



CITY OF MORGAN HILL

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ADDENDUM NO. 4

DATE: AUGUST 23, 2024
TO: ALL PLANHOLDERS OF THE BUTTERFIELD PARK – PHASE 1 PROJECT
FROM: MARIA ANGELES – PROJECT ENGINEER
RE: QUESTIONS AND RESPONSES

1. **Question #5 to City:** Please confirm that all extended warranty periods (beyond one (1) year in length) referenced in the contract documents shall be waived as indicated during the pre-bid meeting at the City offices. The extended warranties for several items, including but not limited to: HMA Pavement (2 year), Synthetic Turf (10 and/or 15 year), etc; will all be revised to a maximum of one (1) year warranty following acceptance by the City of the respective items of work.

City's Response to Question #5: In addition to the one-year warranty period, the extended warranties for the items will still be required and shall be provided, as applicable, by either the manufacturer or the General Contractor/subcontractor.

2. **Question #6 to City:** Please confirm that any prequalification requirements for synthetic turf (or other project components) referenced in the contract documents do not apply to the bidding General Contractor and any prequalification requirements shall be waived as discussed during the pre-bid meeting at the City offices.

City's Response to Question #6: This is a confirmation that there are no prequalification requirements for a General Contractor to submit a bid.

3. **Question #7 to City:** The contract documents do not provide a traffic control plan, construction area signage plan, notice requirements, detour plans, lane closure restrictions, nor other vehicular or pedestrian constraints. Instead, the contract documents indicate, if required, the Contractor shall provide traffic control plans associated with the staging plans that are signed and stamped by a licensed engineer. As discussed in the pre-bid meeting, multiple vehicular lanes and pedestrian pathways will need to be closed (and/or detoured) for extended time periods to perform the work. Please confirm that there are no added restrictions on the contractor's plan(s) to prosecute the work.

City's Response to Question #7: The Contractor is required to provide the Traffic Control Plans. The Traffic Control Plans will be reviewed and approved prior to start of work and any restrictions will be determined at that time.

4. **Question #8 to City:** Addendum #2 provided the PG&E design plan for the (N) underground service to this project. An inspection of the project site indicates the presence of multiple utilities (e.g.: Storm drain, Sewer, Water, Gas, Electrical, Communication – F/O, etc) and existing facilities (e.g.: (N) C/G/SW, Bus Pad, Box Culvert, Utility Vaults, etc). Please confirm that the designed alignment for the new electrical work will not conflict nor require any stand-by 3rd party inspection during the course of work for this project.

City's Response to Question #8: PG&E will perform inspections. City cannot confirm if there are any other 3rd party inspections that will be required for this work.

5. Question #9 to City: Please confirm that the 90-day landscape maintenance period shall commence at the completion of planting and not at the project completion.

City's Response to Question #9: Please refer to excerpt below from the Bid Specifications, Section 31 01 90 (Landscape and Site Maintenance), under item 1.06, Landscape Maintenance Period. The statement below implies for the landscape maintenance to start at project completion.

C. **Landscape Maintenance Period shall not start until all elements of construction, planting and irrigation for the entire project are completed in accordance with Contract Documents.** A prime requirement is that turf and landscape areas shall be planted and that turf areas shall show an even, healthy stand of "sod-like" turf which shall have been mown twice. If such criteria are met to the satisfaction of the Owner's

6. Question #10 to City: Please confirm that the entirety of any landscape maintenance period is not required to be performed within the 360 calendar day project timeframe.

City's Response to Question #10: The above statement is confirmed.

7. Question #11 to City: Please confirm that as there is no separate bid item for the landscape maintenance period and that the project will be closed out with any retention released separate from any maintenance periods. Furthermore, please confirm that the City will not require a separate bond of the contractor for any maintenance period that extends to a date following project substantial completion and/or project acceptance.

City's Response to Question #11: There is no separate bid item for the landscape maintenance period. There is also no separate bond required for the maintenance period as the City already requires a one-year maintenance bond for all the work completed.

8. Question #12 to City: As discussed in the pre-bid meeting, the lead times for some items within the Butterfield Park, Phase 1 Project's Contract Documents (e.g. synthetic turf, restroom building / components, special aggregates, special soils, etc) identify brand name products. The use of some of these brand name products may result in long procurement and / or installation time frames for the project while other products may offer similar performance with other benefits such as with time or price. Furthermore, this project's ITB mentions Brand Designations and "or equal" substitutions along with a reference to Public Contract Code Section 3400. Please confirm that this project does not contain any sole source products and that all products mentioned by manufacturer, designer, or product name are considered to have acceptably similar or equal manufacturer or product names incorporated into this project at no added cost to the contractor. If the City requires either (a) certain performance specifications for any material or system, or (b) any manufacturer(s) or product(s) that need to be "Sole Sourced", please clarify as such with an addendum listing such performance specifications, sole source items, components, systems, etc.

City's Response to Question #12: The Contractor should refer to Bid Specifications Section 01 25 00 and provide substitution requests during the submittal process. However, sole sourcing should be for the restroom and its components,

playground equipment and surfacing, trash enclosure finish (as it needs to match the restroom finish), and site furnishings as specified in the bid documents.

9. Question #13 to City: As discussed in the pre-bid meeting, the elevated profile of Butterfield Blvd raises the possibility of boring for sanitary sewage & domestic water or continue with trenching. Please provide plans detailing the Station, Offset, and Elevation of the existing sanitary sewer & domestic water Connection Points located North of Butterfield Blvd.

City's Response to Question #13: The plans show an invert elevation for the SS POC at the SSMH. Potholing will be required for the water POC as there is not enough information available.

10. Question #14 to City: Plans sheet L8.1 and L8.2 specify 3 units each for waste and recycling. However, the specs indicate 2 units each. Please confirm the required quantity.

City's Response to Question #14: 3 units each is required for waste and recycling.

11. Question #15 to City: Symbol 30, 6" concrete curb refers to detail N/D2.2. However, this detail refers to 12" curb at bioretention area. Please clarify.

City's Response to Question #15: It should be detail R/D2.2 for 6" wide, 12" curb/bioretention area is by the picnic area between the playground the restroom.

12. Question # to City #16: Edge bands per details H, I, J, M/D2.1 all has AB under. Can we replace the AB with corresponding thickness of concrete?

City's Response to Question #16: Yes, AB can be replaced with corresponding thickness of concrete.

13. Question #17 to City: In sheet L8.1 there are concrete edge bands in between the pedestrian concrete paving with call-outs symbols 3, and 37 that are a little bit higher than the concrete surfaces. Please confirm that is the design intent because it can cause tripping to the children playing and running around. Or is the design intent to separate the ped concrete with 8" AB on the perimeter from the pedestrian concrete with 6" AB on the inside portion of the curb denoted by symbol 3.

City's Response to Question #17: All concrete edge bands to be flushed with adjacent hardscape.

14. Question #18 to City: Detail B/D2.1 shows that the AB under the concrete with expanded thick edge is 8" thick. Please confirm that this AB thickness will be for all areas of concrete with call-out symbol 28 in sheet L8.1 and will continue to sheet L8.2 as a continuous concrete pedestrian paving.

City's Response to Question #18: The above statement is confirmed.

15. Question #19 to City: Plan sheet L5.1 shows the overflow drain as 12" but detail F/D1.2 shows 10" dome grate. Also detail A, B /D2.3 shows 12" x 12" precast concrete drain box. Please confirm if we use precast or nyloplast and size.

City's Response to Question #19: Use Nyloplast 12" dome grate.

16. Question #20 to City: Will the Bioretention have perf pipe. Please advise.

City's Response to Question #20: There is no perforated pipe.

17. Question #21 to City: Drainage structures spec has CB24 Round RBT 2412 which are no longer made by Oldcastle. Oldcastle equal are RCP pipe structures. Can the RCP structures be used or do we use square structures? Please advise.

City's Response to Question #21: It is acceptable to use RCP.

18. Question #22 to City: Will the contractor only provide the hot tap and will the city of Morgan Hill install the 6" water line to the new meter assembly? Please advise.

City's Response to Question #22: The Contractor is required to provide all work for the installation of the 6" water line and installation of meters 4" and greater.

19. Question #23 to City: Will the city install the 4" meter assembly as plan L5.2 says by city of Morgan Hill water division? Does the meter have any fees the contractor will have to pay? If contractor is to install meter assembly, do we use city of Morgan Hill detail W-11 with bypass as plans call out for detail N / D1.2 and no detail is given.

City's Response to Question #23: The City will order the meter assembly but the Contractor is required to install it.

20. Question #24 to City: Please confirm domestic water backflow detail as detail provided P, L/D1.2 are for irrigation. Do we use city of Morgan Hill detail W-7? Please confirm.

City's Response to Question #24: For water meter sizes up to 2", use City Standard Detail W-6. For 2.5" to 4", use City Standard Detail W-7. For water meter sizes 6" and greater, use City Standard Detail W-8 (double detector check valve assembly).

21. Question #25 to City: Project specs shows DIP CI 52 & C900 for water lines 3" and larger. Do the offsite water lines have to be DIP? City of Morgan Hill general notes W-1 shows DIP CI 50. Please confirm if it needs to be DIP CI 50, CL 52 or if C900 is acceptable for offsite. Also, confirm if the on site water has to be DIP or C900.

City's Response to Question #25: The offsite water line shall be Ductile Iron Pipe Class 50 per City Standards. Onsite water can be C900.

22. Question #26 to City: Please confirm if a 4" stub out for future drinking fountain is needed. Also, confirm size for new hose bib as it shows 4" as well. If the 4" stub out is required, do we install a blow off with marker per city of Morgan Hill detail W-20?

City's Response to Question #26: The stub out is there for the baseball field future phase. A blow off is required.

23. Question #27 to City: Utility legend sanitary sewer catch basin says to provide grease trap. Detail I / D1.2 does not show any grease trap. Please provide detail or grease trap model number.

City's Response to Question #27: There is no kitchen involved, so no need for grease traps.

24. Question #28 to City: Please provide an equal for domestic water tracer wire copper clad steel; SoloShot XTreme Tracer Wire by Copperhead.

City's Response to Question #28: The SoloShot was a recommendation in the Bid Specifications. The contractor can suggest an alternate through the submittal process.

25. Question #29 to City: Please provide a separate legend for pedestrian concrete with expanded thick edge.

City's Response to Question #29: A response to this request will be provided during the RFI/field directive process.

26. Question #30 to City: Please provide the design intent for the surface underneath the Public Restroom Building.

City's Response to Question #30: Please refer to the attached Pad Preparation Plan with additional information.

27. Question #31 to City: Please provide a bid item for the planting, irrigation, and ongoing maintenance of planted areas.

City's Response to Question #31: Refer to the 2nd revision to the Bid Schedule issued with Addendum No. 3 that shows the revised description of Bid Item no. 7 (Site Furnishings and Fencing) which includes Planting and Irrigation.

28. Question #32 to City: How is the low bidder determined? Is it solely based on the total base bid, or are other factors considered?

City's Response to Question #32: The lowest apparent bidder is determined by the total base bid. After the bid proposal has been deemed complete, the contract will be awarded to the lowest responsive and responsible bidder.

29. Question #33 to City: Will the 4" backflow for domestic water require an enclosure? Detail provided P / D1.2 is for irrigation.

City's Response to Question #33: Yes, an enclosure is required for the domestic backflow preventer.

30. Question #34 to City: Please provide trench detail for domestic water.

City's Response to Question #34: Use the trench detail in City standard L-1 for the domestic water.

31. Question #35 to City: The landscape concrete specs mention about color pigment. Please clarify the intent. Is it lamp black? What is the dosage?

City's Response to Question #35: No pigment or integral color concrete, standard natural gray concrete throughout project.

32. Question #36 to City: The landscape concrete specs mention about waterproofing. Please clarify the intent. Is it for seat walls only? What is the dosage?

City's Response to Question #36: Yes, the waterproofing is only for seat walls - see detail B/D2.2.

33. Question #37 to City: Please provide detail for trench drain.

City's Response to Question #37: See A/L5.1 for trench drain detail.

34. Question #38 to City: Is anti-graffiti required for the external walls of the Public Restroom Bldg.?

City's Response to Question #38: Yes, anti-graffiti is required for the external walls of the Public Restroom Building.

35. Question #39 to City: 12" overflow drain #2 in plan sheet L5.1 has four connections and one is 10". Does this structure have to be upsized? Please advise.

City's Response to Question #39: No need to upsize

36. Question #40 to City: Bidder conferences confirmed that surplus dirt from this project can be stockpiled on-site for future use in Phase 1 BMX and Phase 2. However, this project currently requires fill/import dirt. While we discussed (*at Pre-Bid Conference*) the possibility of acquiring import soil from Phase 1 BMX or Phase 2 during the bidder's conference, neither phase currently has a stockpile available. Please advise on next steps.

City's Response to Question #40: The plans show site elevations prior to the fill being added on site by the City. Contractor shall bid with the assumption of no import nor export of fill.

37. Question #41 to City: Please confirm the feasibility of using electrical boring for the area crossing on Monterey Road. Based on the conduit schedule in Plan Sheet E1.1, the crossing requires PG&E primary and secondary conduits, along with other electrical and fiber optic conduits. Will PG&E permit the installation of these conduits via electrical boring?

City's Response to Question #41: Yes, the PG&E drawings are the permit drawings.

38. Question #42 to City: There is no bid item specified for the trash enclosure. Please include a bid item for this component.

City's Response to Question #42: The trash enclosure can be included in bid item #7.

39. Question #43 to City: Please provide Details for trash Enclosure Steel Gates.

City's Response to Question #43: The following are the Trash enclosure steel gate details:

- Gates to be solid metal with cane bolts/sleeves in the open and closed position.
- Each gate should open a min of 135 degrees from closed position.
- Gates to have a 3" clearance off the finished pad.

40. Question #44 to City: Do you require the same color and style of metal roof on Trash enclosure as the Toilet building?

City's Response to Question #44: Yes, trash enclosure roof to match the color of the restroom roof, but not the style.

41. Question #45 to City: Please specify the quantities of material needed for this project?

City's Response to Question #45: The material quantities will not be provided.

42. Question #46 to City: Will the Contractor be responsible for surveying or will the City?

City's Response to Question #46: Please refer to excerpt below from the Bid Specifications, Section 01 71 23 (Field Engineering), under item 1.04 Quality Assurance, which states that the contractor is responsible for surveying.

1.04 QUALITY ASSURANCE

A. Contractor shall employ a California Registered Civil Engineer or Licensed Land Surveyor, hereafter referred to as Surveyor, to lay out the entire work and set grades, lines, levels, and positions throughout the site.

ADDENDUM ACKNOWLEDGMENT

Bidder acknowledges receipt of this addendum, which shall be attached to the proposal.

Contractor's Representative

Date

THIS DOCUMENT SHALL BECOME A PART OF THE PROJECT SPECIFICATIONS

OWNER / GENERAL CONTRACTOR AND PUBLIC RESTROOM COMPANY RESPONSIBILITIES

PUBLIC RESTROOM COMPANY RESPONSIBILITIES:

1. PROVIDE FULL ARCHITECTURAL PLANS AND ENGINEERING CALCULATIONS, STAMPED BY STATE GOVERNING AGENCY SUITABLE FOR GENERAL CONTRACTOR TO FILE FOR REQUIRED BUILDING PERMIT.
2. FURNISH AND INSTALL UNDERGROUND UTILITIES UNDER SLAB (INCLUDING TRENCHING) EXTENDING 6 FEET MAX. BEYOND THE BUILDING LINE, MIN. OF 24" - MAX OF 36" BELOW GRADE.
3. FURNISH AND INSTALL SLAB TO FOUNDATION ANCHORS PER DETAILS INCLUDED HEREIN. APPLICABLE ONLY TO BUILDINGS WITH FOUNDATIONS.

GENERAL NOTES:

1. THE DIFFERENCE IN THE ELEVATION BETWEEN THE FINISH FLOOR OF THE BUILDING AT EXTERIOR DOORS AND THE SIDEWALK OUTSIDE IS 1/4" MAX. PRC RECOMMENDS SIDEWALK TO BE FLUSH WITH FINISH FLOOR AT ALL DOORS.
2. THE PLAN & DETAILS HEREIN ARE SPECIFIC TO THE BUILDING SIZE AND MODULE CONFIGURATION OF THIS BUILDING MODEL.

OWNER / GENERAL CONTRACTOR RESPONSIBILITIES:

1. PREPARE BUILDING PAD AND OR FOUNDATION.
2. PROVIDE SITE PLAN & ENGINEERED FOUNDATION PLAN (IF APPLICABLE) AND ATTACH IT TO THE PUBLIC RESTROOM COMPANY'S DEPARTMENT OF HOUSING APPROVED DOCUMENTS AND OBTAIN NECESSARY PERMITS FROM LOCAL JURISDICTION.
3. VERIFY AND SCHEDULE NECESSARY INSPECTIONS WITH LOCAL JURISDICTION FOR SITE PERFORMED WORK BY OTHERS, AND FOR UNDER BUILDING SLAB PLUMBING CONNECTIONS MADE BY PRC.
4. COORDINATE SEWER INVERT ELEVATION WITH THE PUBLIC RESTROOM COMPANY PRIOR TO BUILDING INSTALLATION, VERIFY & COORDINATE LOCATION OF EXISTING UTILITIES INCLUDING WATER METER SIZE, TYPE, AND LOCATION OF EXISTING UTILITIES COMING INTO THE BUILDING SUPPLIED BY PRC
5. MAKE FINAL UTILITY CONNECTIONS (INCLUDING NECESSARY UTILITY BOXES).
6. PREPARE SITE FOR MINIMUM ALLOWABLE SOIL BEARING PRESSURE OF 1,500 psf, WITH SUB-GRADE COMPACTED TO 90% M.D.D.
7. SUPPLY AND STOCK PILE REQUIRED QUANTITY OF COARSE MASON SAND WITHIN BUILDING PROXIMITY FOR USE BY PRC FOR UTILITY TRENCH BACKFILL.
8. PROJECTS WITH FOOTINGS: PROVIDE SLEEVES IN FOOTINGS ACCORDING TO UTILITY LOCATION PLAN AND PAD / FOUNDATION PLAN DIRECTION.

GENERAL SITE CONDITION LIABILITY NOTE:

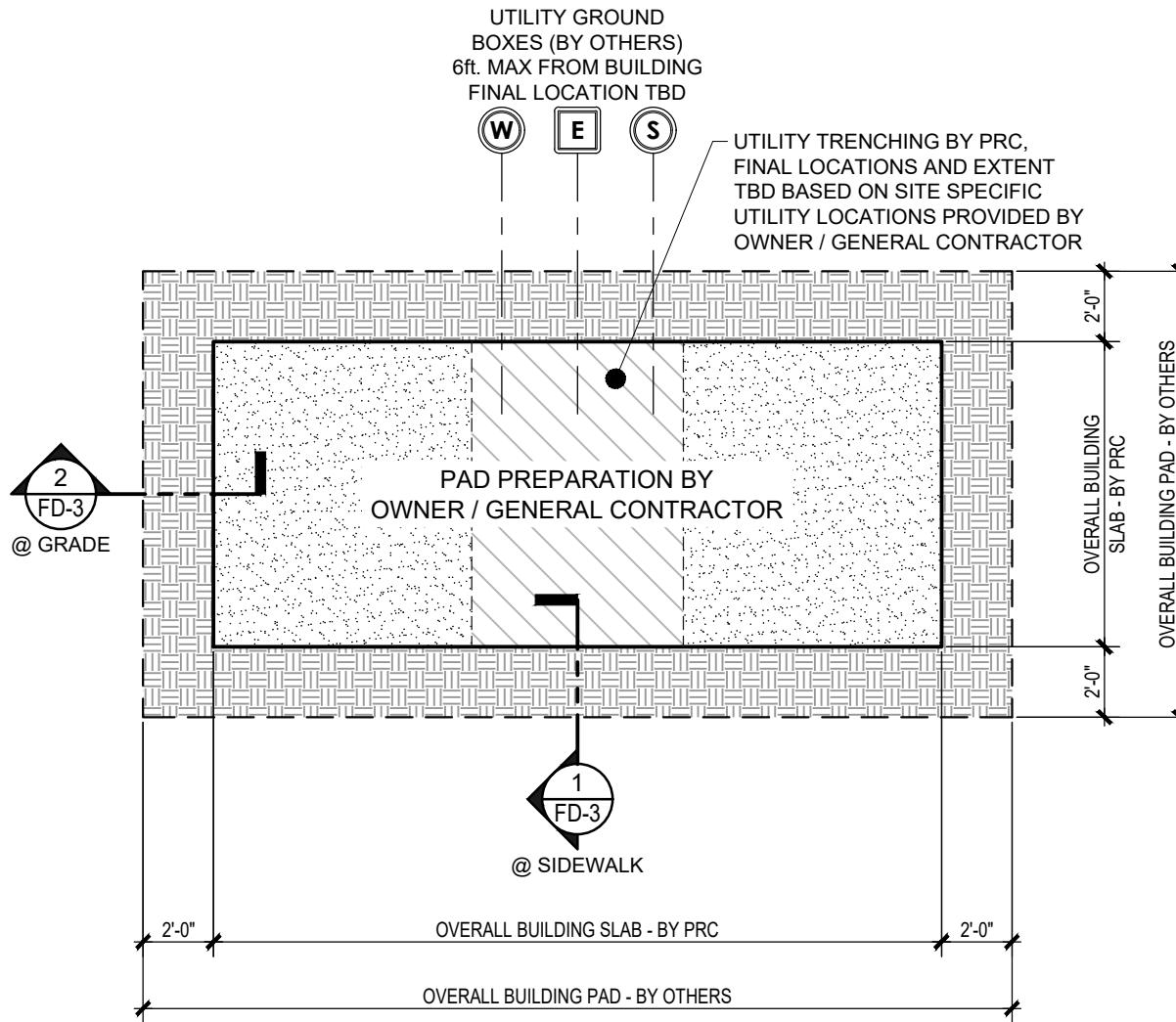
PUBLIC RESTROOM COMPANY (PRC) PROVIDES BUILDING PAD / FOUNDATION PLAN DRAWINGS FOR PLACEMENT OF OUR BUILDING ON SITE FOUNDATIONS / PADS FOR REFERENCE ONLY. PRC DRAWINGS DO NOT INCORPORATE SITE DESIGN FOR LOCAL CODES, SOILS CONDITIONS, FOOTING REQUIREMENTS, AND / OR ANY OTHER CONTRIBUTING SITE FACTORS UP TO AN INCLUDING HIGH WATER TABLES. IT IS THE RESPONSIBILITY OF THE OWNER / GENERAL CONTRACTOR TO PROVIDE A PROPER SITE DESIGN TO ACCOMMODATE THE BUILDING AS WELL AS PROVIDE PROPER SITE CRITERIA SO PRC MAY MODEL SEWER, WATER, AND ELECTRICAL DESIGNS WITHIN THE BUILDING. OUR BUILDING DESIGN INCLUDES AN 8" THICK REINFORCED CONCRETE SLAB AND ASSUMES FULL SLAB BEARING ON SOILS WITH A MINIMUM OF 1500 PSF BEARING CAPACITY. OUR BUILDING DESIGNS SURCHARGE THE SOIL BENEATH THE MAT SLAB AT APPROXIMATE 208 PSF. ANY BUILDING FOUNDATION IN ADDITION TO THE INTEGRAL MAT SLAB ARE SHOWN FOR REFERENCE ONLY AND SHOULD BE VERIFIED BY A LICENSED SOILS ENGINEER TO CONFORM WITH REQUIRED CODES.

PRC ASSUMES NO LIABILITY FOR THE OWNER OR GENERAL CONTRACTOR ACCEPTANCE OF THESE TYPICAL DRAWINGS WITHOUT VERIFICATION BY A LICENSED SOILS / FOUNDATION ENGINEER.



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BUILDING TYPE:	RESTROOM BUILDING	DATE: -	DRAWN BY: -
PROJECT:	-	PROJECT #:	-
		SHEET:	FD-1



1
FD-2

EXAMPLE PAD PREPARATION PLAN

SCALE: NOT TO SCALE

REQUIRED ALLOWABLE SOIL
BEARING PRESSURE = 1500 PSF;
FIELD VERIFIED BY OTHERS



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BUILDING TYPE

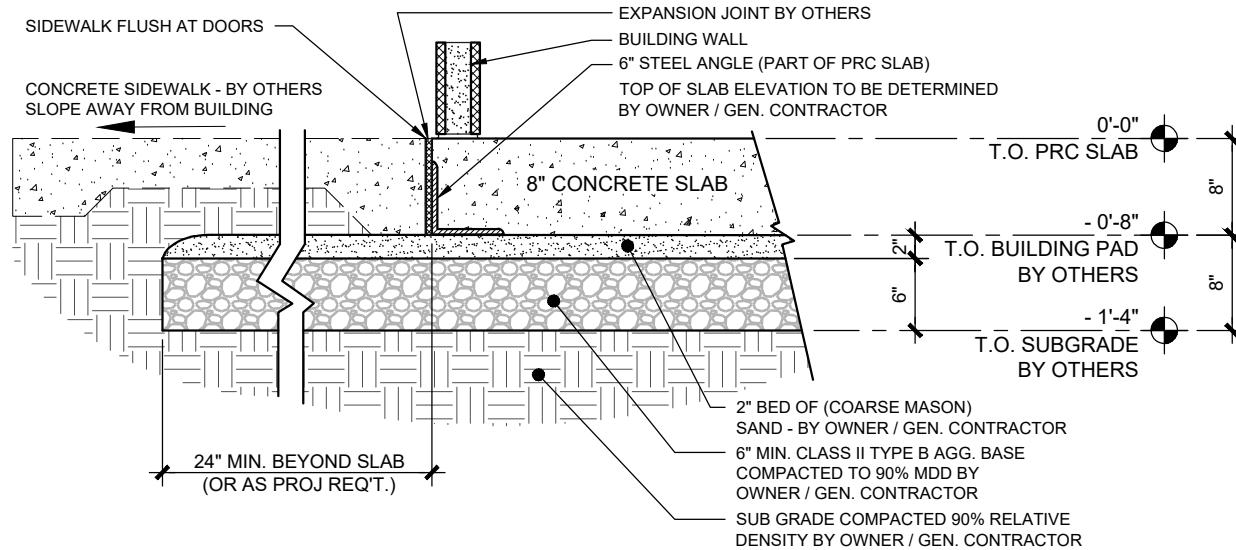
RESTROOM BUILDING

DATE: - DRAWN BY:

PROJECT #: -

SHEET:

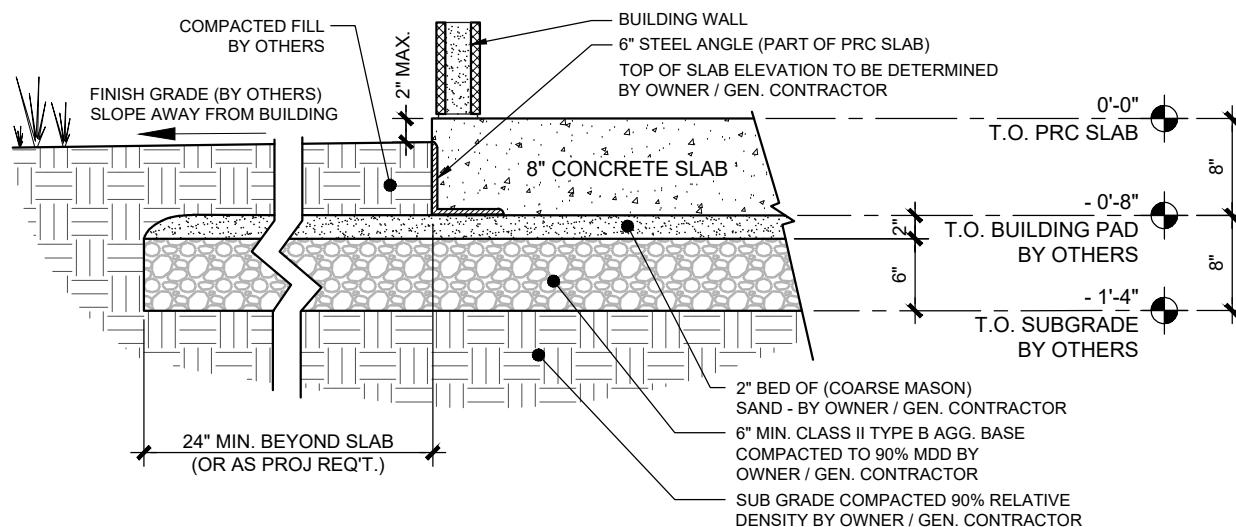
FD-2



1
FD-3

SUB-GRADE / PAD SECTION @ SIDEWALK

SCALE: NOT TO SCALE



2
FD-3

SUB-GRADE / PAD SECTION @ GRADE

SCALE: NOT TO SCALE