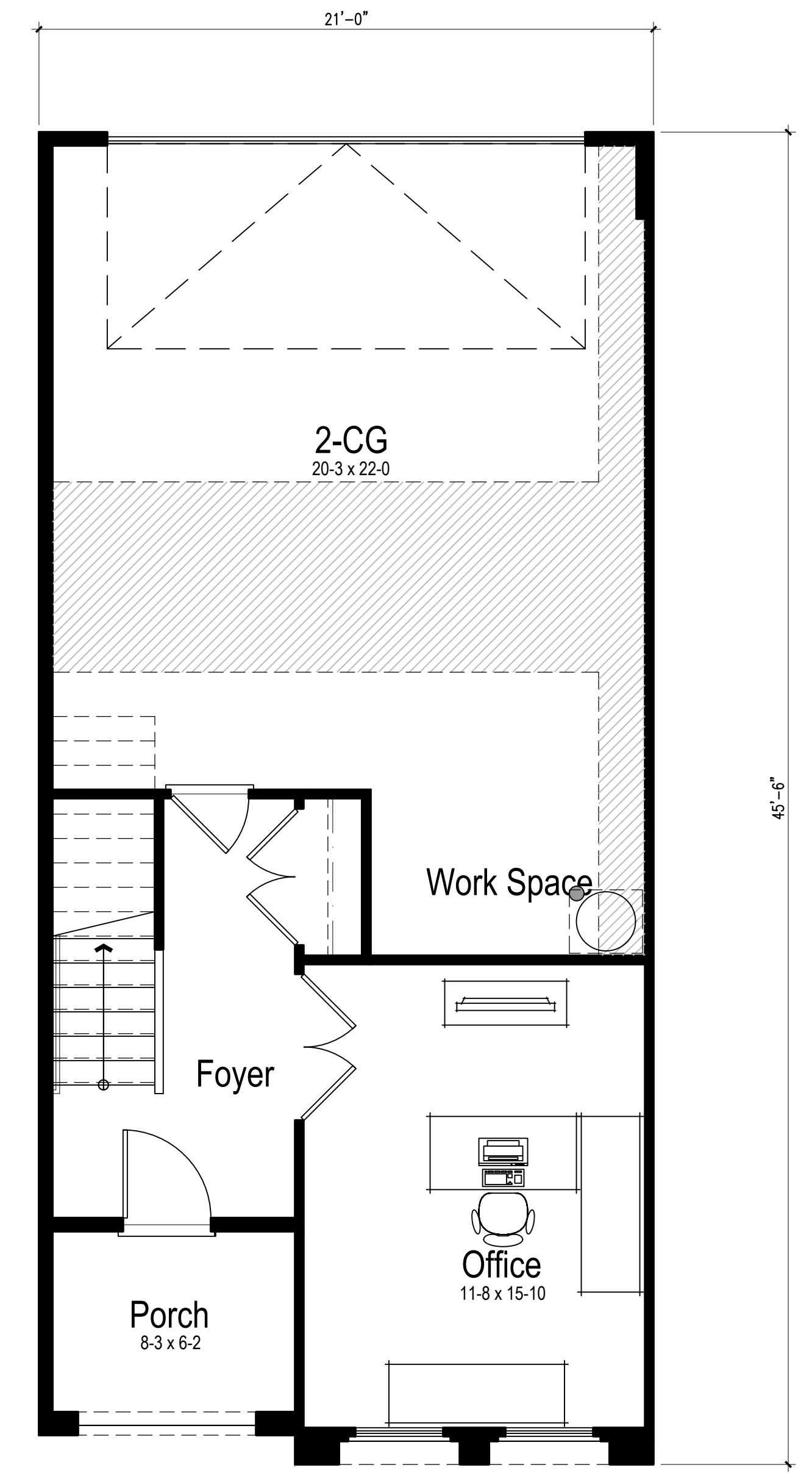
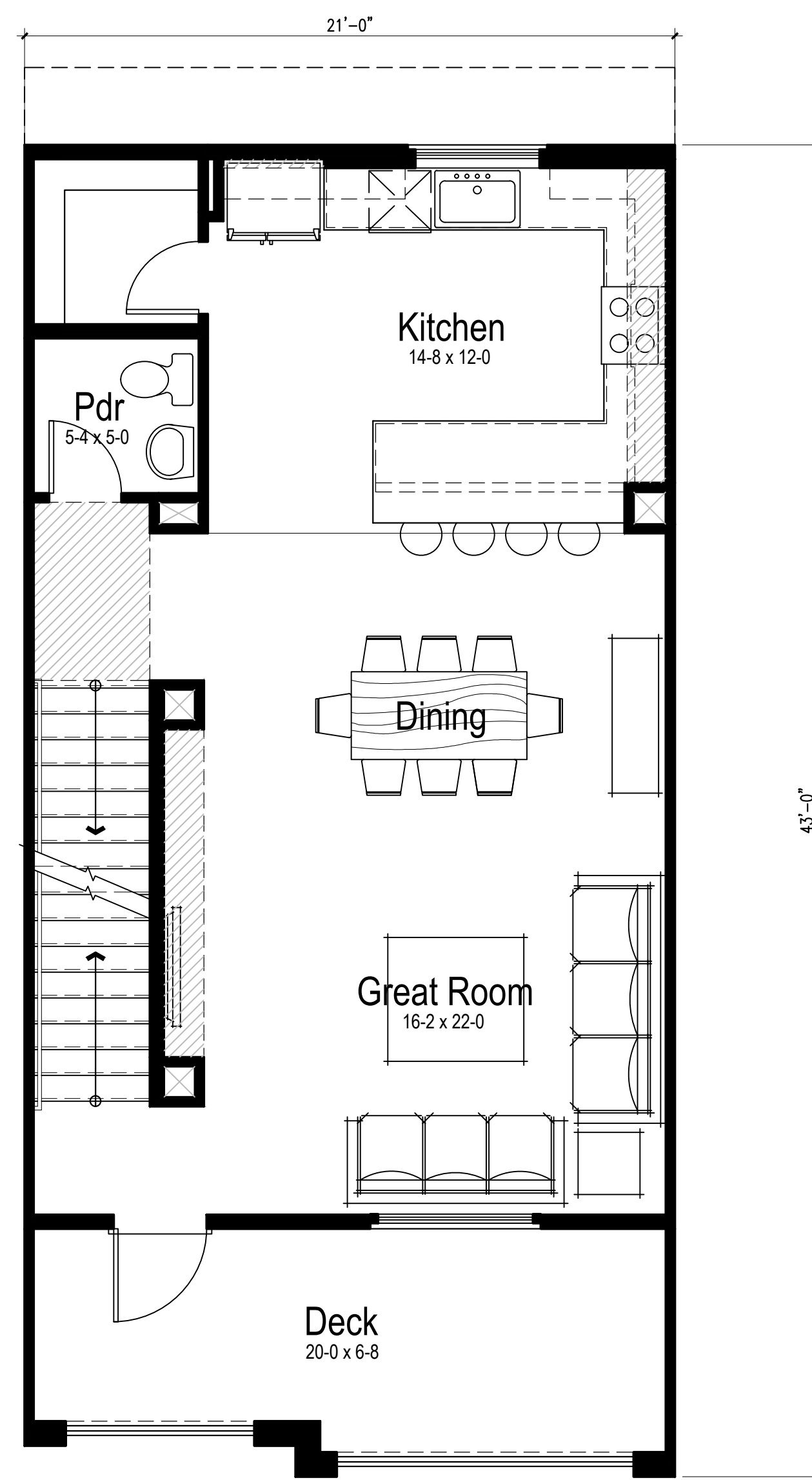
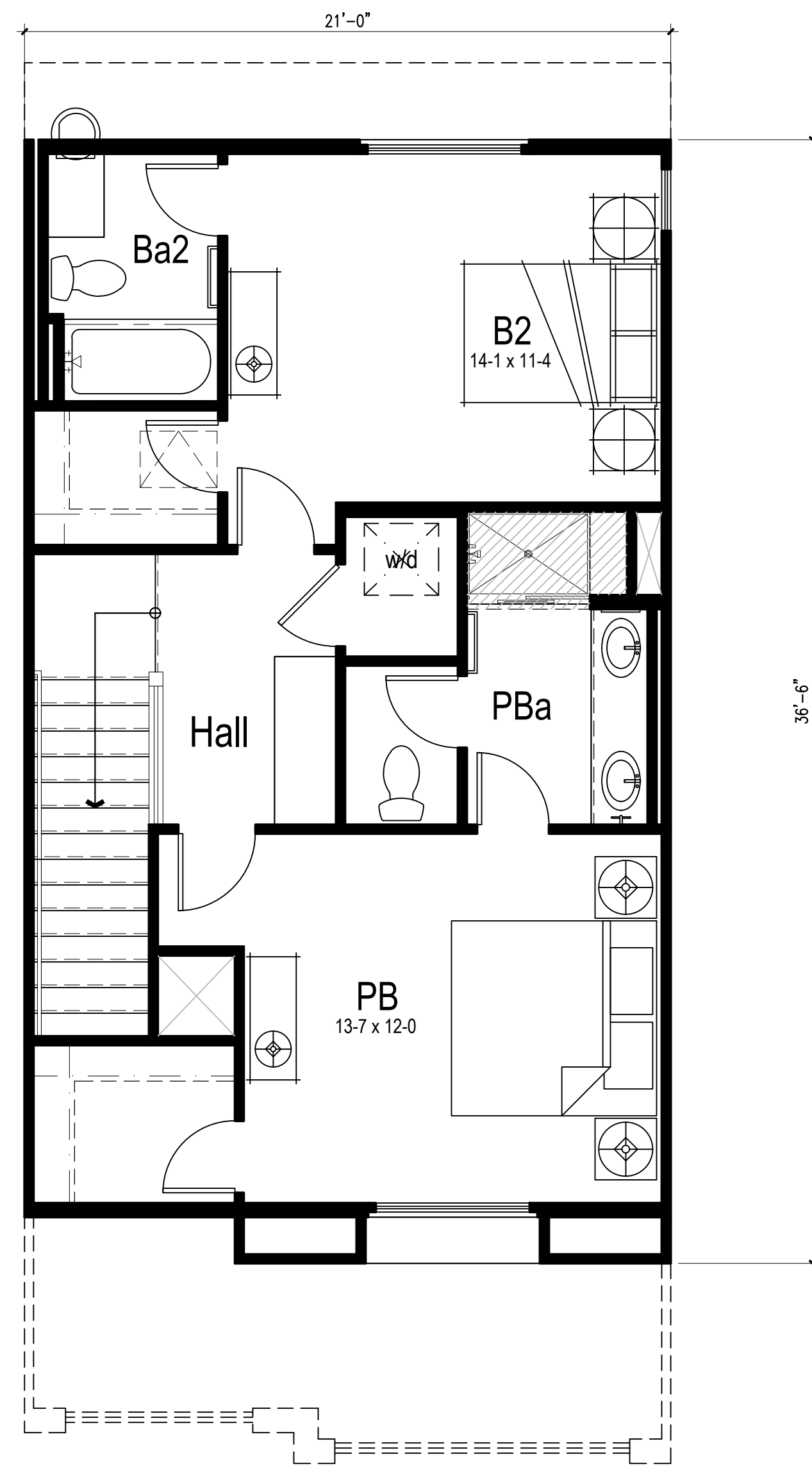
CONCEPTUAL DESIGN  
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CONCEPTUAL UNIT PLAN 1

A2-1





## PLAN 2

(IN GROSS SQUARE FEET)				
UNIT FLOOR	CONDITIONED R-3	UNCONDITIONED (PORCH/DECK) U	UNCONDITIONED (GARAGE/STOR) U	FLOOR TOTAL
FIRST FLOOR	417	61	468	946
SECOND FLOOR	735	159	0	894
THIRD FLOOR	735	0	0	735
UNIT TOTAL:	1887	220	468	2575

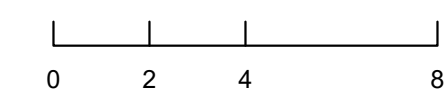


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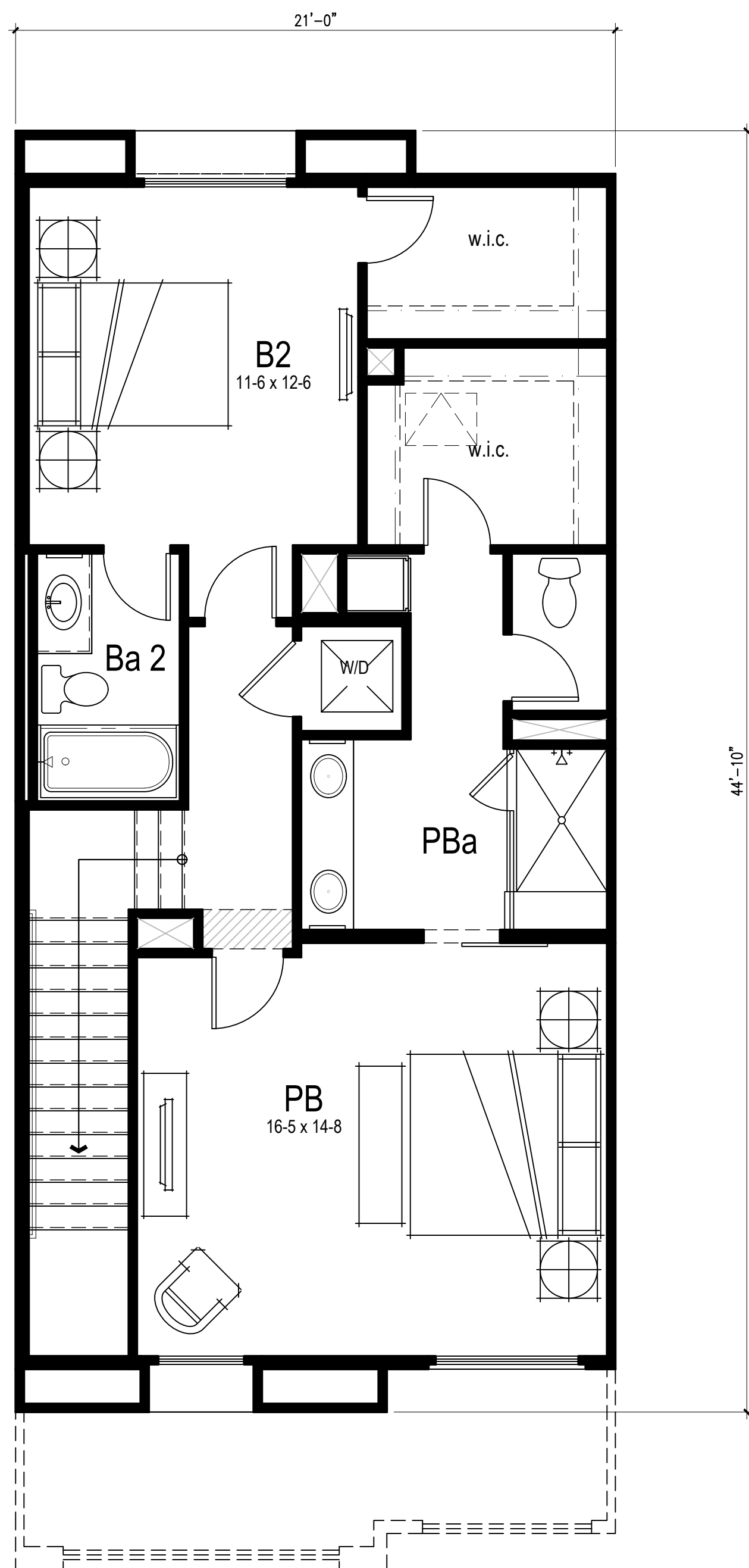
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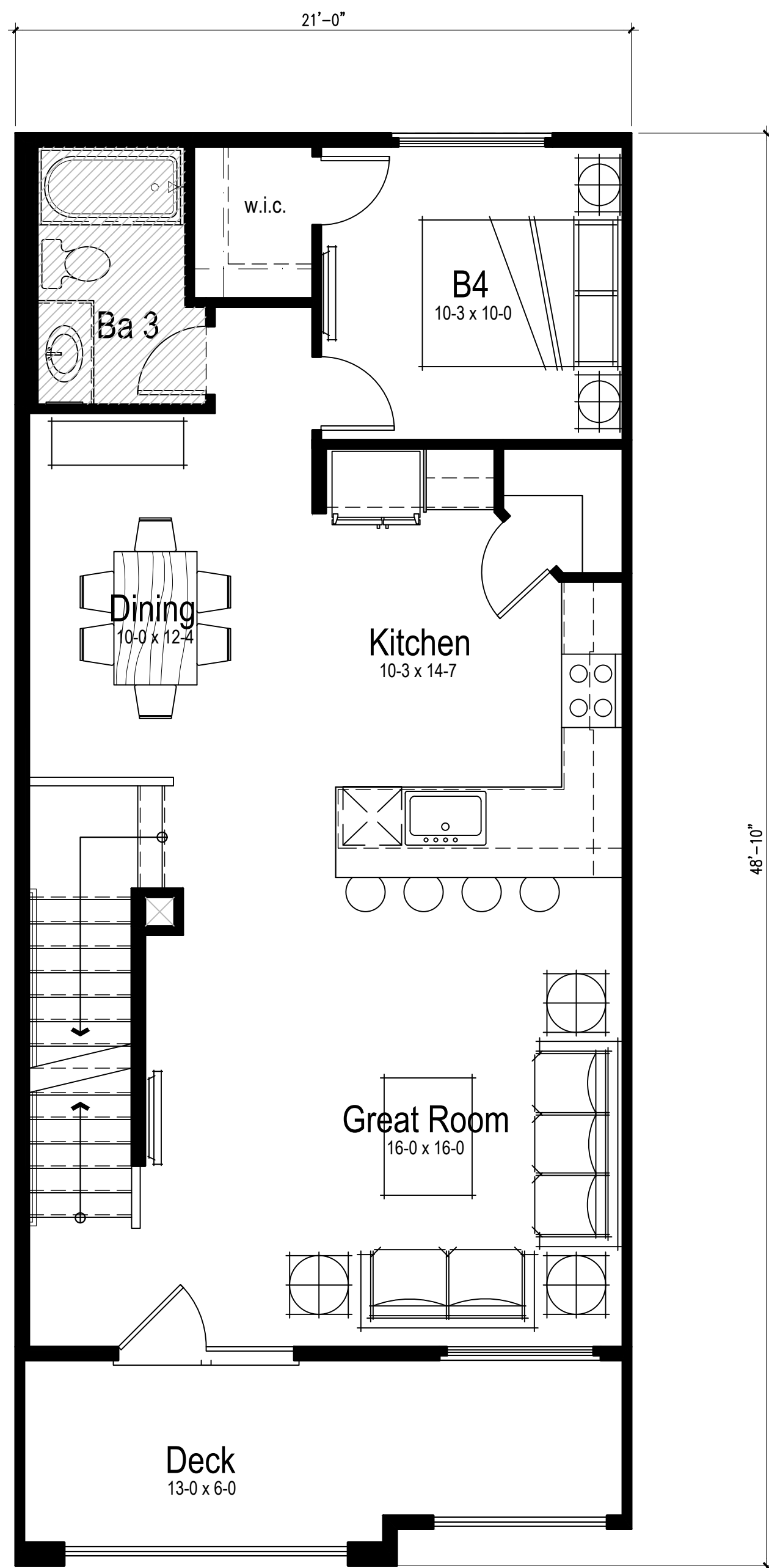
CONCEPTUAL UNIT PLAN 2A

**A2-2**

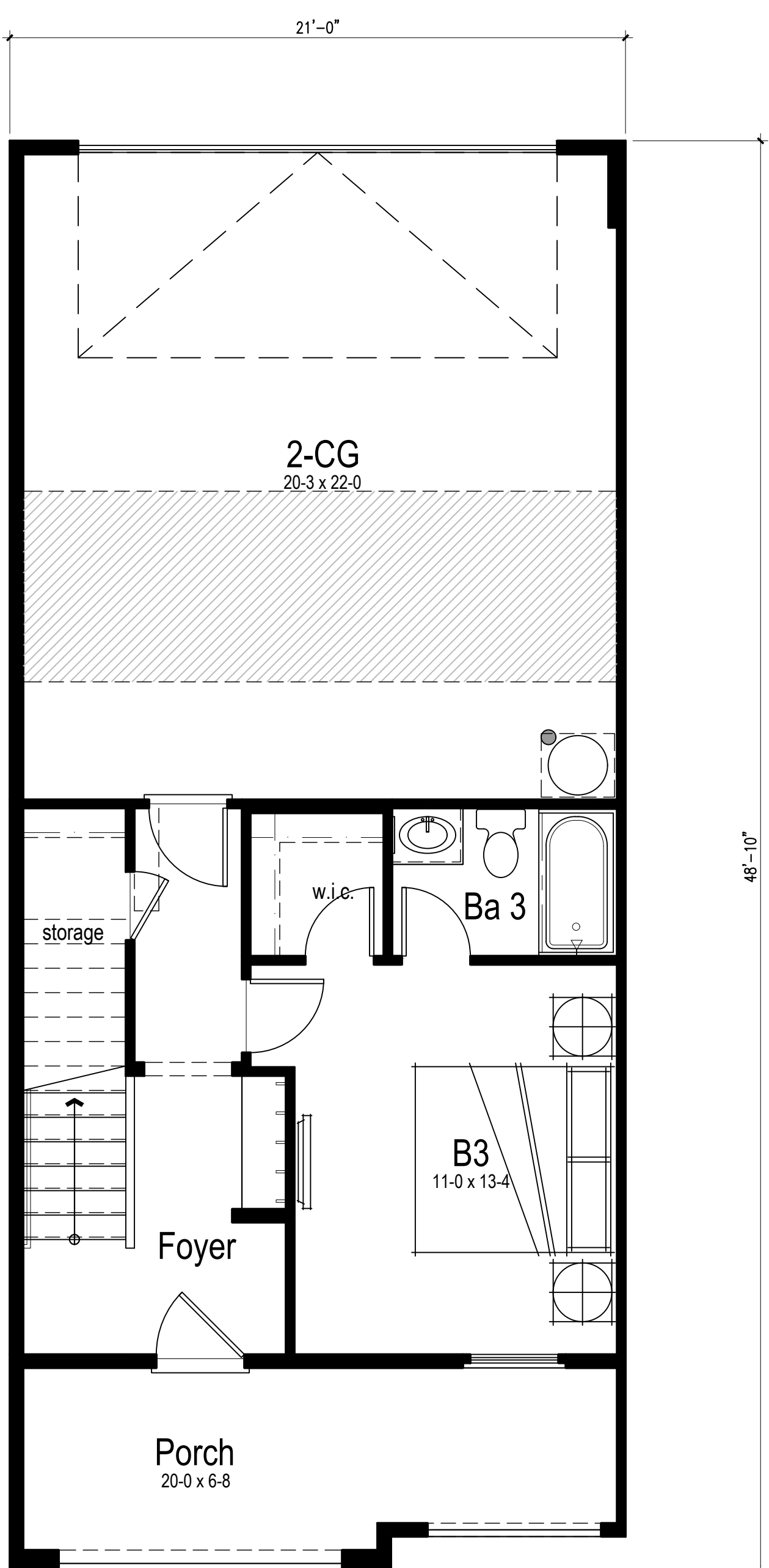




Third Floor Plan 4



Second Floor Plan 4A



First Floor Plan 4

PLAN 4

(IN GROSS SQUARE FEET)				
UNIT FLOOR	CONDITIONED R-3	UNCONDITIONED (PORCH/DECK) R-3	UNCONDITIONED (GARAGE/STOR) U	FLOOR TOTAL
FIRST FLOOR	410	137	468	1015
SECOND FLOOR	879	137	0	1016
THIRD FLOOR	879	0	0	879
UNIT TOTAL:	2168	274	468	2910

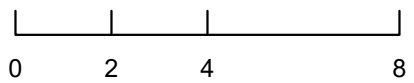


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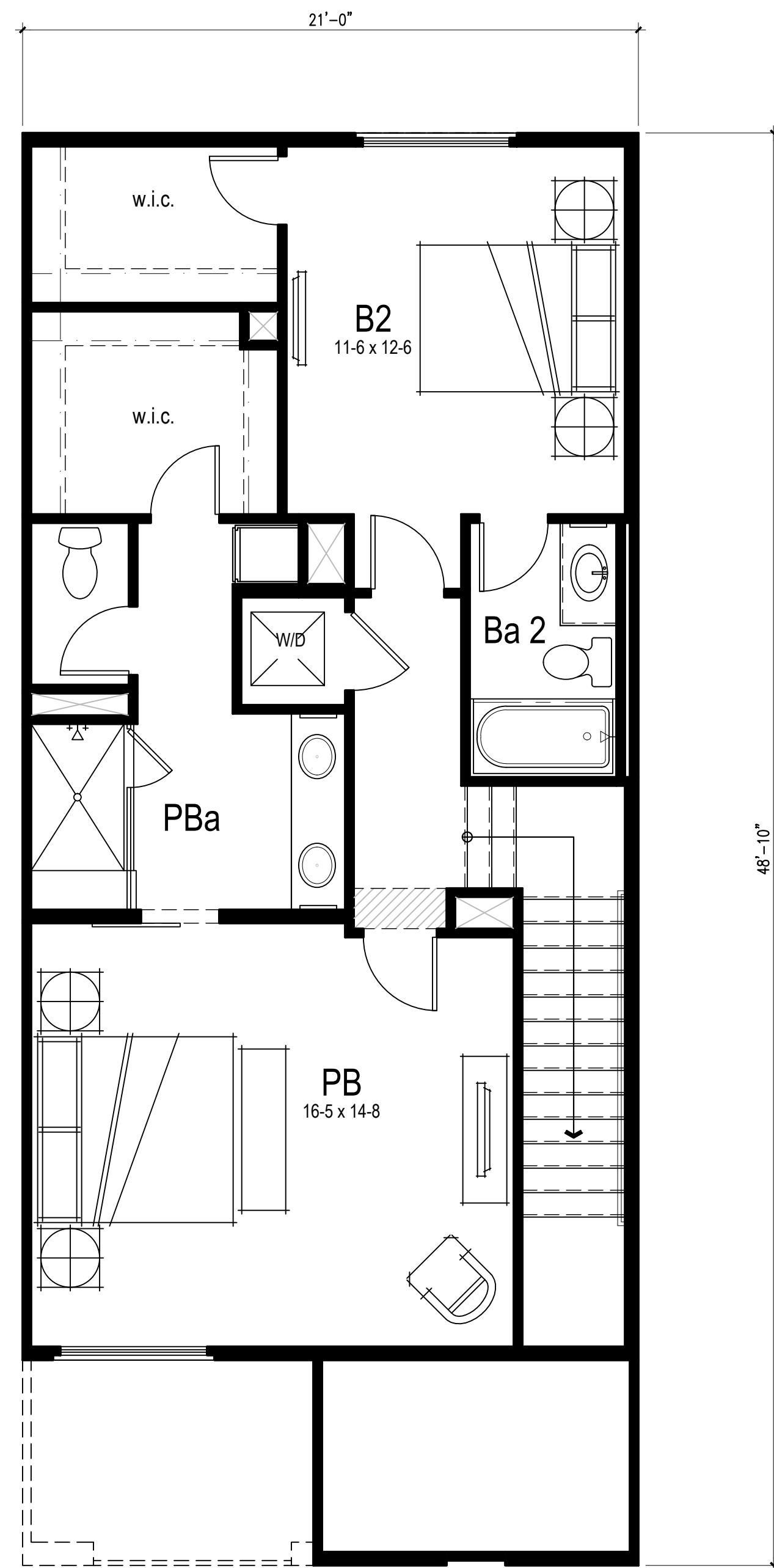
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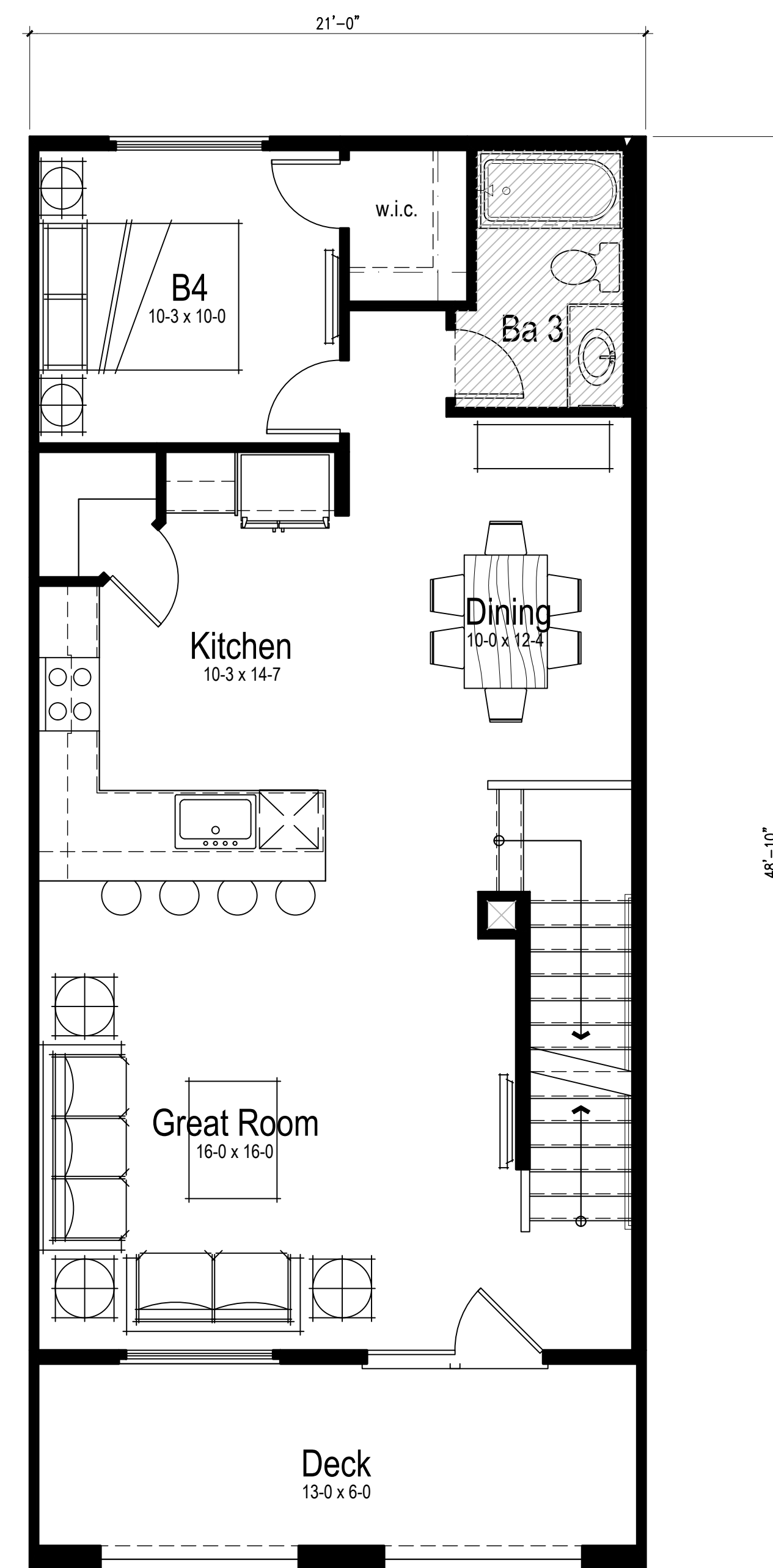
CONCEPTUAL UNIT PLAN 4

A2-3

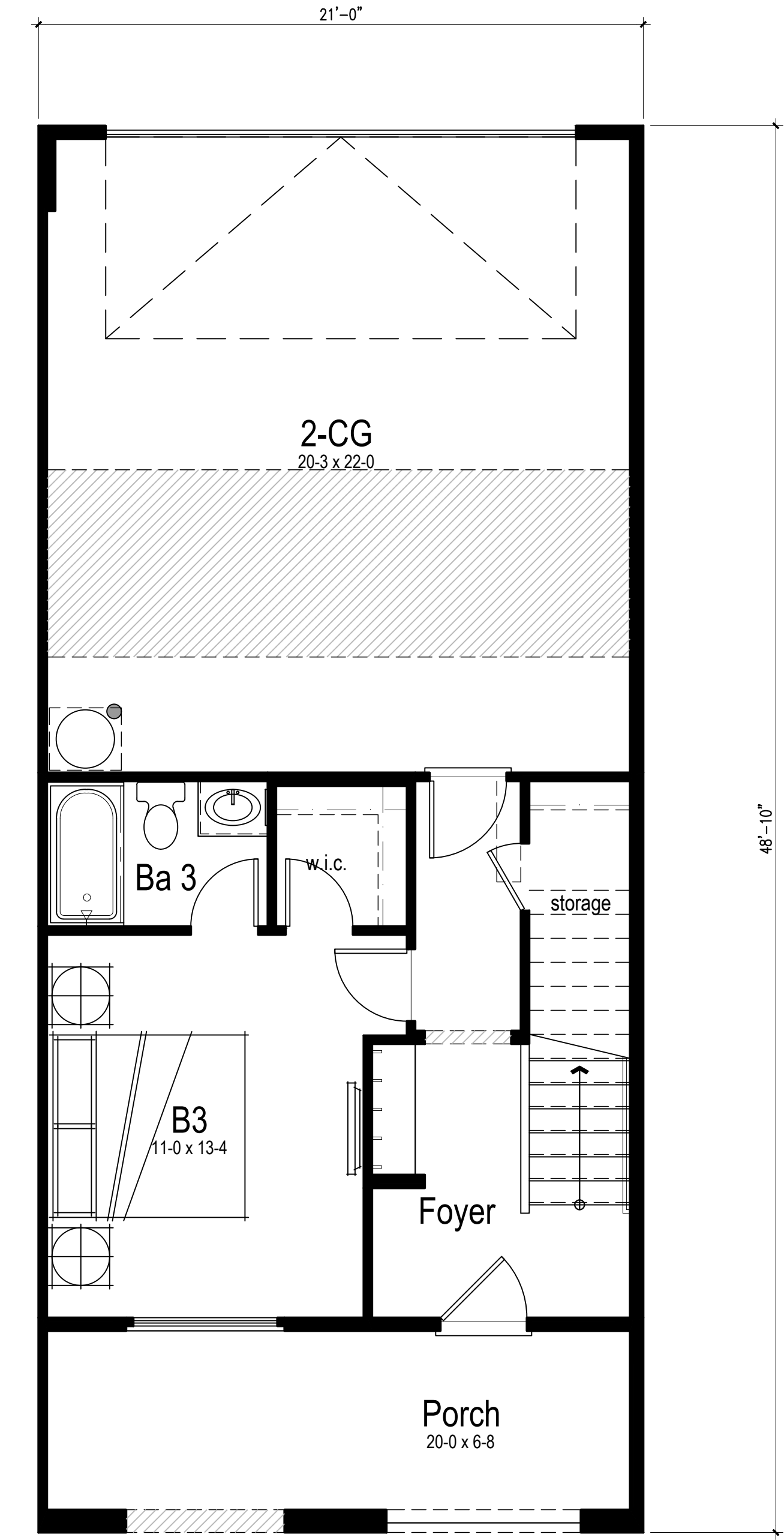




Third Floor Plan 4-E2



Second Floor Plan 4-E2



First Floor Plan 4-E2

## PLAN 4-E2

(IN GROSS SQUARE FEET)				
UNIT FLOOR	CONDITIONED R-3	UNCONDITIONED (PORCH/DECK) R-3	UNCONDITIONED (GARAGE/STOR) U.	FLOOR TOTAL
FIRST FLOOR	410	147	468	1025
SECOND FLOOR	879	157	0	1036
THIRD FLOOR	879	0	0	879
UNIT TOTAL:	2168	304	468	2940

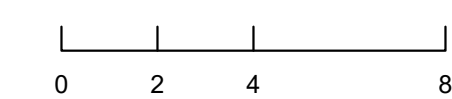


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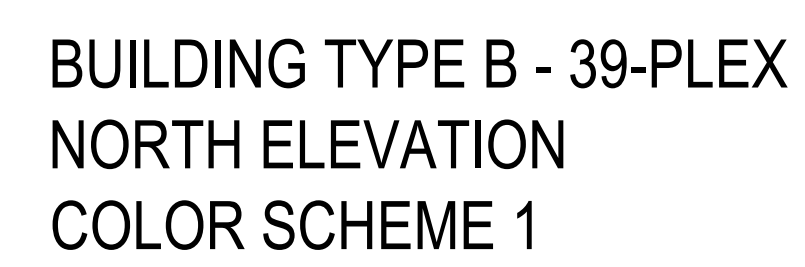
CONCEPTUAL DESIGN  
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CONCEPTUAL UNIT PLAN 4-E2

A2-4









BUILDING TYPE B - 39-PLEX  
EAST ELEVATION



BUILDING TYPE B - 39-PLEX  
WEST ELEVATION



MORGAN HILL HOUSING PROJECT  
760 TENNANT AVENUE, MORGAN HILL, CA.

PROJECT DESCRIPTION:		
BUILDING TYPE B IS A 4-STORY R-2 OCCUPANCY WITH A-3 OCCUPANCY ON THE GROUND FLOOR AND 39 ADAPTABLE APARTMENTS ABOVE. IT IS TYPE V-A CONSTRUCTION AND SPRINKLERED PER NFPA 13.		
TOTAL UNITS:		39 UNITS
TOTAL BUILDING AREA		
FIRST FLOOR		15,870
SECOND FLOOR		14,932
THIRD FLOOR		14,932
FOURTH FLOOR		14,932
	TOTAL:	60,666 SF

EXISTING/ PROPOSED USES		
EXISTING USE:	AGRICULTURAL	
PROPOSED USE:	RESIDENTIAL (39 R-2 UNITS) & AMENITY (A-3)	

CODE SUMMARY		
CODE	YEAR	TITLE
BUILDING CODE	2022	CALIFORNIA BUILDING CODE 1 & 2
FIRE CODE	2022	CALIFORNIA FIRE CODE
ENERGY CODE	2022	BUILDING EFFICIENCY STANDARDS FOR RESIDENTIAL AND NON-RESIDENTIAL BUILDINGS
MECHANICAL CODE	2022	CALIFORNIA MECHANICAL CODE
PLUMBING CODE	2022	CALIFORNIA PLUMBING CODE
ELECTRICAL CODE	2022	CALIFORNIA ELECTRICAL CODE
GREEN STANDARD	2022	CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN)
CALIFORNIA CODE OF REGULATIONS		TITLE 24

"PENETRATIONS OF FIRE WALLS SHALL BE PROTECTED WITH THROUGH-PENETRATION FIRE STOPS AND MEMBRANE-PENETRATION FIRE STOPS IN ACCORDANCE WITH CBC SECTION 714."

TABLE 504.3 ALLOWABLE BUILDING HEIGHT ABOVE GRADE PLANE : MID-RISE		
OCCUPANCY CLASSIFICATION	FOOTNOTES	TYPE V - A
R-2	S (WITHOUT AREA INCREASE)	70'
SEE CHAPTERS 4 & 5 FOR SPECIFIC EXCEPTIONS TO THE ALLOWABLE HEIGHT IN THIS CHAPTER		
SEE SECTION 903.2 FOR THE MINIMUM THRESHOLDS FOR PROTECTION BY AN AUTOMATIC SPRINKLER SYSTEM		
NEW GROUP R OCCUPANCIES ARE REQUIRED TO BE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEMS IN ACCORDANCE WITH SECTION 903.2		

TABLE 504.4 ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE : MID-RISE		
OCCUPANCY CLASSIFICATION	FOOTNOTES	TYPE V - A
R-2	S (WITHOUT AREA INCREASE)	4
SEE CHAPTERS 4 & 5 FOR SPECIFIC EXCEPTIONS TO THE ALLOWABLE HEIGHT IN THIS CHAPTER		
SEE SECTION 903.2 FOR THE MINIMUM THRESHOLDS FOR PROTECTION BY AN AUTOMATIC SPRINKLER SYSTEM		
NEW GROUP R OCCUPANCIES ARE REQUIRED TO BE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEMS IN ACCORDANCE WITH SECTION 903.2		

TABLE 506.2 ALLOWABLE AREA PER FLOOR IN SQUARE FEET : MID-RSIE		
OCCUPANCY CLASSIFICATION	FOOTNOTES	TYPE V - A
R-2	SM (WITHOUT AREA INCREASE)	36,000
SEE CHAPTERS 4 & 5 FOR SPECIFIC EXCEPTIONS TO THE ALLOWABLE HEIGHT IN THIS CHAPTER		
SEE SECTION 903.2 FOR THE MINIMUM THRESHOLDS FOR PROTECTION BY AN AUTOMATIC SPRINKLER SYSTEM		

ACTUAL BUILDING HEIGHT & AREA

BUILDING HEIGHT: 50'  
NUMBER OF STORIES: 4  
ACTUAL BUILDING AREAS: SEE AREA RATIO CALCULATION TABLES BELOW

ALLOWABLE AREA FACTOR: BASED ON CBC TABLE 506.2				
OCCUPANCY	SPRINKLER SYSTEM	CONSTRUCTION TYPE	HEIGHT INCREASE	ALLOWABLE AREA FACTOR
R-2	NFPA-13	TYPE V-A	NO	36,000
A-3	NFPA-13	TYPE V-A	NO	34,500
U	NFPA-13	TYPE-VA	NO	27,000

NOTES:

- TO QUALIFY FOR AN AREA FACTOR FRONTAGE INCREASE, AT LEAST 25% OF THE BUILDING PERIMETER MUST BE ADJACENT TO A PUBLIC WAY OR OPEN SPACE WITH A "W" OF NOT LESS THAN 20 FEET AND NOT MORE THAN 30 FEET, MEASURED AT RIGHT ANGLES TO THE BUILDING FACE TO ANY OF THE FOLLOWING:
  - CLOSEST INTERIOR LOT LINE
  - WIDTH OF STREET, ALLEY, OR PUBLIC WAY
  - EXTERIOR FACE OF ADJACENT BUILDING
- PER 508.4.2 ALLOWABLE BUILDING AREA, IN EACH STORY, THE BUILDING AREA SHALL BE SUCH THAT THE SUM OF THE RATIOS OF THE ACTUAL BUILDING AREA OF EACH SEPARATED OCCUPANCY DIVIDED BY THE ALLOWABLE BUILDING AREA OF EACH SEPARATED OCCUPANCY SHALL NOT EXCEED 1.
- IN R OCCUPANCIES WITH MORE THAN THREE STORIES ABOVE GRADE PLANE, THE AGGREGATE SUM OF THE RATIOS FOR PORTIONS OF MIXED-OCCUPANCY MULTI-STORY BUILDINGS SHALL NOT EXCEED TWO (2).

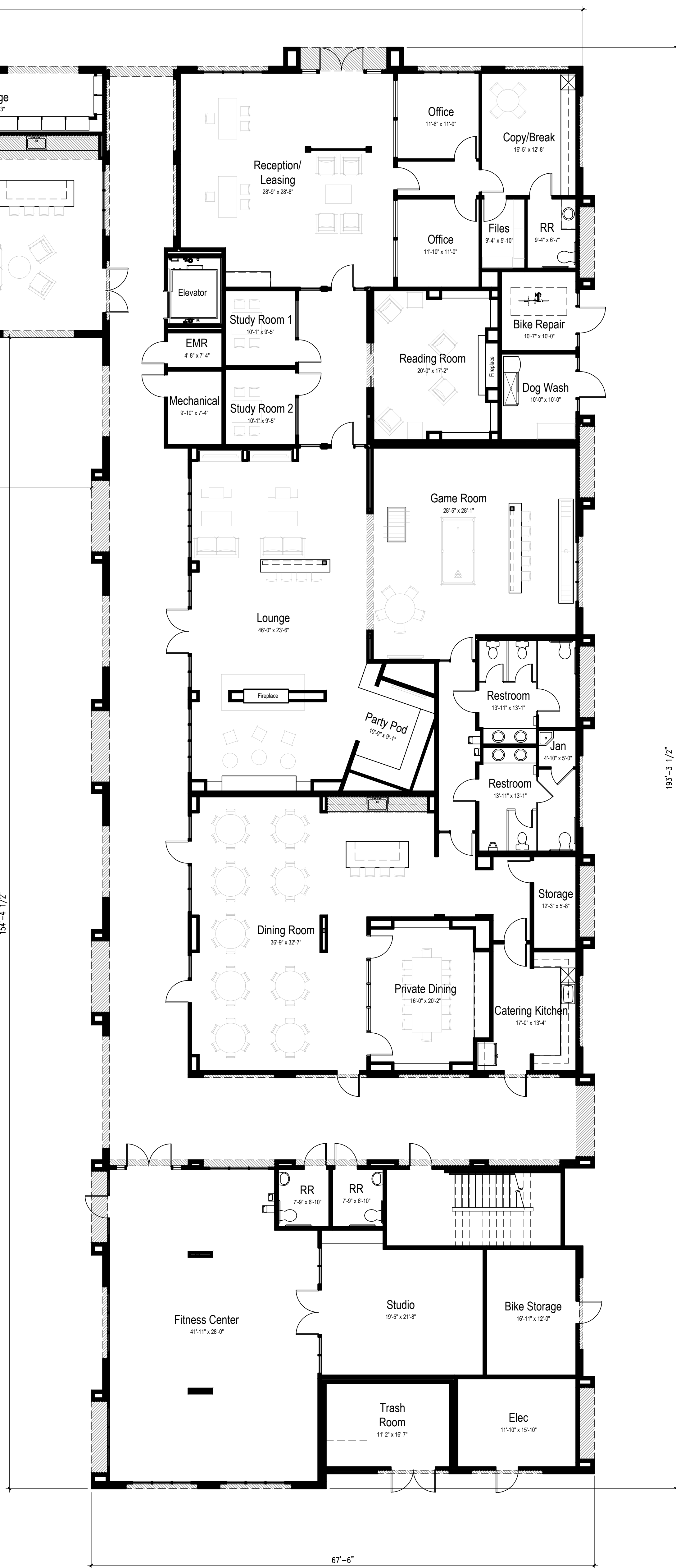
ALLOWABLE AREA: BASED ON CBC 506.2.4							
ALLOWABLE AREA EQUATION: $A_a = [A_s + (NS \times I_f)]$							
FRONTAGE INCREASE EQUATION: $I_f = [F / P - 0.25]W / 30$							
CONST. TYPE	ALLOWABLE AREA FACTOR	P = PERIMETER		F = FRONTAGE		W = WIDTH	
TYPE V-A	NO FRONTAGE INCREASE TAKEN						
TOTAL P	N/A						
TOTAL F				N/A			
AVERAGE W						N/A	
$I_f$	ALLOWABLE AREA					SEE CHART	
ALLOWABLE AREA RATIOS							
$ALLOWABLE\ AREA = (R-2 / ALLOWABLE\ R-2) + (A-3 / ALLOWABLE\ A-3) + (U / ALLOWABLE\ U)$							
STORY	R-2 ALLOWABLE	A-3 ALLOWABLE	U ALLOWABLE	R-2 ACTUAL	A-3 ACTUAL	U ACTUAL	AREA FACTOR
1	N/A	34500	27000	N/A	13168	1098	0.42200
2	36000	N/A	N/A	14,932	N/A	N/A	0.41
3	36000	N/A	N/A	14,932	N/A	N/A	0.41
4	36000	N/A	N/A	14,932	N/A	N/A	0.41
TOTAL (LESS THAN 2)							1.67

1.73 < 2 **OK**

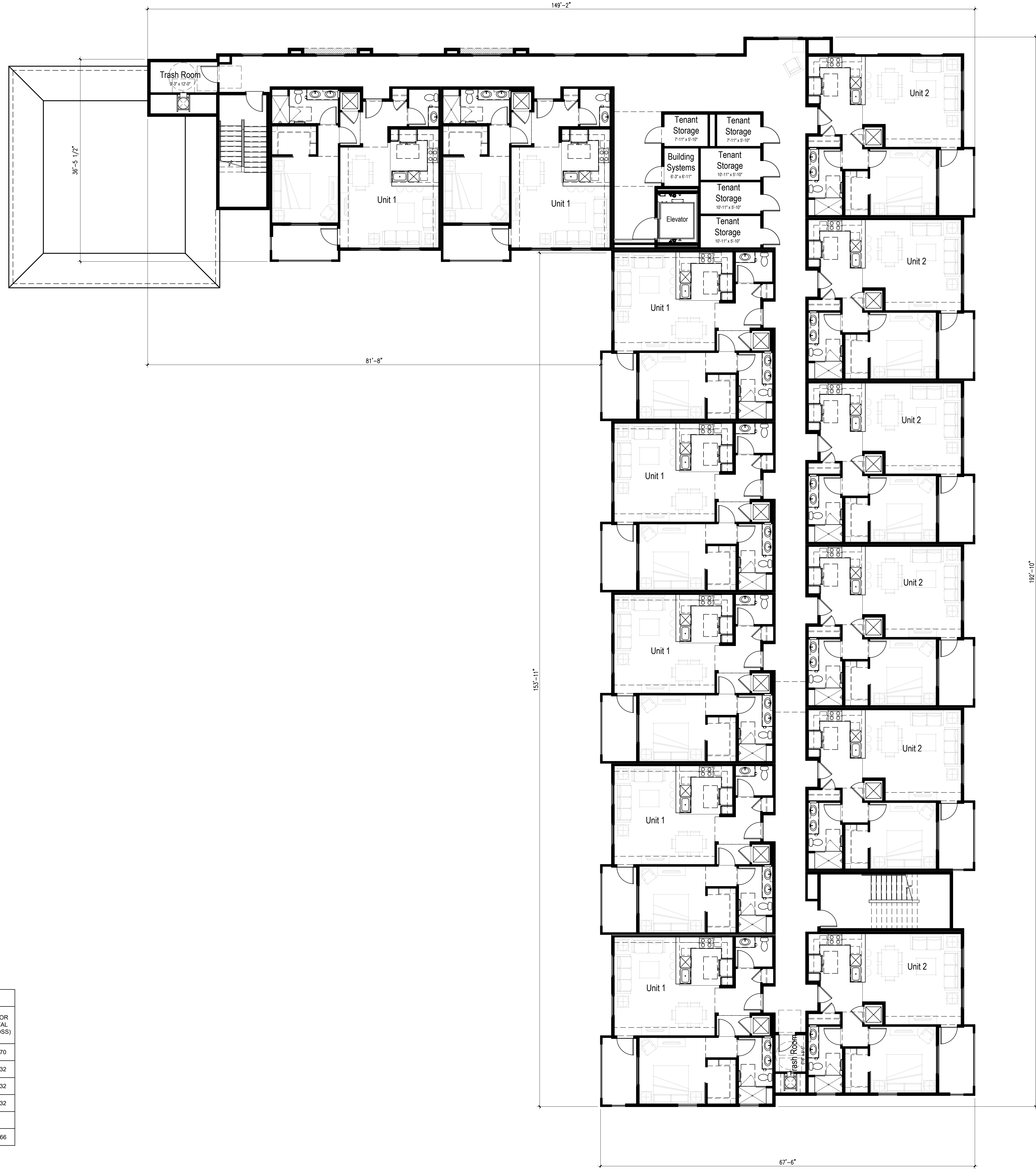
508.4.2 ALLOWABLE BUILDING AREA  
IN EACH STORY, THE BUILDING AREA SHALL BE SUCH THAT THE SUM OF THE RATIOS OF THE ACTUAL BUILDING AREA OF EACH SEPARATED OCCUPANCY DIVIDED BY THE ALLOWABLE BUILDING AREA OF EACH SEPARATED OCCUPANCY SHALL NOT EXCEED 1.

STORY 1  
(A-3 / ALLOWABLE A-3) + (U / ALLOWABLE U) < 1  
= (13,168 / 34,500) + (1,098 / 27,000) < 1  
= 0.3817 + 0.0407 < 1  
= 0.422 < 1 **OK**

UPPER STORIES  
(R-2 / ALLOWABLE R-2) < 1  
= (14,932 / 36,000) < 1







BUILDING TYPE B - 39-PLEX  
SECOND FLOOR PLAN

39-PLEX

(IN SQUARE FEET)								
BUILDING LEVEL	INTERIOR COMMON SPACE (A)	UNCONDITIONED COMMON SPACE (A)	APARTMENTS (R-2)	INTERIOR COMMON SPACE (R-2)	APARTMENT DECKS (R-2)	UTILITY (U)	FLOOR TOTAL (NET)	FLOOR TOTAL (GROSS)
1	9077	4091	0	0	0	1098	14266	15870
2	0	0	10507	2926	962	170	14565	14932
3	0	0	10507	2926	962	170	14565	14932
4	0	0	10507	2926	962	170	14565	14932
TOTAL BY OCC.	9077	4091	31521	8778	2886	1608	-	-
BUILDING TOTAL:							57961	60666



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CONCEPTUAL DESIGN  
JUNE 7, 2024



CONCEPTUAL COMPOSITE PLAN

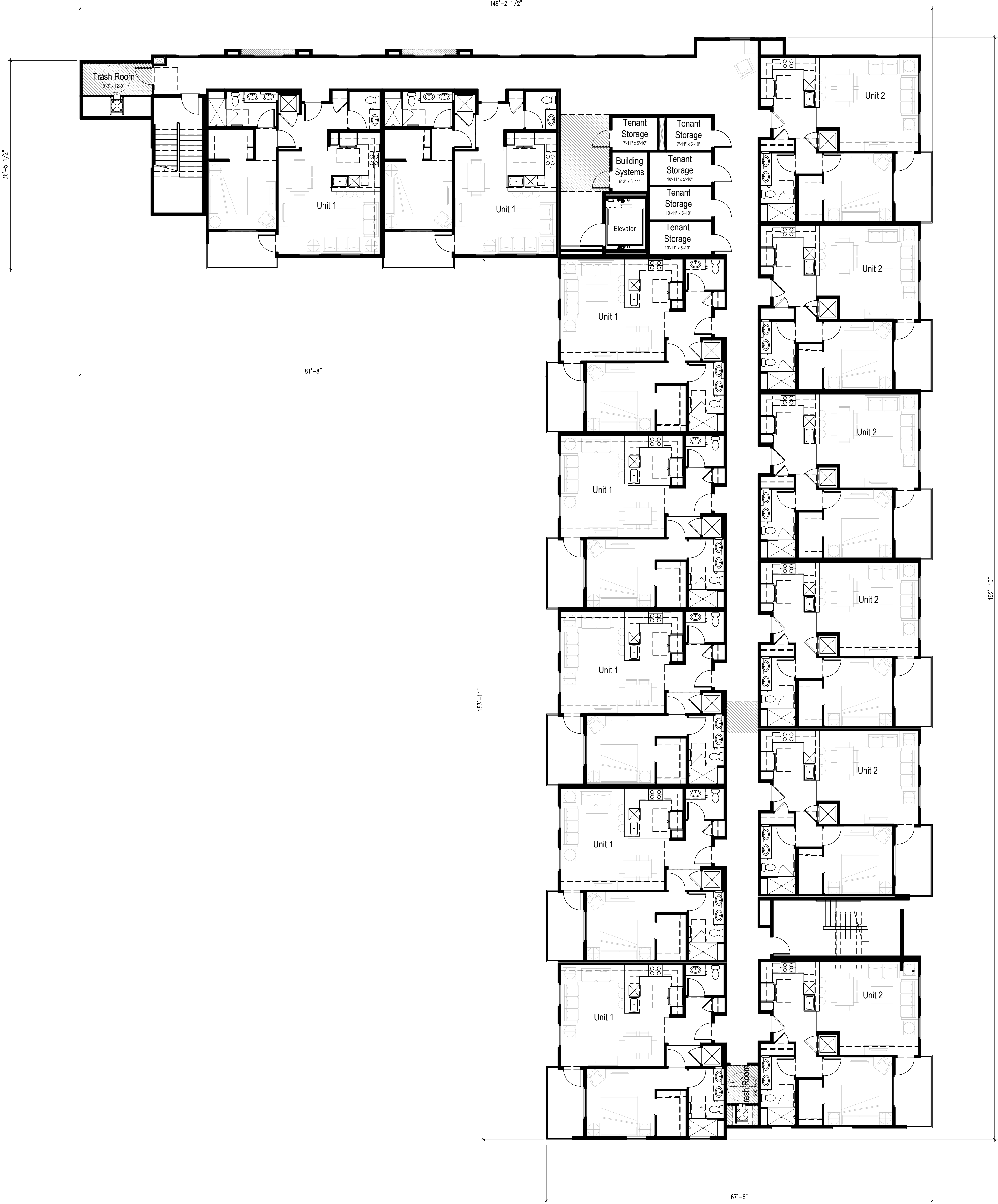
A3-4



BUILDING TYPE B - 39-PLEX  
THIRD FLOOR PLAN

39-PLEX

(IN SQUARE FEET)								
BUILDING LEVEL	INTERIOR COMMON SPACE (A)	UNCONDITIONED COMMON SPACE (A)	APARTMENTS (R-2)	INTERIOR COMMON SPACE (R-2)	APARTMENT DECKS (R-2)	UTILITY (U)	FLOOR TOTAL (NET)	FLOOR TOTAL (GROSS)
1	9077	4091	0	0	0	1098	14266	15870
2	0	0	10507	2926	962	170	14565	14932
3	0	0	10507	2926	962	170	14565	14932
4	0	0	10507	2926	962	170	14565	14932
TOTAL BY OCC.	9077	4091	31521	8778	2886	1608	-	-
BUILDING TOTAL:							57961	60666

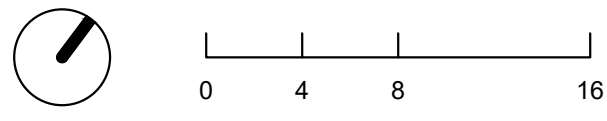


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Highland Park, IL 60035

**760 TENANT AVENUE**  
MORGAN HILL, CA # 2023-595

CONCEPTUAL DESIGN  
JUNE 7, 2024



CONCEPTUAL COMPOSITE PLAN

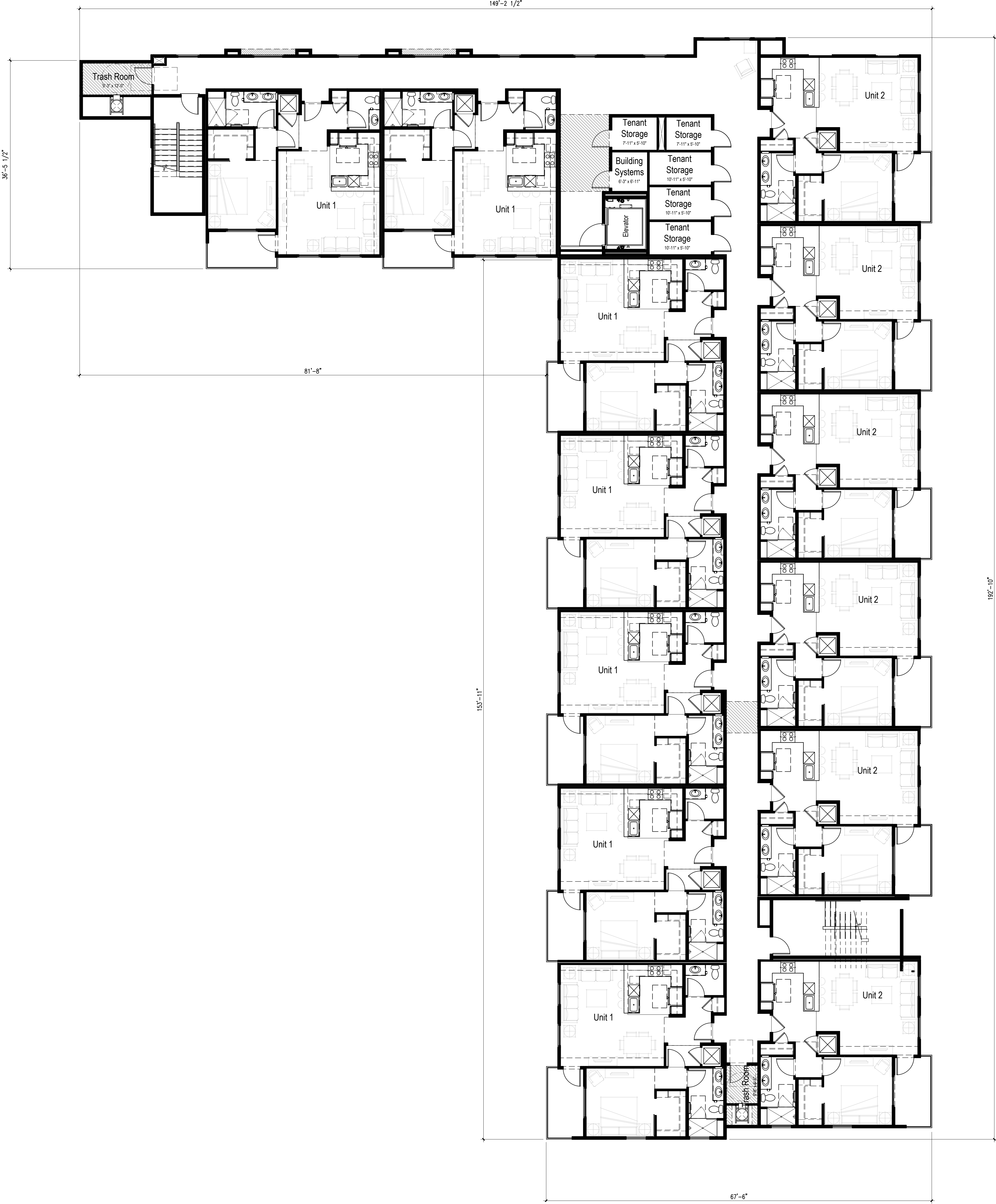
A3-5



BUILDING TYPE B - 39-PLEX  
FOURTH FLOOR PLAN

39-PLEX

(IN SQUARE FEET)								
BUILDING LEVEL	INTERIOR COMMON SPACE (A)	UNCONDITIONED COMMON SPACE (A)	APARTMENTS (R-2)	INTERIOR COMMON SPACE (R-2)	APARTMENT DECKS (R-2)	UTILITY (U)	FLOOR TOTAL (NET)	FLOOR TOTAL (GROSS)
1	9077	4091	0	0	0	1098	14266	15870
2	0	0	10507	2926	962	170	14565	14932
3	0	0	10507	2926	962	170	14565	14932
4	0	0	10507	2926	962	170	14565	14932
TOTAL BY OCC.	9077	4091	31521	8778	2886	1608	-	-
BUILDING TOTAL:							57961	60666

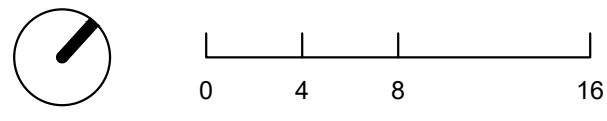


Architecture | Branding  
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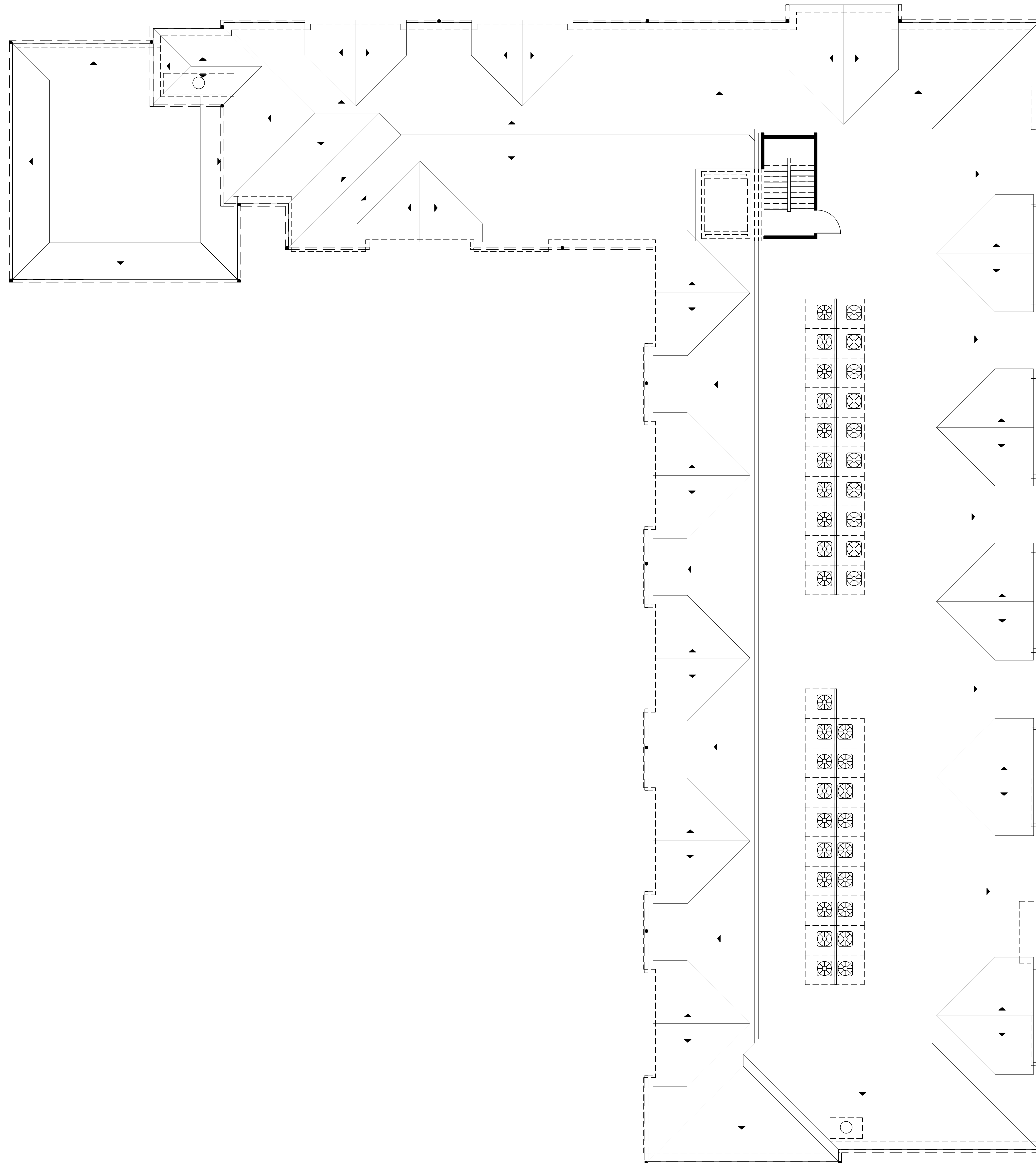
CONCEPTUAL DESIGN  
JUNE 7, 2024



CONCEPTUAL COMPOSITE PLAN

A3-6





BUILDING TYPE B - 39-PLEX  
ROOF PLAN

	SLOPE ROOF 4:12
	RAIN GUTTERS
	RAIN GUTTER OPENING - SPILL TO BELOW
	RAIN GUTTER DOWNSPOUT





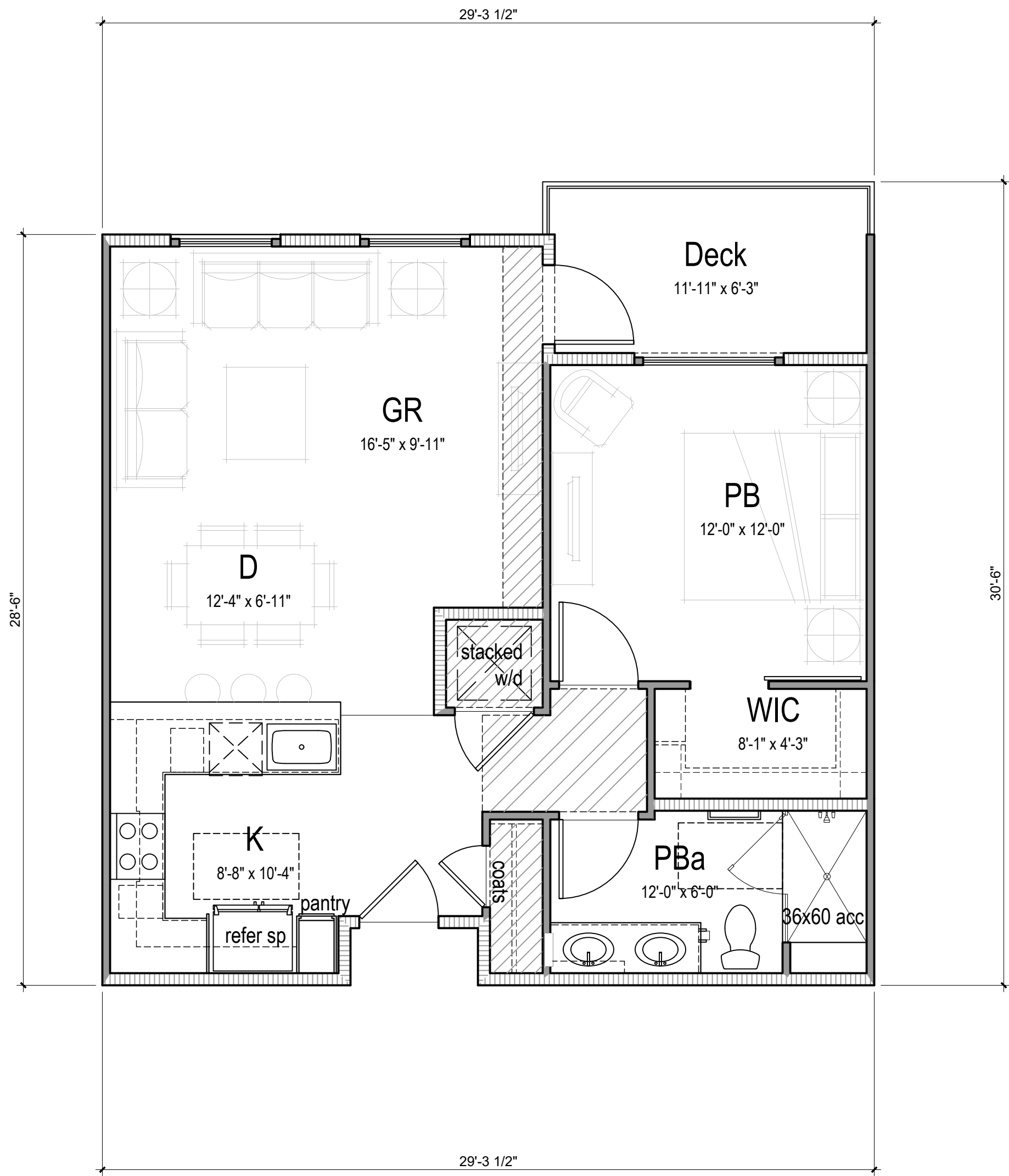


UNIT1

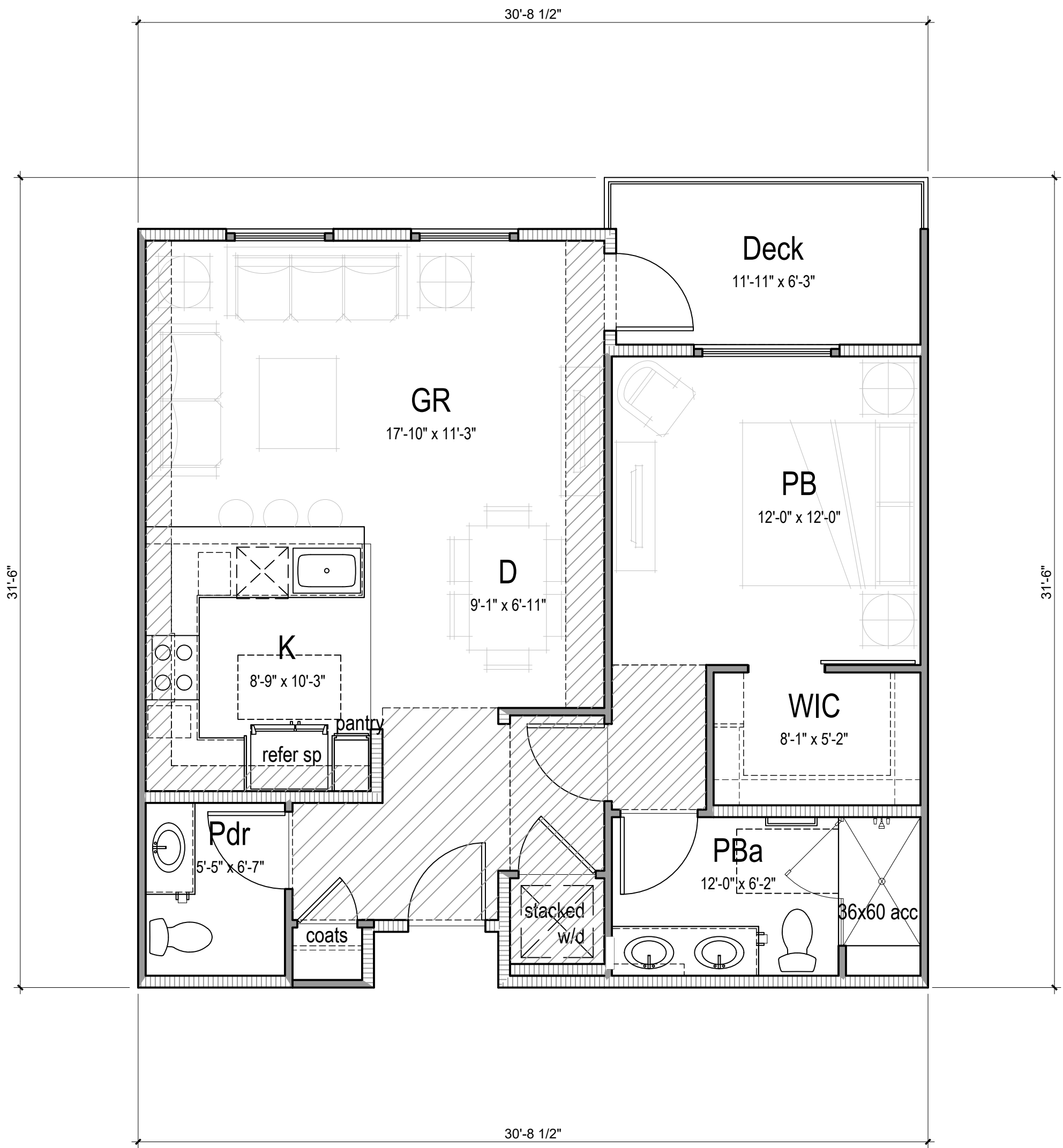
(IN SQUARE FEET)			GROSS
	CONDITIONED R-2	UNCONDITIONED (PORCH-DECK) R-2	APARTMENT TOTAL
APT. 1	841	75	916

UNIT 2

(IN SQUARE FEET)			GROSS
	CONDITIONED R-2	UNCONDITIONED (PORCH-DECK) R-2	APARTMENT TOTAL
APT. 2	770	75	845



UNIT 2 - 1 BED, 1 BATH  
1/4" = 1'-0"



UNIT 1 - 1 BED, 1.5 BATH  
1/4" = 1'-0"