

DEPAUL RESIDENCES MORGAN HILL, CALIFORNIA



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**DEPAUL RESIDENCES
MORGAN HILL, CALIFORNIA**

DESIGN PERMIT
APPLICATION - SB330
APRIL 1, 2024

COVER PAGE

A0-0.0



Landscape show for illustrative purposes only. See landscape drawings for specific selections.
Color and materials shown for illustrative purposes only, see color and material boards for specific selections



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DePaul Residences
MORGAN HILL # 2023-0661

**DESIGN PERMIT
APPLICATION - SB330**
APRIL 1, 2024

**PERSPECTIVE RENDERING
NEIGHBORHOOD 1-TOWNHOUSES**

A0-0.1



Landscape show for illustrative purposes only. See landscape drawings for specific selections.
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PERSPECTIVE RENDERING
NEIGHBORHOOD 2- SINGLE FAMILY

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NORTH 30 RESIDENCES

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SHEET INDEX

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LEGEND

- SINGLE FAMILY DETACHED
- 4 PLEX - TOWNHOUSE
- 5 PLEX - TOWNHOUSE
- 6 PLEX - TOWNHOUSE

MORGAN HILL, CA

SINGLE FAMILY

GENERAL INFORMATION						
UNIT DATA + AREA CALCULATIONS						
	Livable Gross SF	Garage SF	Non-Residential Gross SF	Residential Gross SF	# of homes	Total Gross SF
Plan 1	2,131	458	0	2,589	26	67,314
Plan 2	2,416	445	0	2,861	25	71,525
Plan 3	2,435	498	0	2,933	25	73,325
Plan 4	2,601	440	0	3,041	22	66,902
Total Single Family Gross SF					98	279,066 SF

TOWNHOMES

UNIT DATA				
UNIT COUNT				
	Plan 1	Plan 2	Plan 3	# of Buildings
4-Plex	1	1		2
5-Plex	1	2		3
6-Plex	2	2		4
Total Units / Plan Type	19	22		32
Total # Units	73 Total Units			

UNIT DATA + AREA CALCULATIONS PER TOWNHOME UNIT						
	Residential Area SF*	Garage SF**	Non-Residential Gross SF	Residential Gross SF	# of homes	Project Total Gross SF
Townhome - Plan 1	1,982	472	0		19	46,626
Townhome - Plan 2	2,189	487	0		22	58,872
Townhome - Plan 3	2,223	485	0		32	86,656

Total Townhome Gross SF	73	192,154 SF
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*Residential Area measured to outside face of stud. Does not include patios, balconies, **Garage Area measured to outside face of stud of garages.

AREA CALCULATIONS

Building Type	Gross Residential Area per Building* SF	Gross Non-Residential Area per Building	# of Buildings	Total Project Gross Residential Area SF
4-Plex	10,546	0	10	105,460 SF
5-Plex	13,222	0	3	39,666 SF
6-Plex	15,676	0	3	47,028 SF
Total Townhome Gross SF			16	192,154 SF

*Area includes residential area, including garages to outside face of stud. Does not include patios and balconies

RESIDENTIAL PARKING SUMMARY

	# of Units	Req. Ratio.	Spaces Required	Spaces Provided
Guest Parking:				
Townhouses	73	0.25	18.25	19
Van Accessible - 19 Spaces x 5% = 1 Van Accessible Space				
EV Charging - 19 Spaces x 5% = 1 EV at Van Accessible Space (noted above)				
Single Family Detached	98	0.25	24.5	152
				Total Guest: 171
Private Parking in Garages:				
Townhouse (MF) Res. (Garage)	73 Units x 2 Spaces Ea. =			146
Single Family Res. (Garage)	98 Units x 2 Spaces Ea. =			196

POTENTIAL LOCATION OF ACCESSIBLE UNITS
73 Townhouse Units x 10 % Accessible = 8 Units

NOTES:

- REFER TO CIVIL SHEETS FOR ALL PROPERTY LINES, EASEMENTS, SITE DIMENSIONS, ACCESSIBLE UNIT LOCATIONS, ETC.
- REFER TO LANDSCAPE SHEETS FOR LANDSCAPE DESIGN, DIMENSIONS AND DETAILED INFORMATION.



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PROJECT DATA
& SITE PLAN

A0-1.1

SINGLE FAMILY DETACHED
R3

APPLICABLE CODES:

2022 CALIFORNIA RESIDENTIAL CODE (CRC)

2022 CALIFORNIA ELECTRICAL CODE (CEC) PART 3, TITLE 24
[BASED ON 2017 NATIONAL ELECTRICAL CODE]

2022 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24
[BASED ON 2018 UNIFORM MECHANICAL CODE]

2022 CALIFORNIA PLUMBING CODE (CPC) PART 5, TITLE 24
[BASED ON 2018 UNIFORM PLUMBING CODE]

2022 CALIFORNIA ENERGY CODE PART 6, TITLE 24

2022 CALIFORNIA FIRE CODE (CFC) PART 9, TITLE 24
[BASED ON 2018 INTERNATIONAL FIRE CODE]

2022 CALIFORNIA GREEN BUILDING CODE (CAL GREEN) PART 11

CITY OF MORGAN HILL MUNICIPAL CODE

TYPE OF CONSTRUCTION: V-B
OCCUPANCY GROUP: R-3
GARAGE: U
FIRE SPRINKLERS: NFPA 13-D

AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 13-D IN ONE- AND TWO- FAMILY DWELLINGS.

THIS PROJECT SHALL COMPLY WITH ALL OTHER REGULATIONS AND ORDINANCES ADOPTED BY THE LOCAL GOVERNING AGENCIES.

3 STORY TOWNHOUSE:
R2- TOWNHOUSE CONDOMINIUMS

APPLICABLE CODES:

2022 CALIFORNIA BUILDING CODE (CBC) PART 2, VOLUMES 1 AND 2, TITLE 24
[BASED ON 2018 INTERNATIONAL BUILDING CODE]

2022 CALIFORNIA RESIDENTIAL CODE (CRC)

2022 CALIFORNIA ELECTRICAL CODE (CEC) PART 3, TITLE 24
[BASED ON 2017 NATIONAL ELECTRICAL CODE]

2022 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24
[BASED ON 2018 UNIFORM MECHANICAL CODE]

2022 CALIFORNIA PLUMBING CODE (CPC) PART 5, TITLE 24
[BASED ON 2018 UNIFORM PLUMBING CODE]

2022 CALIFORNIA ENERGY CODE PART 6, TITLE 24

2022 CALIFORNIA FIRE CODE (CFC) PART 9, TITLE 24
[BASED ON 2018 INTERNATIONAL FIRE CODE]

2022 CALIFORNIA GREEN BUILDING CODE (CAL GREEN) PART 11

CITY OF MORGAN HILL MUNICIPAL CODE

DEFINITIONS: [PER CRC R202]	TOWNHOUSE CONDOMINIUMS: A SINGLE FAMILY DWELLING UNIT CONSTRUCTED IN A GROUP OF THREE OR MORE ATTACHED UNITS IN WHICH EACH UNIT EXTENDS FROM FOUNDATION TO ROOF AND WITH A YARD OR PUBLIC WAY ON AT LEAST TWO SIDES.
OCCUPANCY GROUP: (CRC R 1.1.3.1)	TOWNHOUSE CONDOMINIUMS U (PRIVATE GARAGES)
CONSTRUCTION TYPE	TYPE V-B
FIRE SPRINKLERS: (CRC R 313)	<u>NFPA 13-D</u>
ALLOWABLE HEIGHT:	40 FEET
ALLOWABLE STORIES: (CRC 1.13)	3 STORIES
ALLOWABLE FLOOR AREA	THE CRC DOES NOT PUT AREA LIMITATIONS ON TOWNHOUSE CONDOMINIUMS
TOWNHOUSE UNIT SEPARATION (CRC R 302.2.2)	PER CRC R302.2 EACH TOWNHOUSE CONDOMINIUM SHALL BE SEPARATED BY A COMMON WALL CONSTRUCTED WITHOUT PLUMBING OR MECHANICAL EQUIPMENT, DUCTS OR VENTS RUNNING VERTICALLY IN THE COMMON WALL CAVITY. PER CRC R 302.2 ITEM 7 THE COMMON WALL SHALL BE NOT LESS THAN 1-HOUR FIRE RATED.
EXTERIOR WALL RATING: (CRC TABLE R 302.1(2))	FIRE SEPARATION DISTANCE ≥ 3' SHALL BE ZERO (0) (NON-RATED) FIRE SEPARATION DISTANCE < 3' SHALL BE ONE (1) - (1 HOUR)
MAXIMUM AREA OF EXTERIOR WALL OPENINGS: (CRC TABLE R 302.1(2))	FIRE SEPARATION DISTANCE ≥ 3' SHALL BE UNLIMITED (UNRATED) FIRE SEPARATION DISTANCE < 3' SHALL NOT BE ALLOWED
UTILITIES / THROUGH PENETRATIONS (CRC R302.4.1)	ELECTRIC METERS LOCATED IN COMMON HOA MAINTAINED CLOSETS AT THE END OF EACH BUILDING ARE RUN THROUGH THE BUILDING Laterally IN A NON-RATED SOFFIT RACEWAY LOCATED IN THE GARAGES. ACCESS EASEMENTS EXIST FOR USE AND MAINTENANCE OF THE UTILITY RACEWAY. THROUGH PENETRATIONS OF THE 1-HOUR RATED COMMON WALL SEPARATING UNITS BY ELECTRICAL AND PLUMBING LINES SHALL BE PROTECTED IN ACCORDANCE WITH CRC R 302.4.1 & CRC R 302.4.1.2 BY PROVIDING A THROUGH PENETRATION FIRESTOP SYSTEM.
ACCESSIBILITY: (PER CRC R320.1)	DWELLING UNITS IN A BUILDING CONSISTING OF FOUR OR MORE CONDOMINIUM UNITS SHALL MEET THE REQUIREMENTS OF CALIFORNIA BUILDING CODE CHAPTER 11A - MULTISTORY DWELLINGS. REFER TO SITE PLAN FOR MORE INFORMATION AND LOCATION OF ACCESSIBLE UNITS. MULTI-DWELLING BUILDINGS WITH LESS THAN 4 UNITS ARE EXEMPT FROM ACCESSIBILITY REQUIREMENTS. 10% OF THE REMAINING UNITS THAT ARE NOT EXEMPT MUST BE MADE ACCESSIBLE BASED ON CBC SECTION 1102.3.1 SEE SITE PLAN, SHEET A0-1.1



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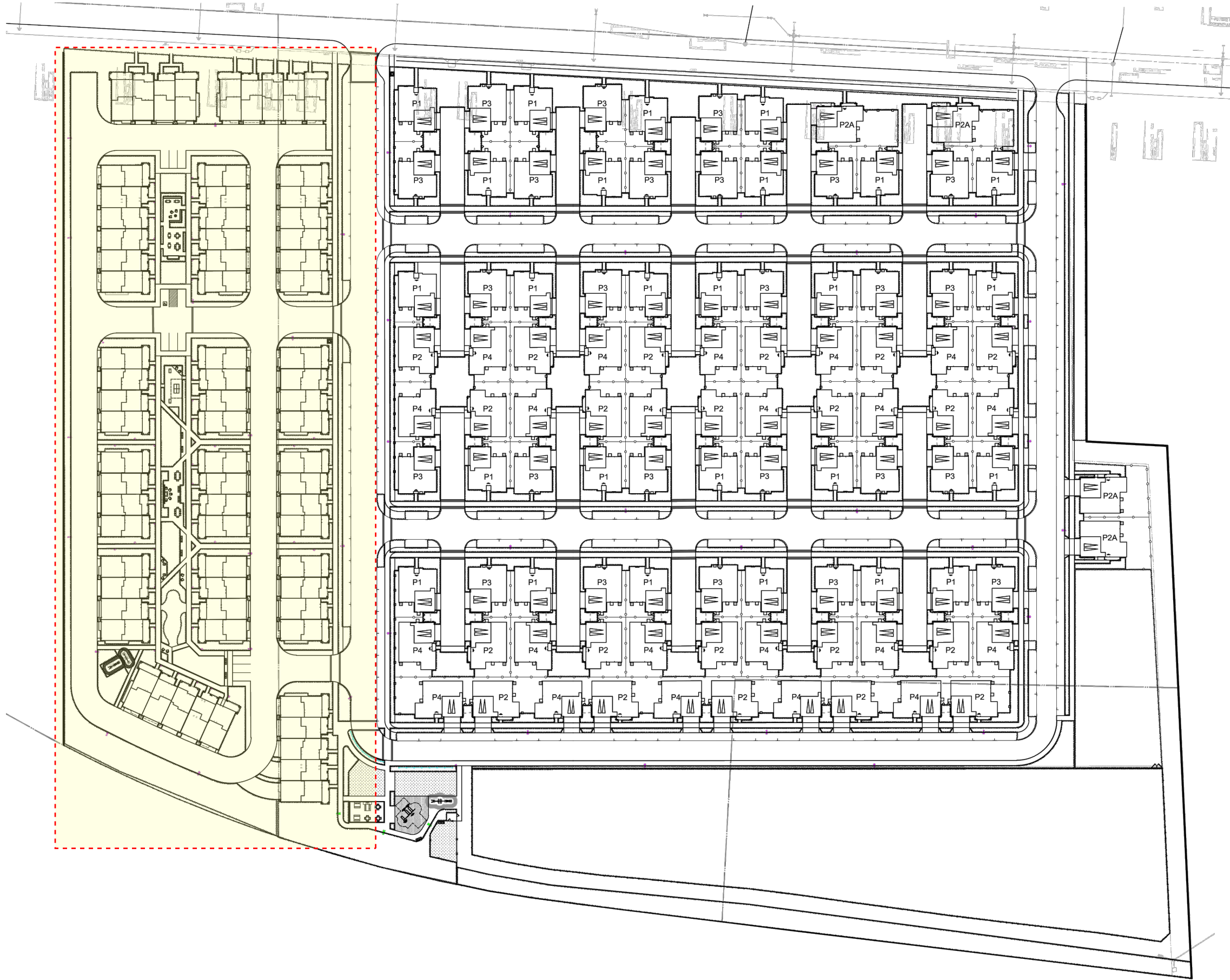
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CODE ANALYSIS: NEIGHBORHOODS 1 & 2

A0-1.2

16. Useable Private and Common Open Space: Each lot must include a private open space area, such as a private yard, porch, balcony, roof garden, or patio. Private open space must be contiguous to the unit it serves and accessible and visible from the living area of the unit. Private open space must be open air. Private open space cannot be covered by a roof by more than 50 percent of the area; however, balconies can have up to 100 percent ceiling coverage. The following private open space is required per unit type:				
a. Single-family attached and detached units meeting the following average lot sizes shall provide useable open space as specified:				
	Average Lot Area (square feet)			
	1,440-1920	1,920-2,999	3,000-4,356	4,357-6,999
Private Open Space	60 square feet per unit	150 square feet per unit	300 square feet per unit	350 square feet per unit
Common Open Space	140 square feet per unit	150 square feet per unit	175 square feet per unit	200 square feet per unit
d. If On-site Recreational Amenities are not provided, private and common open space shall be increased by 25 percent.				
Common open space shall be fully landscaped and accessible to all residents.				
Private open space per unit may be reduced by up to 25 percent if off-set by the equivalent increase in common open space with amenities.				
(GP Policy CNF-11.29 Multi-Family Open Space)				
ARCHITECTURAL DESIGN FEATURES				
25. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.				
26. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.				
28. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick, or other material enhancements. All facades (sides and rear) must have the level of detail, and materials incorporating at a minimum of two elements of the front façade. There shall be no blank walls. (GP Policy CNF-11.16 360-Degree Design)				
29. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously ¼ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.				
30. Roof line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)				
31. Height and Project Massing: Project design minimizes bulk of the buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and height; and, b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)				
32. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows: a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement				
33. Building Colors: The project has provided a sample color palette of complimentary colors used in the surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. a. The use of fluorescent or neon colors is prohibited.				
34. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least 1 1/2 inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.				
36. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.				
37. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment.				
39. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling..				
43. Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.				
44. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building façade with frontage upon a street, adjacent public park or public open space.				



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NEIGHBORHOOD 1-TOWNHOUSES COVER

A1-0.0

16. **Useable Private and Common Open Space:** Each lot must include a private open space area, such as a private yard, porch, balcony, roof garden, or patio. Private open space must be contiguous to the unit it serves and accessible and visible from the living area of the unit. Private open space must be open air. Private open space cannot be covered by a roof by more than 50 percent of the area; however, balconies can have up to 100 percent ceiling coverage. The following private open space is required per unit type:

a. Single-family attached and detached units meeting the following average lot sizes shall provide useable open space as specified:

	Average Lot Area (square feet)			
	1,440-1920	1,920-2,999	3,000-4,356	4,357-6,999
Private Open Space	60 square feet per unit	150 square feet per unit	300 square feet per unit	350 square feet per unit
Common Open Space	140 square feet per unit	150 square feet per unit	175 square feet per unit	200 square feet per unit

d. If **On-site Recreational Amenities** are not provided, private and common open space shall be increased by 25 percent.

Common open space shall be fully landscaped and accessible to all residents.

Private open space per unit may be reduced by up to 25 percent if off-set by the equivalent increase in common open space with amenities.

(GP Policy CNF-11.29 Multi-Family Open Space)

ARCHITECTURAL DESIGN FEATURES

25. **Front Porches:** 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.

26. **Balconies:** 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.

28. **360 Degree Architecture:** The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick, or other material enhancements.

All facades (sides and rear) must have the level of detail, and materials incorporating at a minimum of two elements of the front façade. There shall be no blank walls.

(GP Policy CNF-11.16 360-Degree Design)

29. **Exterior Treatments and Materials:** At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth.

Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously ¼ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.

30. **Roof line Variation for three or more units:** Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)

31. **Height and Project Massing:** Project design minimizes bulk of the buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including:

a. Changes in roof form and height; and,
b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses.

(General Plan Policy CNF 11.22)

32. **Separate Structures-Attached Projects:** Large projects shall be divided into separate structures. The maximum number of units per structure is as follows:

a. Single-family Attached: 7 units maximum per structure

(General Plan Policy CNF 11.22)

100 percent affordable projects are exempt from this requirement

33. **Building Colors:** The project has provided a sample color palette of complementary colors used in the surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors.

a. The use of fluorescent or neon colors is prohibited.

34. **Window Design:** The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project:

a. Minimum depth of at least 1 1/2 inches from glass to exterior of trim;
b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or,
c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.

36. **Exterior Lighting and Illumination:** Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.

37. **Equipment Screening:** All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment.

39. **Garage Door Design:** The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling.

43. **Massing for three story buildings or taller:** Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.

44. **Distinct material changes for three story buildings or taller:** Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building façade with frontage upon a street, adjacent public park or public open space.



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COLOR SCHEME		1
COLOR APPLICATION		
33		
ROOF MATERIAL: POSITION ROOFING		MOIRE BLACK
METAL ROOF		ZINC GRAY
STUCCO BODY / BATTEN SIDING 1		SW 9165 GOSSAMER VEIL
FASCIA / EAVES 1 / TRIM 1		SW 7005 PURE WHITE
BATTEN SIDING 2		SW 9170 ACIER
FASCIA / EAVES AT METAL ROOF / TRIM 2		SW 0077 CLASSIC FRENCH GRAY
GARAGE DOOR 1		SW 2848 ROYCROFT PEWTER
GARAGE DOOR 2		SW 0077 CALSSIC FRENCH GRAY
ENTRY DOORS		SW 9038 CUCUZZA VERDE
METAL RAILS		SW 6258 TRICORN BLACK
WOOD TONE SIDING / WOOD TONE TRIM BOARDS		OLD CHERRY
THIN BRICK		LOREIO FAROLA

FRONT PERSPECTIVE



Meter cabinet location may vary at time of building permit.

LEFT ELEVATION



FRONT ELEVATION

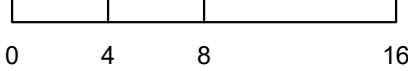


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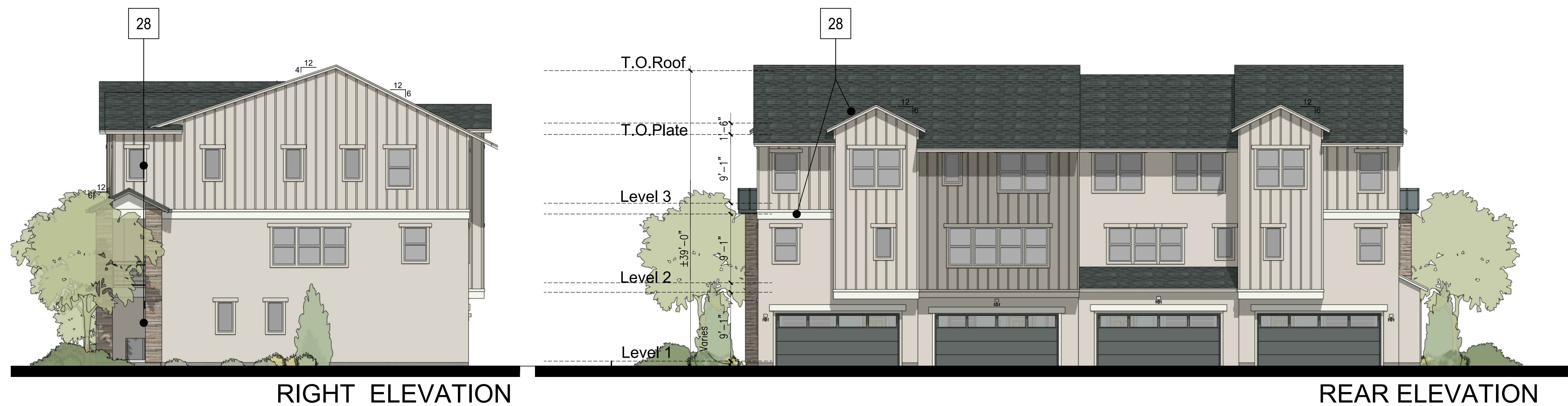
DePaul Residences
MORGAN HILL #2023-0661

DESIGN PERMIT
APPLICATION - SB330
APRIL 1, 2024



BUILDING ELEVATIONS - 4PLEX
COLOR SCHEME 1

A1-2.0



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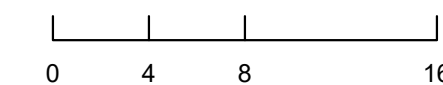


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 APPLICATION - SB330**
 APRIL 1, 2024



BUILDING ELEVATIONS - 4PLEX
 COLOR SCHEME 1

A1-2.1

16. Useable Private and Common Open Space: Each lot must include a private open space area, such as a private yard, porch, balcony, roof garden, or patio. Private open space must be contiguous to the unit it serves and accessible and visible from the living area of the unit. Private open space must be open air. Private open space cannot be covered by a roof by more than 50 percent of the area; however, balconies can have up to 100 percent ceiling coverage. The following private open space is required per unit type:				
a. Single-family attached and detached units meeting the following average lot sizes shall provide useable open space as specified:				
	Average Lot Area (square feet)			
	1,440-1920	1,920-2,999	3,000-4,356	4,357-6,999
Private Open Space	60 square feet per unit	150 square feet per unit	300 square feet per unit	350 square feet per unit
Common Open Space	140 square feet per unit	150 square feet per unit	175 square feet per unit	200 square feet per unit
d. If On-site Recreational Amenities are not provided, private and common open space shall be increased by 25 percent.				
Common open space shall be fully landscaped and accessible to all residents.				
Private open space per unit may be reduced by up to 25 percent if off-set by the equivalent increase in common open space with amenities.				
(GP Policy CNF-11.29 Multi-Family Open Space)				
ARCHITECTURAL DESIGN FEATURES				
25. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.				
26. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.				
28. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick, or other material enhancements.				
All facades (sides and rear) must have the level of detail, and materials incorporating at a minimum of two elements of the front façade. There shall be no blank walls. (GP Policy CNF-11.16 360-Degree Design)				
29. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth.				
Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously ¼ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.				
30. Roof line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)				
31. Height and Project Massing: Project design minimizes bulk of the buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including:				
a. Changes in roof form and height; and, b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)				
32. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows:				
a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22)				
100 percent affordable projects are exempt from this requirement				
33. Building Colors: The project has provided a sample color palette of complementary colors used in the surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors.				
a. The use of fluorescent or neon colors is prohibited.				
34. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project:				
a. Minimum depth of at least 1 1/2 inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.				
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44. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building façade with frontage upon a street, adjacent public park or public open space.				



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COLOR SCHEME COLOR APPLICATION		2
33		
ROOF MATERIAL: POSITION ROOFING		WEATHERWOOD
METAL ROOF		MEDIUM BRONZE
STUCCO BODY / BATTEN SIDING 1		SW 7050 USEFUL GRAY
FASCIA / EAVES 1 / TRIM 1		SW 9166 DRIFT OF MIST
BATTEN SIDING 2		SW 9130 EVERGREEN FOG
FASCIA / EAVES AT METAL ROOF / TRIM 2		SW 6200 LINK GRAY
GARAGE DOOR 1		SW 7645 THUNDER GRAY
GARAGE DOOR 2		SW 6200 LINK GRAY
ENTRY DOORS		SW 7625 MOUNT ETNA
METAL RAILS		SW 6258 TRICORN BLACK
WOOD TONE SIDING/ WOOD TONE TRIM BOARDS		SUMMERWHEAT
THIN BRICK		LOREIO TALAVERA

FRONT PERSPECTIVE



Meter cabinet location may vary at time of building permit.

LEFT ELEVATION

FRONT ELEVATION

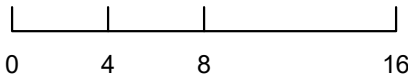


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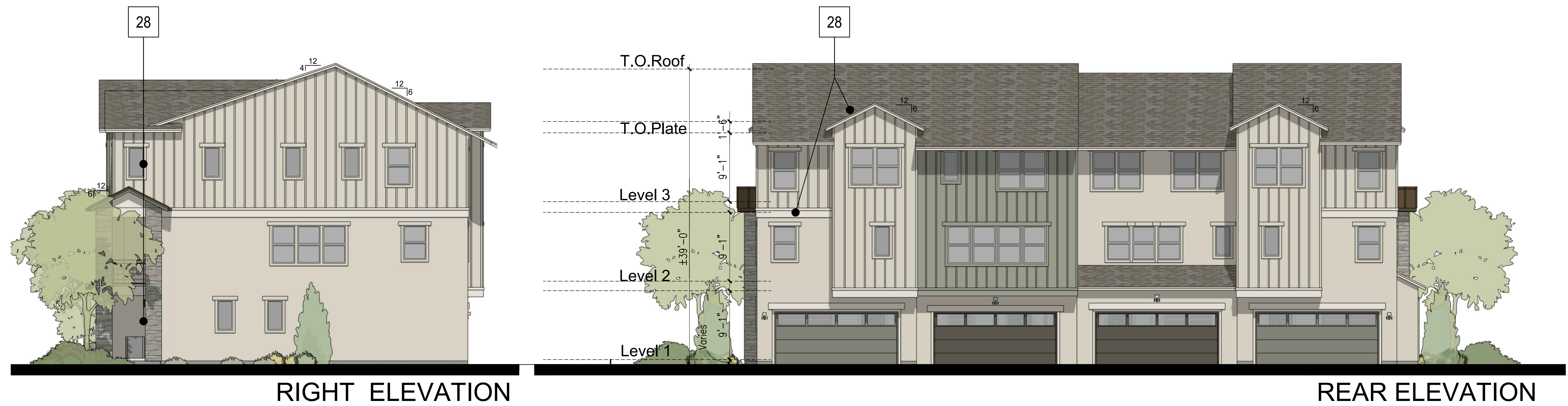
DePaul Residences
MORGAN HILL #2023-0661

**DESIGN PERMIT
APPLICATION - SB330**
APRIL 1, 2024



BUILDING ELEVATIONS - 4PLEX
COLOR SCHEME 2

A1-2.2



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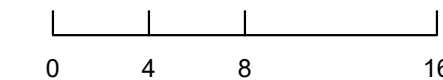


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APRIL 1, 2024



BUILDING ELEVATIONS - 4PLEX
COLOR SCHEME 2

A1-2.3

16. **Useable Private and Common Open Space:** Each lot must include a private open space area, such as a private yard, porch, balcony, roof garden, or patio. Private open space must be contiguous to the unit it serves and accessible and visible from the living area of the unit. Private open space must be open air. Private open space cannot be covered by a roof by more than 50 percent of the area; however, balconies can have up to 100 percent ceiling coverage. The following private open space is required per unit type:

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(GP Policy CNF-11.29 Multi-Family Open Space)

ARCHITECTURAL DESIGN FEATURES

25. **Front Porches:** 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.

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(GP Policy CNF-11.16 360-Degree Design)

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(General Plan Policy CNF 11.22)

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a. Single-family Attached: 7 units maximum per structure

(General Plan Policy CNF 11.22)

100 percent affordable projects are exempt from this requirement

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a. The use of fluorescent or neon colors is prohibited.

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Meter cabinet location may vary at time of building permit.

LEFT ELEVATION



FRONT ELEVATION

COLOR SCHEME		1
COLOR APPLICATION		
33		
ROOF MATERIAL: POSITION ROOFING		MOIRE BLACK
METAL ROOF		ZINC GRAY
STUCCO BODY / BATTEN SIDING 1		SW 9165 GOSSAMER VEIL
FASCIA / EAVES 1 / TRIM 1		SW 7005 PURE WHITE
BATTEN SIDING 2		SW 9170 ACIER
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GARAGE DOOR 1		SW 2848 ROYCROFT PEWTER
GARAGE DOOR 2		SW 0077 CALSSIC FRENCH GRAY
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METAL RAILS		SW 6258 TRICORN BLACK
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THIN BRICK		LOREIO FAROLA

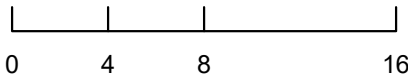


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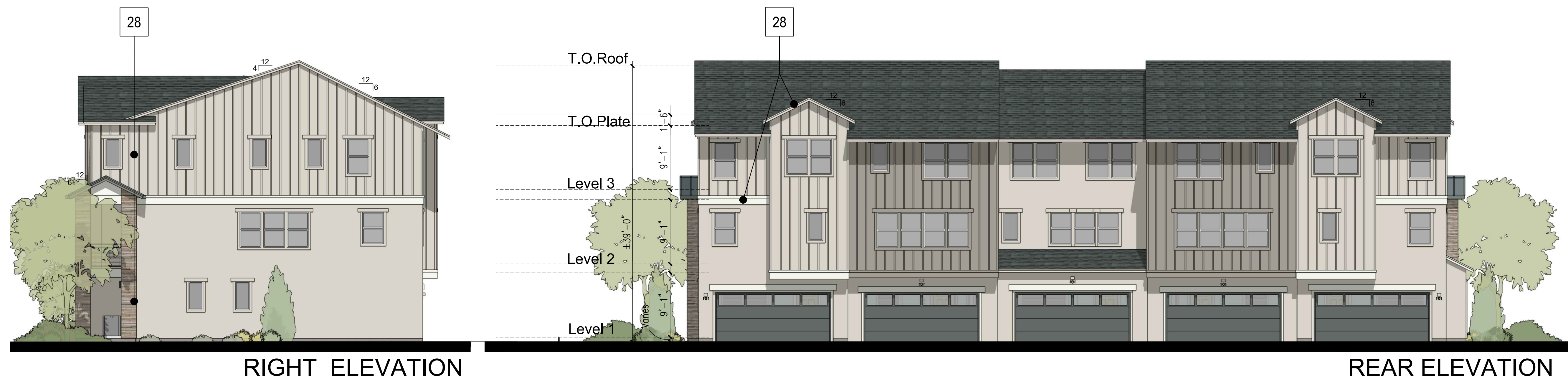
DePaul Residences
MORGAN HILL # 2023-0661

DESIGN PERMIT
APPLICATION - SB330
APRIL 1, 2024



BUILDING ELEVATIONS - 5PLEX
COLOR SCHEME 1

A1-2.4



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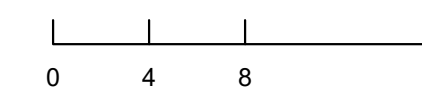


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BUILDING ELEVATIONS - 5PLEX
COLOR SCHEME 1

A1-2.5

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(GP Policy CNF-11.29 Multi-Family Open Space)

ARCHITECTURAL DESIGN FEATURES

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(GP Policy CNF-11.16 360-Degree Design)

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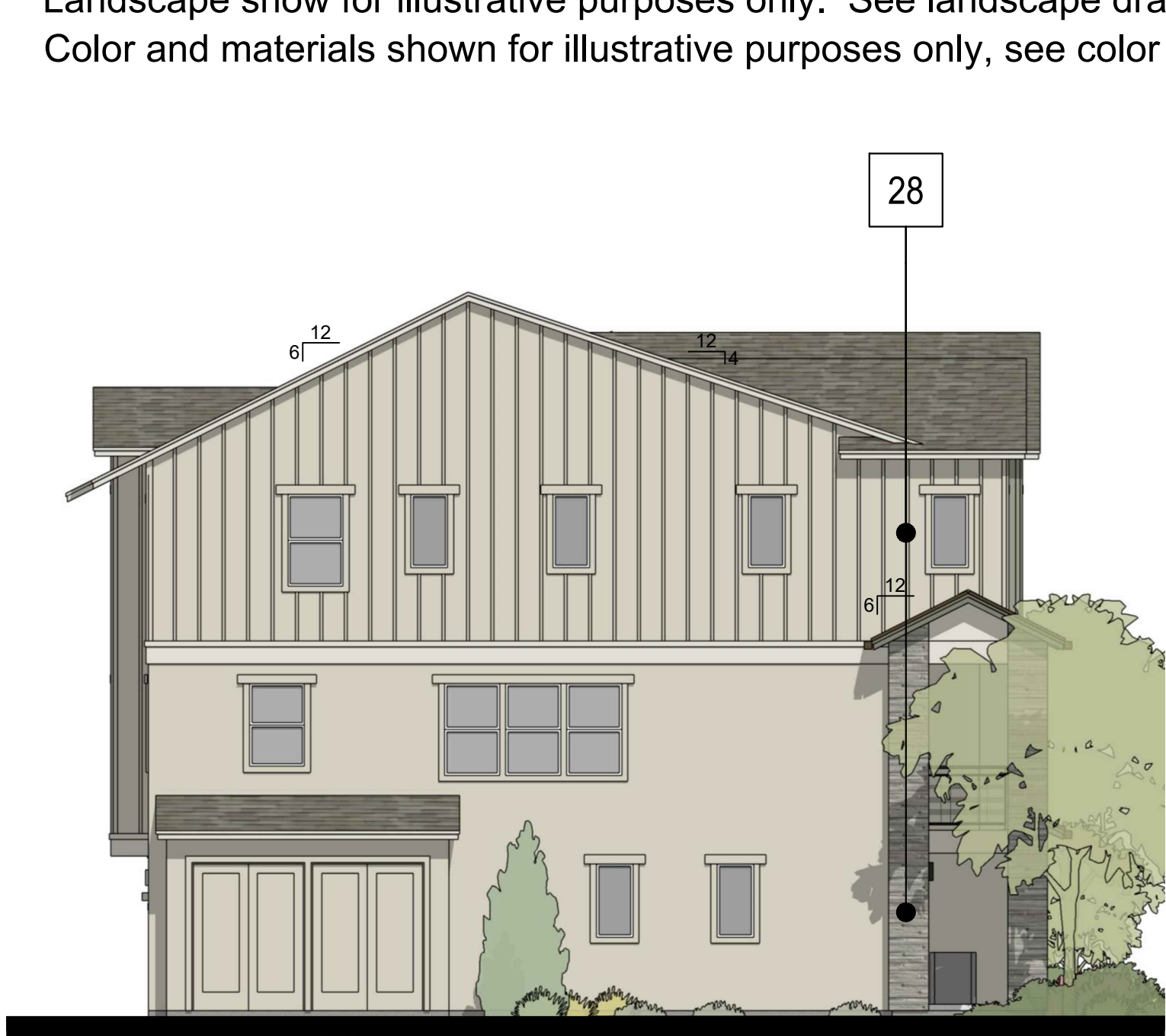
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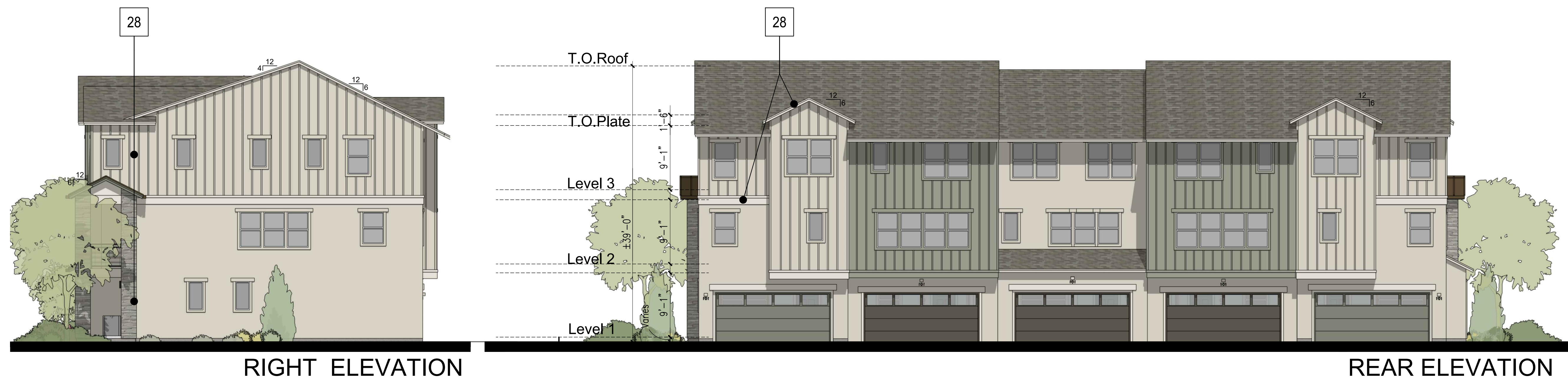
Meter cabinet location may vary at time of building permit.

LEFT ELEVATION



FRONT ELEVATION

COLOR SCHEME COLOR APPLICATION		2
33		
ROOF MATERIAL: POSITION ROOFING		WEATHERWOOD
METAL ROOF		MEDIUM BRONZE
STUCCO BODY / BATTEN SIDING 1		SW 7050 USEFUL GRAY
FASCIA / EAVES 1 / TRIM 1		SW 9166 DRIFT OF MIST
BATTEN SIDING 2		SW 9130 EVERGREEN FOG
FASCIA / EAVES AT METAL ROOF / TRIM 2		SW 6200 LINK GRAY
GARAGE DOOR 1		SW 7645 THUNDER GRAY
GARAGE DOOR 2		SW 6200 LINK GRAY
ENTRY DOORS		SW 7625 MOUNT ETNA
METAL RAILS		SW 6258 TRICORN BLACK
WOOD TONE SIDING/ WOOD TONE TRIM BOARDS		SUMMERWHEAT
THIN BRICK		LOREIO TALAVERA



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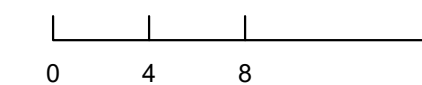


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DePaul Residences
MORGAN HILL #2023-0661

**DESIGN PERMIT
APPLICATION - SB330**
APRIL 1, 2024



BUILDING ELEVATIONS - 5PLEX
COLOR SCHEME 2

A1-2.7

16. **Useable Private and Common Open Space:** Each lot must include a private open space area, such as a private yard, porch, balcony, roof garden, or patio. Private open space must be contiguous to the unit it serves and accessible and visible from the living area of the unit. Private open space must be open air. Private open space cannot be covered by a roof by more than 50 percent of the area; however, balconies can have up to 100 percent ceiling coverage. The following private open space is required per unit type:

a. Single-family attached and detached units meeting the following average lot sizes shall provide useable open space as specified:

	Average Lot Area (square feet)			
	1,440-1920	1,920-2,999	3,000-4,356	4,357-6,999
Private Open Space	60 square feet per unit	150 square feet per unit	300 square feet per unit	350 square feet per unit
Common Open Space	140 square feet per unit	150 square feet per unit	175 square feet per unit	200 square feet per unit

d. If **On-site Recreational Amenities** are not provided, private and common open space shall be increased by 25 percent.

Common open space shall be fully landscaped and accessible to all residents.

Private open space per unit may be reduced by up to 25 percent if off-set by the equivalent increase in common open space with amenities.

(GP Policy CNF-11.29 Multi-Family Open Space)

ARCHITECTURAL DESIGN FEATURES

25. **Front Porches:** 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.

26. **Balconies:** 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.

28. **360 Degree Architecture:** The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick, or other material enhancements.

All facades (sides and rear) must have the level of detail, and materials incorporating at a minimum of two elements of the front façade. There shall be no blank walls.
(GP Policy CNF-11.16 360-Degree Design)

29. **Exterior Treatments and Materials:** At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth.

Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously ¼ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.

30. **Roof line Variation for three or more units:** Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)

31. **Height and Project Massing:** Project design minimizes bulk of the buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including:

a. Changes in roof form and height; and,

b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses.

(General Plan Policy CNF 11.22)

32. **Separate Structures-Attached Projects:** Large projects shall be divided into separate structures. The maximum number of units per structure is as follows:

a. Single-family Attached: 7 units maximum per structure

(General Plan Policy CNF 11.22)

100 percent affordable projects are exempt from this requirement

33. **Building Colors:** The project has provided a sample color palette of complimentary colors used in the surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors.

a. The use of fluorescent or neon colors is prohibited.

34. **Window Design:** The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project:

a. Minimum depth of at least 1 1/2 inches from glass to exterior of trim;

b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or,

c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.

36. **Exterior Lighting and Illumination:** Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.

37. **Equipment Screening:** All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment.

39. **Garage Door Design:** The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling,.

43. **Massing for three story buildings or taller:** Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.

44. **Distinct material changes for three story buildings or taller:** Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building façade with frontage upon a street, adjacent public park or public open space.

COLOR SCHEME		1
COLOR APPLICATION		
33		
ROOF MATERIAL: POSITION ROOFING		MOIRE BLACK
METAL ROOF		ZINC GRAY
STUCCO BODY / BATTEN SIDING 1		SW 9165 GOSSAMER VEIL
FASCIA / EAVES 1 / TRIM 1		SW 7005 PURE WHITE
BATTEN SIDING 2		SW 9170 ACIER
FASCIA / EAVES AT METAL ROOF / TRIM 2		SW 0077 CLASSIC FRENCH GRAY
GARAGE DOOR 1		SW 2848 ROYCROFT PEWTER
GARAGE DOOR 2		SW 0077 CALSSIC FRENCH GRAY
ENTRY DOORS		SW 9038 CUCUZZA VERDE
METAL RAILS		SW 6258 TRICORN BLACK
WOOD TONE SIDING/ WOOD TONE TRIM BOARDS		OLD CHERRY
THIN BRICK		LOREIO FAROLA

NOTE:
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FRONT PERSPECTIVE

Meter cabinet location may vary at time of building permit.

LEFT ELEVATION

FRONT ELEVATION

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MORGAN HILL # 2023-0661

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BUILDING ELEVATIONS - 6PLEX
COLOR SCHEME 1

A1-2.8



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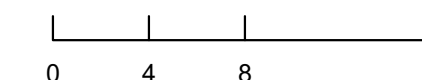


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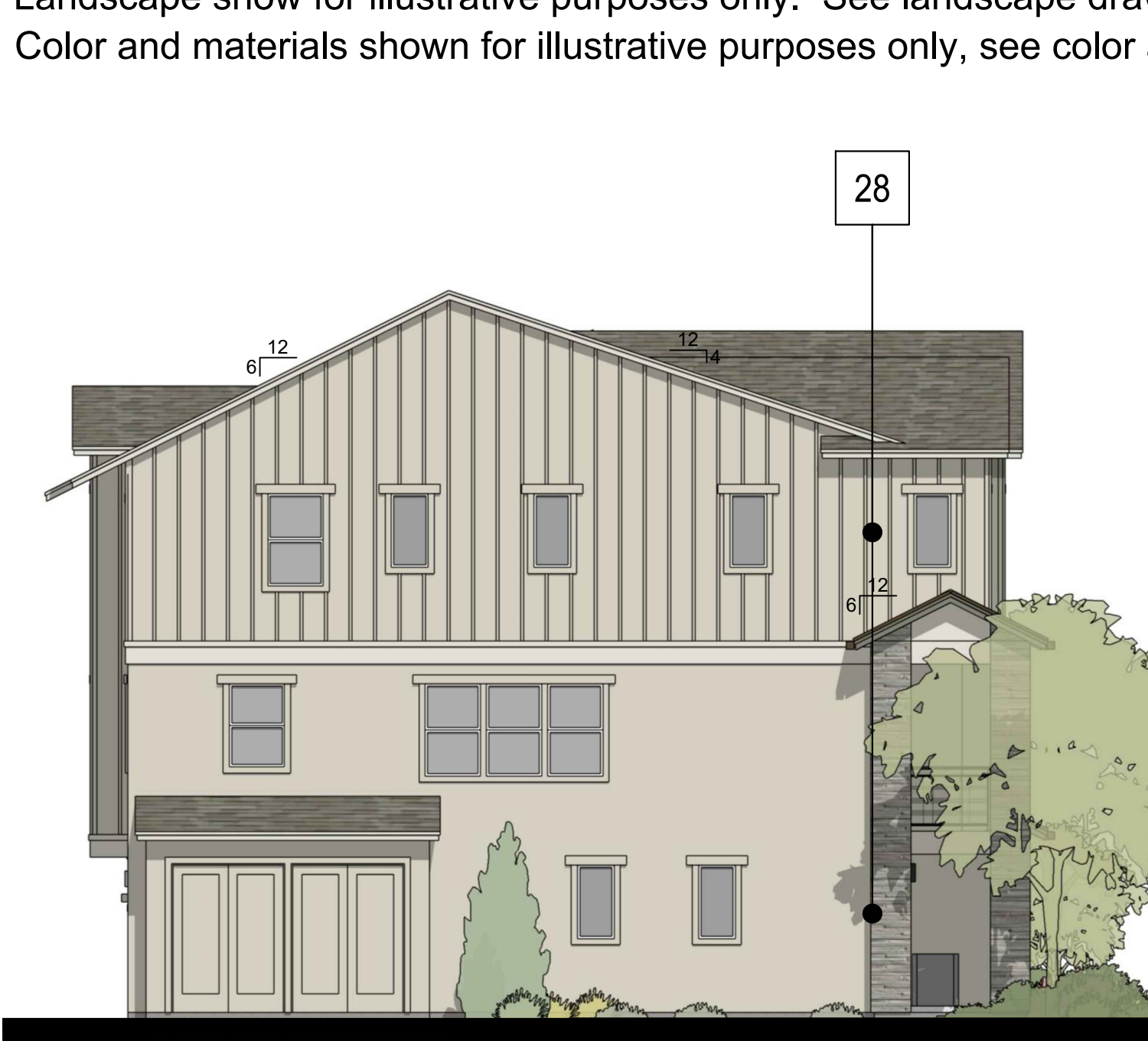
BUILDING ELEVATIONS - 6PLEX
 COLOR SCHEME 1

A1-2.9

Useable Private and Common Open Space: Each lot must include a private open space area, such as a private yard, porch, balcony, roof garden, or patio. Private open space must be contiguous to the unit it serves and accessible and visible from the living area of the unit. Private open space must be open air. Private open space cannot be covered by a roof by more than 50 percent of the area; however, balconies can have up to 100 percent ceiling coverage. The following private open space is required per unit type:				
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(GP Policy CNF-11.29 Multi-Family Open Space)				
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Meter cabinet location may vary at time of building permit.

LEFT ELEVATION



FRONT ELEVATION

COLOR SCHEME COLOR APPLICATION		2
33		
ROOF MATERIAL: POSITION ROOFING		WEATHERWOOD
METAL ROOF		MEDIUM BRONZE
STUCCO BODY / BATTEN SIDING 1		SW 7050 USEFUL GRAY
FASCIA / EAVES 1 / TRIM 1		SW 9166 DRIFT OF MIST
BATTEN SIDING 2		SW 9130 EVERGREEN FOG
FASCIA / EAVES AT METAL ROOF / TRIM 2		SW 6200 LINK GRAY
GARAGE DOOR 1		SW 7645 THUNDER GRAY
GARAGE DOOR 2		SW 6200 LINK GRAY
ENTRY DOORS		SW 7625 MOUNT ETNA
METAL RAILS		SW 6258 TRICORN BLACK
WOOD TONE SIDING/ WOOD TONE TRIM BOARDS		SUMMERWHEAT
THIN BRICK		LOREIO TALAVERA

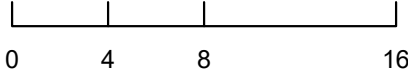


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APRIL 1, 2024



BUILDING ELEVATIONS - 6PLEX
COLOR SCHEME 2

A1-2.10



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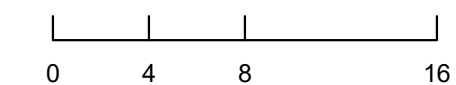


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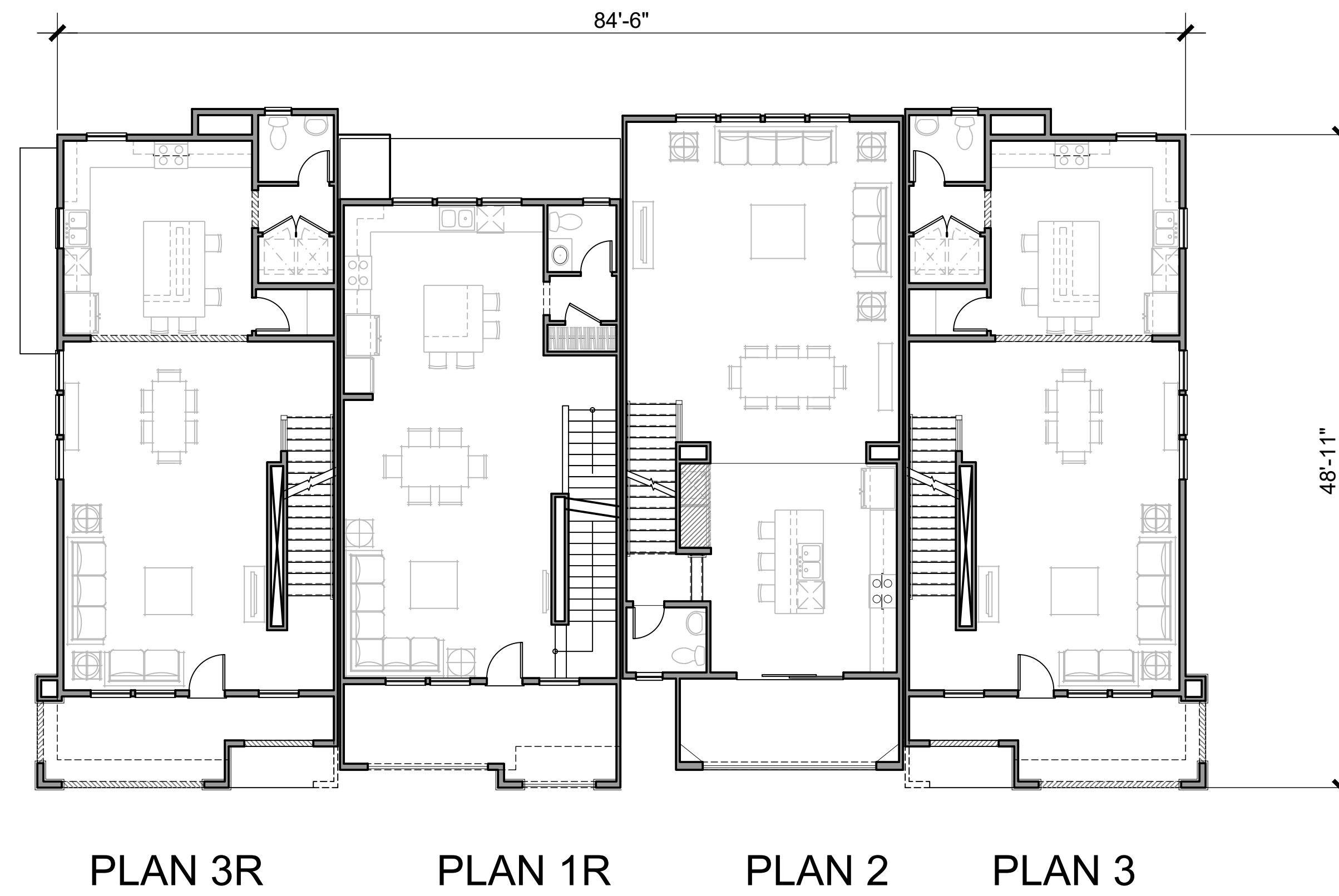
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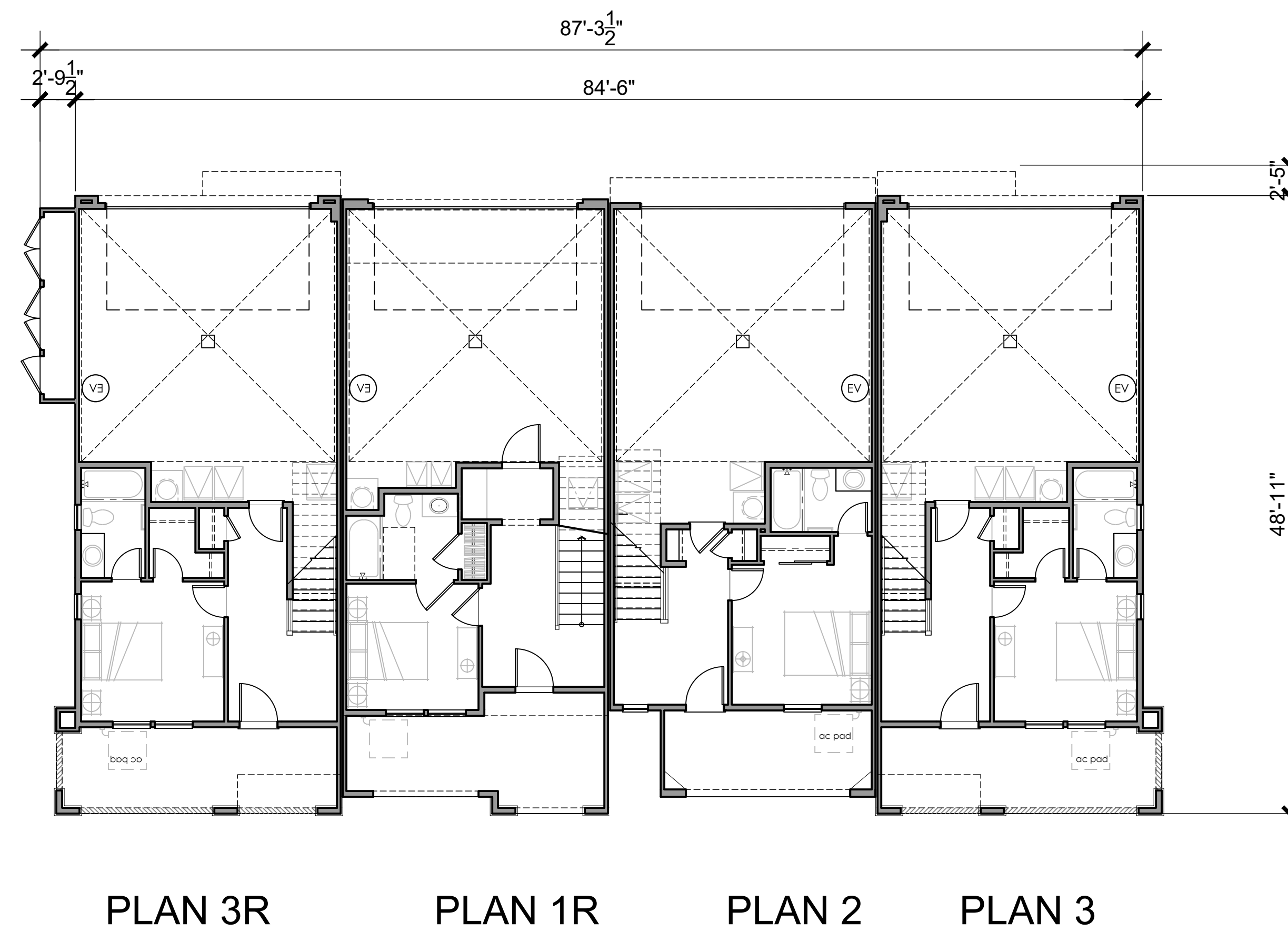


BUILDING ELEVATIONS - 6PLEX
 COLOR SCHEME 2

A1-2.11



LEVEL 2



LEVEL 1

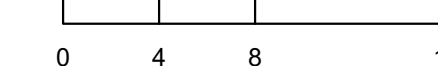


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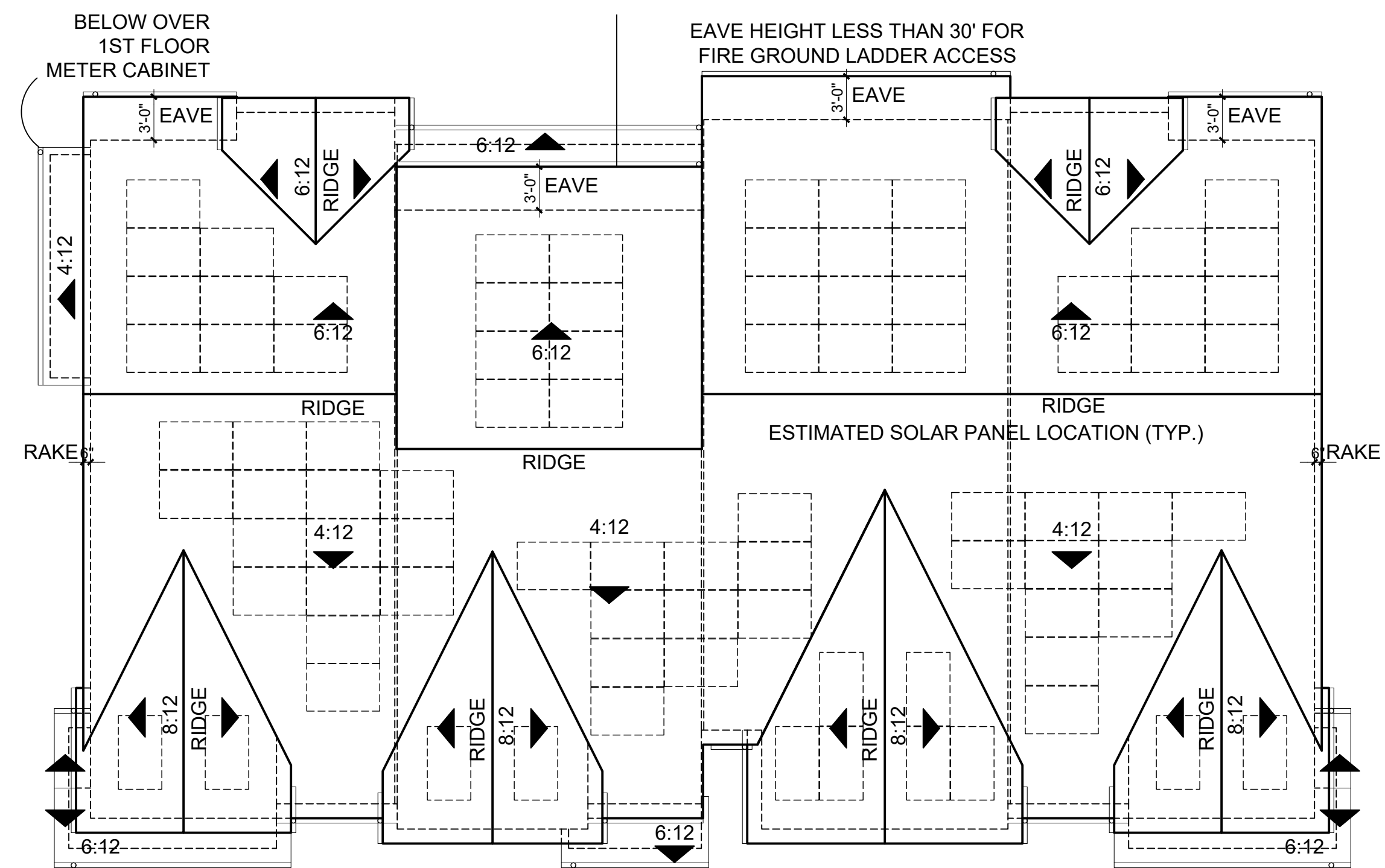
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BUILDING PLANS - 4 PLEX

A1-3.0



Roof Plan
12" Eave/Rake Typ. U.N.O.

NOTE: Solar panels shown are for illustrative purposes only. Solar will be confirmed with solar consultant during building submittal process. Location, quantity, and orientation may change.

No roof mounted mechanical equipment.

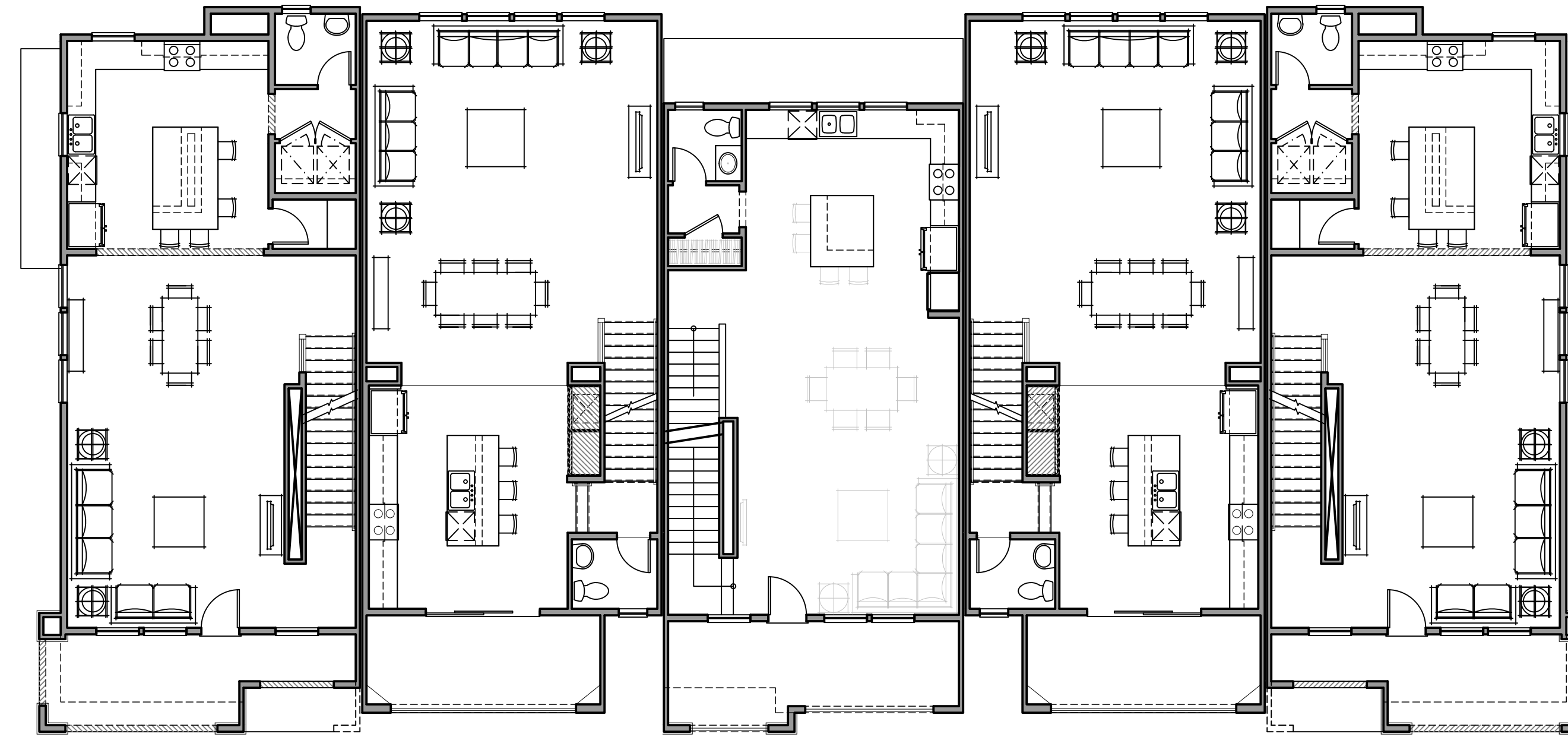


PLAN 3R

PLAN 1R

PLAN 2

PLAN 3



PLAN 3R

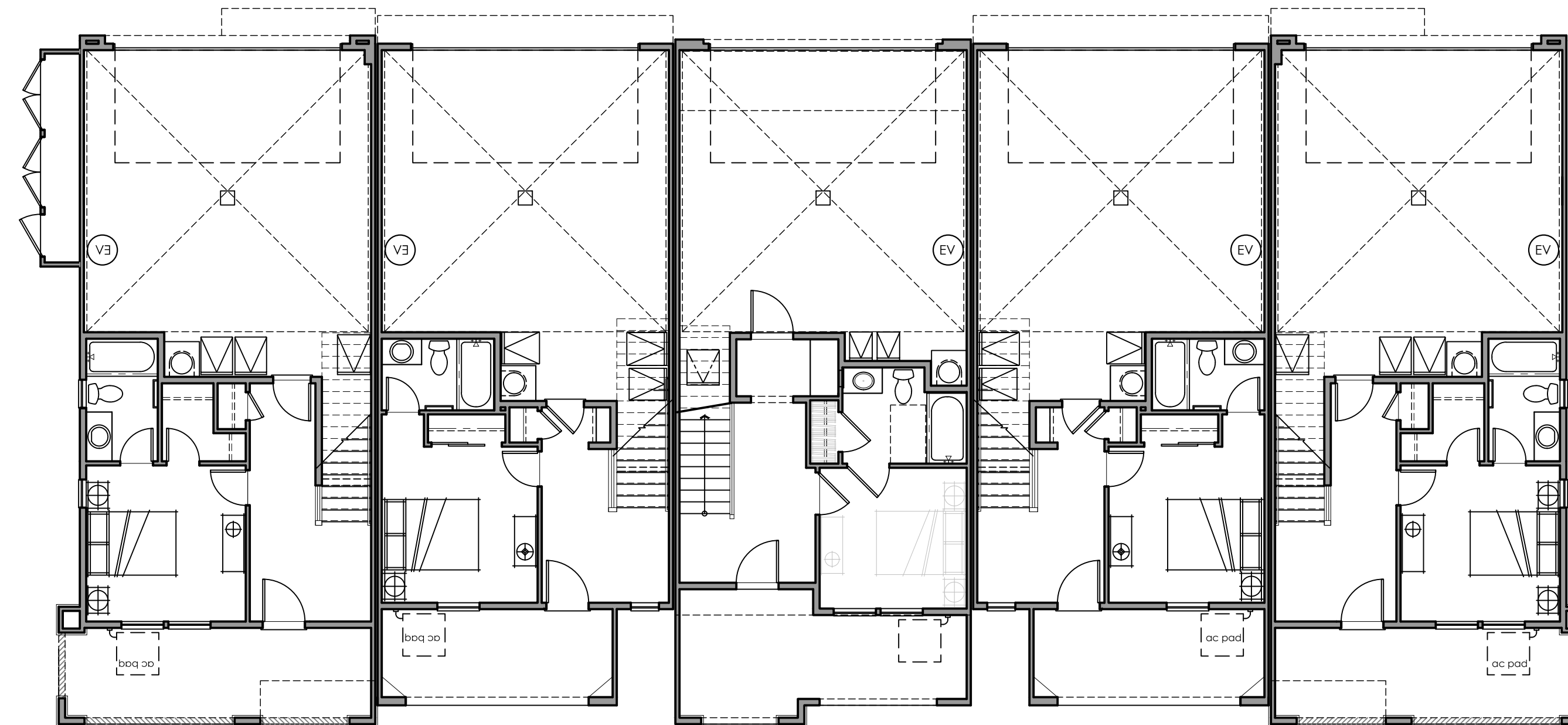
PLAN 2

PLAN 1

PLAN 2

PLAN 3

LEVEL 2



PLAN 3R

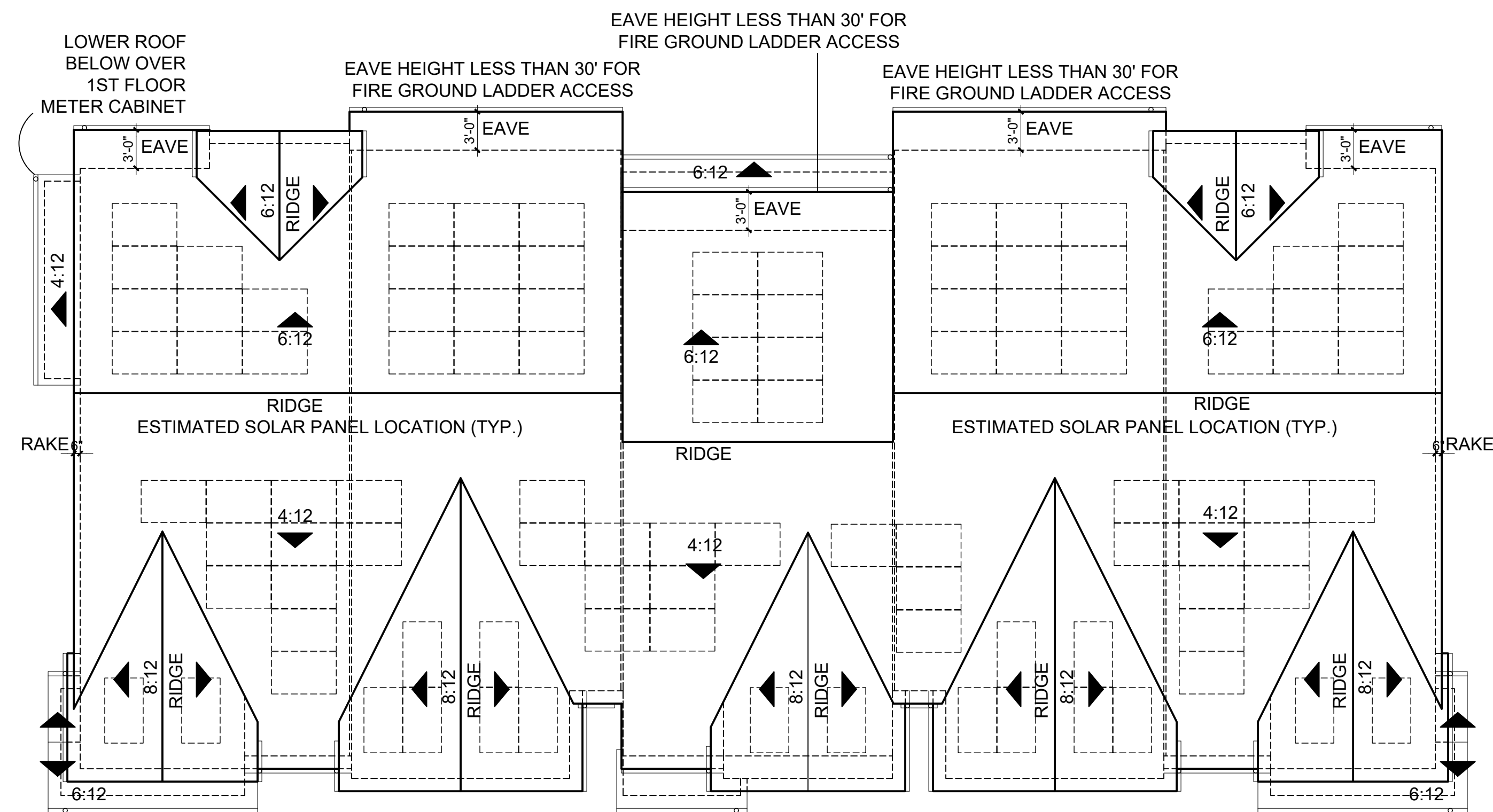
PLAN 2

PLAN 1

PLAN 2

PLAN 3

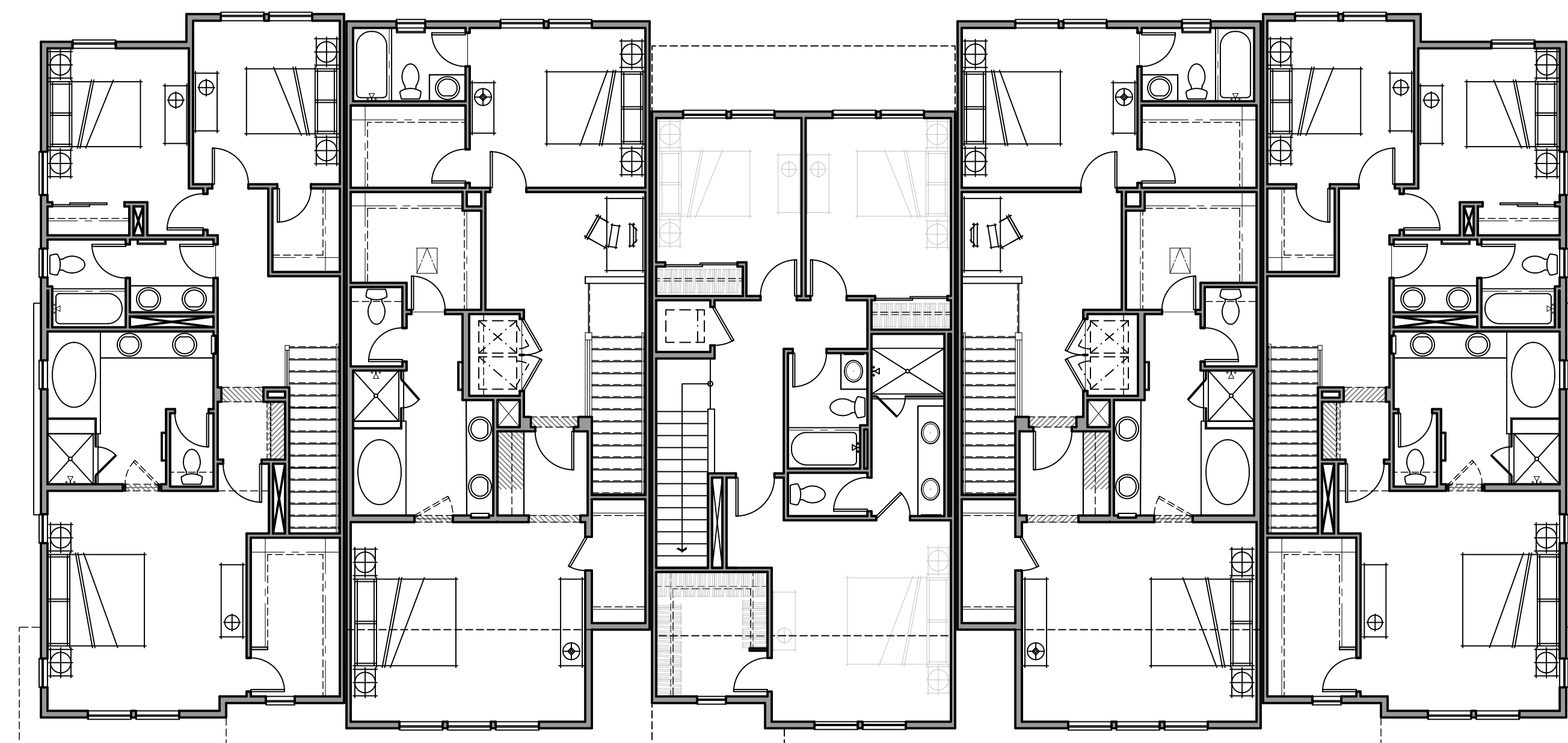
LEVEL 1



Roof Plan
12" Eave/Rake Typ. U.N.O.

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No roof mounted mechanical equipment.



PLAN 3R

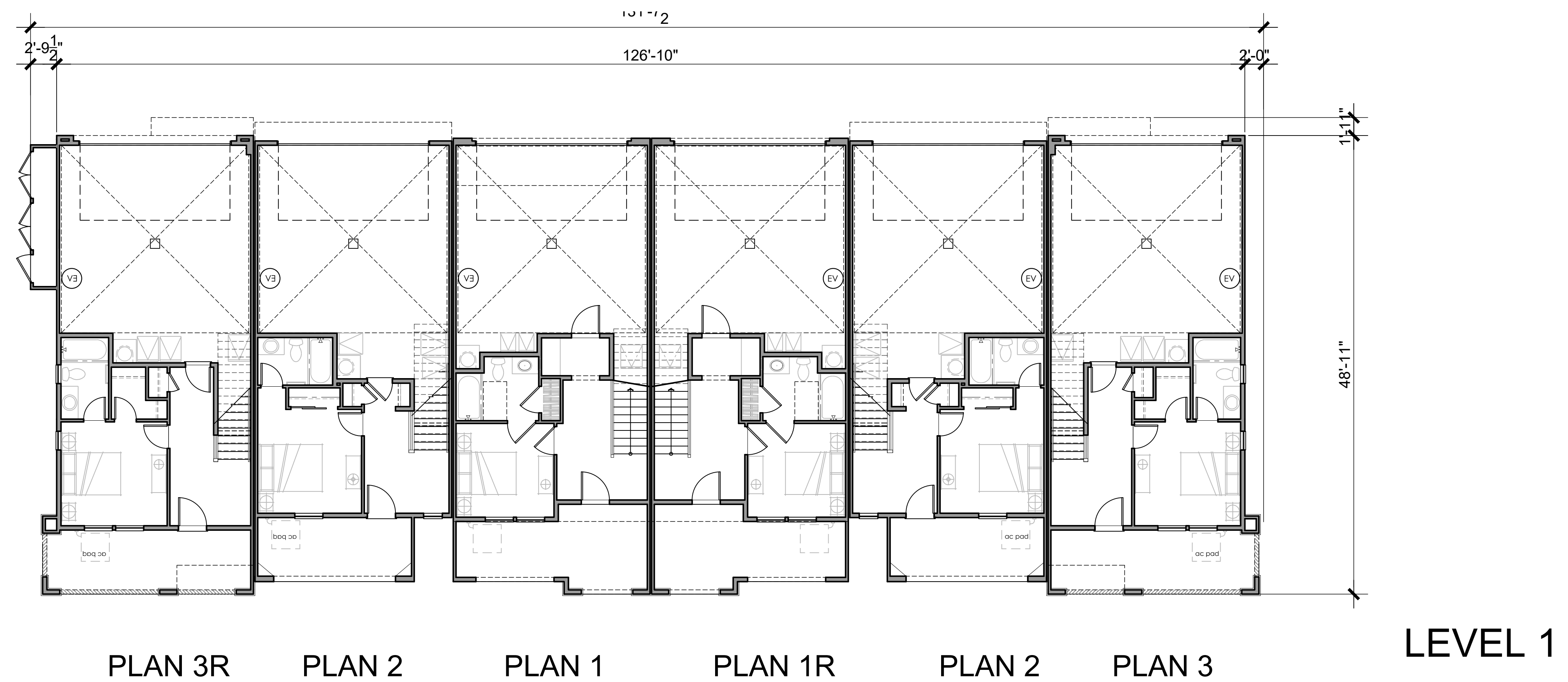
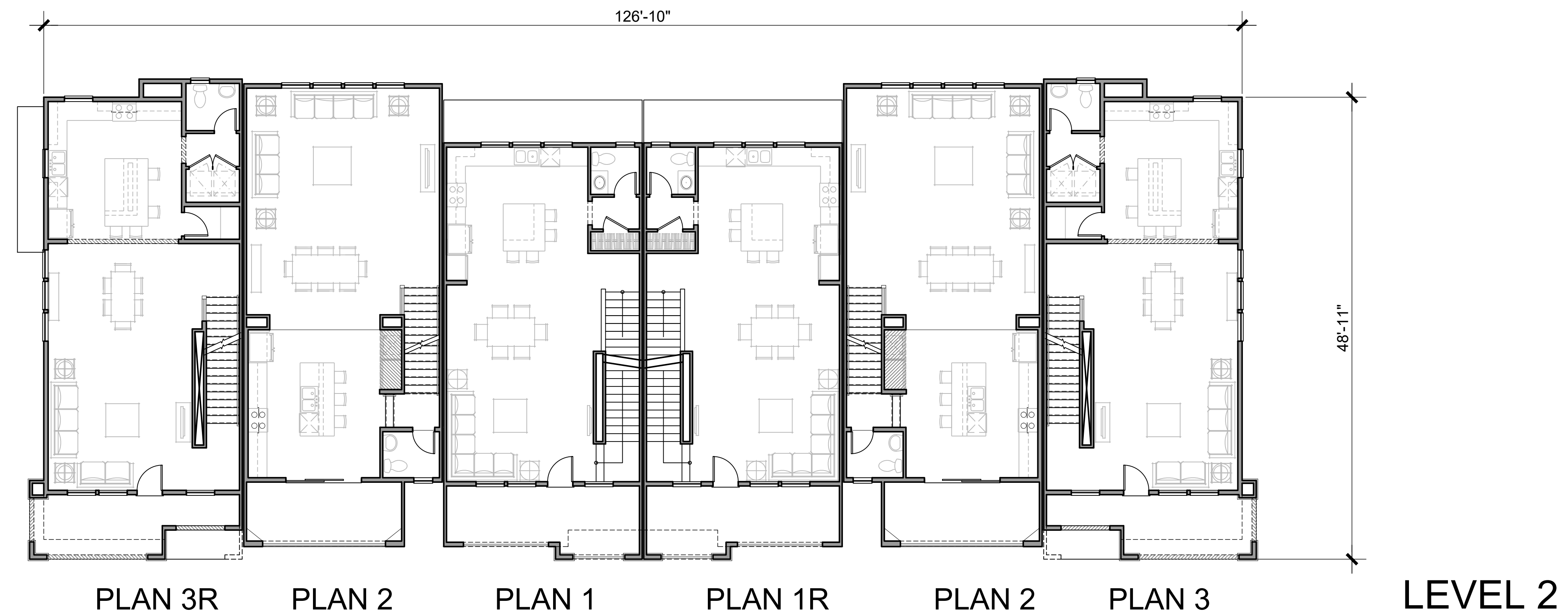
PLAN 2

PLAN 1

PLAN 2

PLAN 3

LEVEL 3

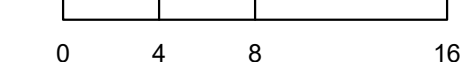


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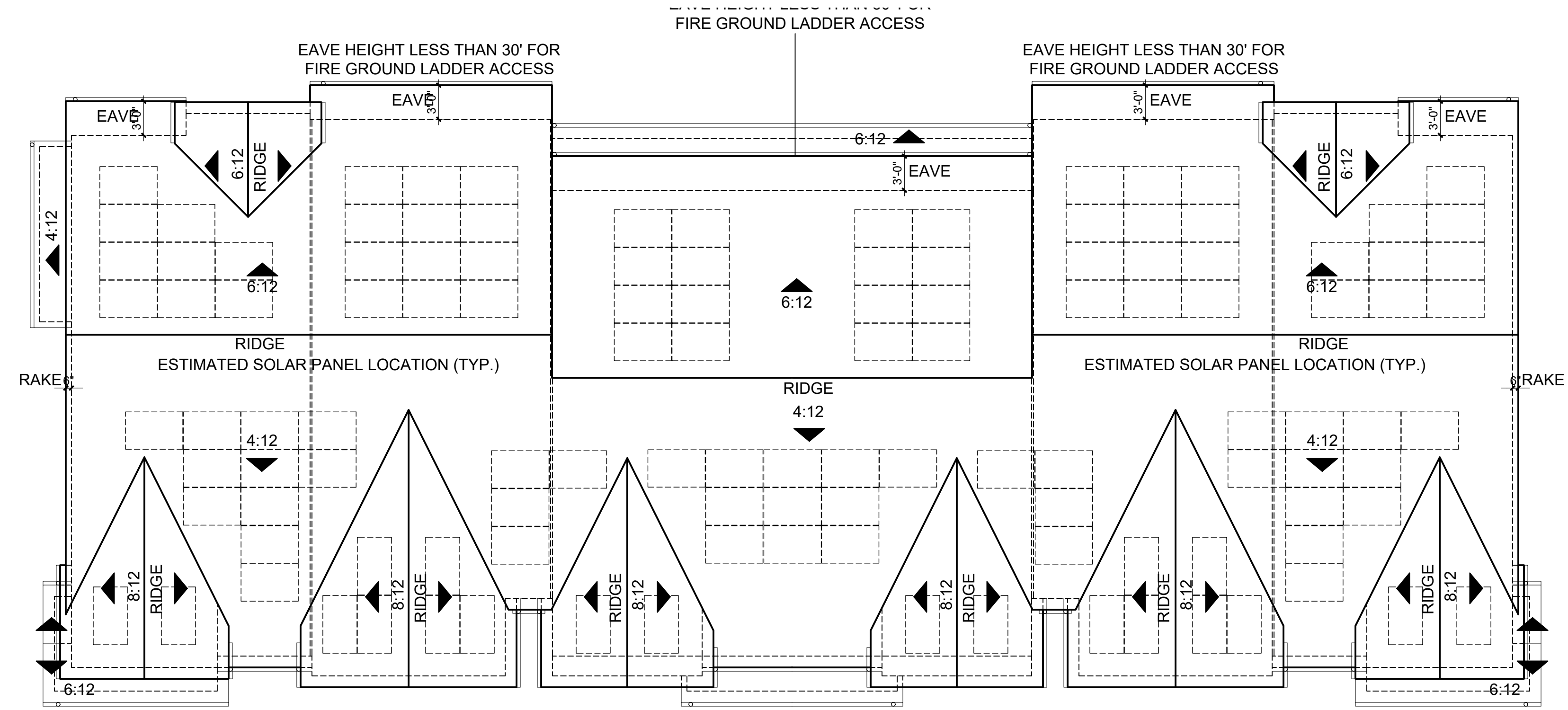
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BUILDING PLANS- 6 PLEX

A1-3.4

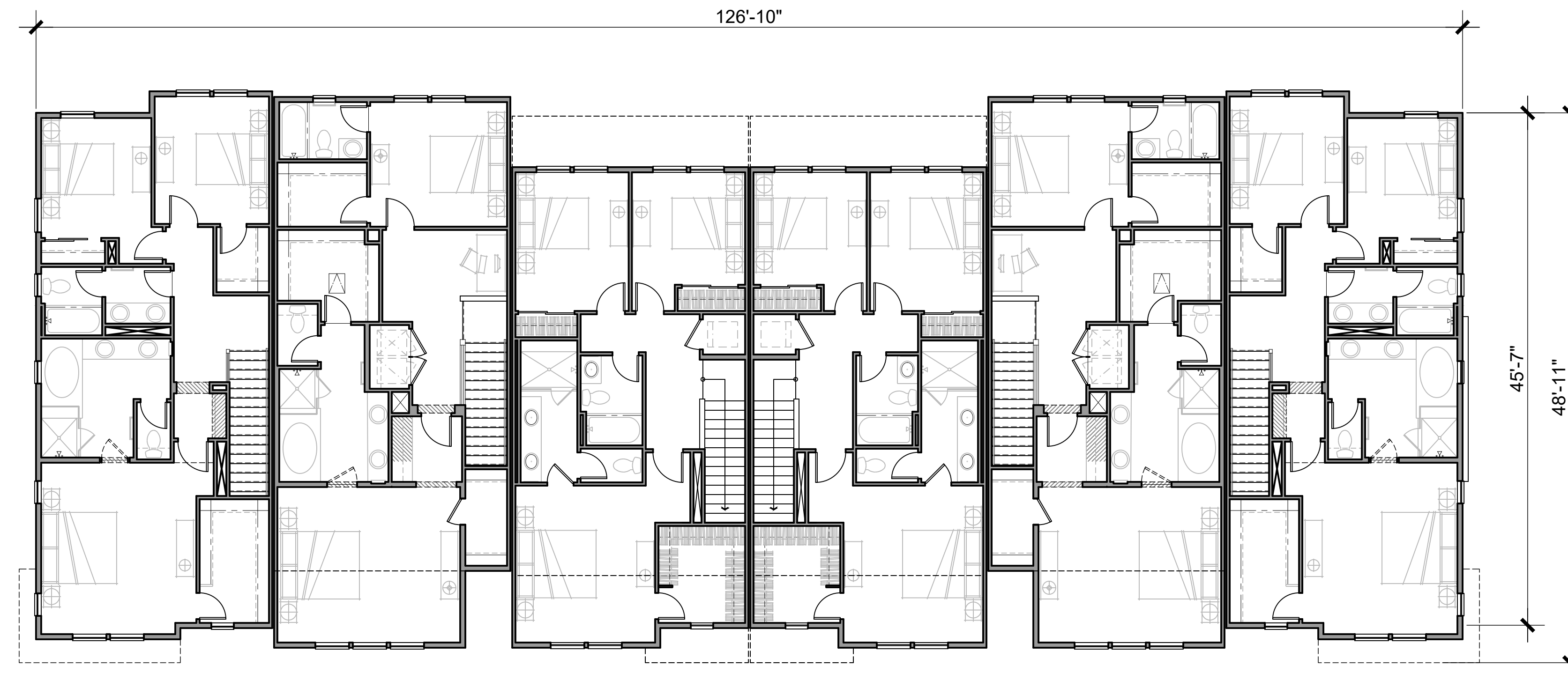


Roof Plan
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No roof mounted mechanical equipment.

ROOF



PLAN 3R

PLAN 2

PLAN 1

PLAN 1R

PLAN 2

PLAN 3

LEVEL 3

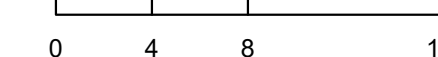


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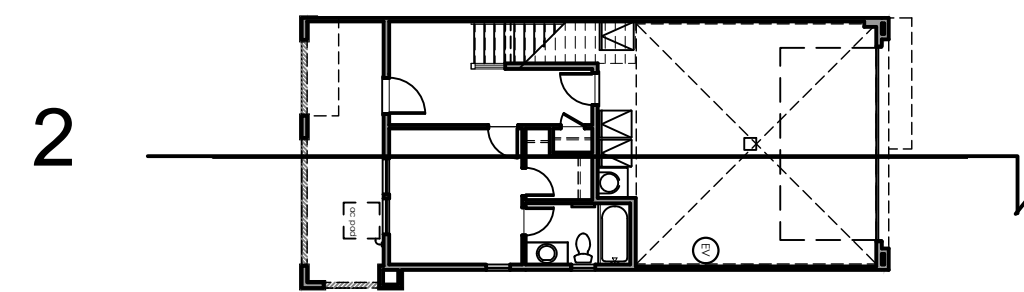
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MORGAN HILL #2023-0661

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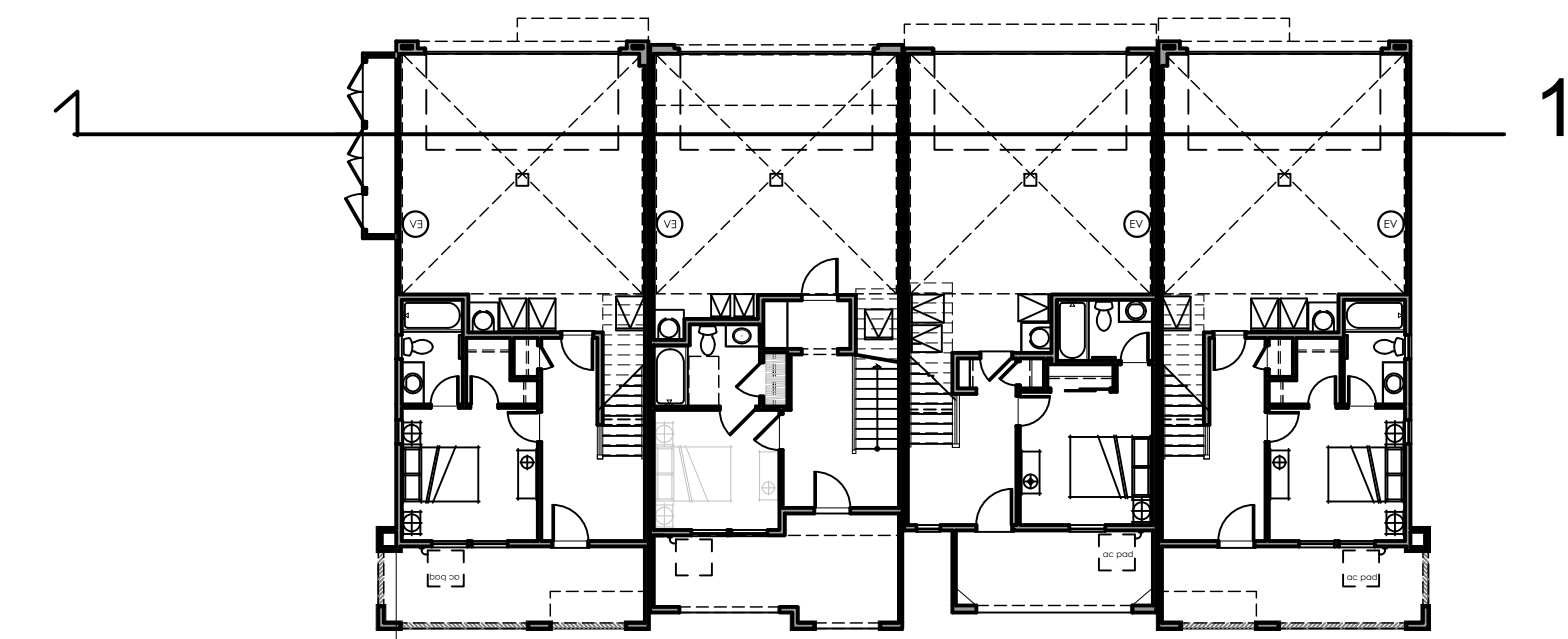


BUILDING PLANS - 6 PLEX

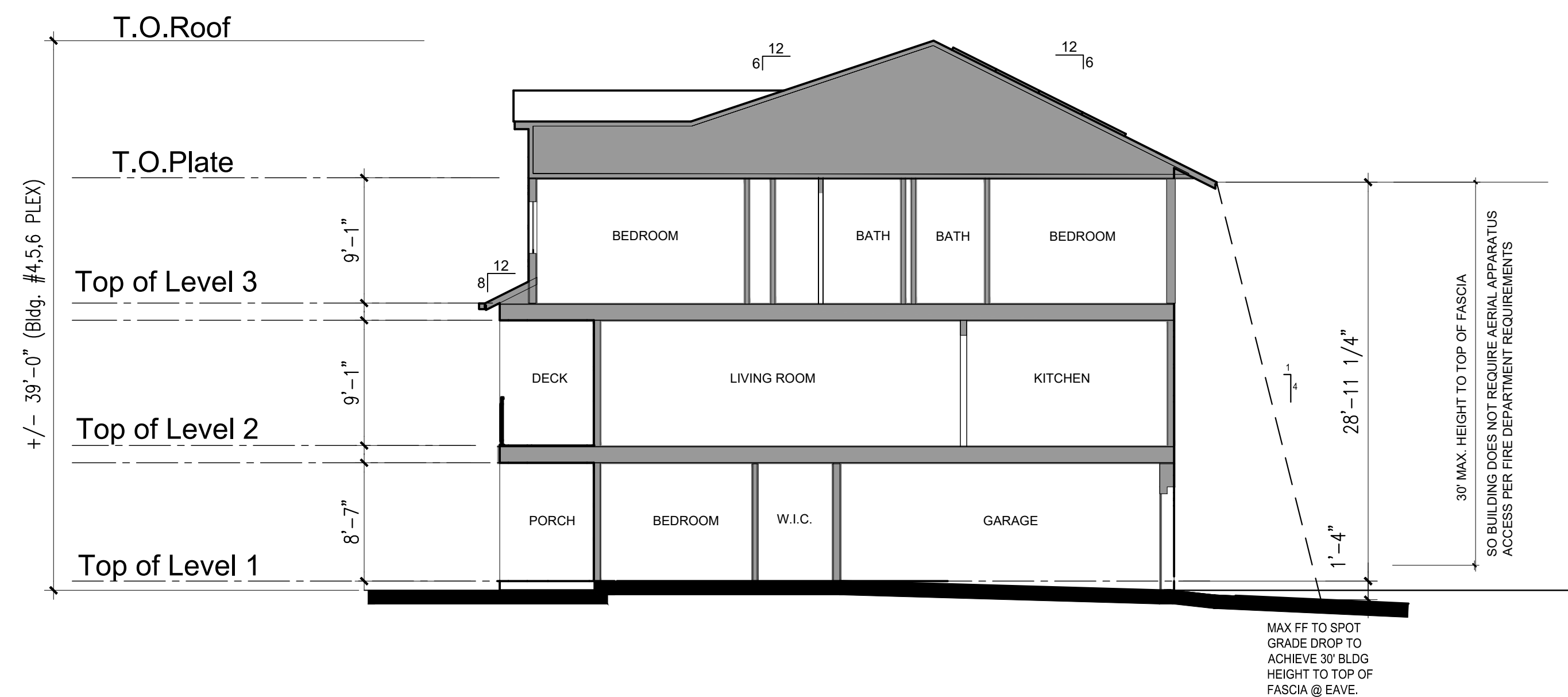
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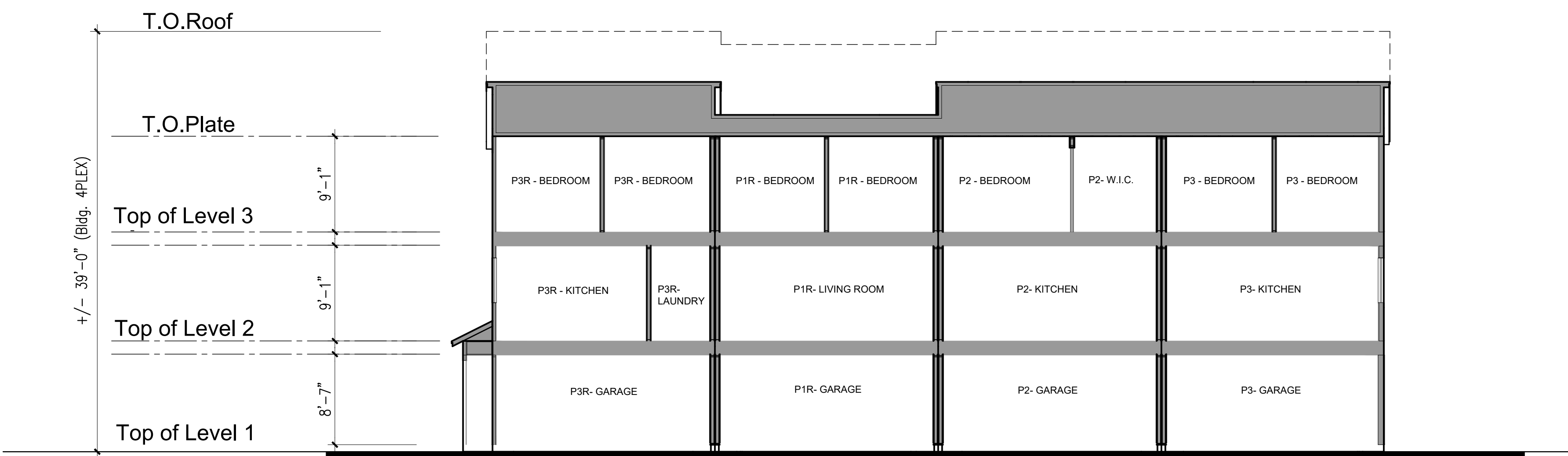
KEY PLAN - P1 GROUND FLOOR PLAN



KEY PLAN - 4 PLEX GROUND FLOOR PLAN



UNIT P1 SECTION 2



4 PLEX SECTION 1

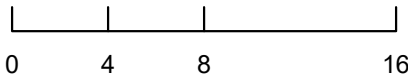


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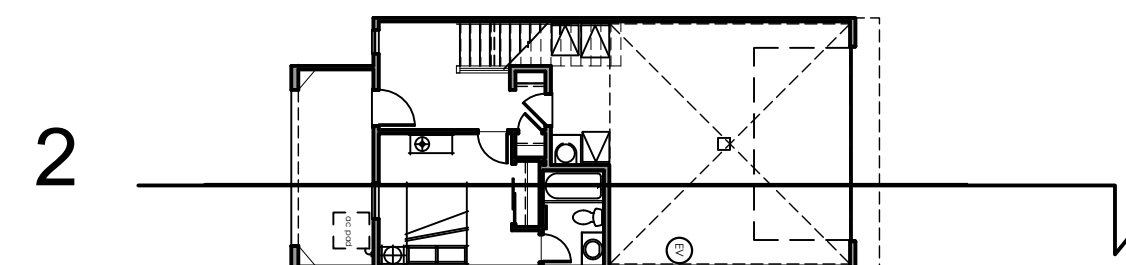
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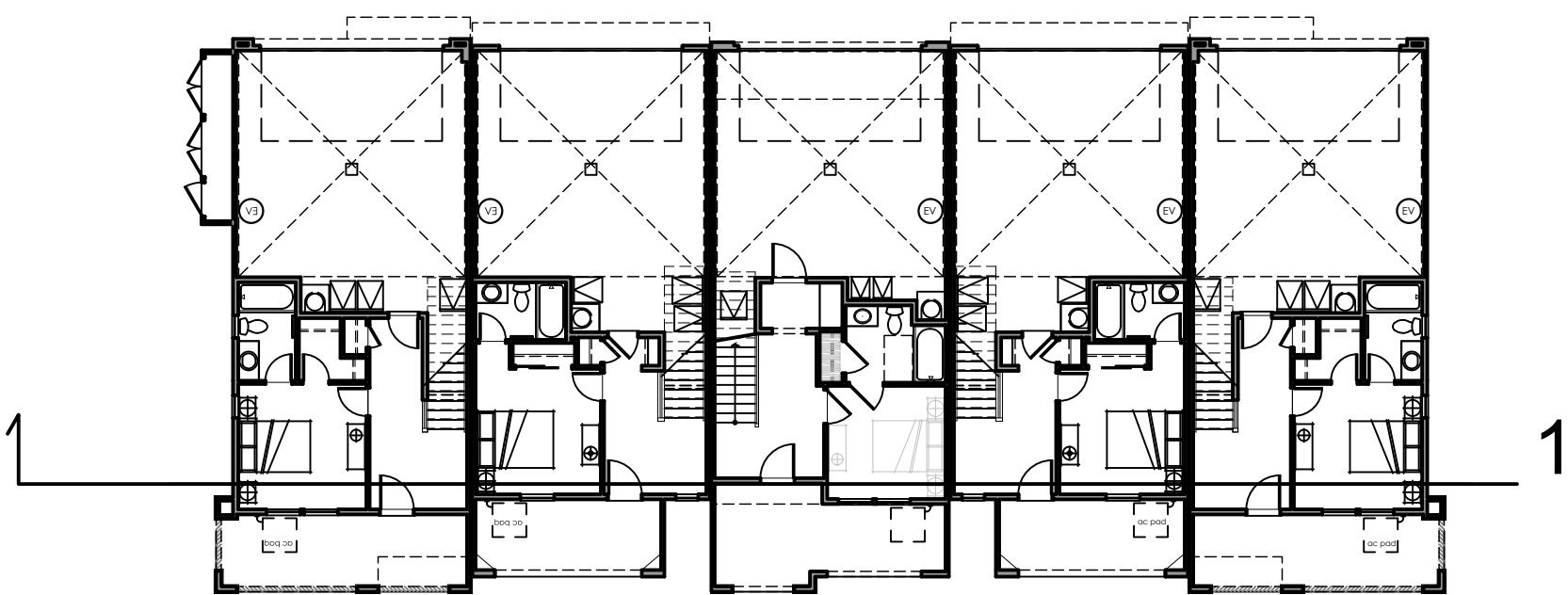


TYPICAL BUILDING SECTIONS
TOWNHOUSE

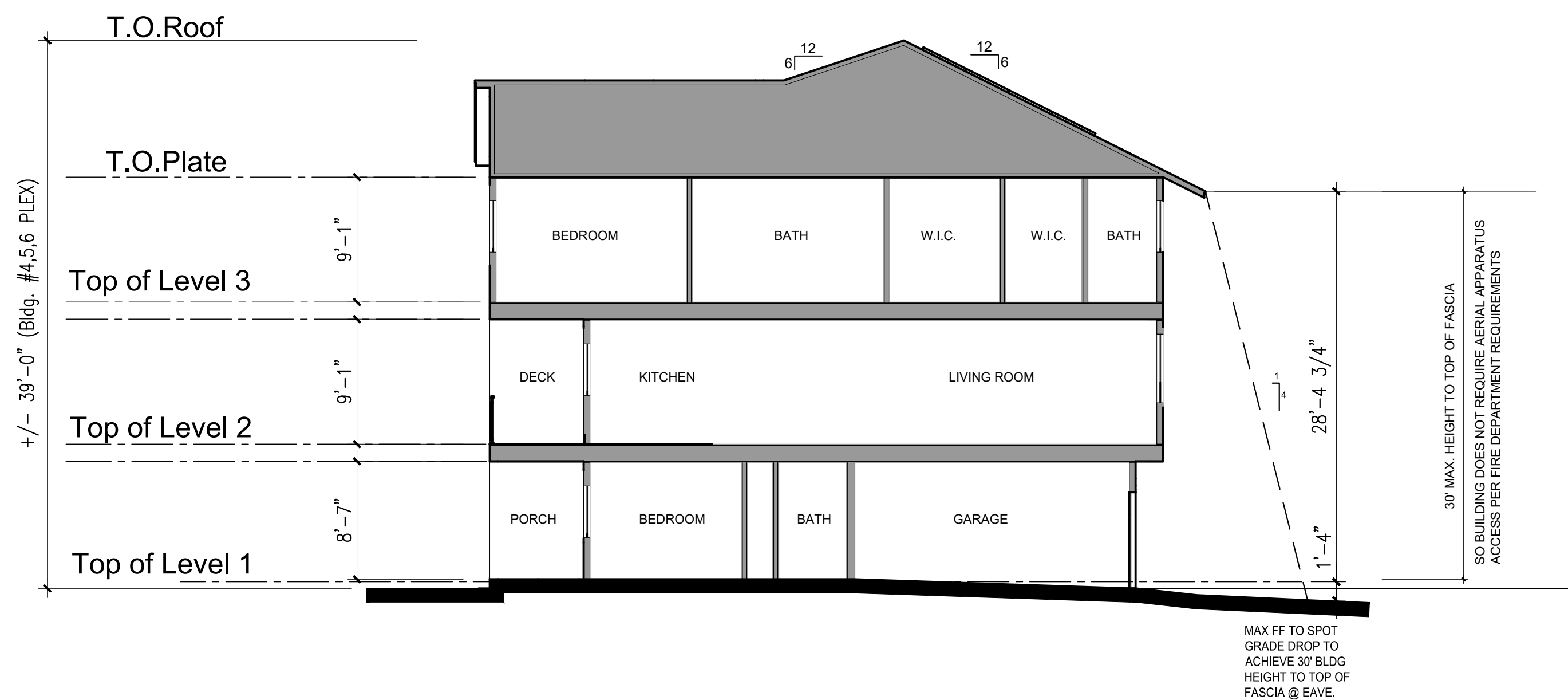
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KEY PLAN - P2 GROUND FLOOR PLAN



KEY PLAN - 5 PLEX GROUND FLOOR PLAN



UNIT P2 SECTION 2



5 PLEX SECTION 1

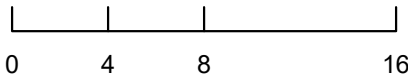


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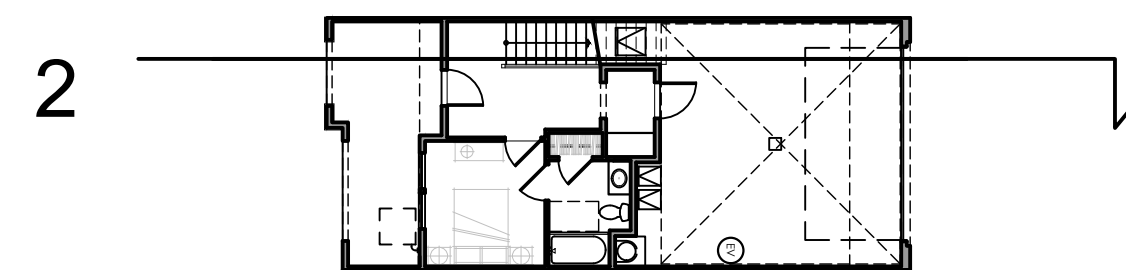
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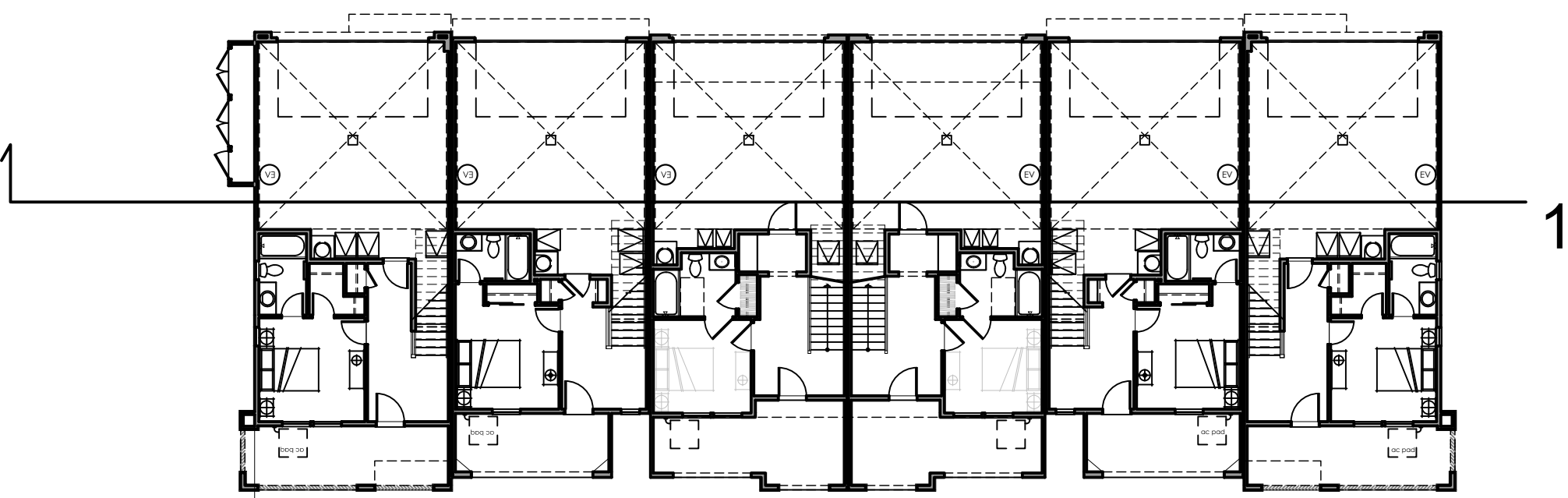


TYPICAL BUILDING SECTIONS
TOWNHOUSE

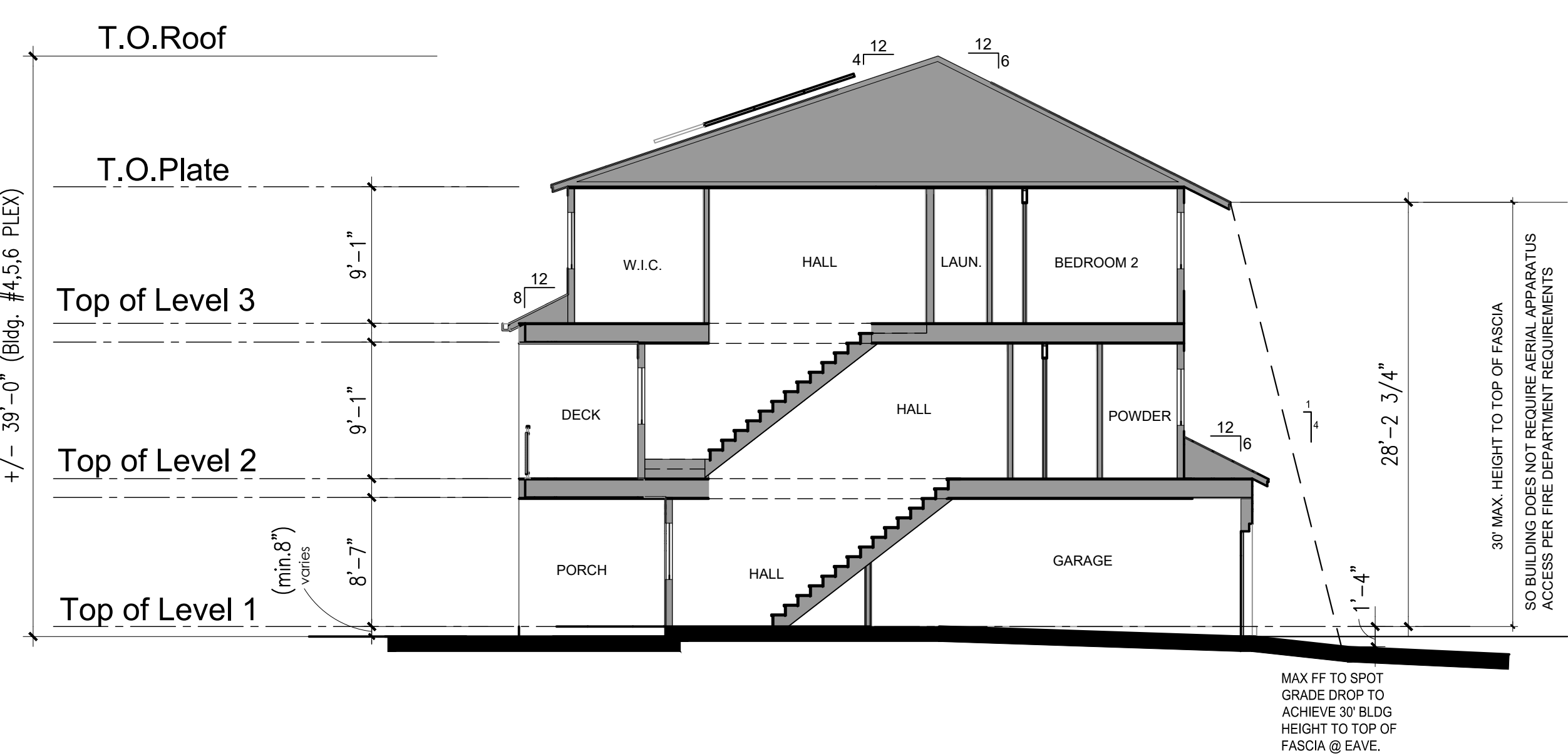
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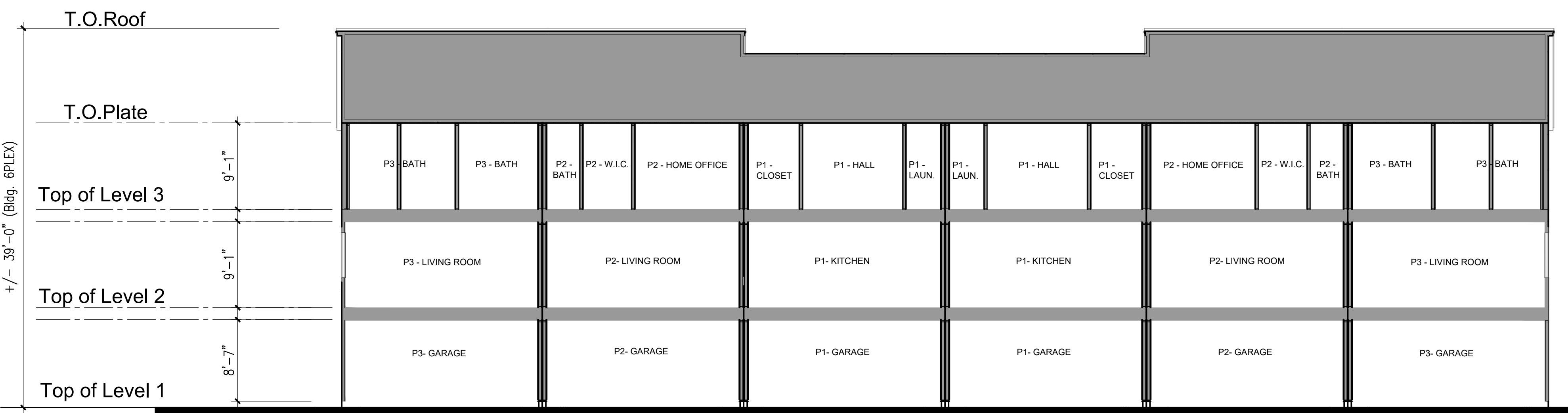
KEY PLAN - P3 GROUND FLOOR PLAN



KEY PLAN - 6 PLEX GROUND FLOOR PLAN



UNIT P3 SECTION 2



6 PLEX SECTION 1

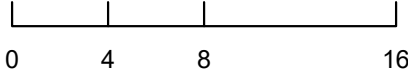


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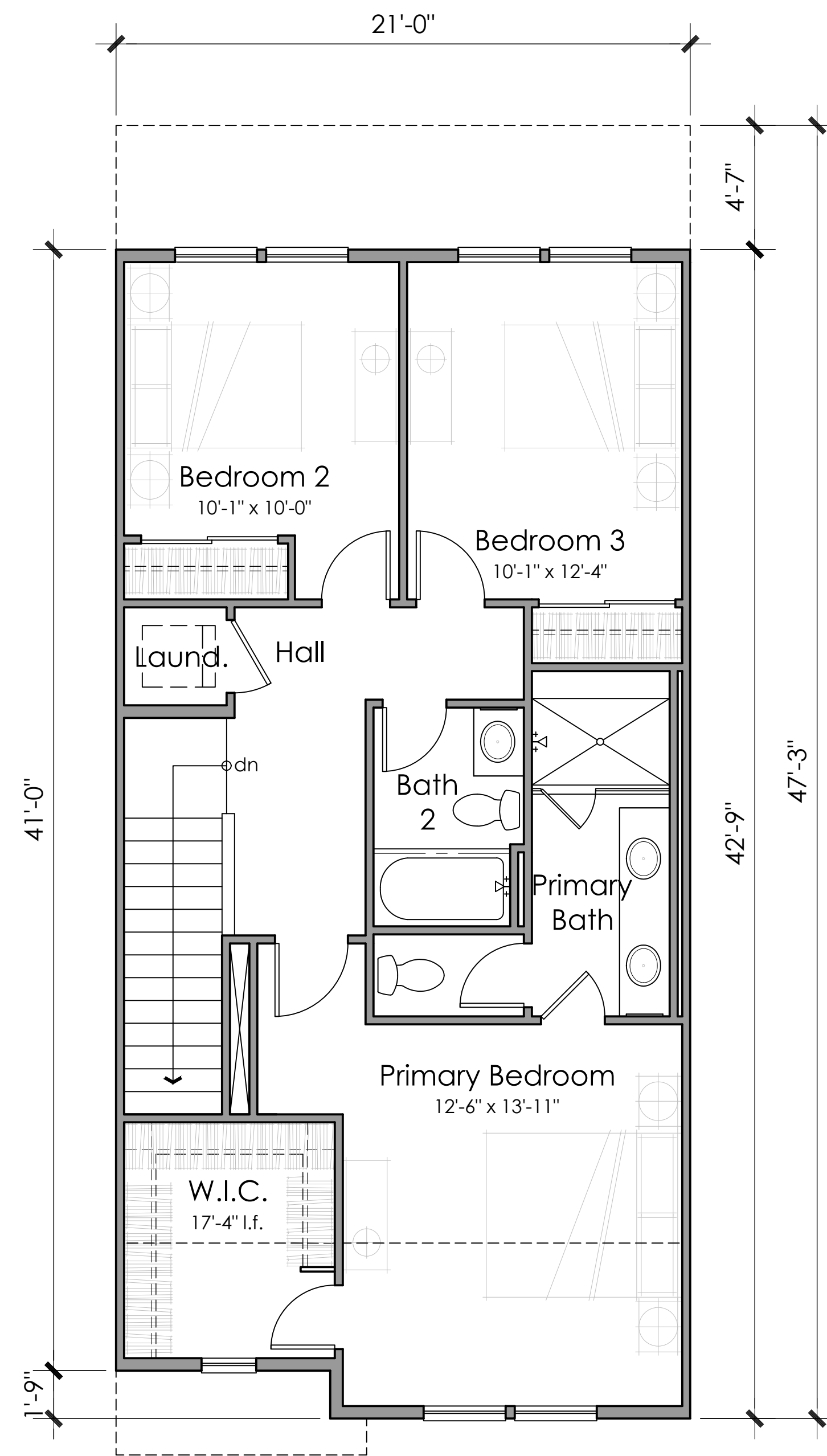
DePaul Residences
MORGAN HILL #2023-0661

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APPLICATION - SB330
APRIL 1, 2024

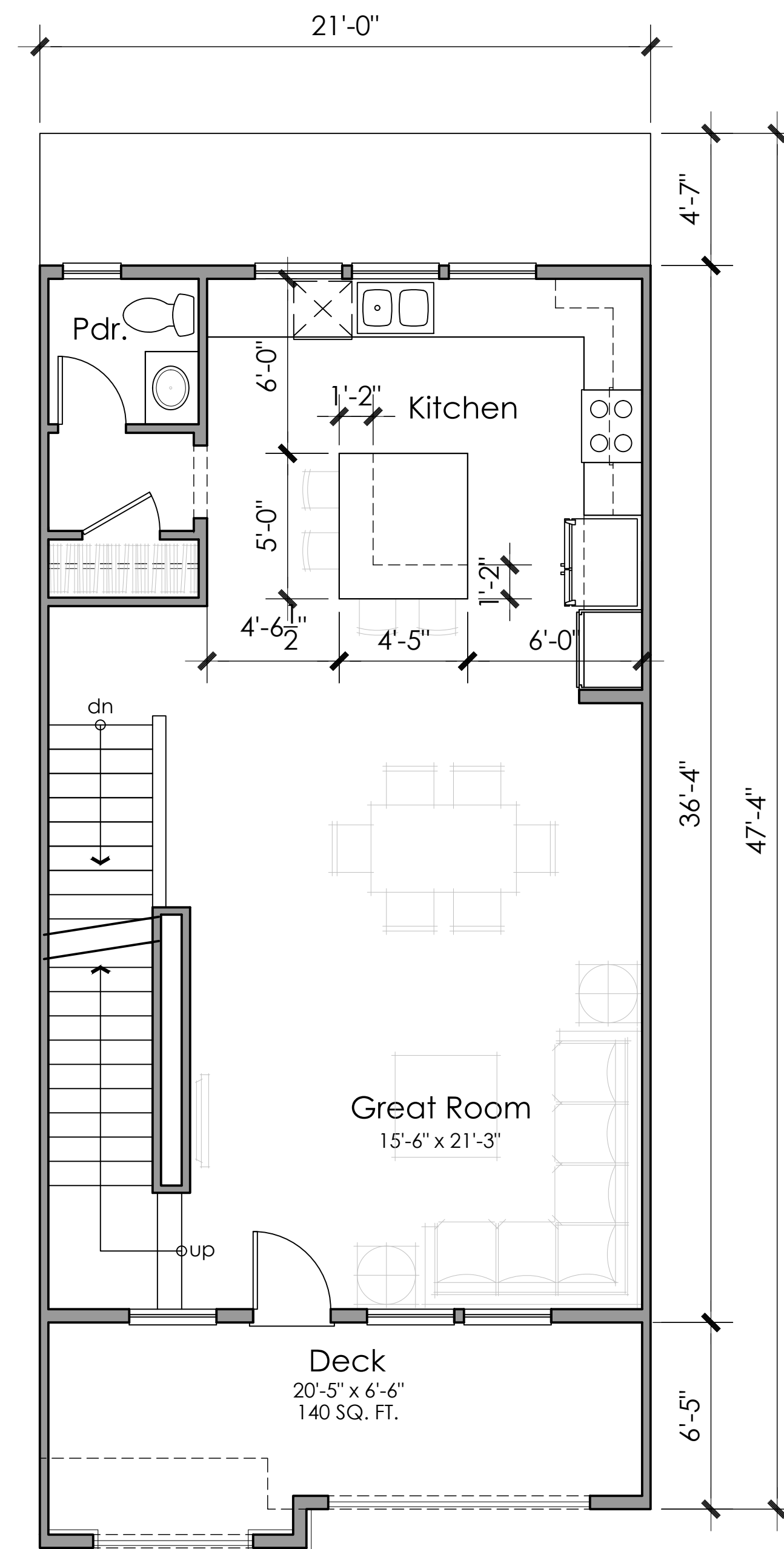


TYPICAL BUILDING SECTIONS
TOWNHOUSE

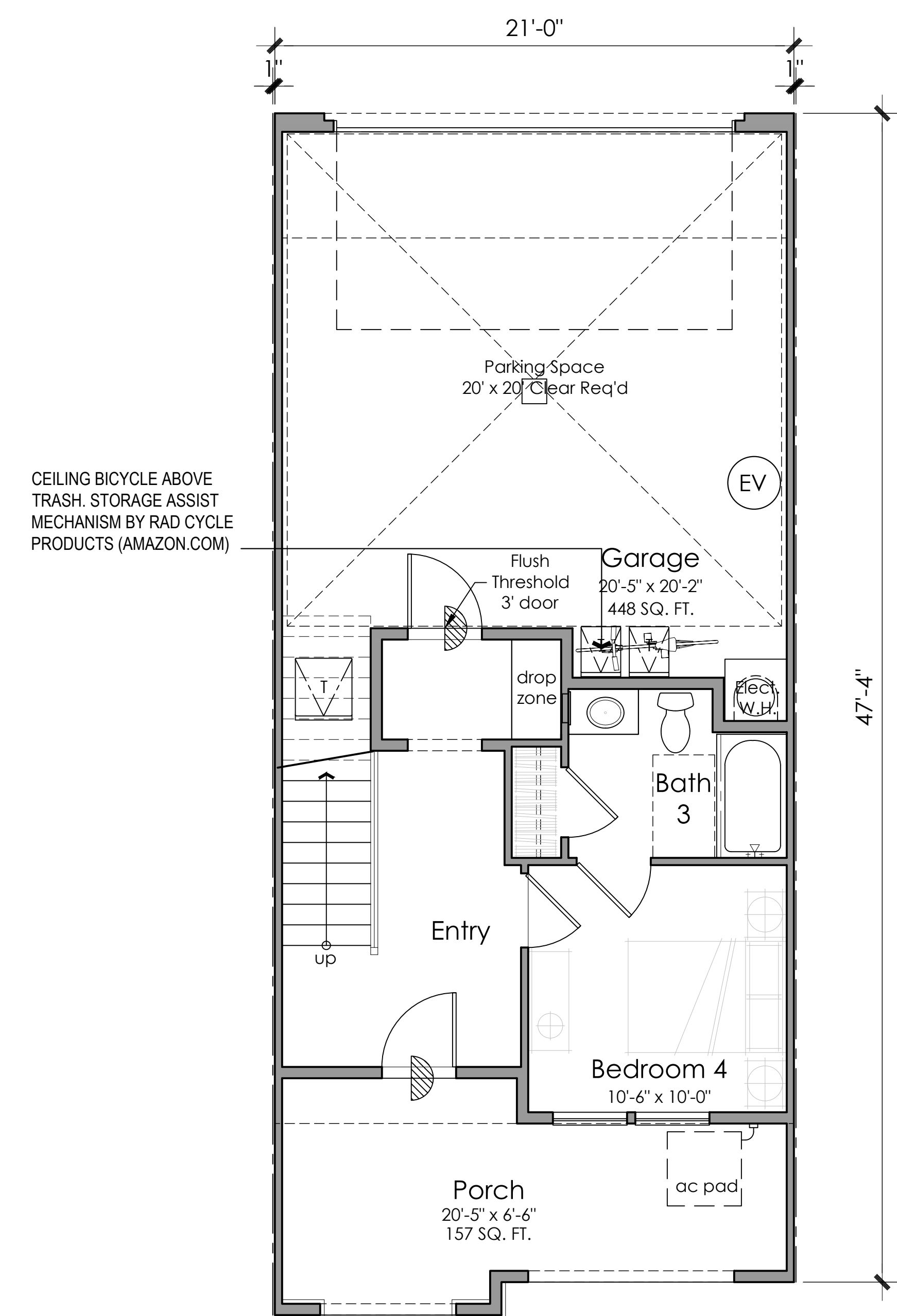
A1-4.2



Third Floor
810 n.s.f.



Second Floor
723 n.s.f.



First Floor
344 n.s.f.

4 Bedrooms
3.5 Baths
1,877 N.S.F.
157 S.F. PORCH + 140 S.F. DECK=
297 S.F. PRIVATE OPEN SPACE

EV EACH PRIVATE GARAGE CONTAINS: 1" RACEWAY TO A 2 GANG BOX FOR FUTURE ELECT. CAR CHARGING STATION

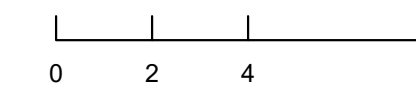


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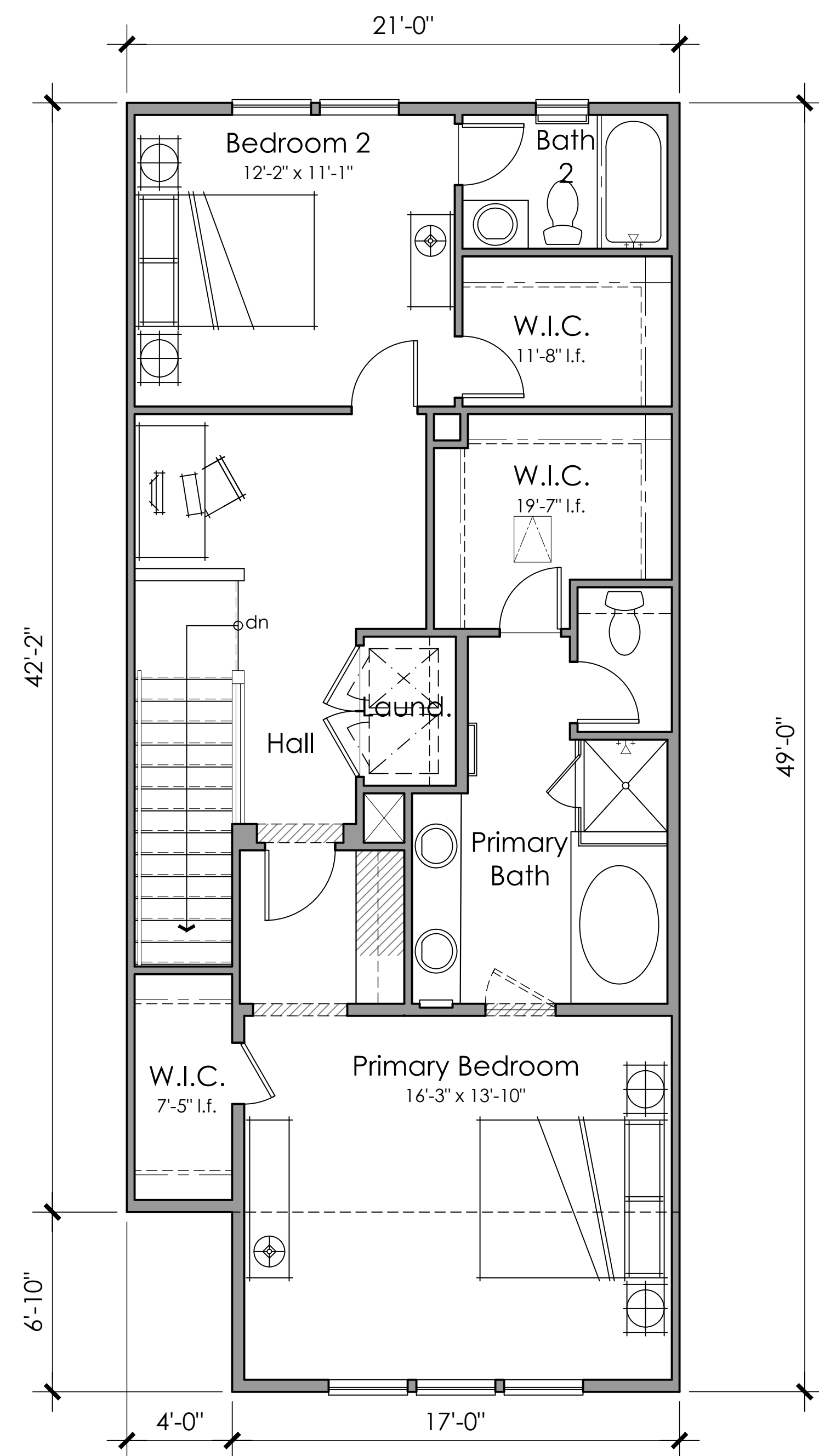
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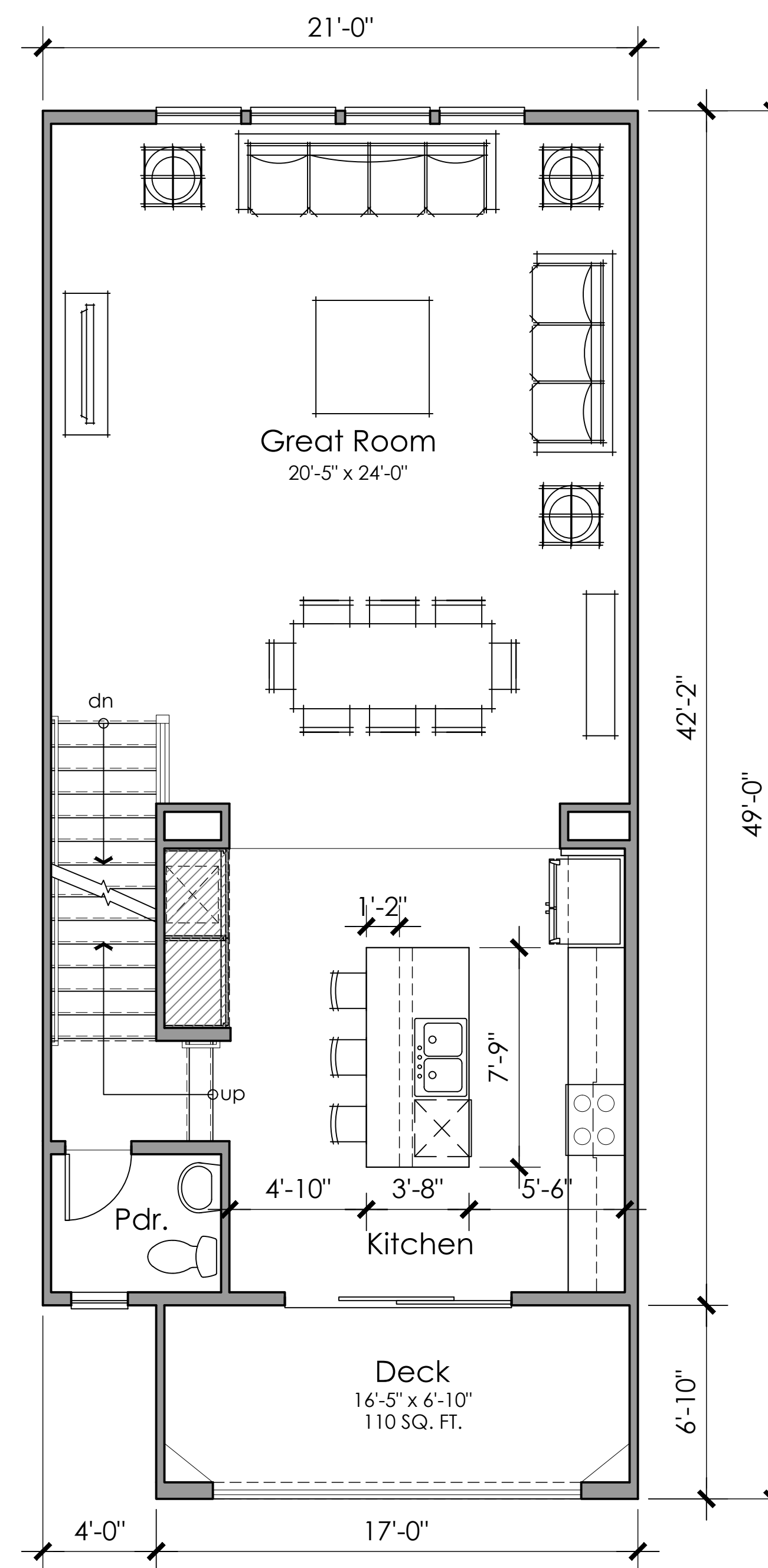


UNIT PLANS - UNIT 1

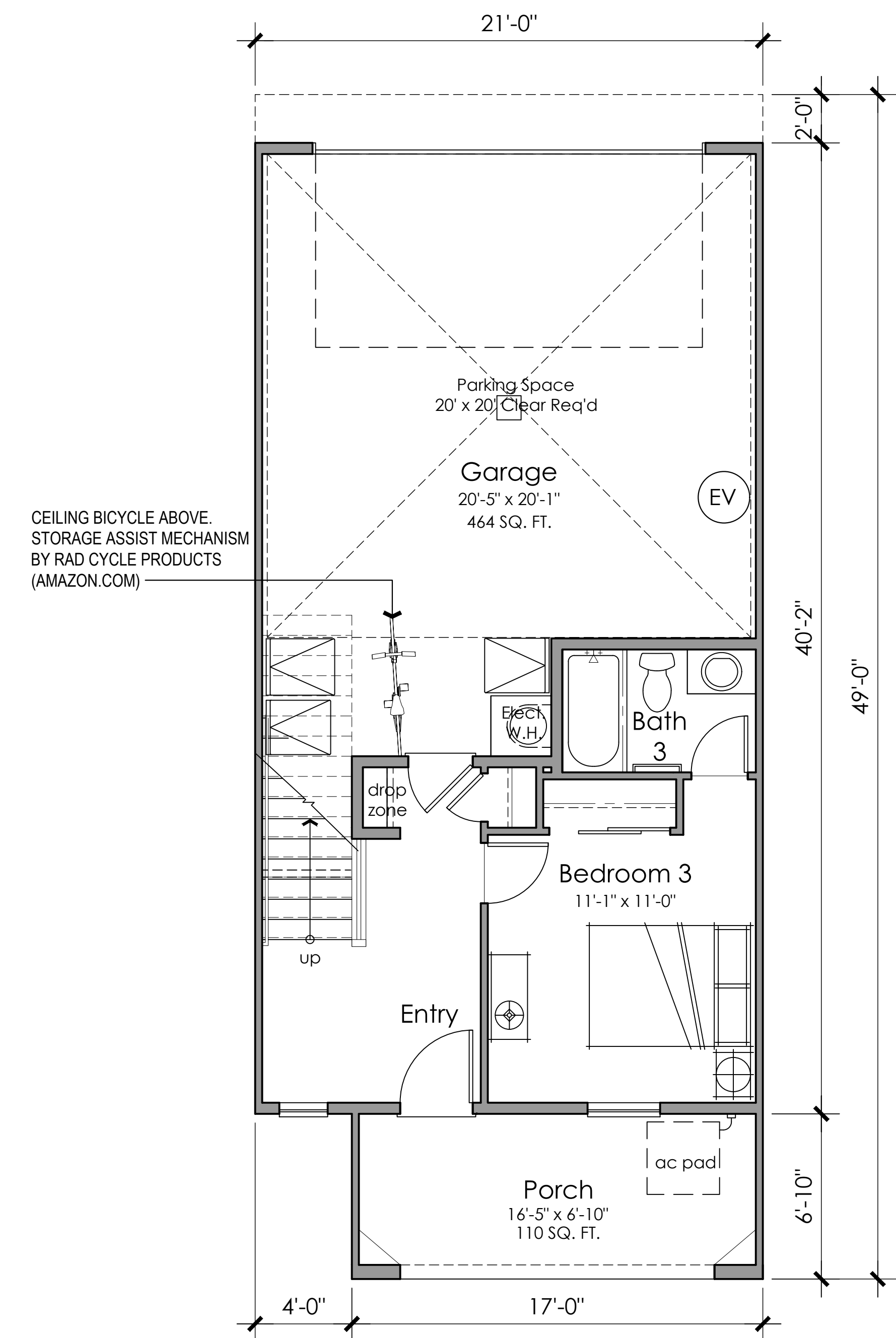
A1-5.0



Third Floor
930 n.s.f.



Second Floor
840 n.s.f.



First Floor
337 n.s.f.

3 Bedrooms
3.5 Baths
2107 N.S.F.
110 S.F. PORCH + 110 S.F. DECK=
220 S.F. PRIVATE OPEN SPACE

EV EACH PRIVATE GARAGE CONTAINS: 1" RACEWAY TO A 2 GANG BOX FOR FUTURE ELECT. CAR CHARGING STATION

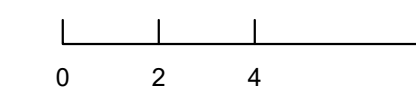


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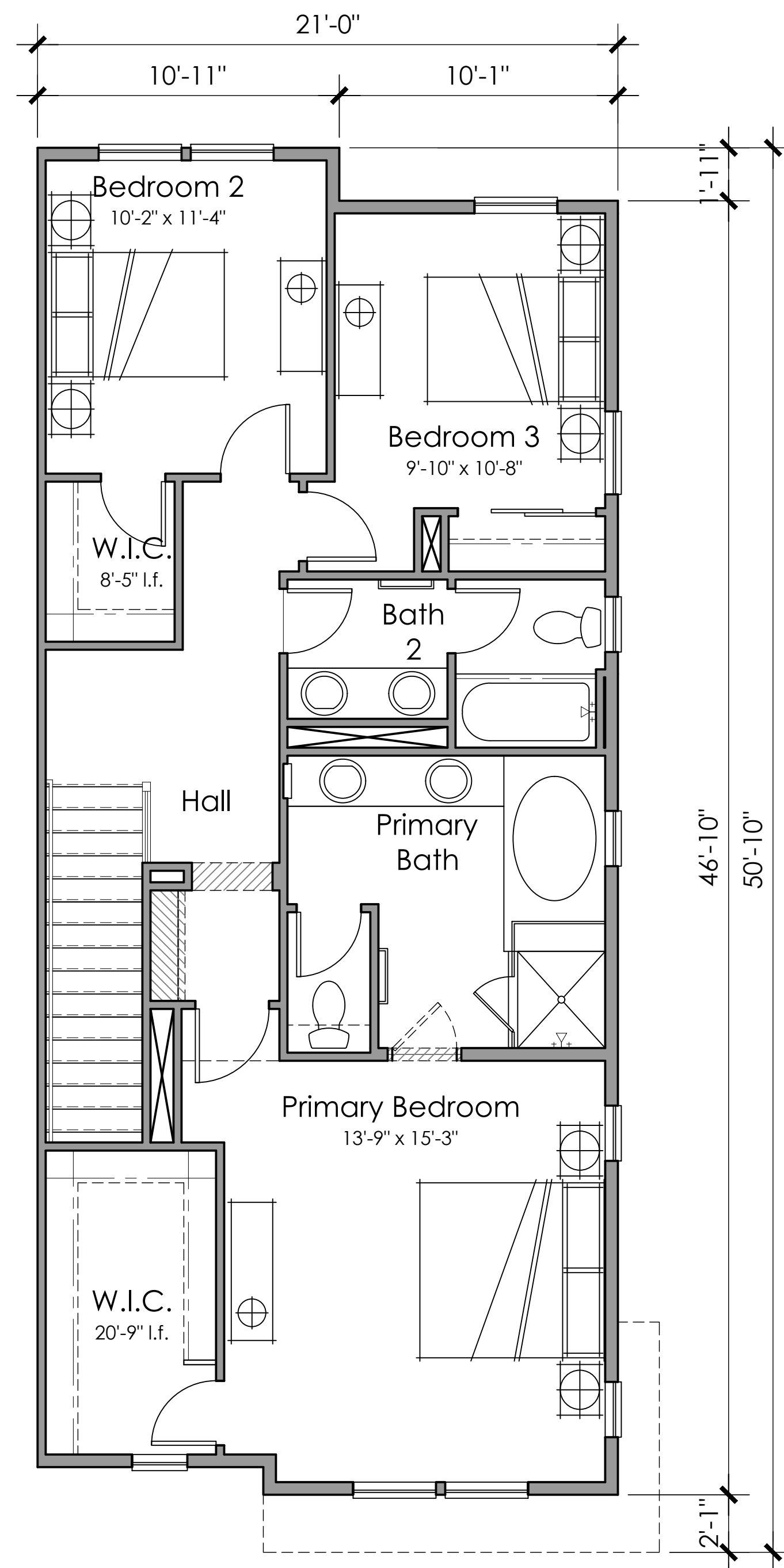
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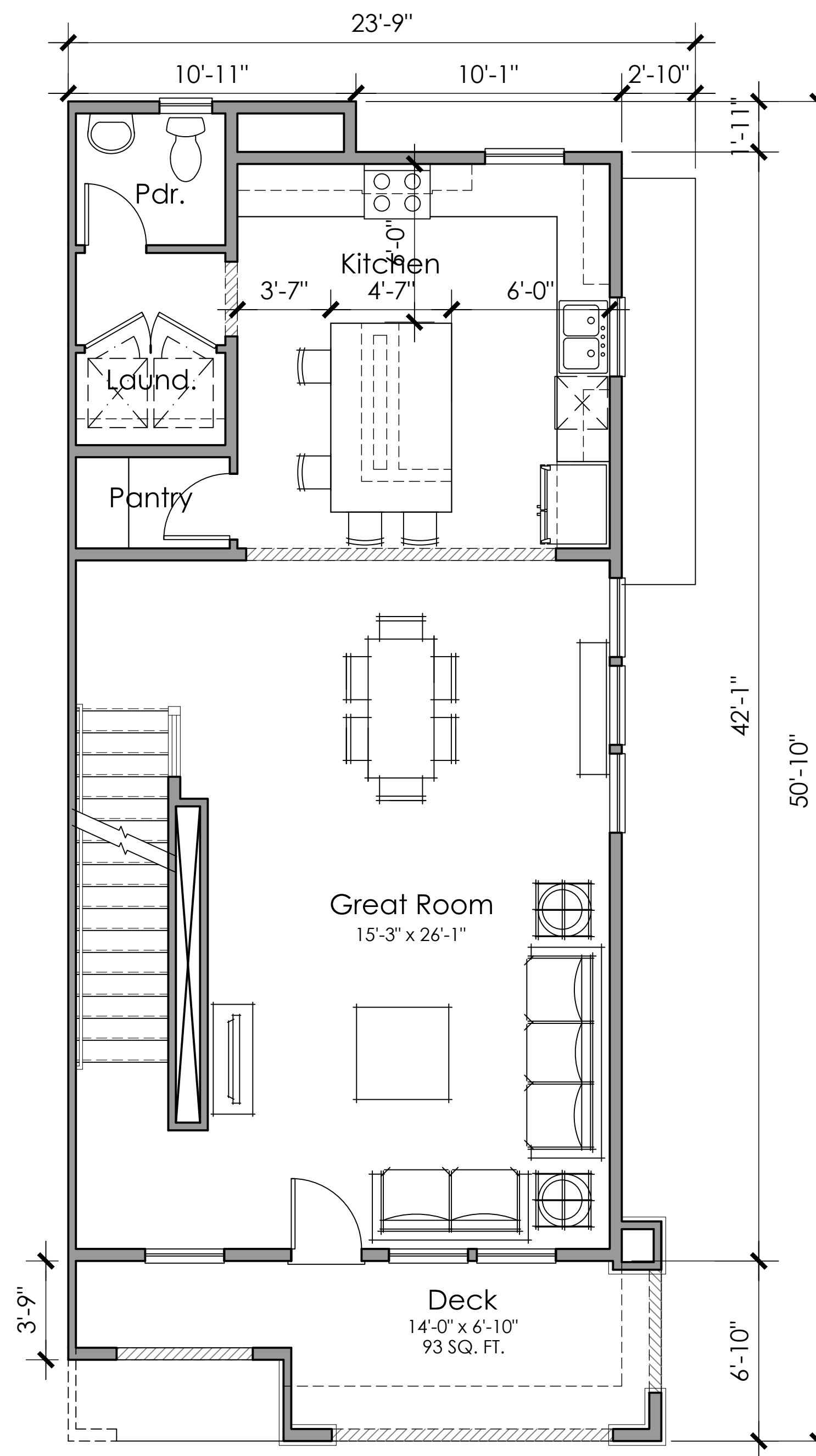


UNIT PLANS - UNIT 2

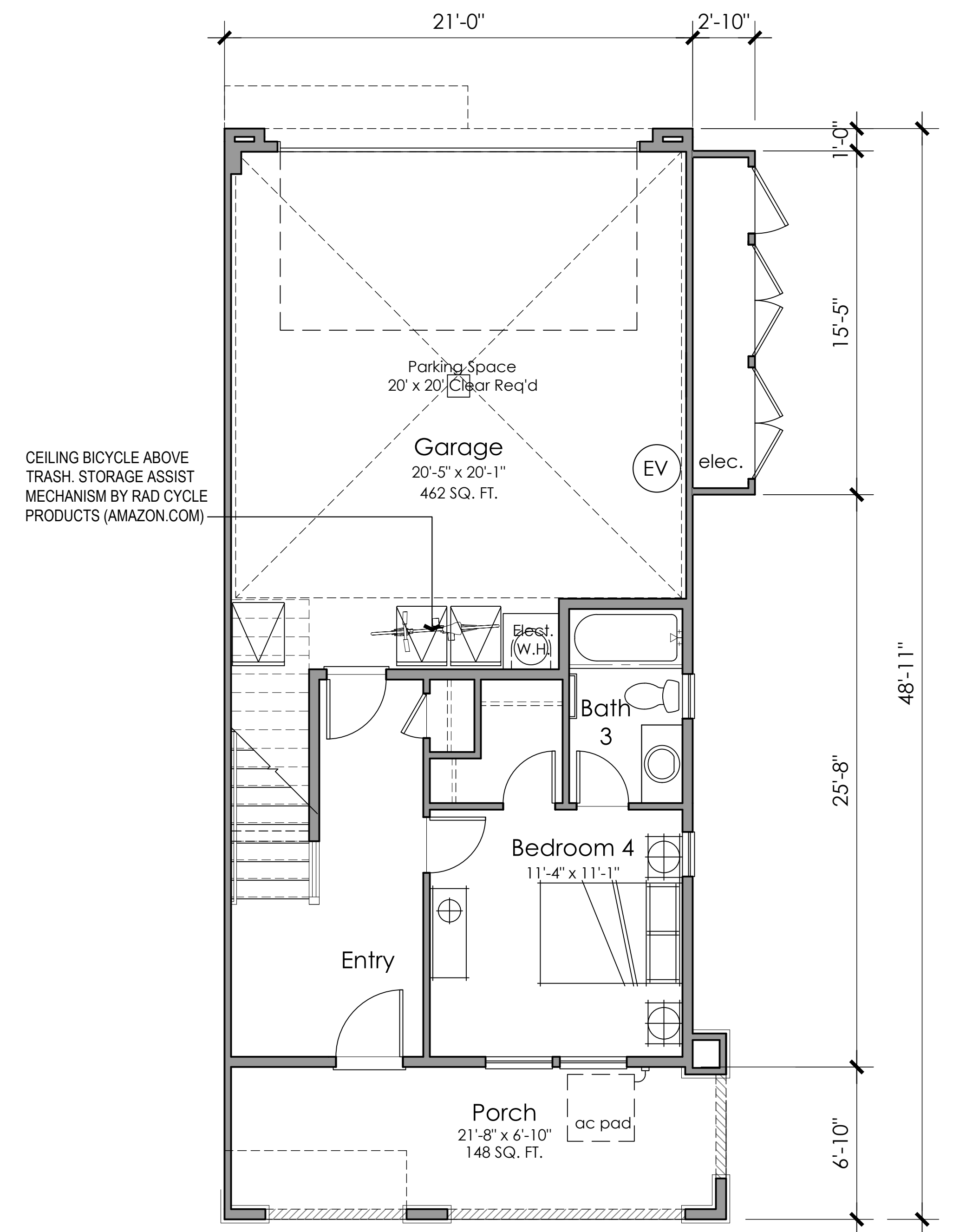
A1-5.1



Third Floor
913 n.s.f.



Second Floor
844 n.s.f.



First Floor
363 n.s.f.

4 Bedrooms
3.5 Baths
2,120 N.S.F.
143 S.F. PORCH + 93 S.F. PORCH =
236 S.F. PRIVATE OPEN SPACE

EV EACH PRIVATE GARAGE CONTAINS: 1" RACEWAY TO A 2 GANG BOX FOR FUTURE ELECT. CAR CHARGING STATION

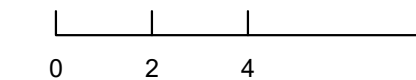


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UNIT PLANS - UNIT 3

A1-5.2



3. UNIT 3 FRONT ENTRANCE



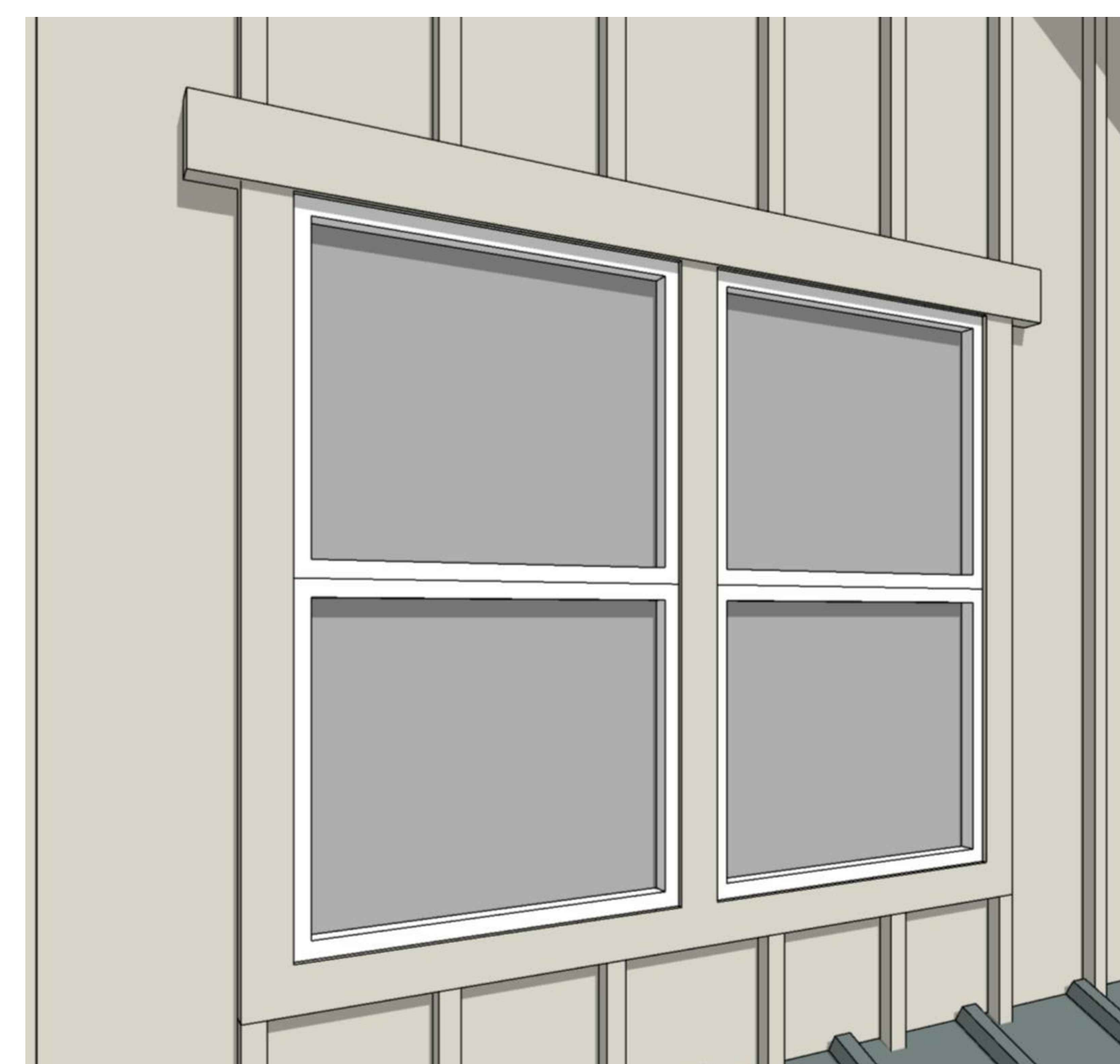
2. UNIT 2 FRONT ENTRANCE



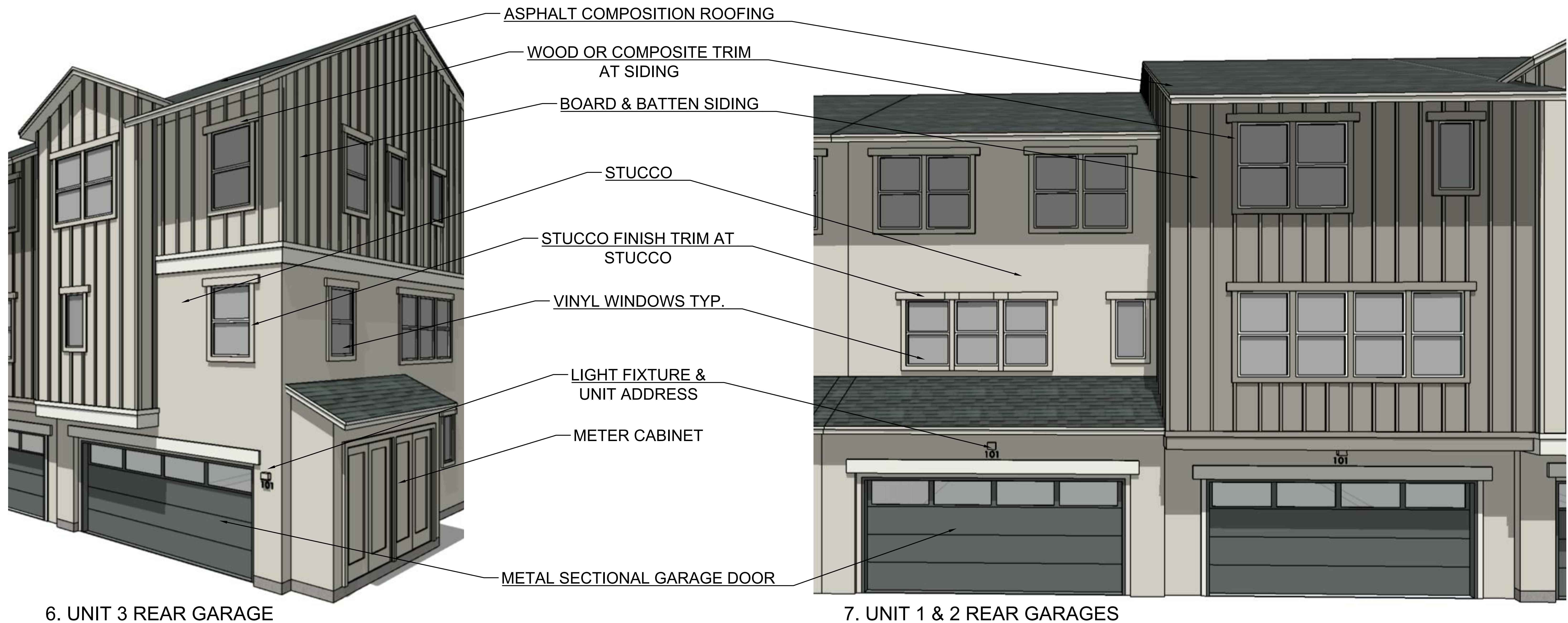
1. UNIT 1 FRONT ENTRANCE



4. WINDOW TRIM AT STUCCO



5. WINDOW TRIM AT BOARD & BATTEN SIDING



SCHEMES FOR APPROVAL 3.19.2024		
COLOR SCHEME #/ COLOR APPLICATION	1	2
ROOF MATERIAL: COMPOSITION ROOFING	MOIRE BLACK	WEATHERWOOD
METAL ROOF	ZINC GRAY	MEDIUM BRONZE
STUCCO BODY / BATTEN SIDING 1	SW 9165 GOSSAMER VEIL	SW 7050 USEFUL GRAY
FASCIA / EAVES 1 / TRIM 1	SW 7005 PURE WHITE	SW 9166 DRIFT OF MIST
BATTEN SIDING 2	SW 9170 ACIER	SW 9130 EVERGREEN FOG
FASCIA / EAVES AT METAL ROOF / TRIM 2	SW 0077 CLASSIC FRENCH GRAY	SW 6200 LINK GRAY
GARAGE DOOR 1	SW 2848 ROYCROFT PEWTER	SW 7645 THUNDER GRAY
GARAGE DOOR 2	SW 0077 CLASSIC FRENCH GRAY	SW 6200 LINK GRAY
ENTRY DOORS	SW 9038 CUCUZZA VERDE	SW 7625 MOUNT ETNA
METAL RAILS	SW 6258 TRICORN BLACK	SW 6258 TRICORN BLACK
WOOD TONE SIDING / WOOD TONE TRIM BOARDS	OLD CHERRY	SUMMERWHEAT
THIN BRICK	LOREIO FAROLA	LOREIO TALAVERA




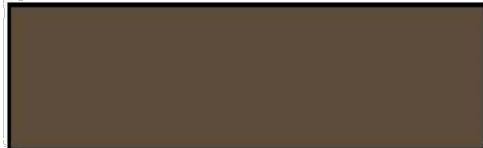


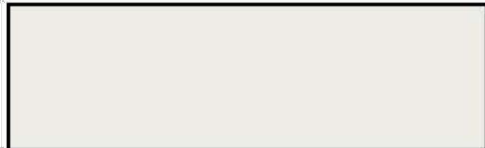



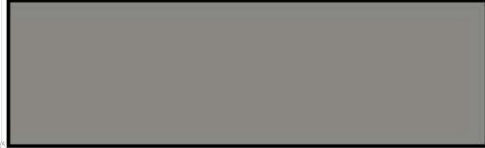






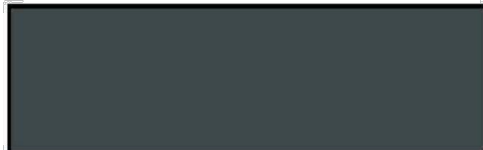
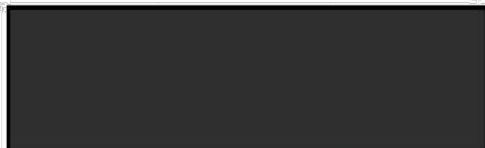
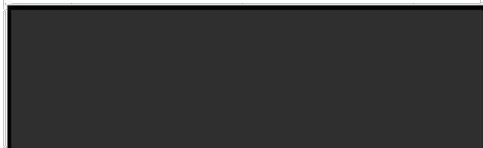
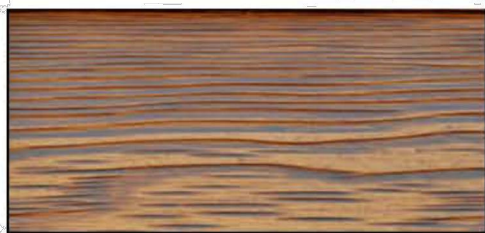



All Paint to return to inside corners including under eaves, overhangs, headers, balconies and cantilver areas.
All photographs of stone, brick, masonry and roof tiles are for representation only - See actual samples for exact colors.
Mandoors/ Vents to be painted adjacent surface color

STUCCO /PAINT: Sherwin Williams
ROOF: Certainteed Landmark or equal
METAL ROOFING: Berridge Metals or equal
MASONRY VENEER: El Dorado Stone or equal
WOODTONE SIDING: Woodtone Products

FARMHOUSE ELEVATIONS



TOWNHOME FARMHOUSE ELEVATIONS

COLOR SCHEME COLOR APPLICATION	1	2
ROOF MATERIAL: COMPOSITION ROOFING	 MOIRE BLACK	 WEATHERWOOD
METAL ROOF	 ZINC GRAY	 MEDIUM BRONZE
STUCCO BODY / BATTEN SIDING 1	 SW 9165 GOSSAMER VEIL	 SW 7050 USEFUL GRAY
FASCIA / EAVES 1 / TRIM 1	 SW 7005 PURE WHITE	 SW 9166 DRIFT OF MIST
BATTEN SIDING 2	 SW 9170 ACIER	 SW 9130 EVERGREEN FOG
FASCIA / EAVES AT METAL ROOF / TRIM 2	 SW 0077 CLASSIC FRENCH GRAY	 SW 6200 LINK GRAY
GARAGE DOOR 1	 SW 2848 ROYCROFT PEWTER	 SW 7645 THUNDER GRAY
GARAGE DOOR 2	 SW 0077 CLASSIC FRENCH GRAY	 SW 6200 LINK GRAY
ENTRY DOORS	 SW 9038 CUCUZZA VERDE	 SW 7625 MOUNT ETNA
METAL RAILS	 SW 6258 TRICORN BLACK	 SW 6258 TRICORN BLACK
WOOD TONE SIDING/ WOOD TONE TRIM BOARDS	 OLD CHERRY	 SUMMERWHEAT
THIN BRICK	 LOREIO FAROLA	 LOREIO TALAVERA

STUCCO /PAINT: Sherwin Williams
ROOF: Certainteed Landmark or equal
METAL ROOFING: Berridge Metals or equal
MASONRY VENEER: El Dorado Stone or equal
WOODTONE SIDING: Woodtone Products



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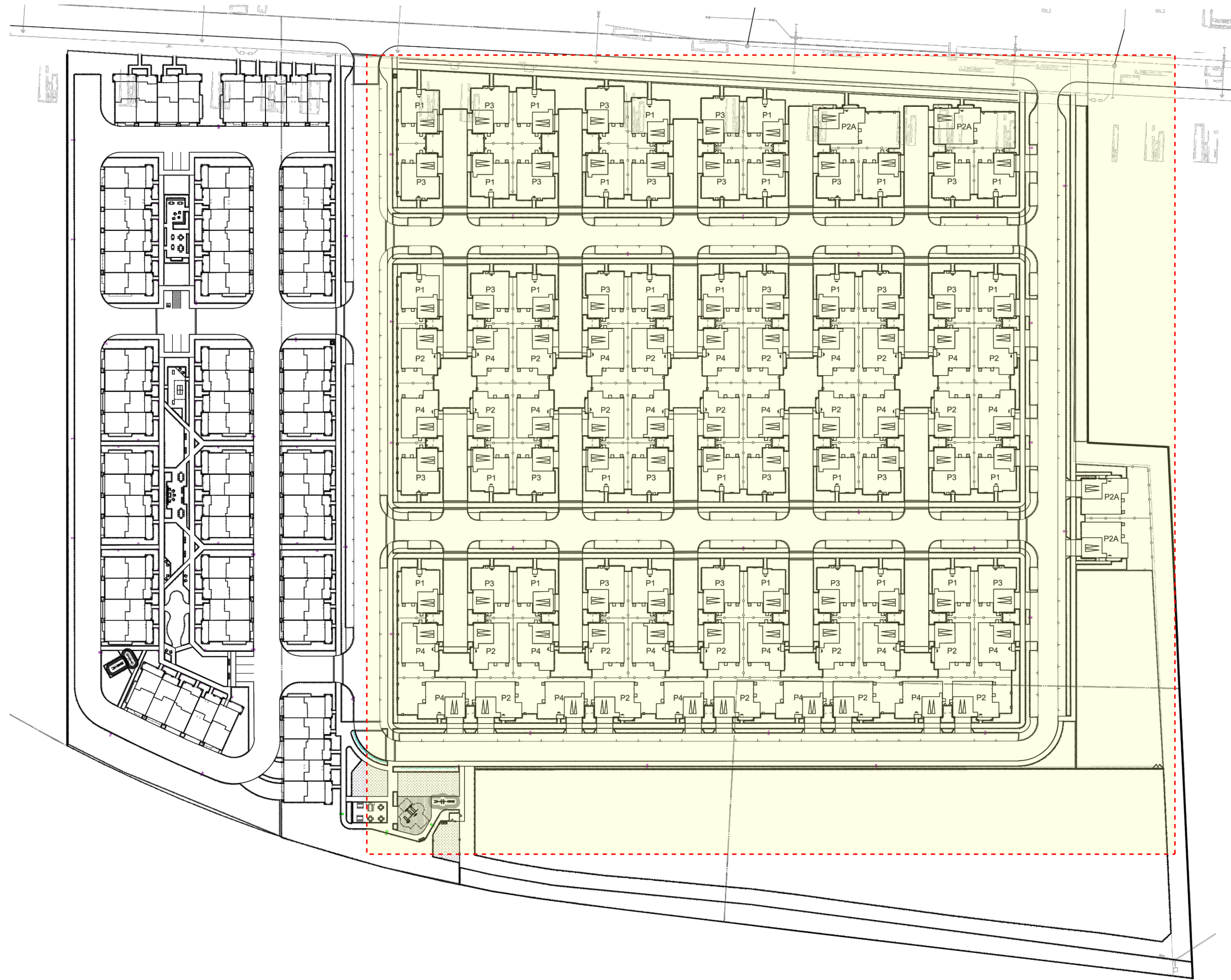
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APRIL 1, 2024

TOWNHOUSE COLOR & MATERIAL SELECTIONS

A1-7.0

DESIGN AND DEVELOPMENT STANDARDS
ARCHITECTURAL DESIGN FEATURES
25. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.
26. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.
27. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.
28. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick, or other material enhancements. All facades (sides and rear) must have the level of detail, and materials incorporating at a minimum of two elements of the front façade. There shall be no blank walls. (GP Policy CNF-11.16 360-Degree Design)
29. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously ¼ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.
30. Roof line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)
31. Height and Project Massing: Project design minimizes bulk of the buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and height; and, b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)
33. Building Colors: The project has provided a sample color palette of complimentary colors used in the surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. a. The use of fluorescent or neon colors is prohibited.
34. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least 1 1/2 inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.
35. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.
36. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.
37. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment.
39. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling.
45.2 Trash: Single Family Units or developments that will not use trash enclosures. Designate solid / recycling / organics receptacle storage area.



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NEIGHBORHOOD 2-SINGLE COVER FAMILY

A2-0.0



Front Elevation 1A

Scheme 1



Front Elevation 1B

Scheme 4



Front Elevation 1C

Scheme 7

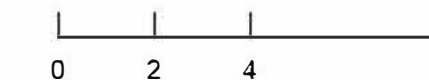


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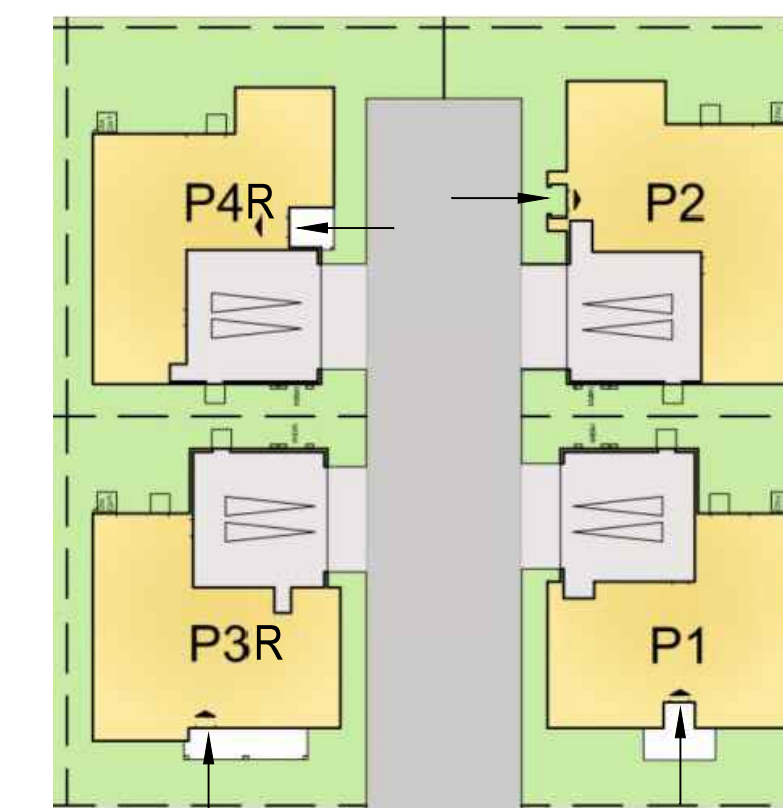
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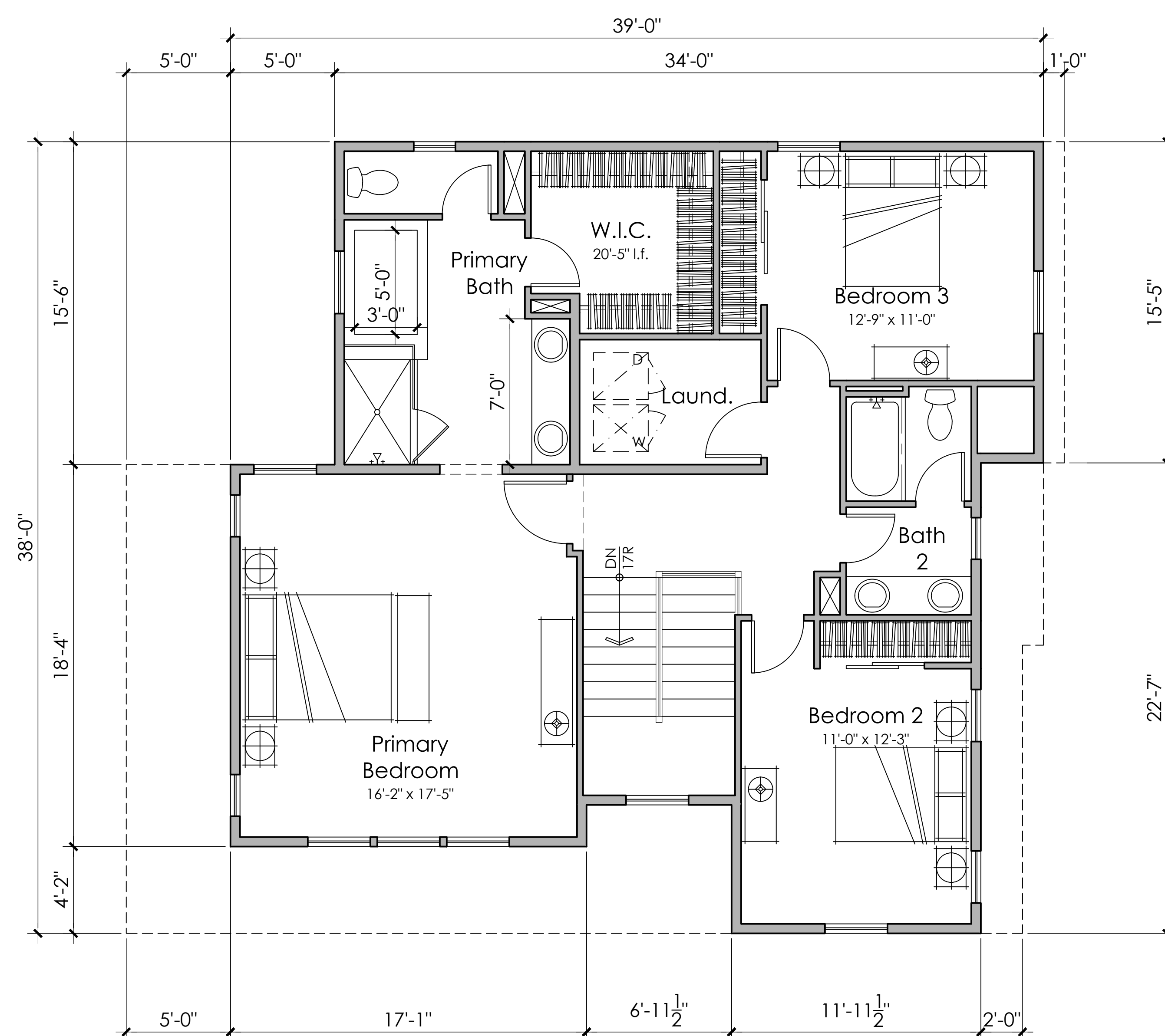


PLAN 1 FRONT ELEVATIONS

A2-1.0

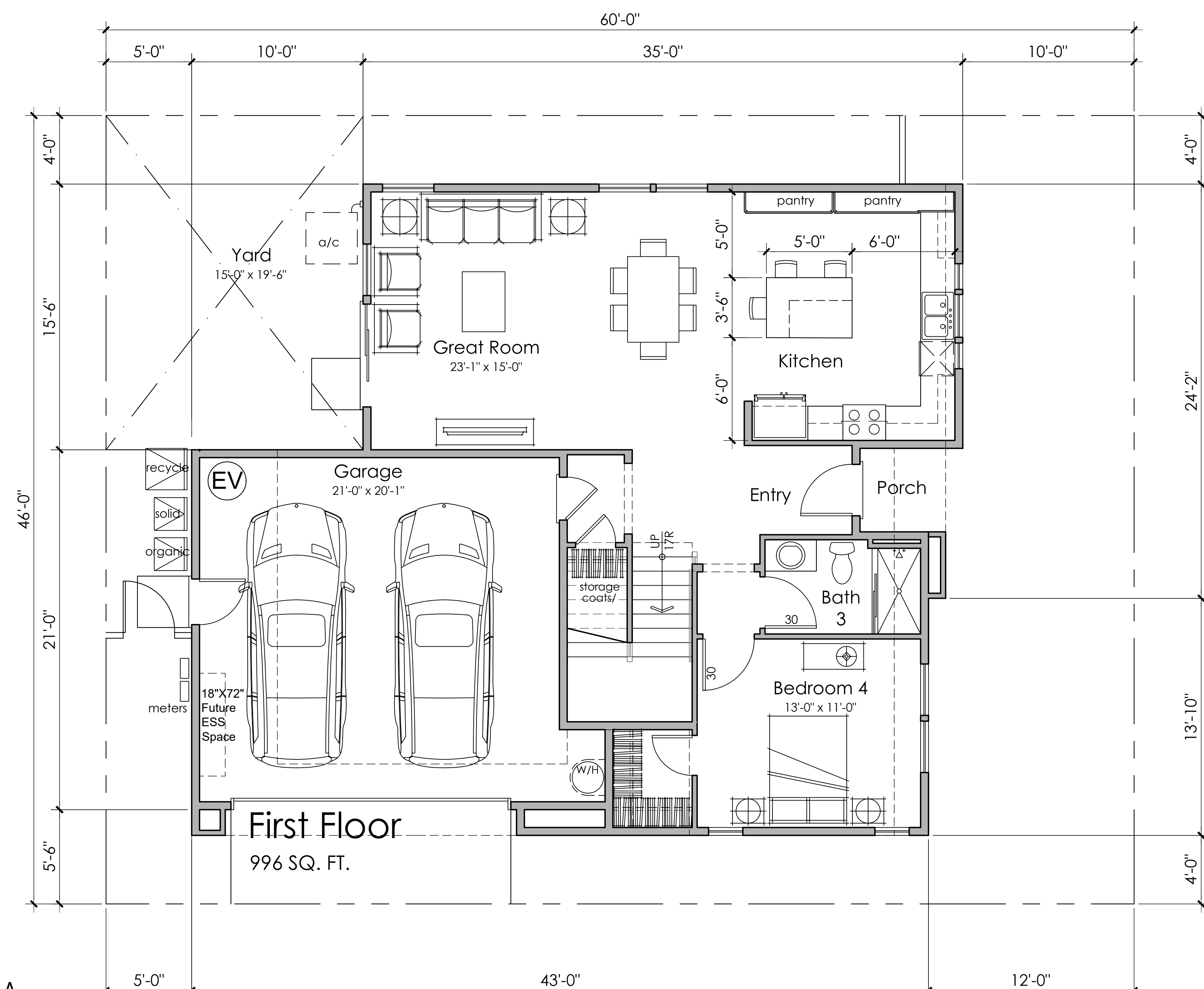


Key Map



Second Floor

1151 SQ. FT.



PLAN 1A

EV ONE LEVEL 2 EV READY SPACE & ONE LEVEL 1 EV READY SPACE @ EACH PRIVATE GARAGE



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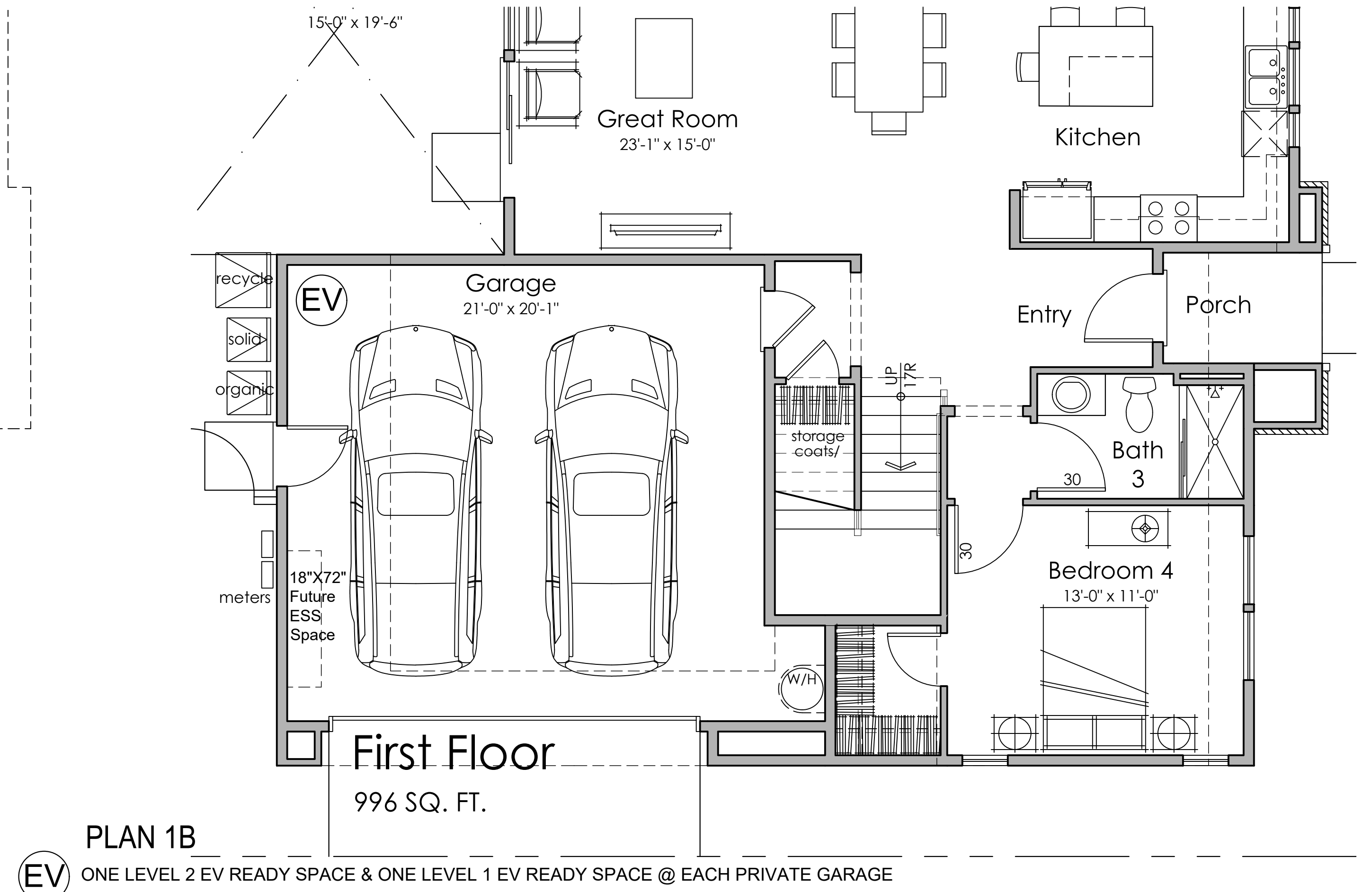
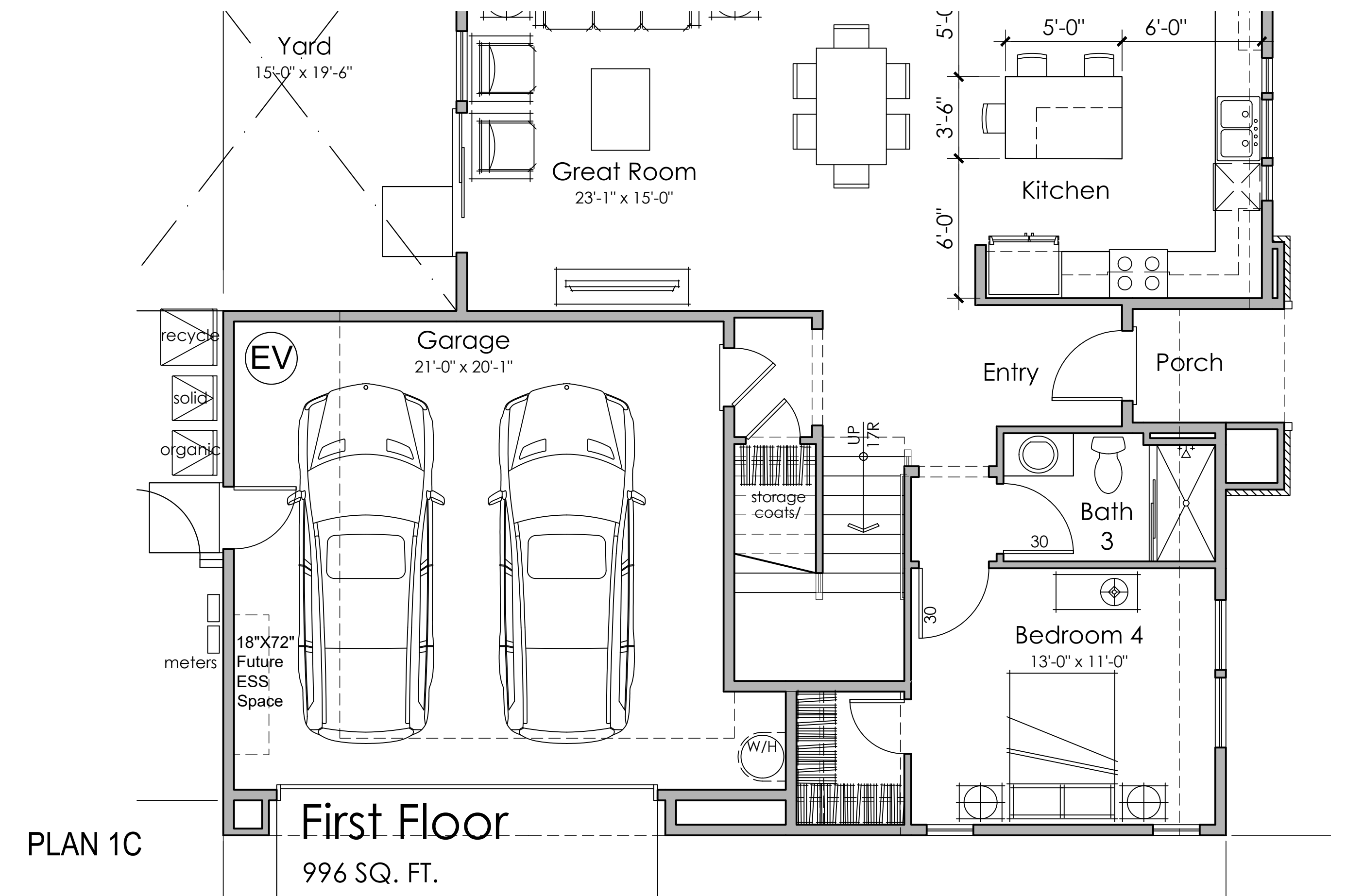
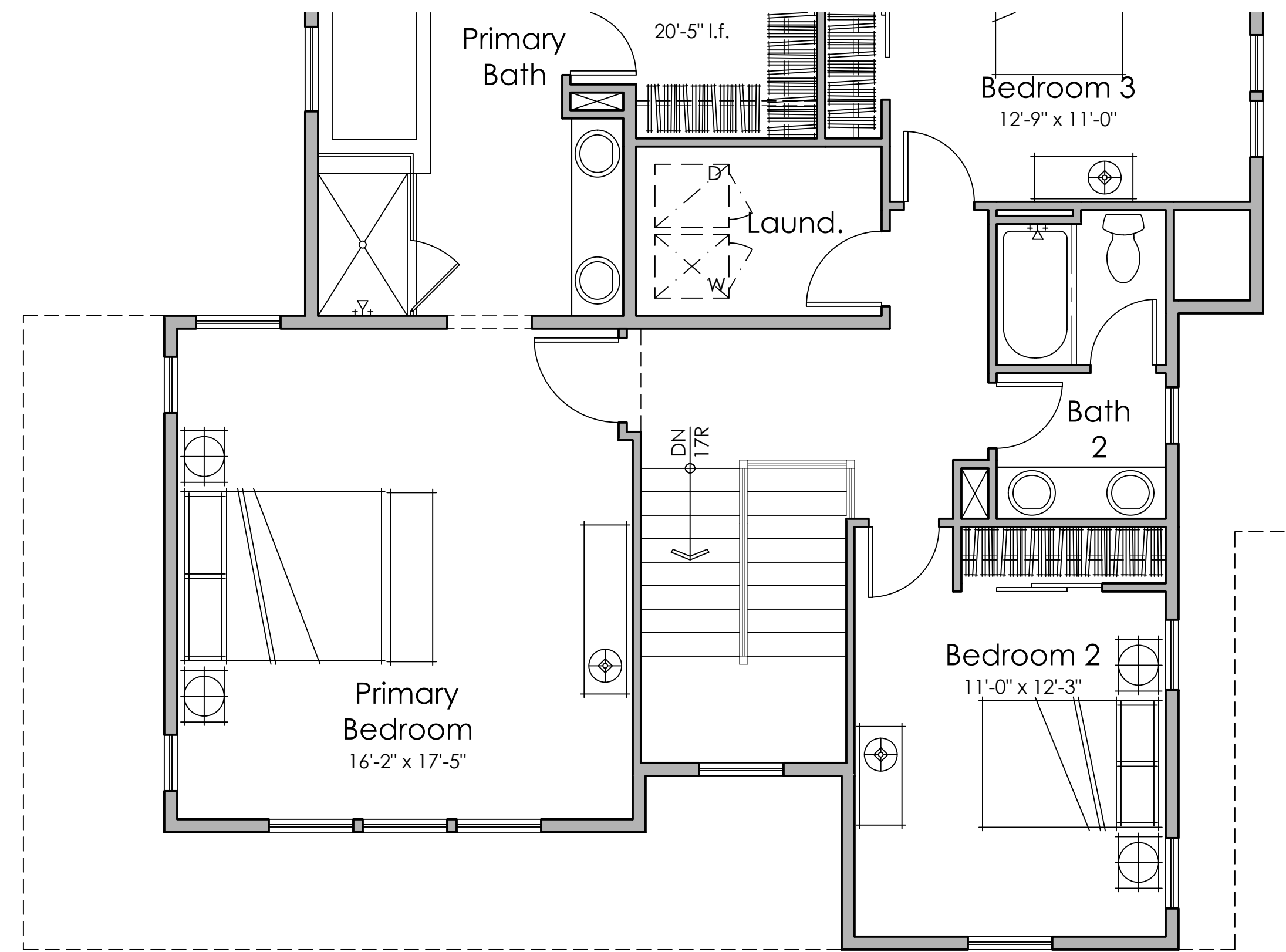
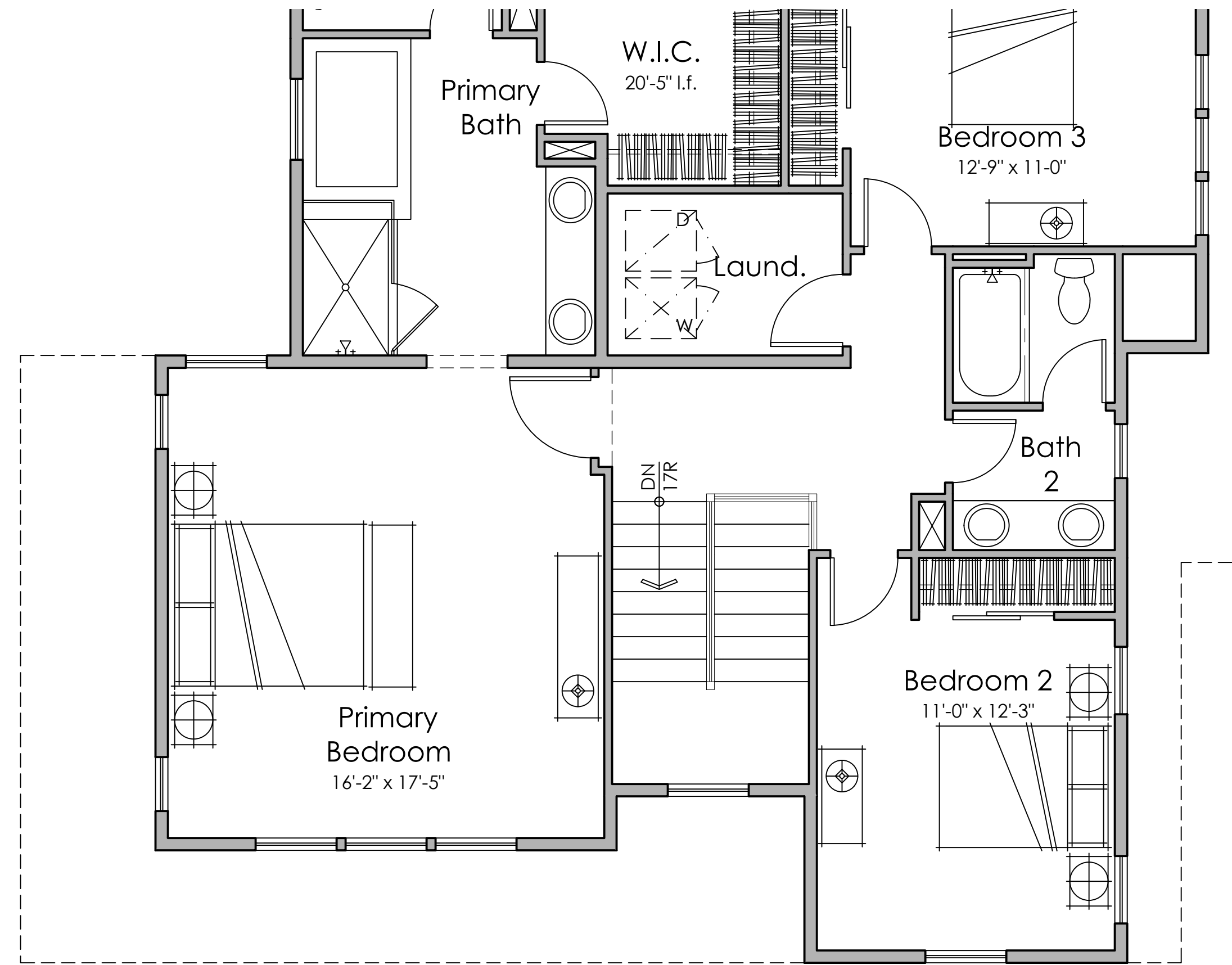
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Scale: 1/4" = 1'-0"
0 2 4 8

4 BEDROOMS
3 BATHS
2,147 S.F.
GARAGE 458 S.F.

SINGLE FAMILY -
PLAN 1 FLOOR PLAN

A2-1.1



1

ROOF MATERIAL:
COMPOSITION ASPHALT

THUNDERSTORM GRAY

METAL ROOF

ZINC GREY

BATTEN BOARD SIDING

SW 7757
HIGH REFLECTIVE WHITE

FASCIA / EAVES

SW 7757
HIGH REFLECTIVE WHITE

TRIM

SW 7757
HIGH REFLECTIVE WHITE

GARAGE DOORS

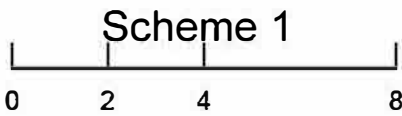
SW 7659
GRIS

ENTRY DOORS

SW 6229
TEMPE STAR



Front Elevation 1A



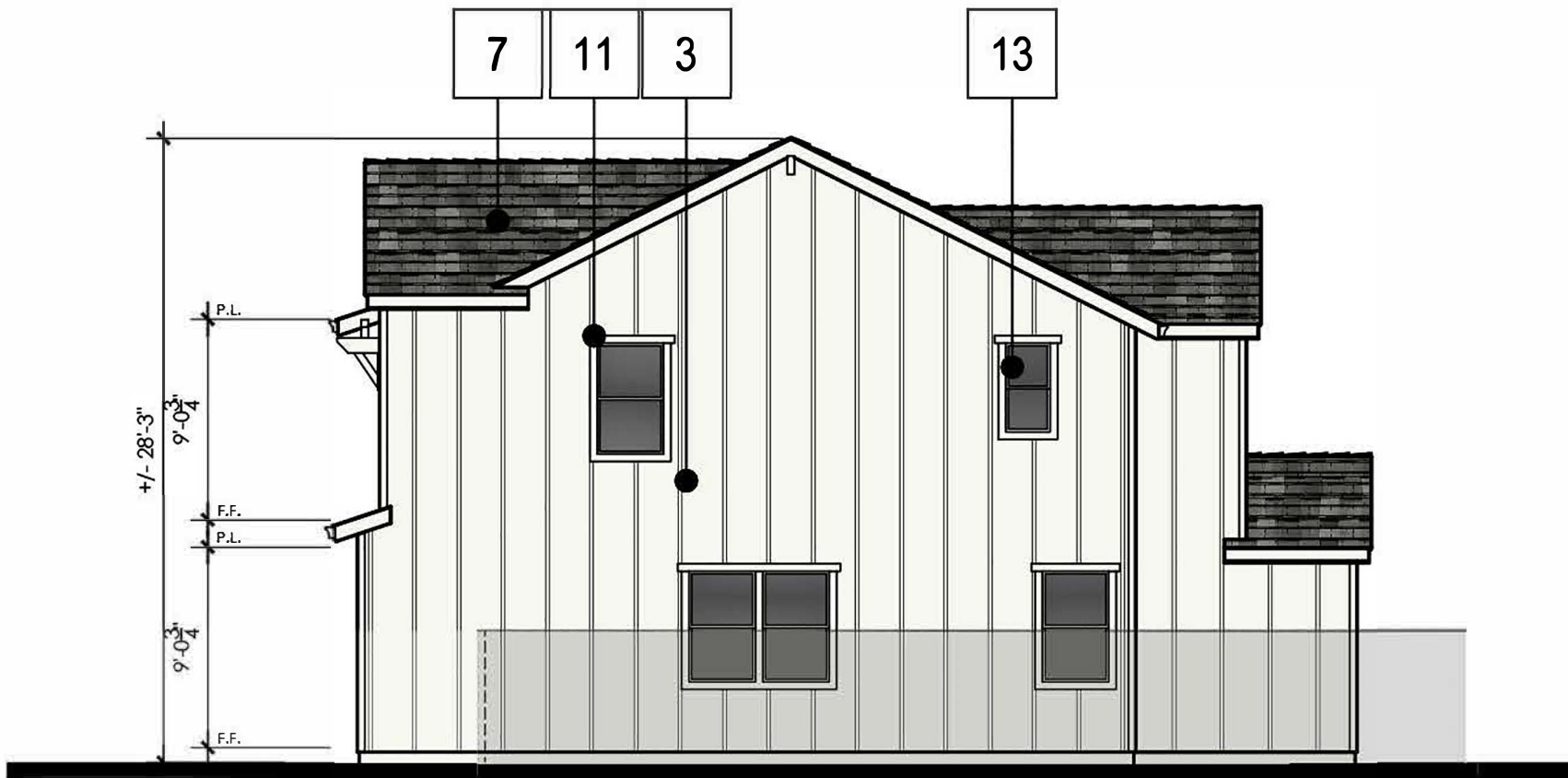
- MATERIAL LEGEND
- 1. STUCCO
 - 2. FIBER CEMENT LAP SIDING
 - 3. FIBER CEMENT BOARD AND BATTEN SIDING
 - 4. STONE VENEER
 - 5. METAL GARAGE DOOR
 - 6. CONCRETE S PROFILE ROOF TILE
 - 7. COMPOSITION SHINGLE ROOF
 - 8. LIGHT FIXTURE
 - 9. UNIT ADDRESS
 - 10. ENTRY DOOR
 - 11. FIBER CEMENT TRIM
 - 12. HIGH DENSITY FOAM TRIM
 - 13. VINYL WINDOW
 - 14. WOOD POST
 - 15. FIBER CEMENT PANEL
 - 16. METAL ROOFING
 - 17. METAL AWNING



Left Elevation



Rear Elevation



Right Elevation

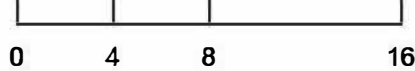


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PLAN 1A - EXTERIOR ELEVATIONS

A2-1.2

4

ROOF MATERIAL:
COMPOSITION ASPHALT

WEATHER WOOD

STUCCO BODY

SW 7641
GRECIAN IVORY

FASCIA / EAVES /
TRIM /
INSET SIDING AT 3B & 4B ONLY

SW 7645
THUNDER GRAY

INSET SIDING AT 1B & 2B /
LAP SIDING
INCLUDING CORNER BOARDS

SW 2848
ROYCROFT PEWTER

GARAGE DOORS

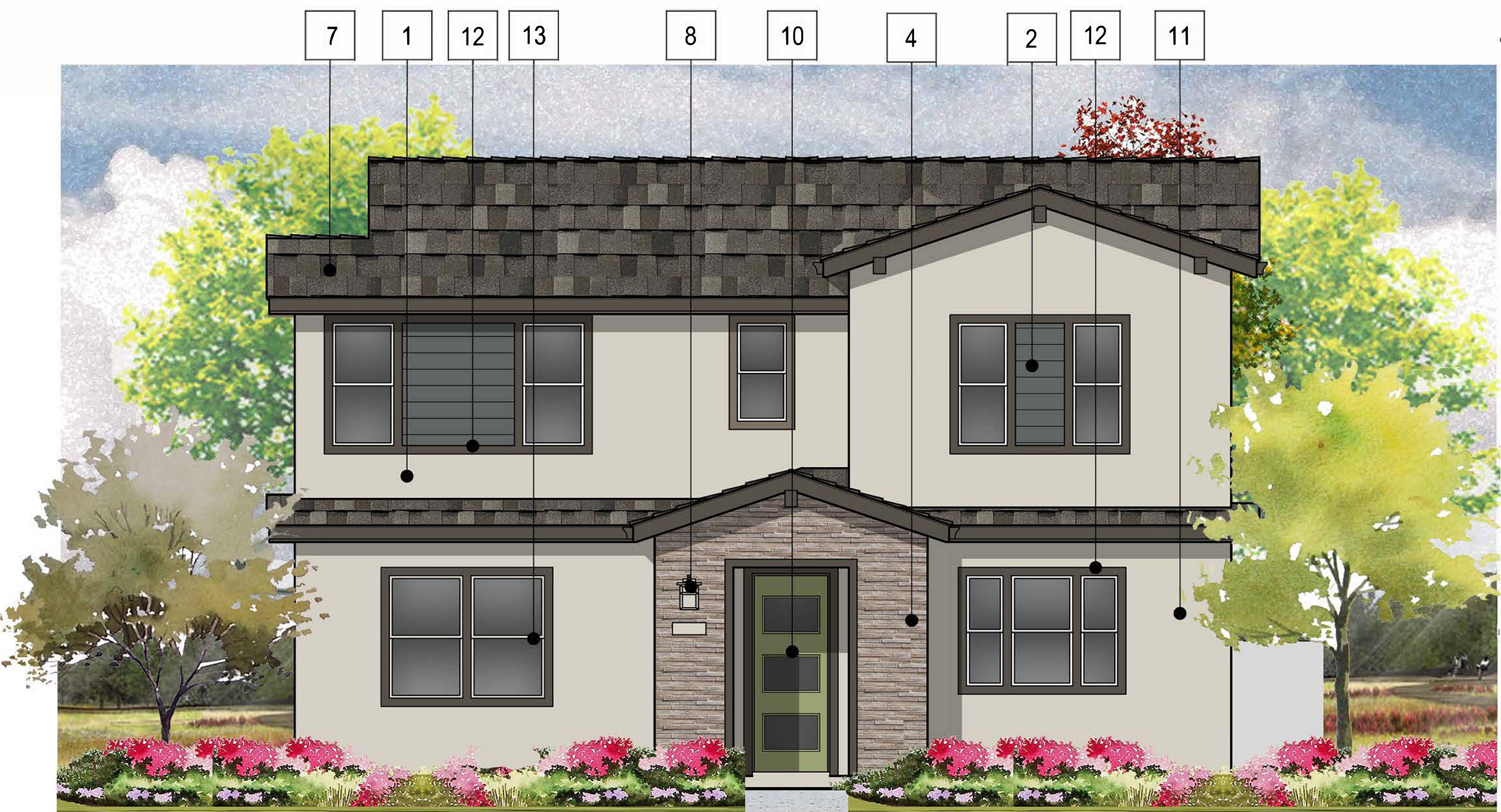
SW 0077
CLASSIC FRENCH GRAY

ENTRY DOORS

SW 9038
CUCUZZA VERDE

BRICK VENEER

LOREI BRICK
FAROLA



- MATERIAL LEGEND
1.

STUCCO
2.

FIBER CEMENT LAP SIDING
3.

FIBER CEMENT BOARD AND BATTEN SIDING
4.

STONE VENEER
5.

METAL GARAGE DOOR
6.

CONCRETE S PROFILE ROOF TILE
7.

COMPOSITION SHINGLE ROOF
8.

LIGHT FIXTURE
9.

UNIT ADDRESS
10.

ENTRY DOOR
11.

FIBER CEMENT TRIM
12.

HIGH DENSITY FOAM TRIM
13.

VINYL WINDOW
14.

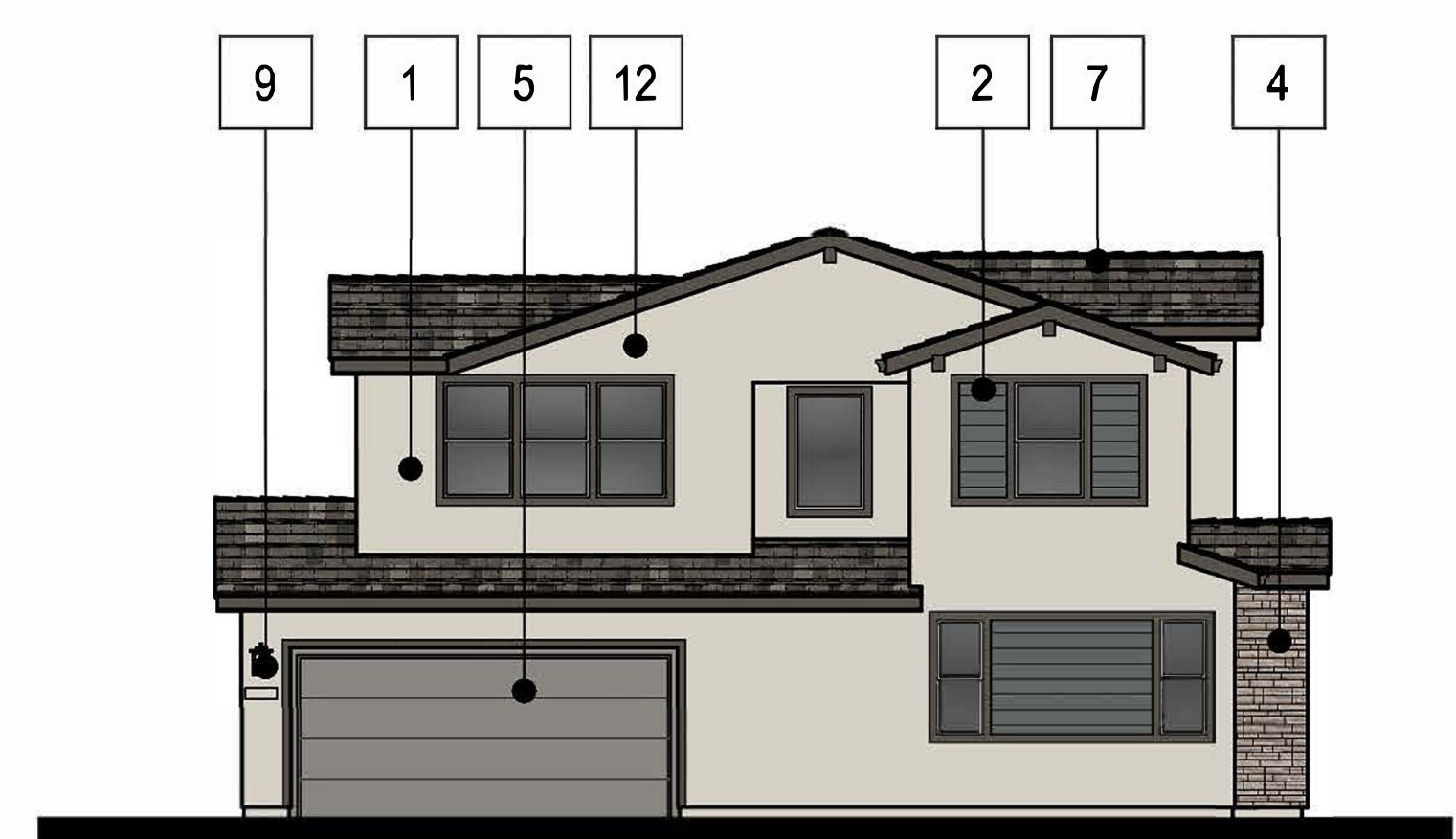
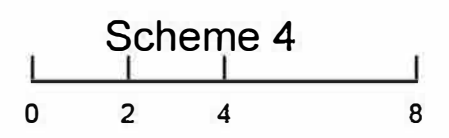
WOOD POST
15.

FIBER CEMENT PANEL
16.

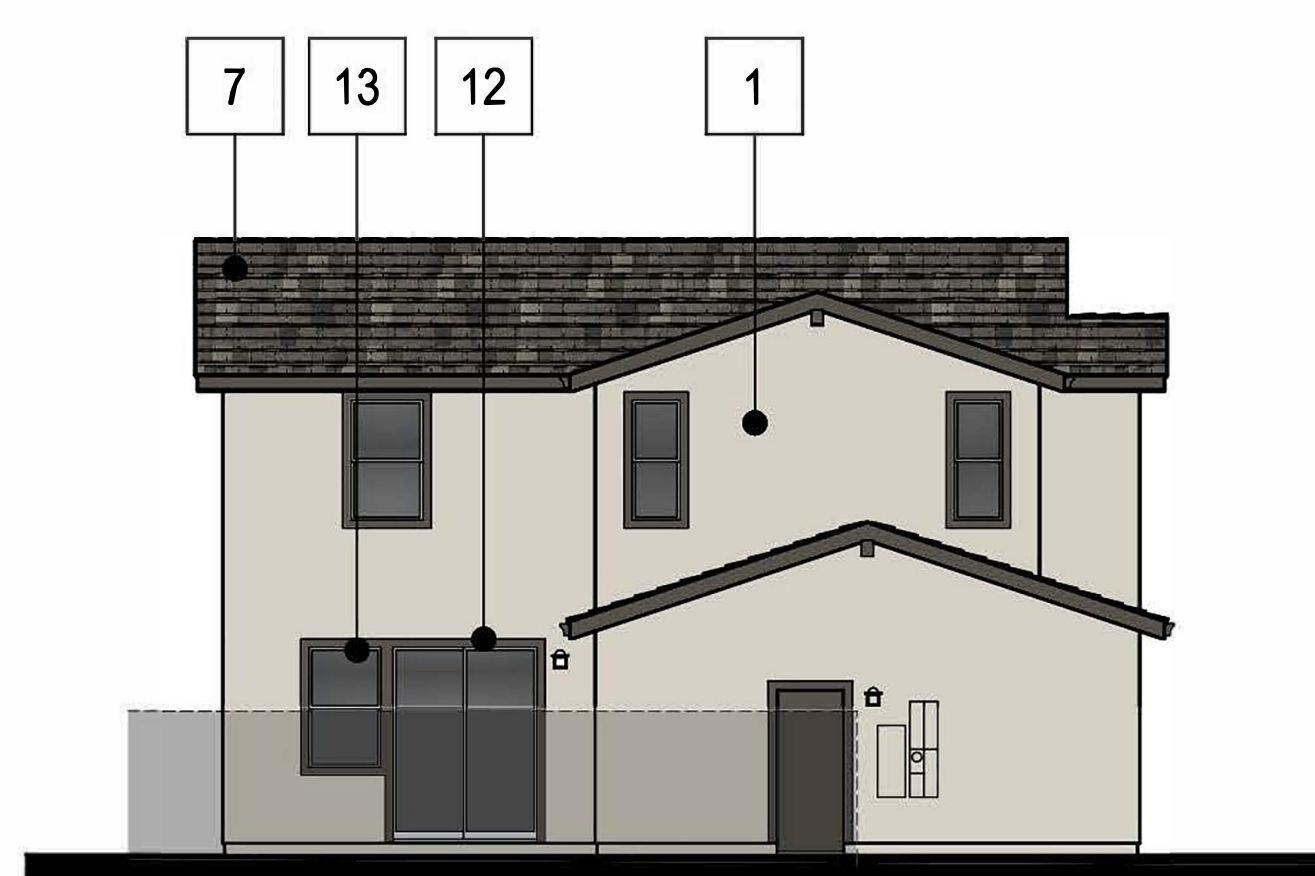
METAL ROOFING
17.

METAL AWNING

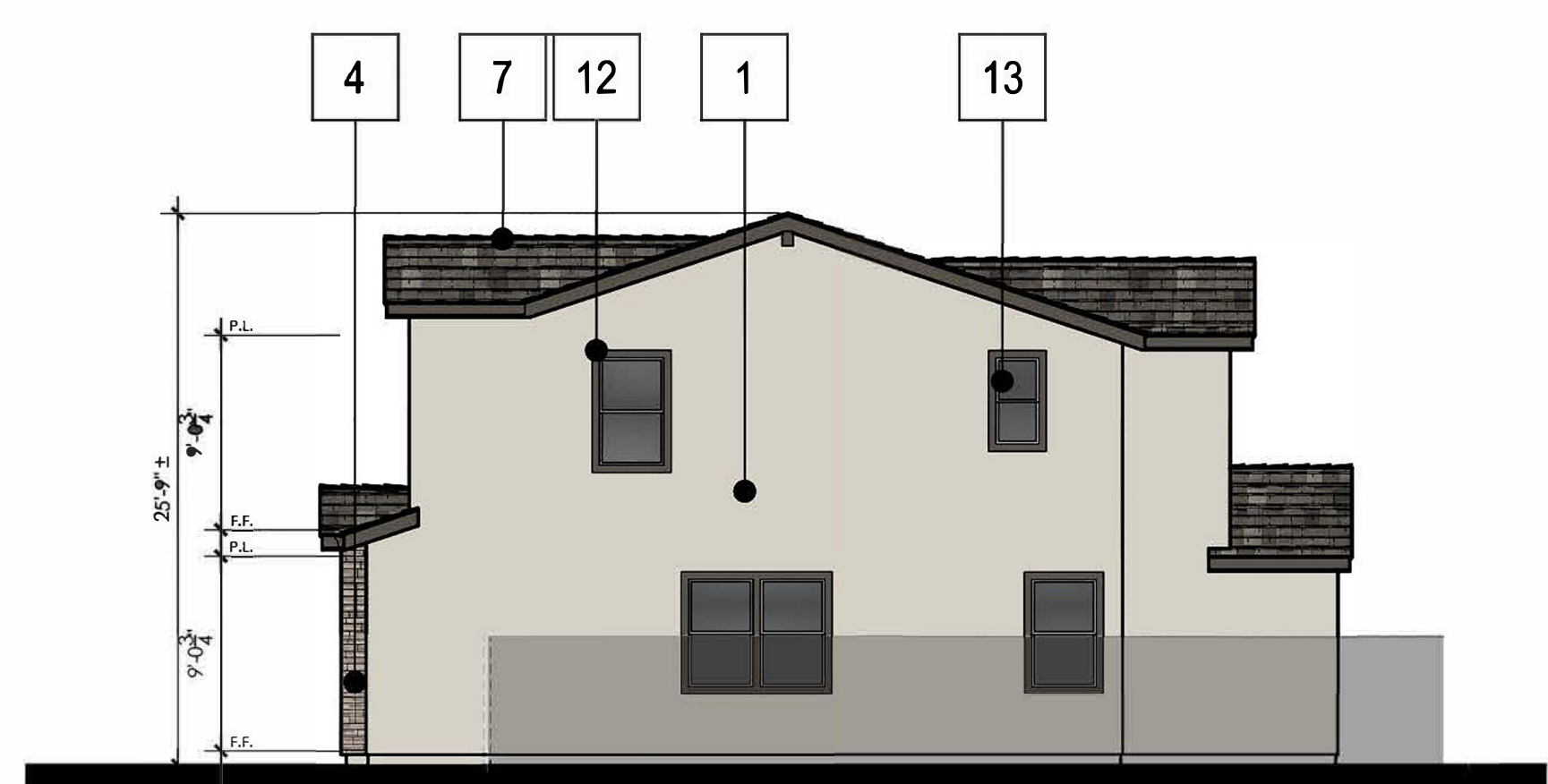
Front Elevation 1B



Left Elevation



Rear Elevation



Right Elevation

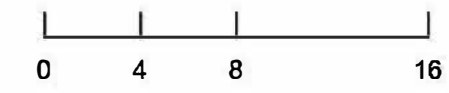


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PLAN 1B - EXTERIOR ELEVATIONS

A2-1.3

7

ROOF MATERIAL:
COMPOSITION ASPHALT

WEATHER WOOD

STUCCO BODY

SW 7626
ZURICH WHITE

LAP SIDING
INCLUDING
CORNER BOARDS

SW 6185
ESCAPE GRAY

FASCIA / EAVES /
GARAGE DOORS

SW 7016
MINDFUL GRAY

TRIM

SW 7016
MINDFUL GRAY

ENTRY DOORS

SW 7046
ANONYMOUS

STONE VENEER

RIVENWOOD
SHELTER COVE



- MATERIAL LEGEND
1.

STUCCO
2.

FIBER CEMENT LAP SIDING
3.

FIBER CEMENT BOARD AND BATTEN SIDING
4.

STONE VENEER
5.

METAL GARAGE DOOR
6.

CONCRETE S PROFILE ROOF TILE
7.

COMPOSITION SHINGLE ROOF
8.

LIGHT FIXTURE
9.

UNIT ADDRESS
10.

ENTRY DOOR
11.

FIBER CEMENT TRIM
12.

HIGH DENSITY FOAM TRIM
13.

VINYL WINDOW
14.

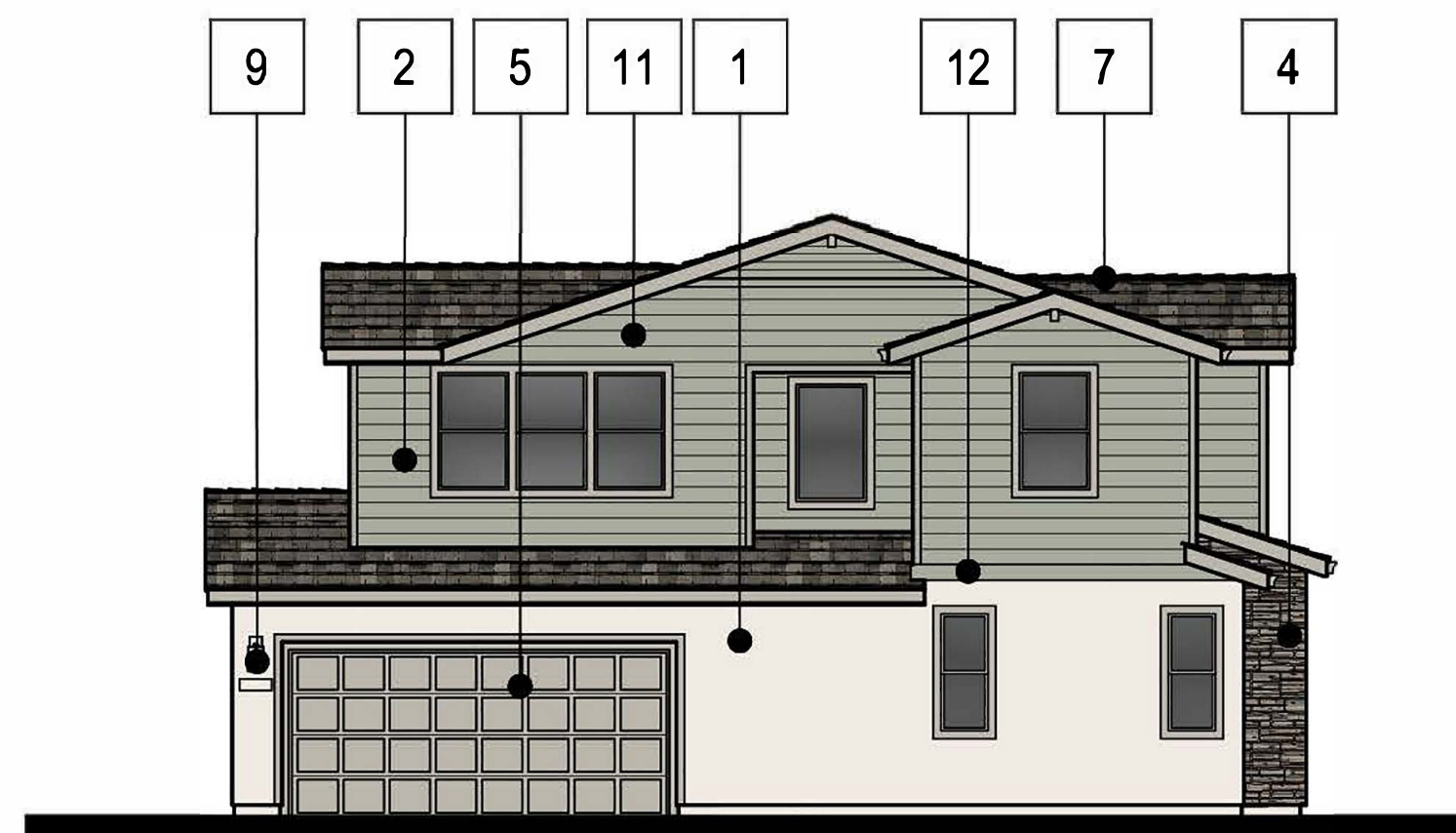
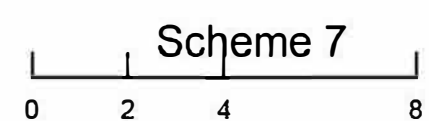
WOOD POST
15.

FIBER CEMENT PANEL
16.

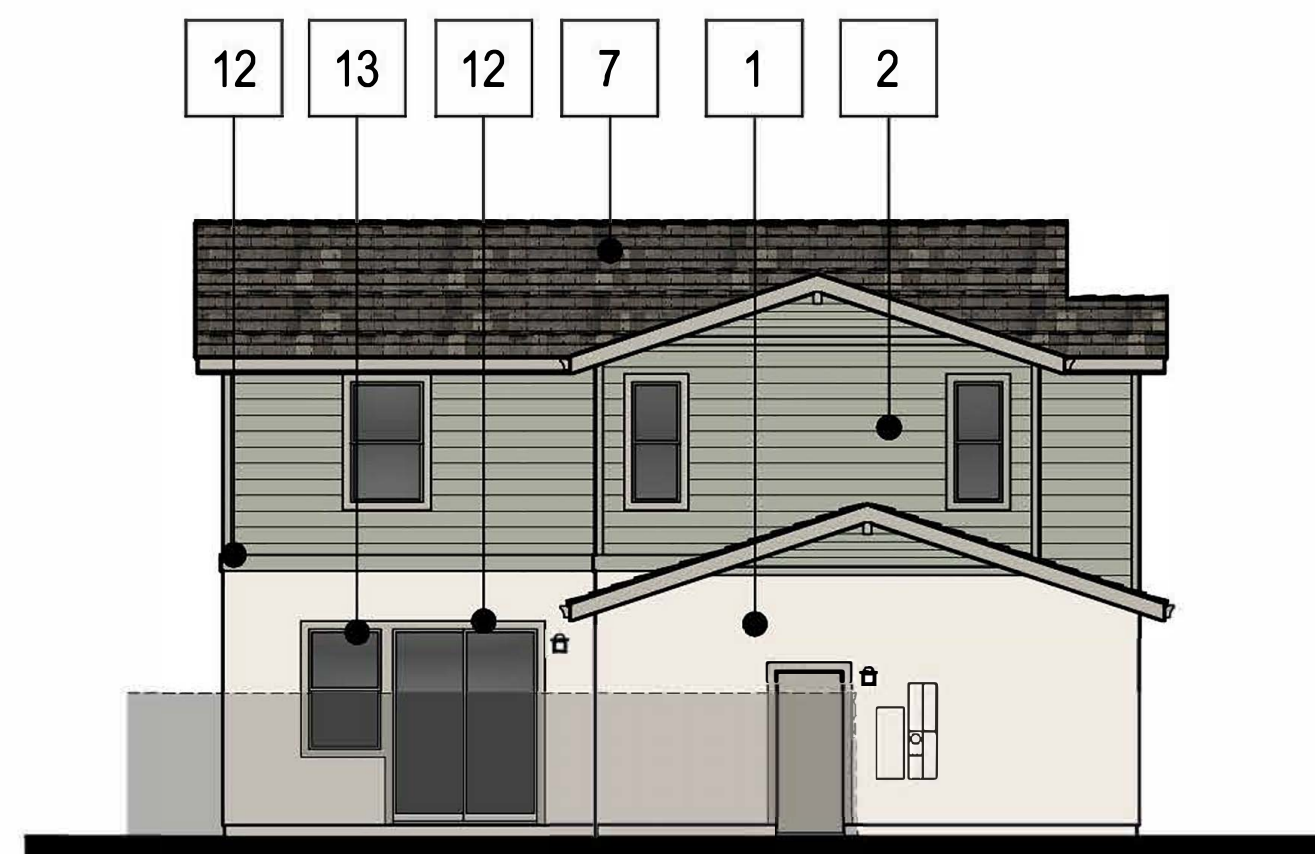
METAL ROOFING
17.

METAL AWNING

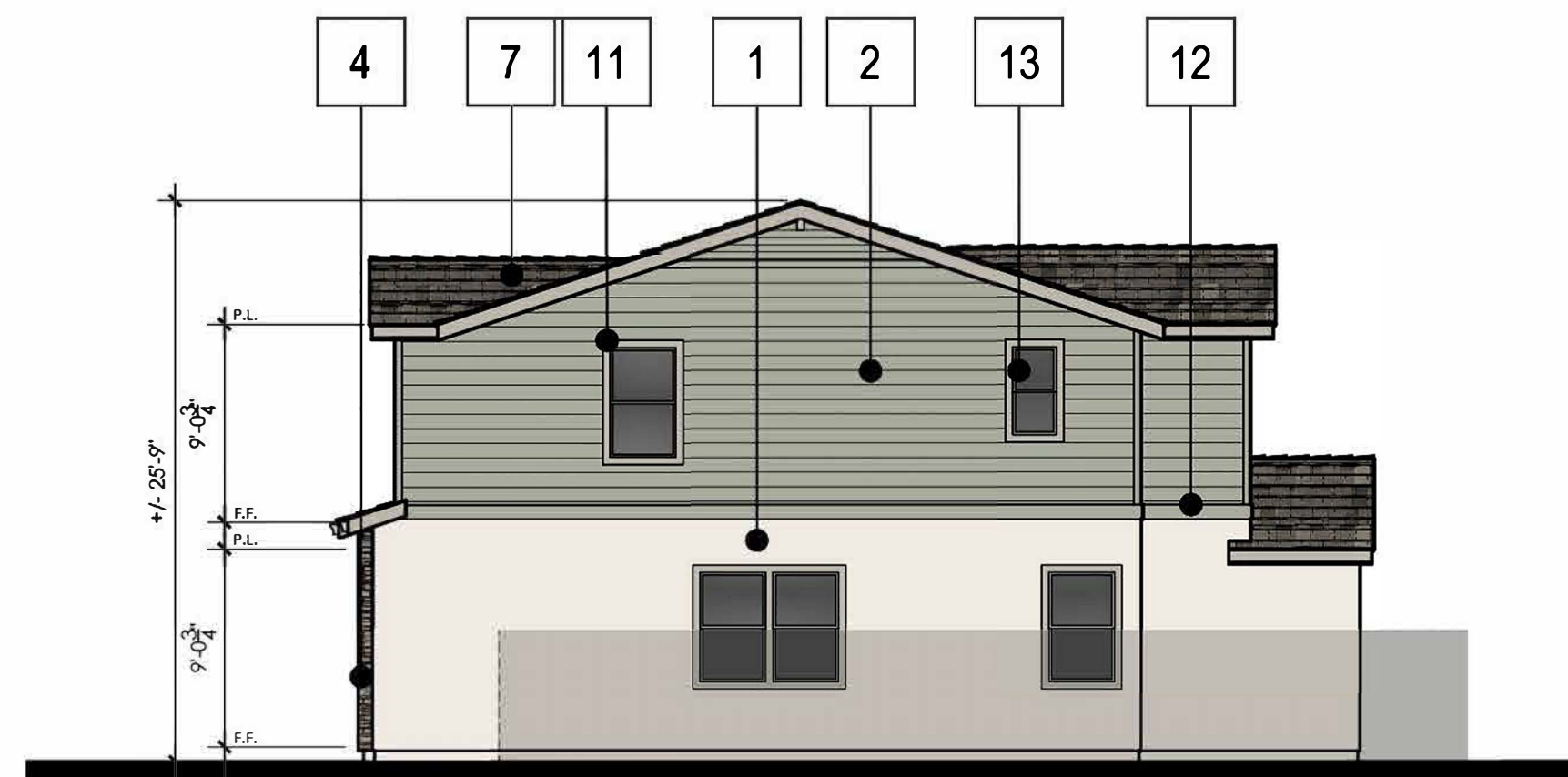
Front Elevation 1C



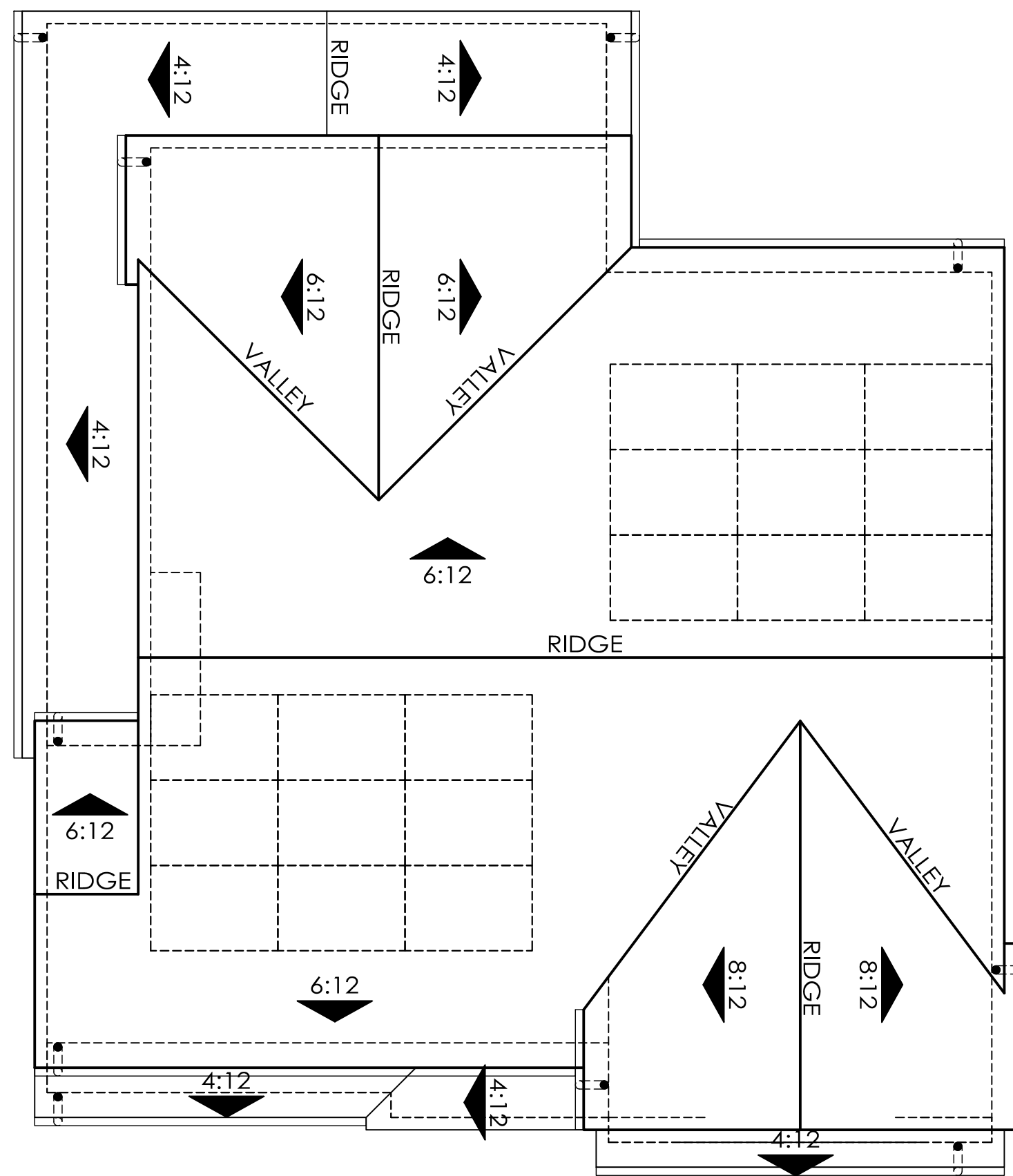
Left Elevation



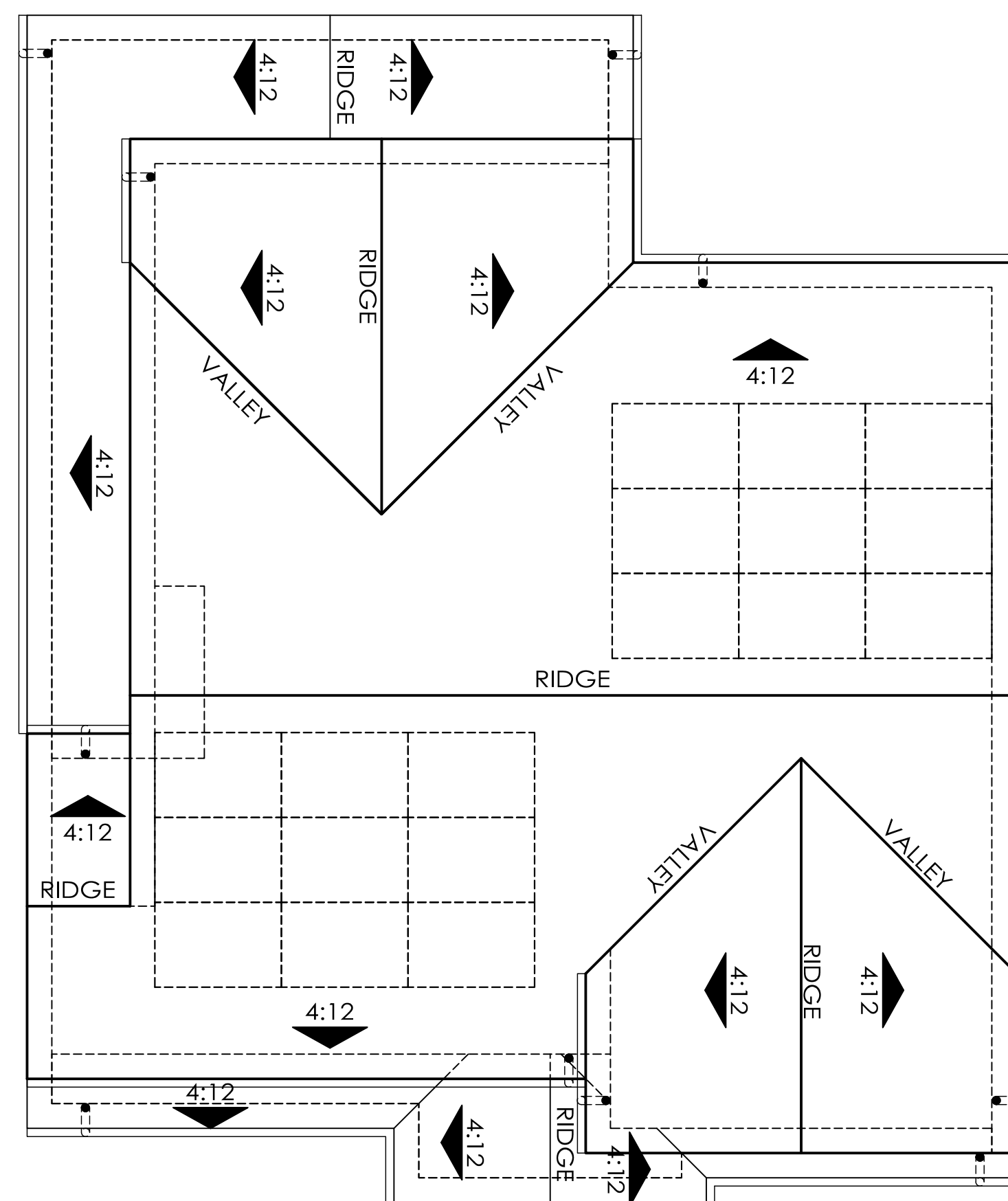
Rear Elevation



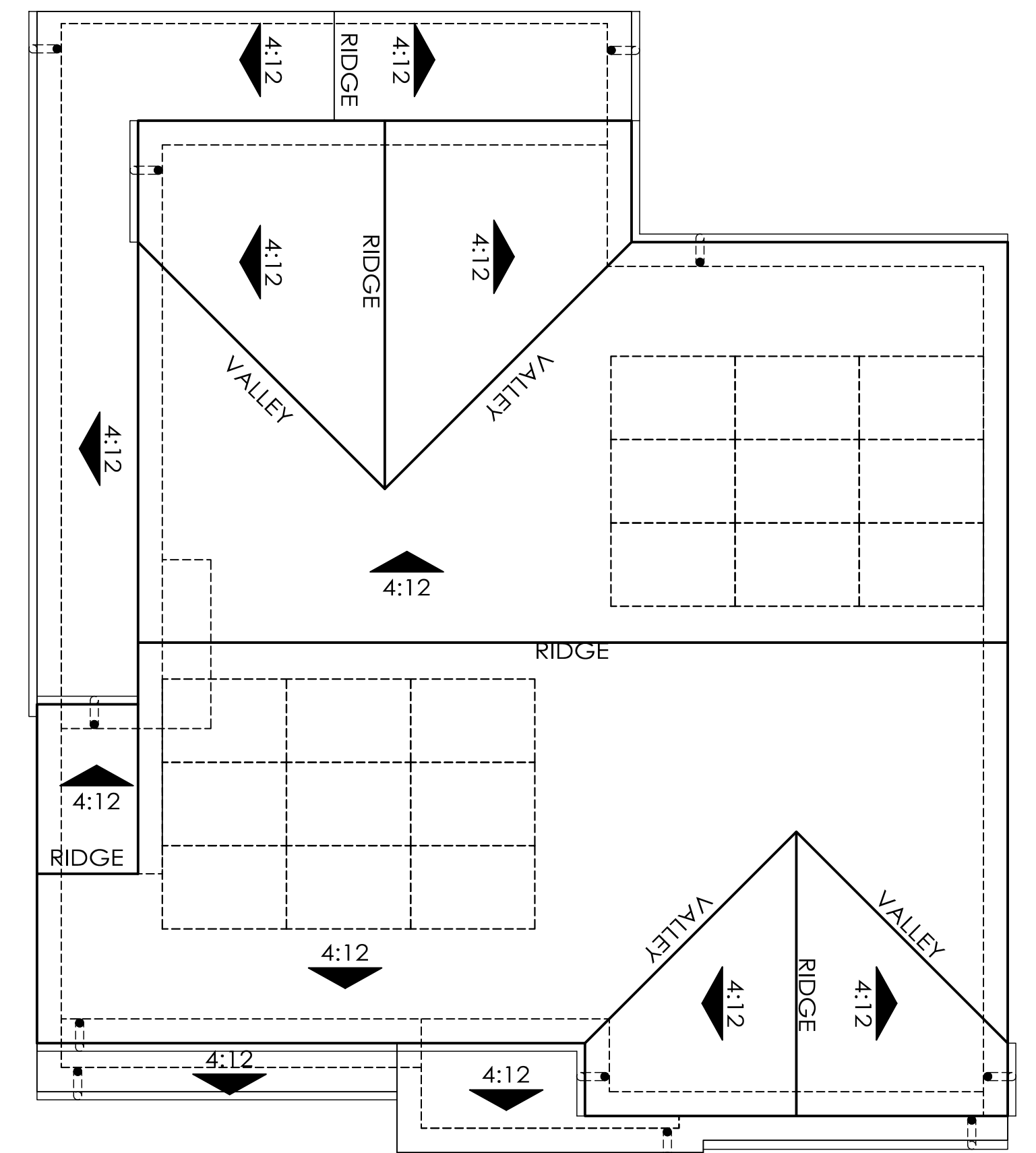
Right Elevation



ROOF PLAN 1A
OVERHANG : 12"
RAKE : 6"
ROOF PITCH : 6:12 U.N.O.



ROOF PLAN 1B
OVERHANG : 12"
RAKE : 12"
ROOF PITCH : 4:12 U.N.O.



ROOF PLAN 1C
OVERHANG : 12"
RAKE : 12"
ROOF PITCH : 4:12 U.N.O.

NOTE:

Solar panels shown are for illustrative purposes.
Solar will be confirmed with solar consultant during
building submittal process.
Location, quantity and orientation may change.

No roof mounted mechanical equipment.



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APRIL 1, 2024

Scale: 3/16" = 1'-0"
0 4 8 12

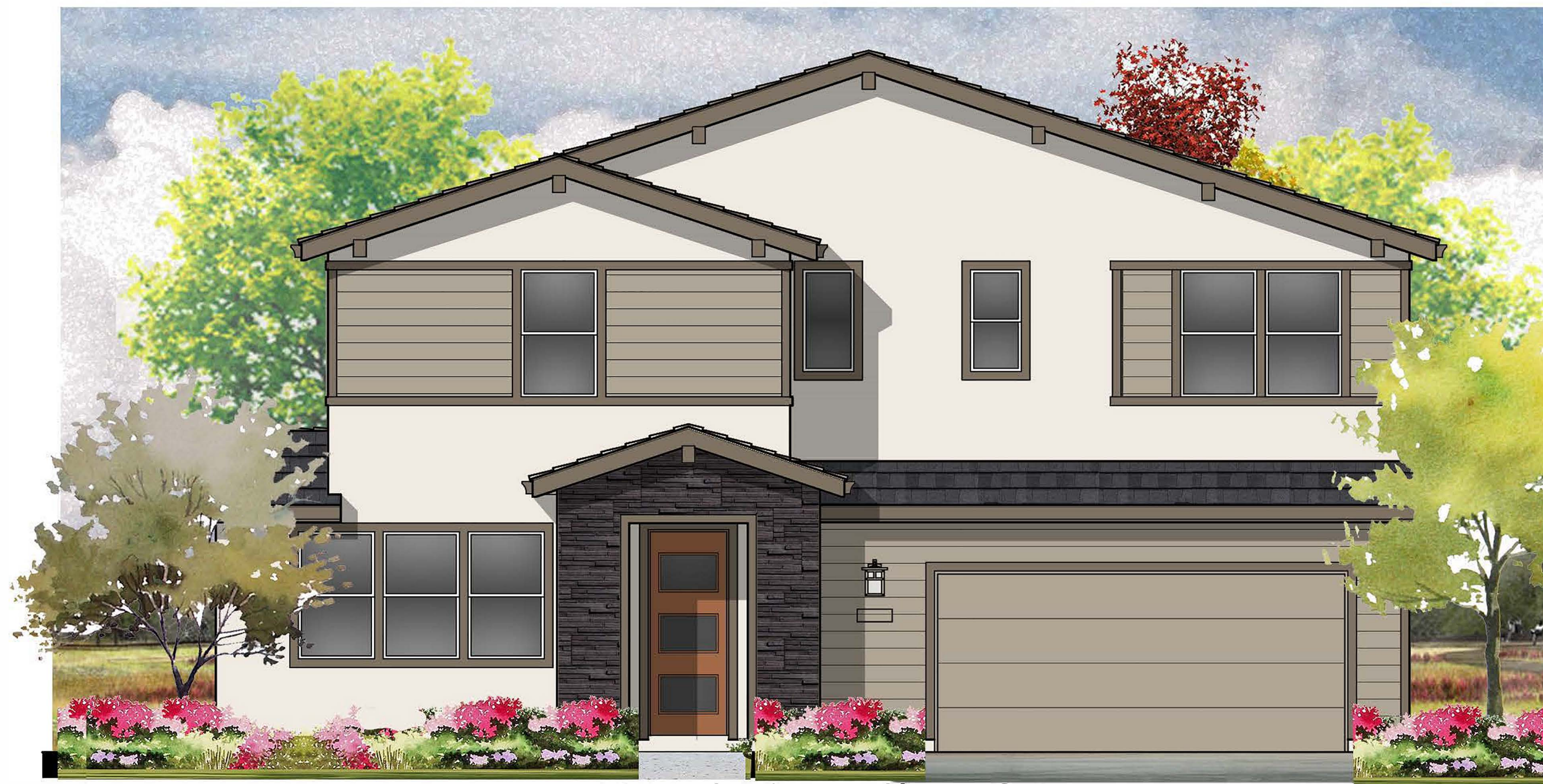
PLAN 1 ROOF PLANS

A2-1.5



Front Elevation 2A

Scheme 2



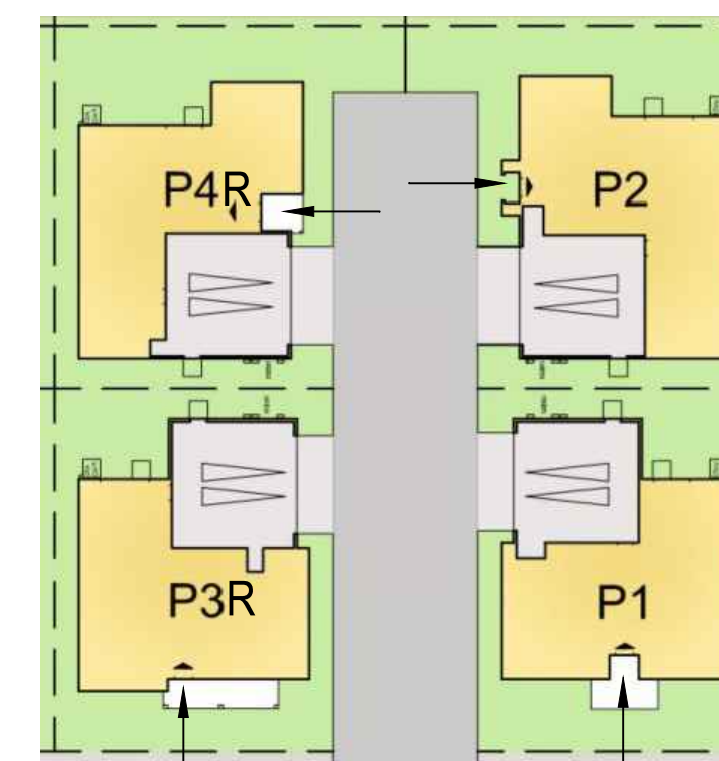
Front Elevation 2B

Scheme 5

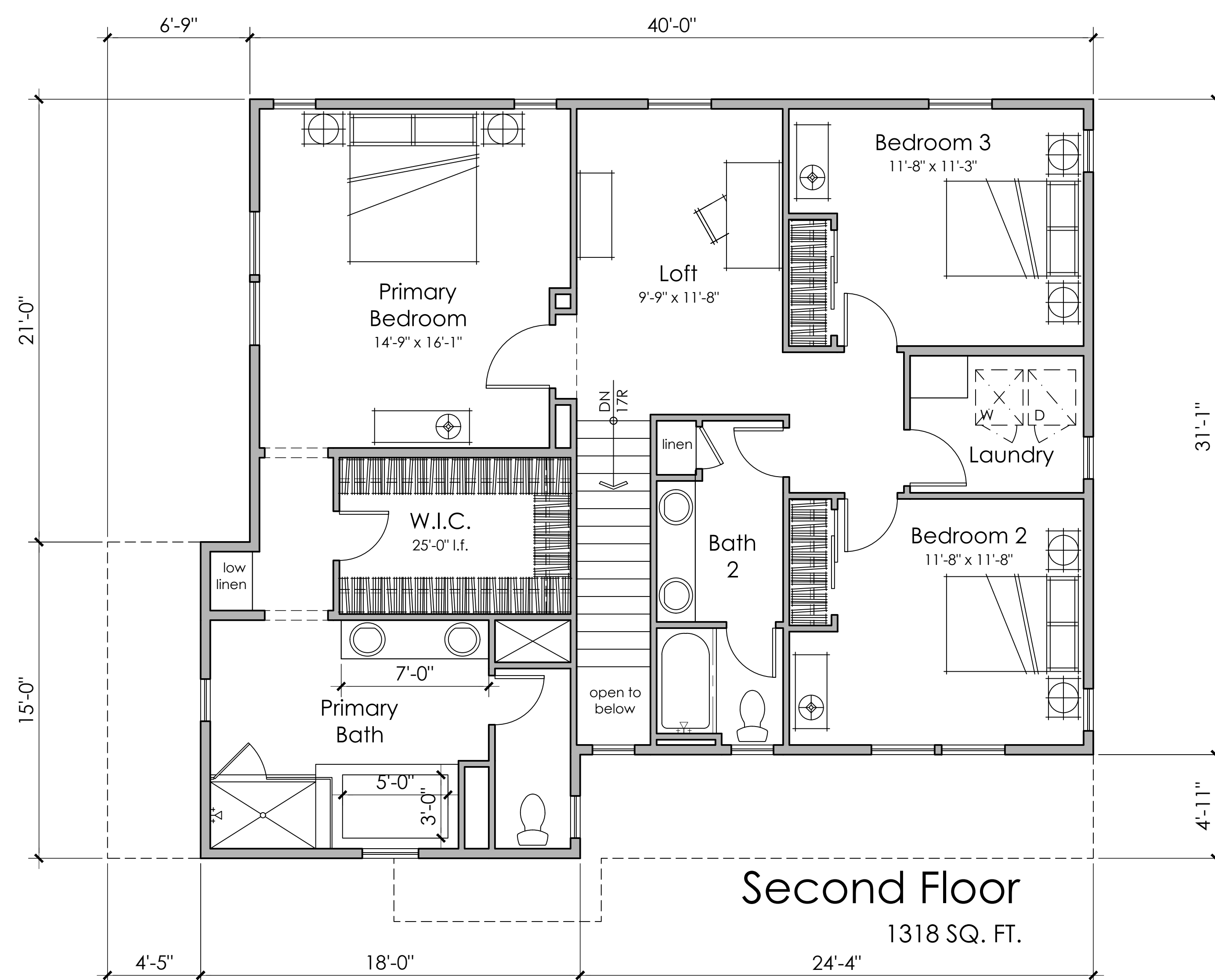


Front Elevation 2C

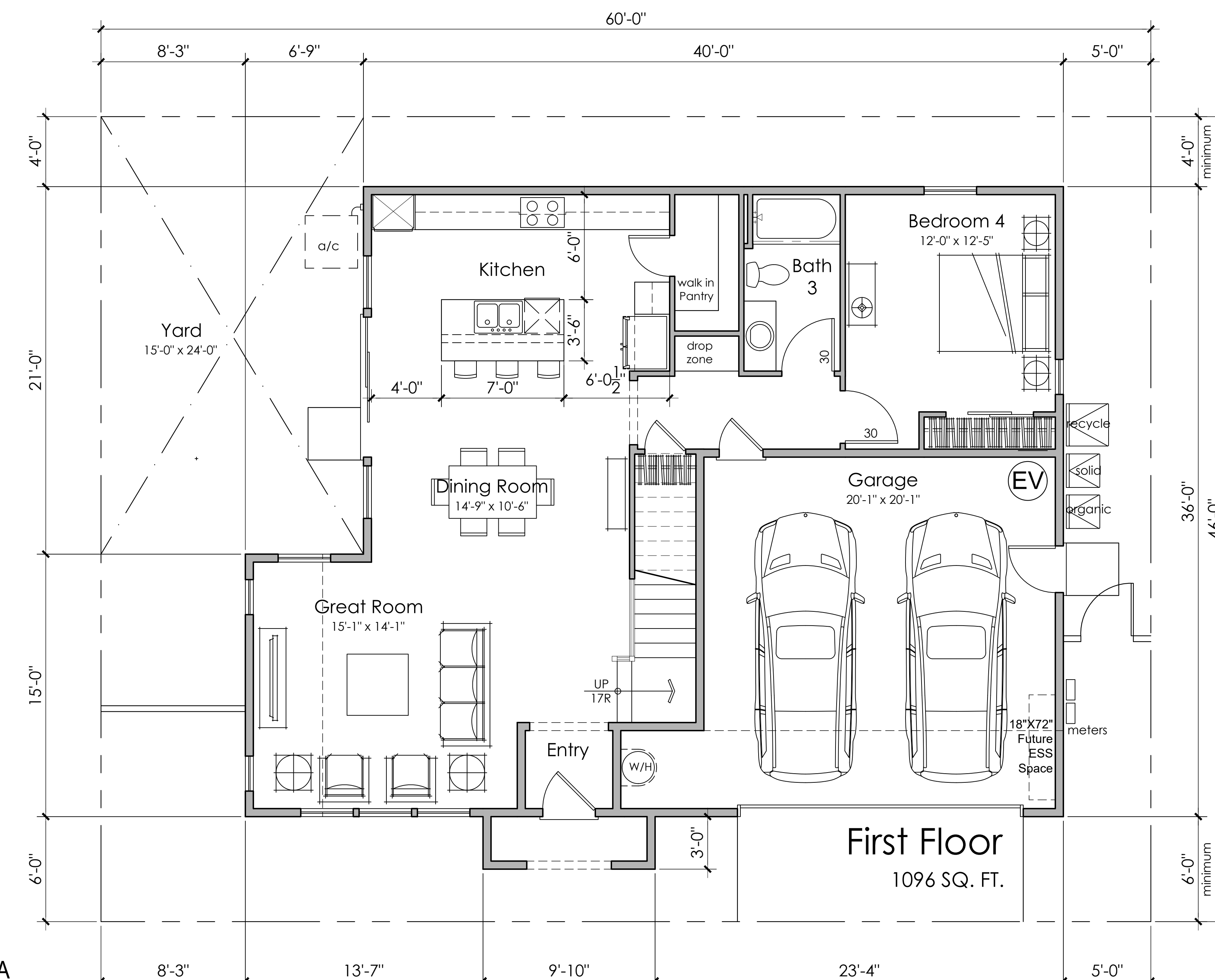
Scheme 8



Key Map



PLAN 2A



EV ONE LEVEL 2 EV READY SPACE & ONE LEVEL 1 EV READY SPACE @ EACH PRIVATE GARAGE



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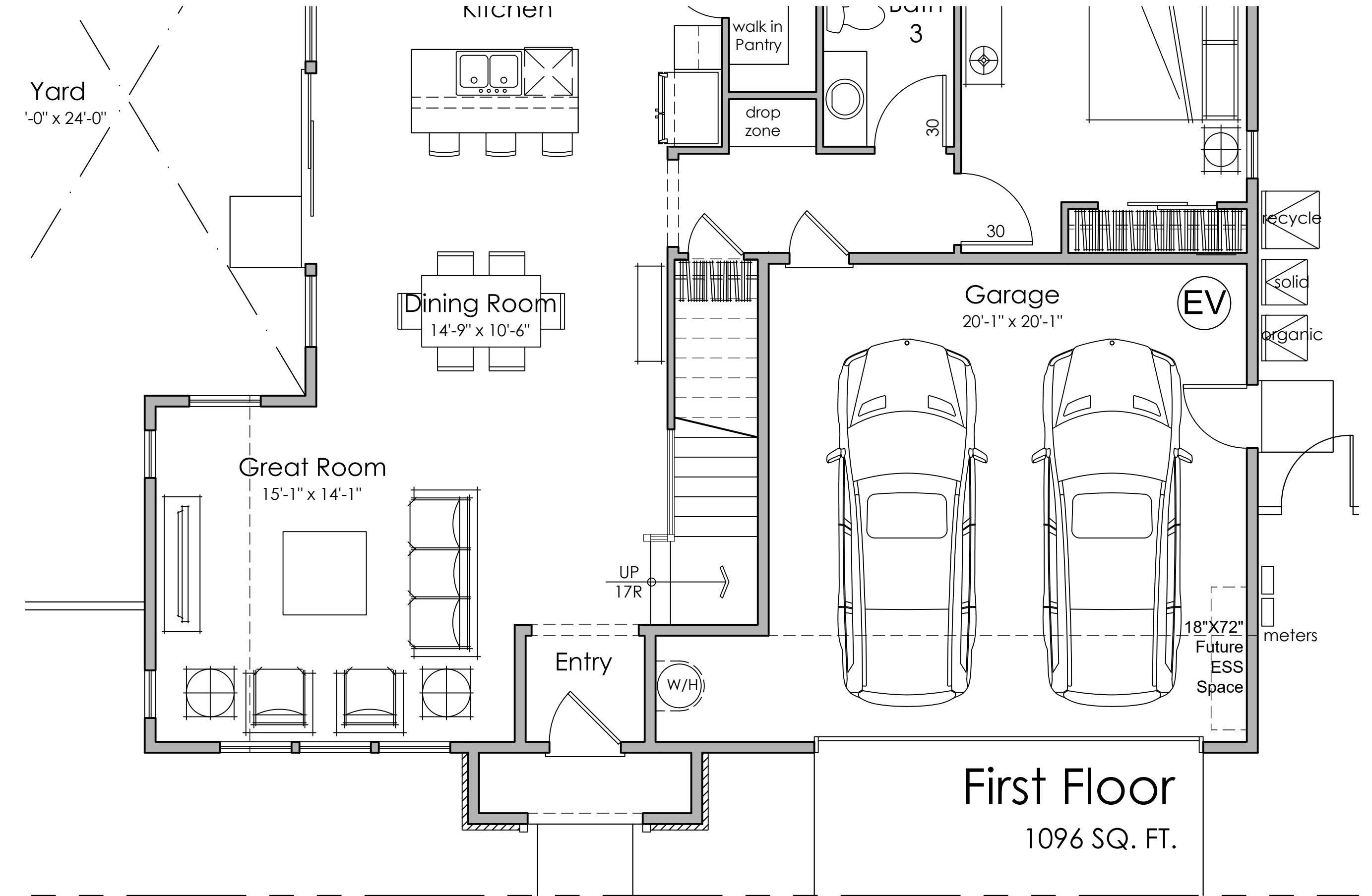
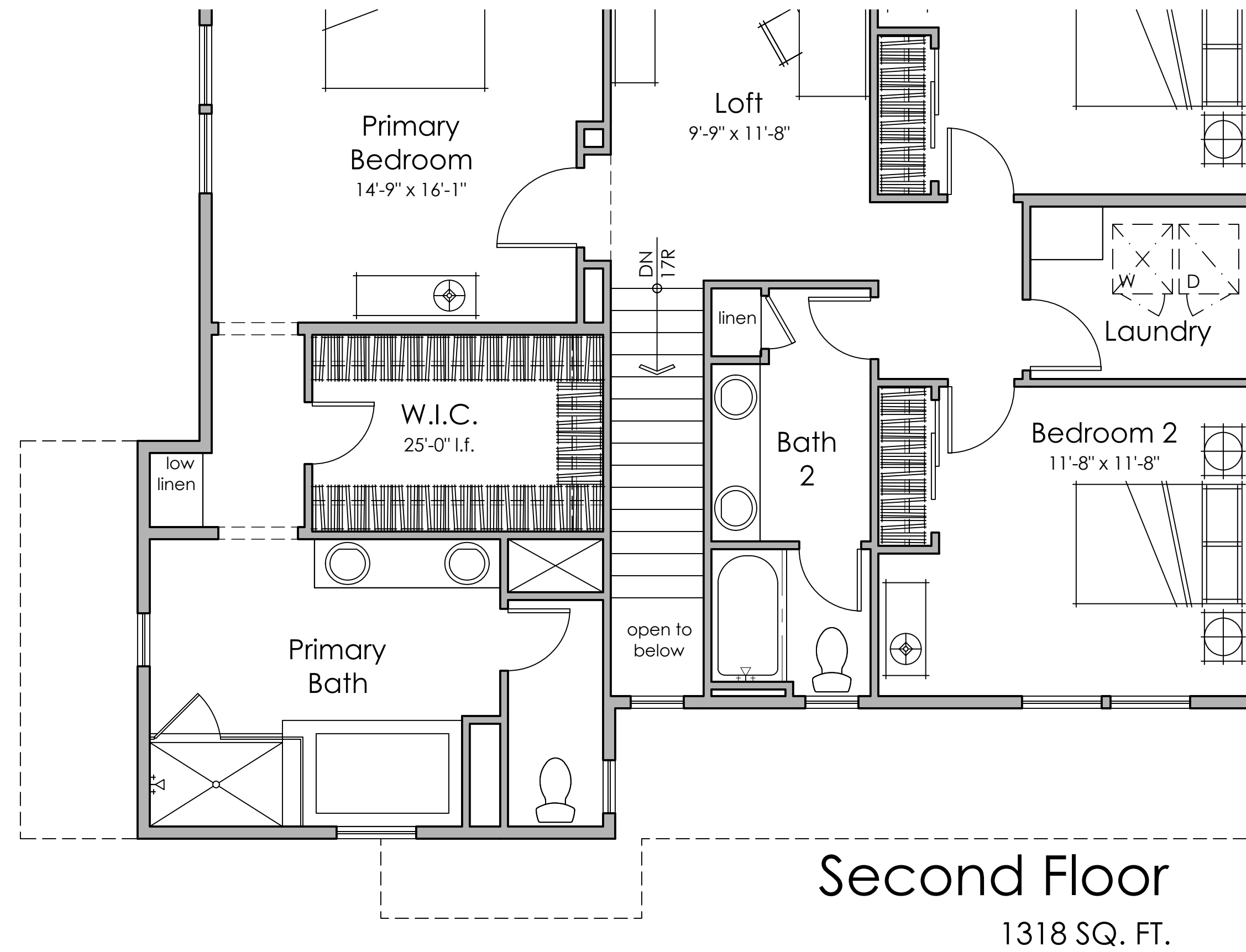
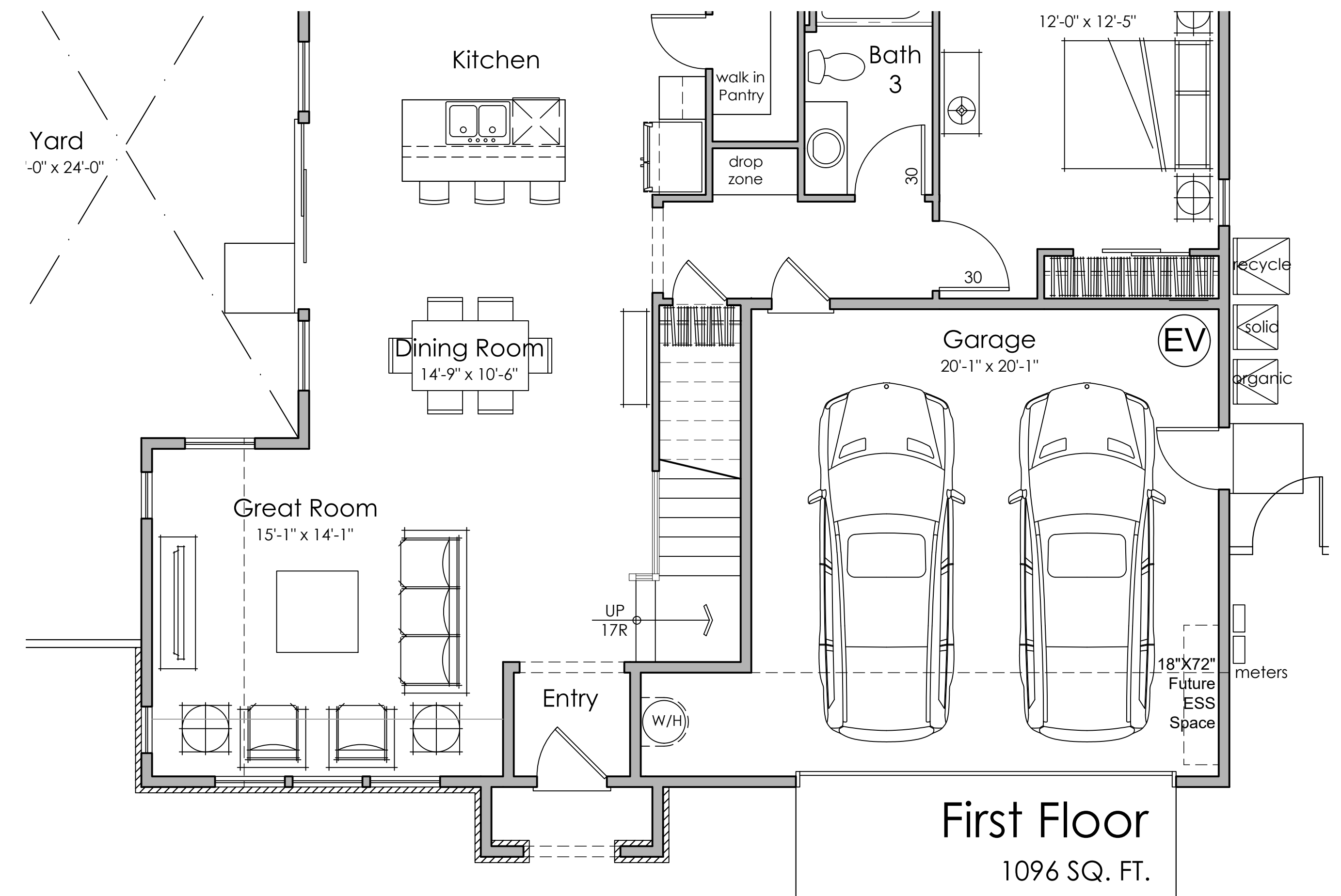
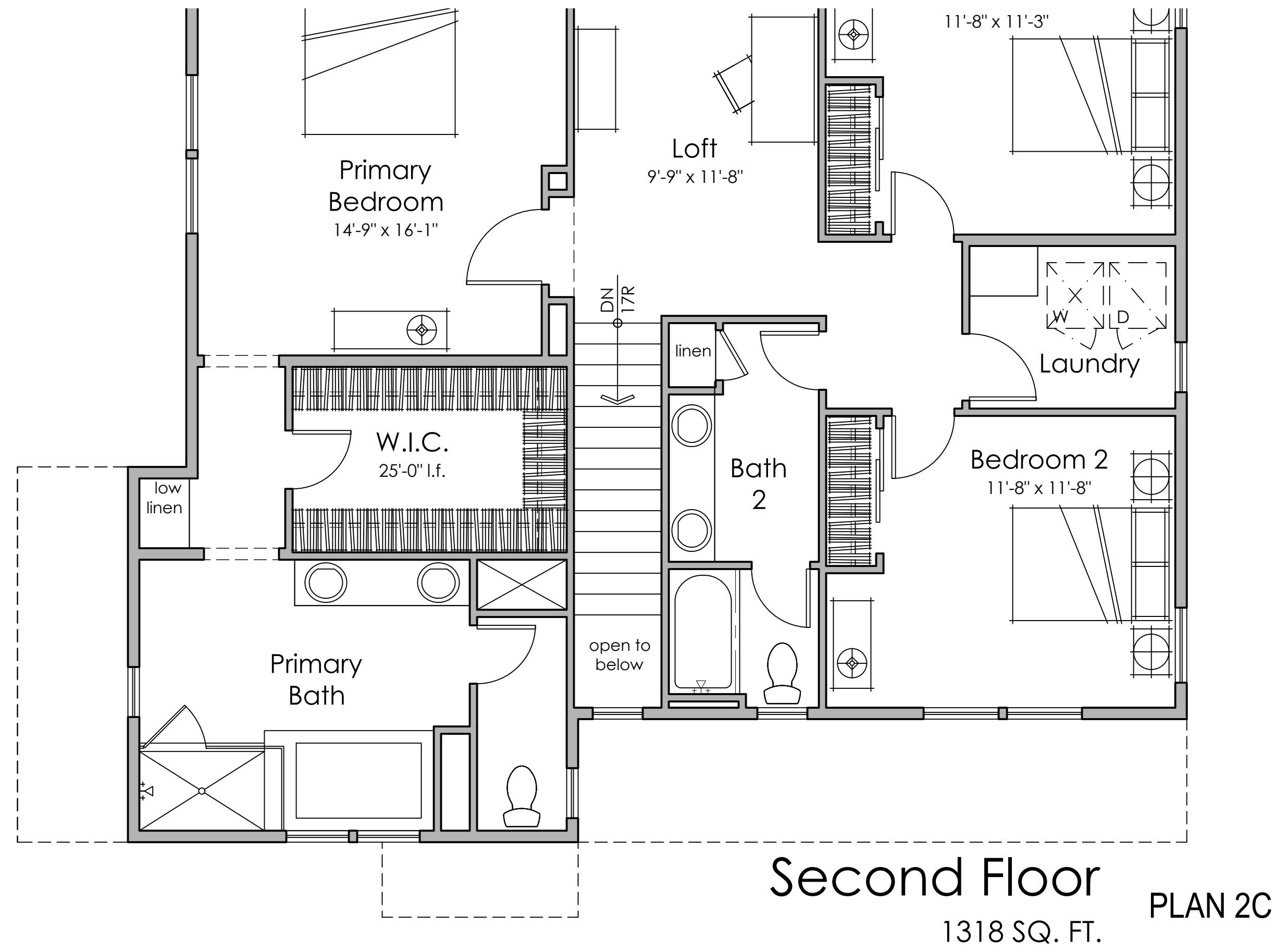
DESIGN PERMIT
APPLICATION - SB330
APRIL 1, 2024

Scale: 1/4" = 1'-0"
0 2 4 8

4 BEDROOMS
LOFT
3 BATHS
2,414 S.F.
GARAGE 445 S.F.

SINGLE FAMILY -
PLAN 2 FLOOR PLAN

A2-2.1



PLAN 2B
 (EV) ONE LEVEL 2 EV READY SPACE & ONE LEVEL 1 EV READY SPACE @ EACH PRIVATE GARAGE

2

ROOF MATERIAL:
COMPOSITION ASPHALT

WEATHER WOOD

METAL ROOF

MEDIUM BRONZE

BATTEN BOARD SIDING

SW 9164
ILLUSIVE GREEN

FASCIA / EAVES

SW 6252
ICE CUBE

TRIM

SW 6252
ICE CUBE

GARAGE DOORS

SW 6252
ICE CUBE

ENTRY DOORS

SW 0033
REMBRANDT RUBY



- MATERIAL LEGEND
1.

STUCCO
2.

FIBER CEMENT LAP SIDING
3.

FIBER CEMENT BOARD AND BATTEN SIDING
4.

STONE VENEER
5.

METAL GARAGE DOOR
6.

CONCRETE S PROFILE ROOF TILE
7.

COMPOSITION SHINGLE ROOF
8.

LIGHT FIXTURE
9.

UNIT ADDRESS
10.

ENTRY DOOR
11.

FIBER CEMENT TRIM
12.

HIGH DENSITY FOAM TRIM
13.

VINYL WINDOW
14.

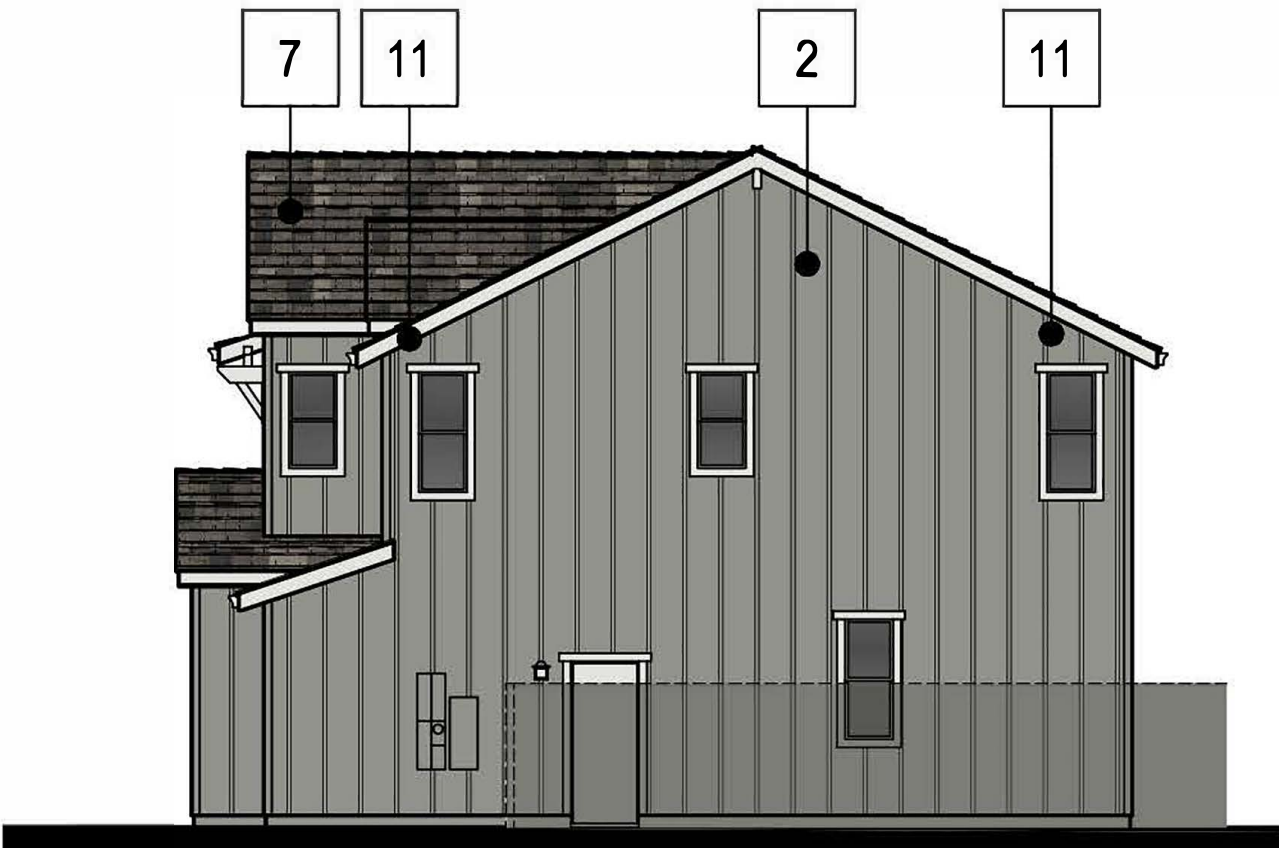
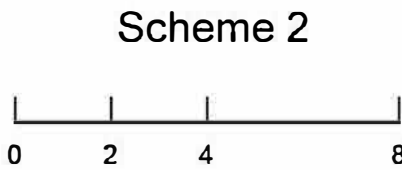
WOOD POST
15.

FIBER CEMENT PANEL
16.

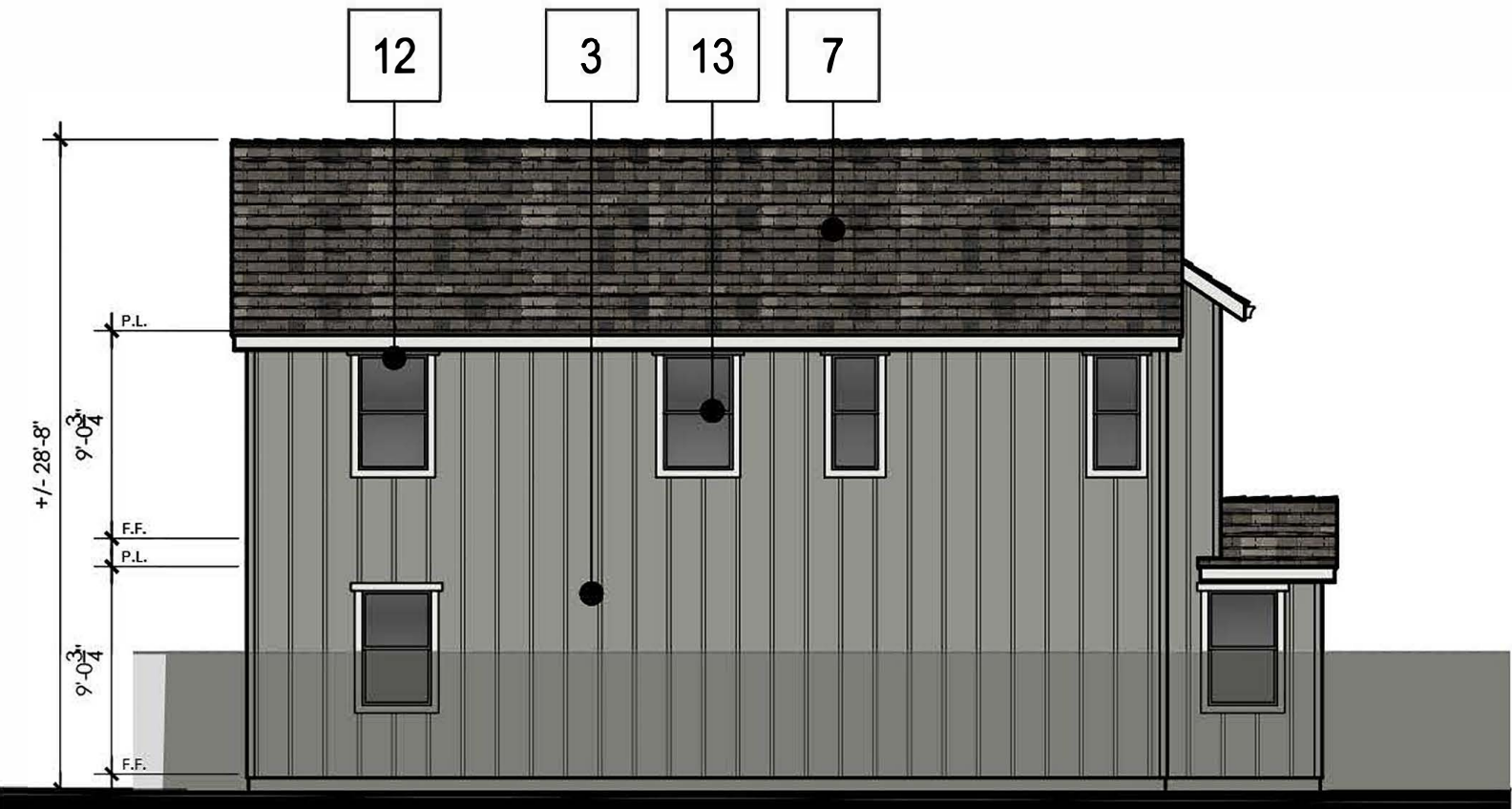
METAL ROOFING
17.

METAL AWNING

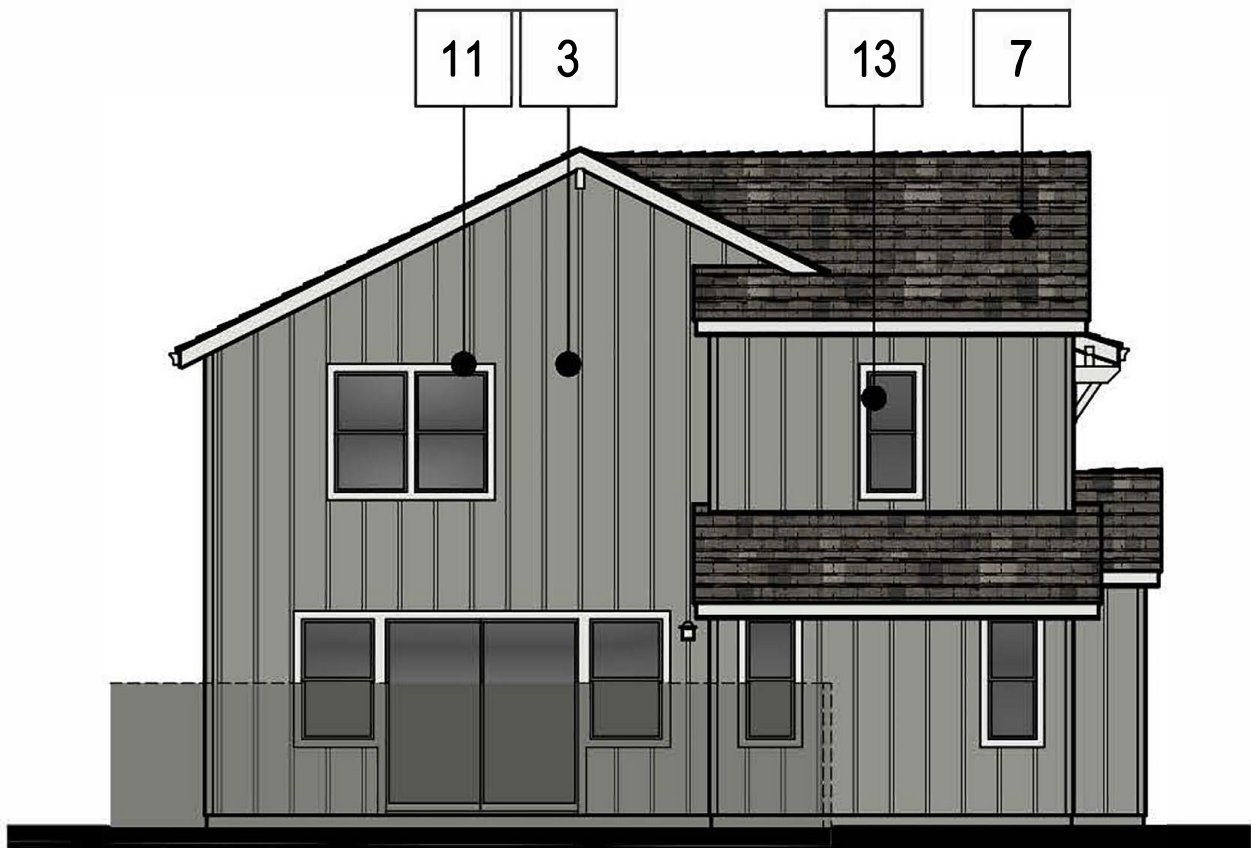
Front Elevation 2A



Right Elevation



Rear Elevation



Left Elevation

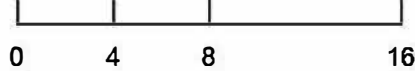


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PLAN 2A - EXTERIOR ELEVATIONS

5

ROOF MATERIAL:
COMPOSITION ASPHALT

MOORE BLACK

STUCCO BODY

SW 7010
WHITE DUCK

FASCIA / EAVES /
TRIM /
INSET SIDING AT 3B & 4B ONLY

SW 003B
LIBRARY PEWTER

INSET SIDING AT 1B & 2B /
LAP SIDING
INCLUDING CORNER BOARDS

SW 7052
GRAY AREA

GARAGE DOORS

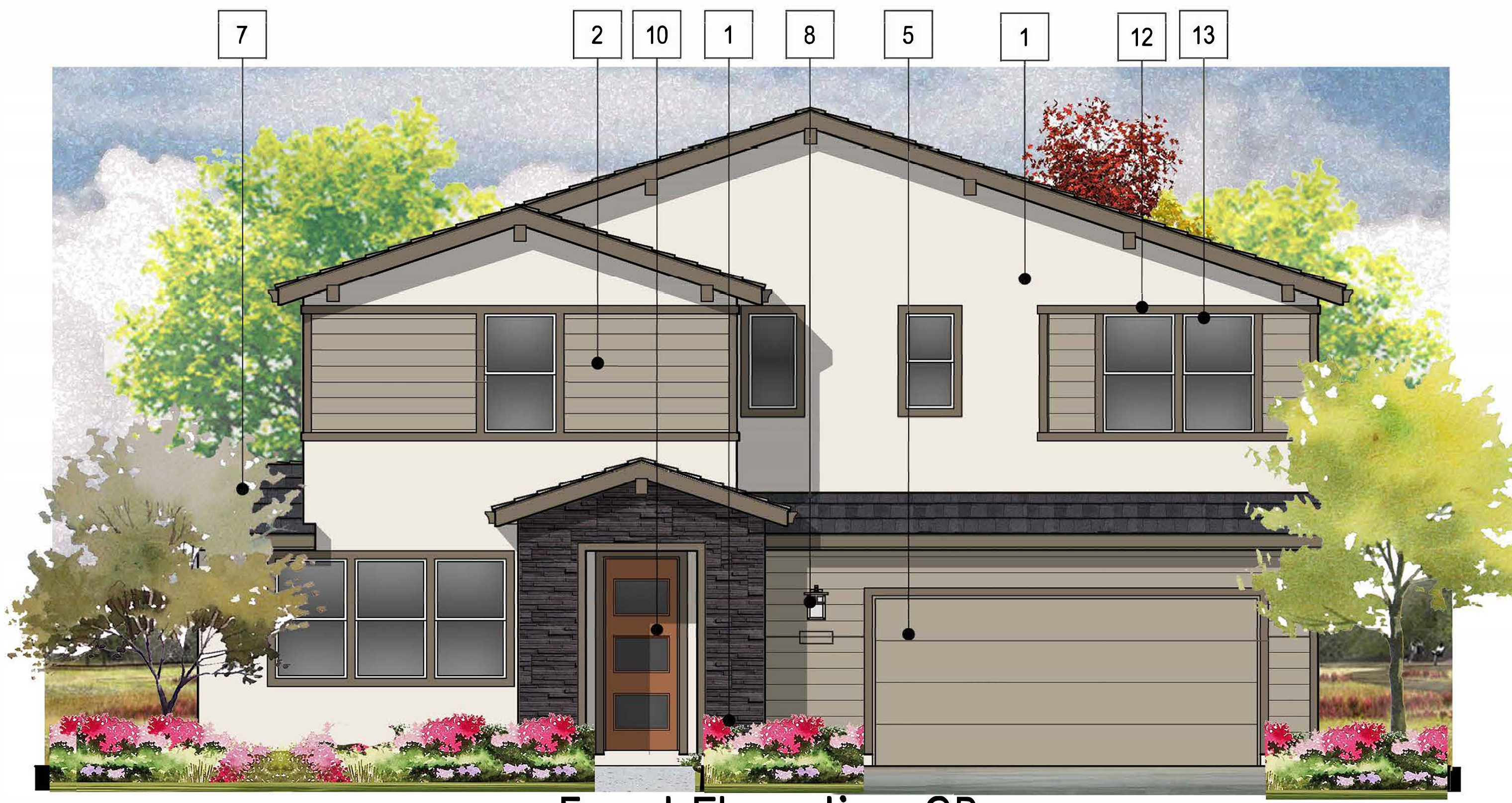
SW 0024
CURIO GRAY

ENTRY DOORS

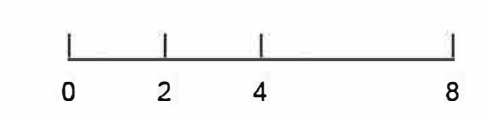
SW 7710
BRANDYWINE

BRICK VENEER

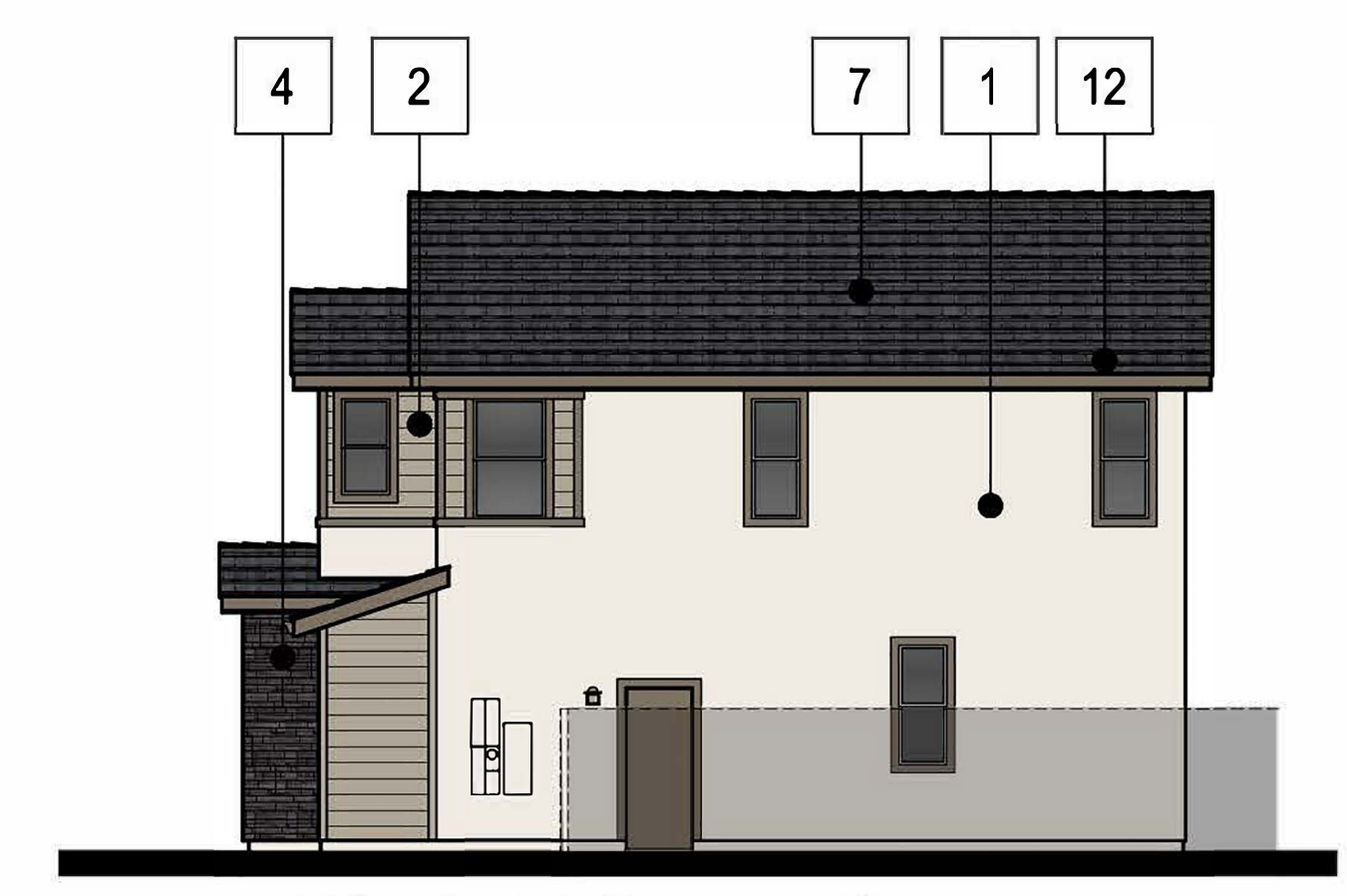
LOREI BRICK
HOLLIN



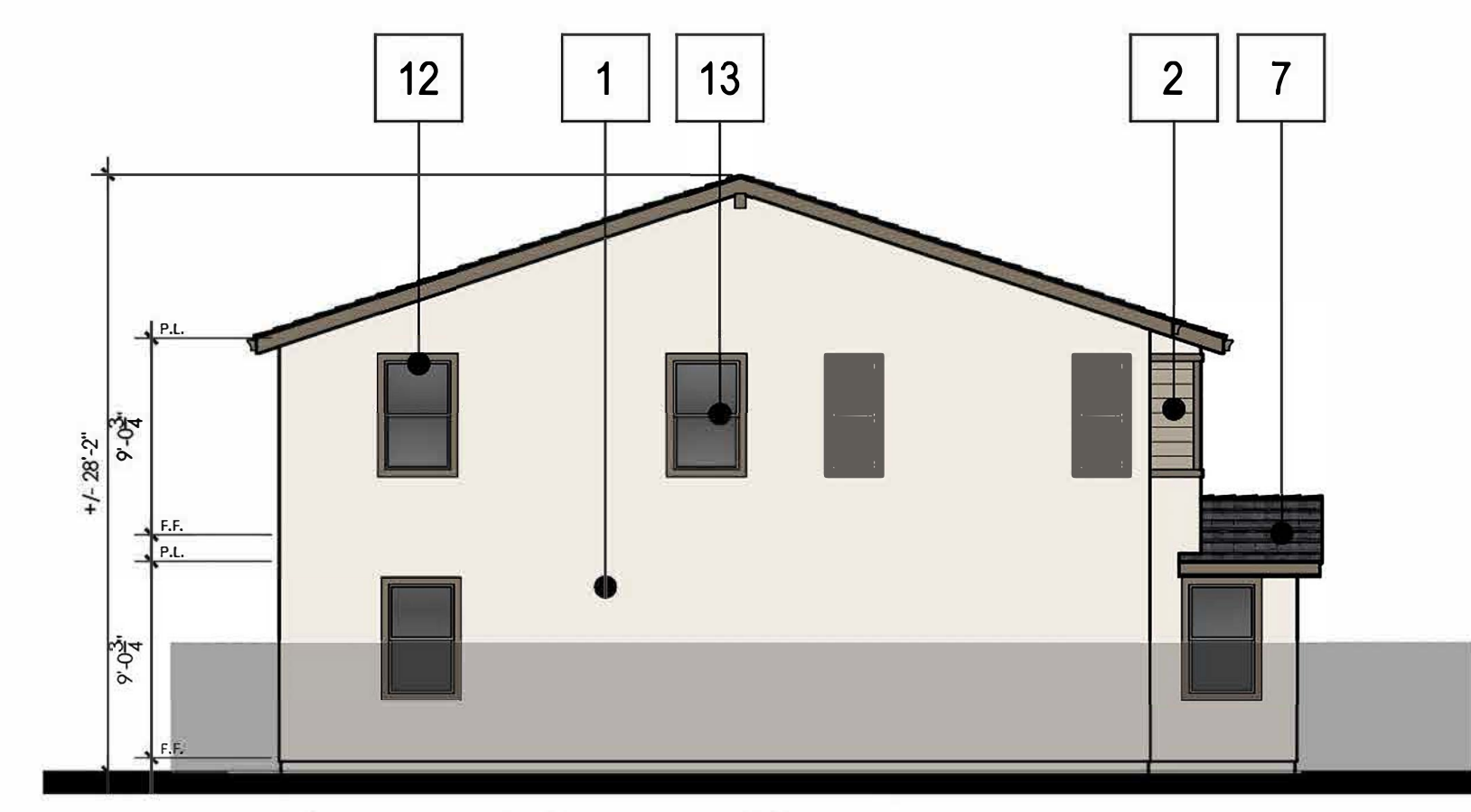
Front Elevation 2B
Scheme 5



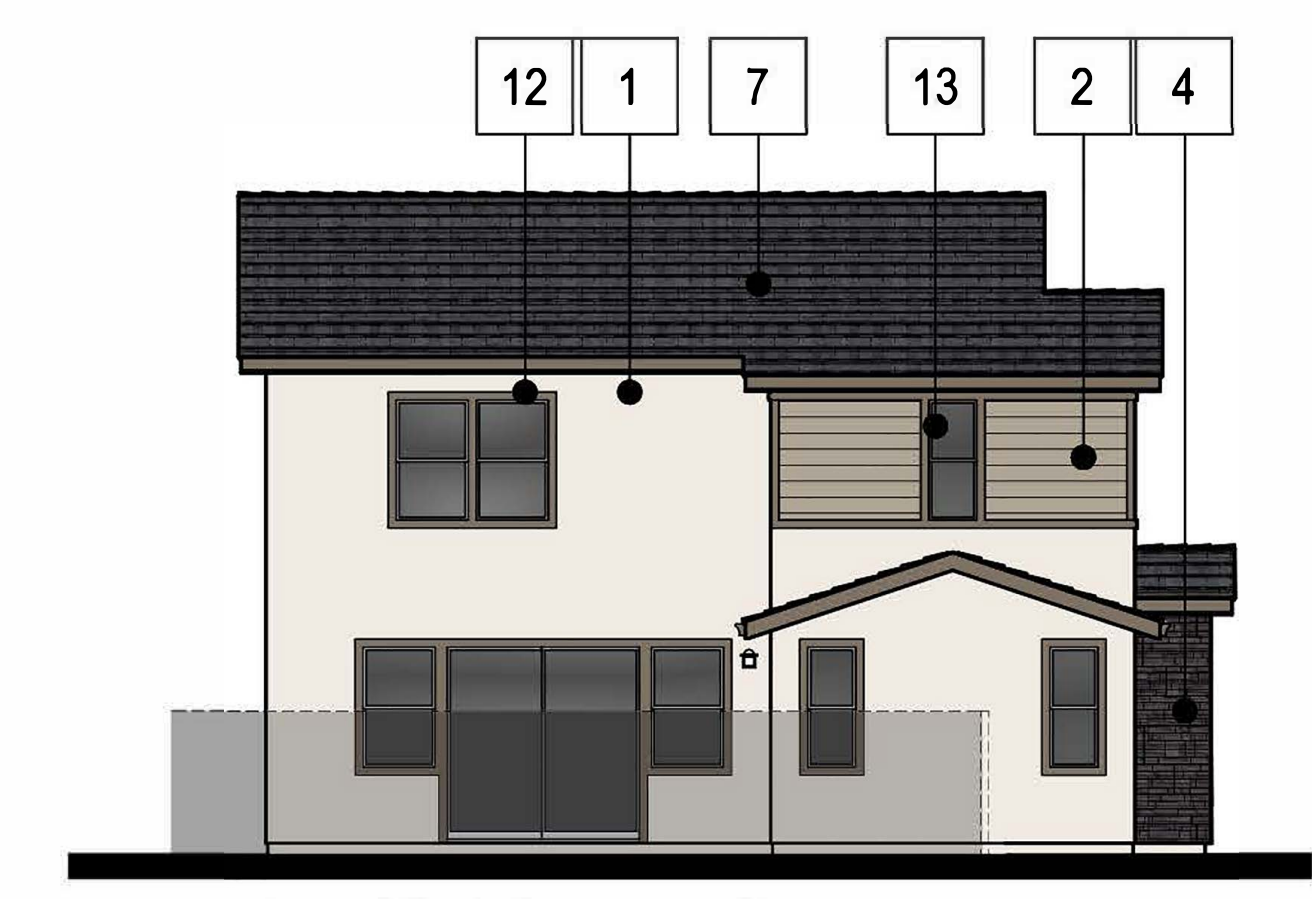
- MATERIAL LEGEND
1. STUCCO
 2. FIBER CEMENT LAP SIDING
 3. FIBER CEMENT BOARD AND BATTEN SIDING
 4. STONE VENEER
 5. METAL GARAGE DOOR
 6. CONCRETE S PROFILE ROOF TILE
 7. COMPOSITION SHINGLE ROOF
 8. LIGHT FIXTURE
 9. UNIT ADDRESS
 10. ENTRY DOOR
 11. FIBER CEMENT TRIM
 12. HIGH DENSITY FOAM TRIM
 13. VINYL WINDOW
 14. WOOD POST
 15. FIBER CEMENT PANEL
 16. METAL ROOFING
 17. METAL AWNING



Right Elevation



Rear Elevation



Left Elevation



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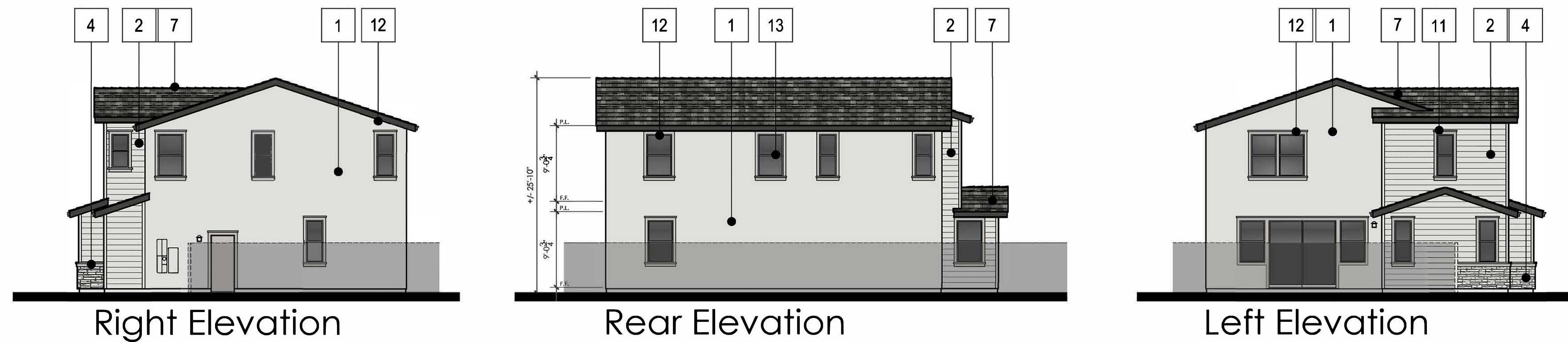
DePaul Residences
MORGAN HILL # 2023-0661

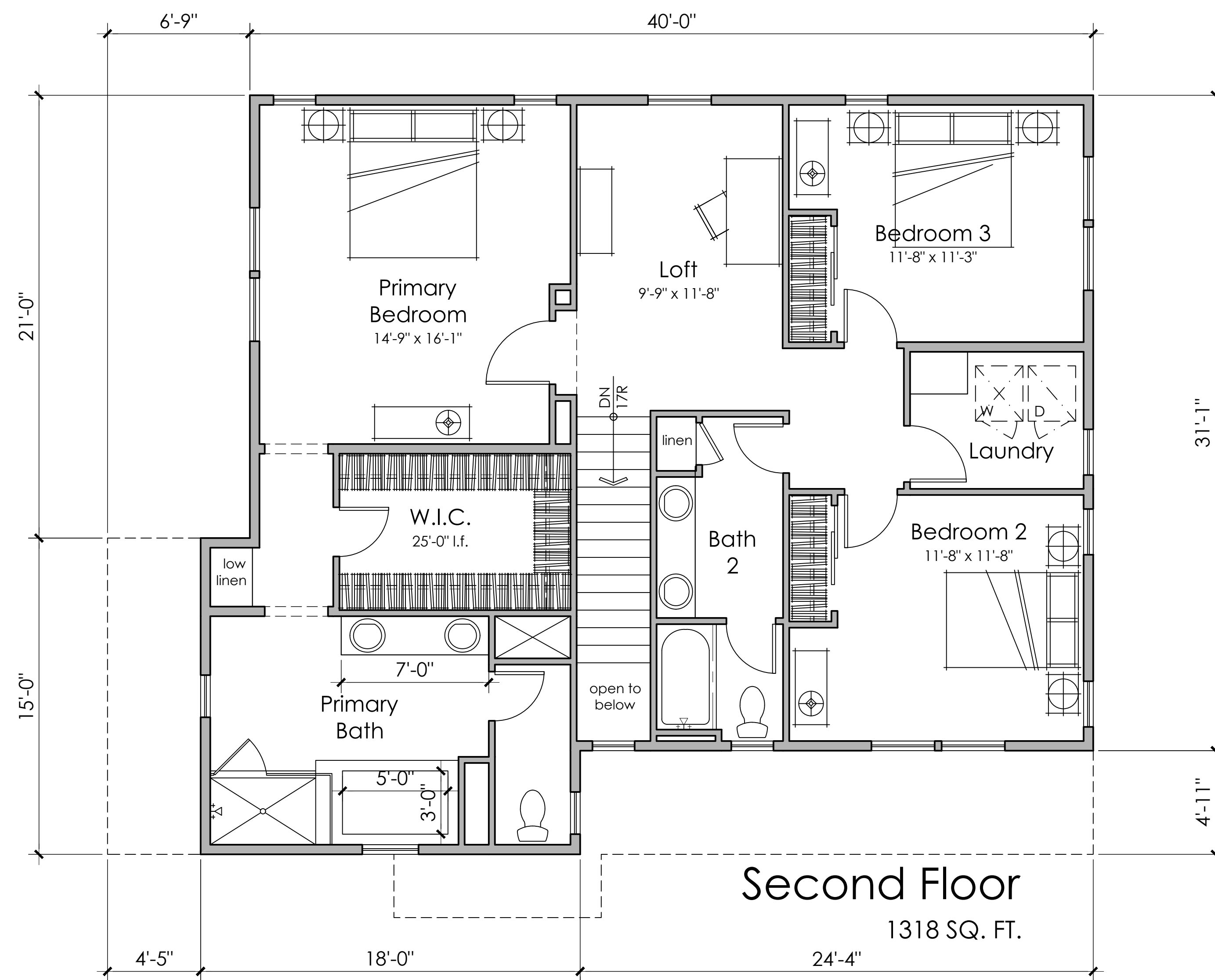
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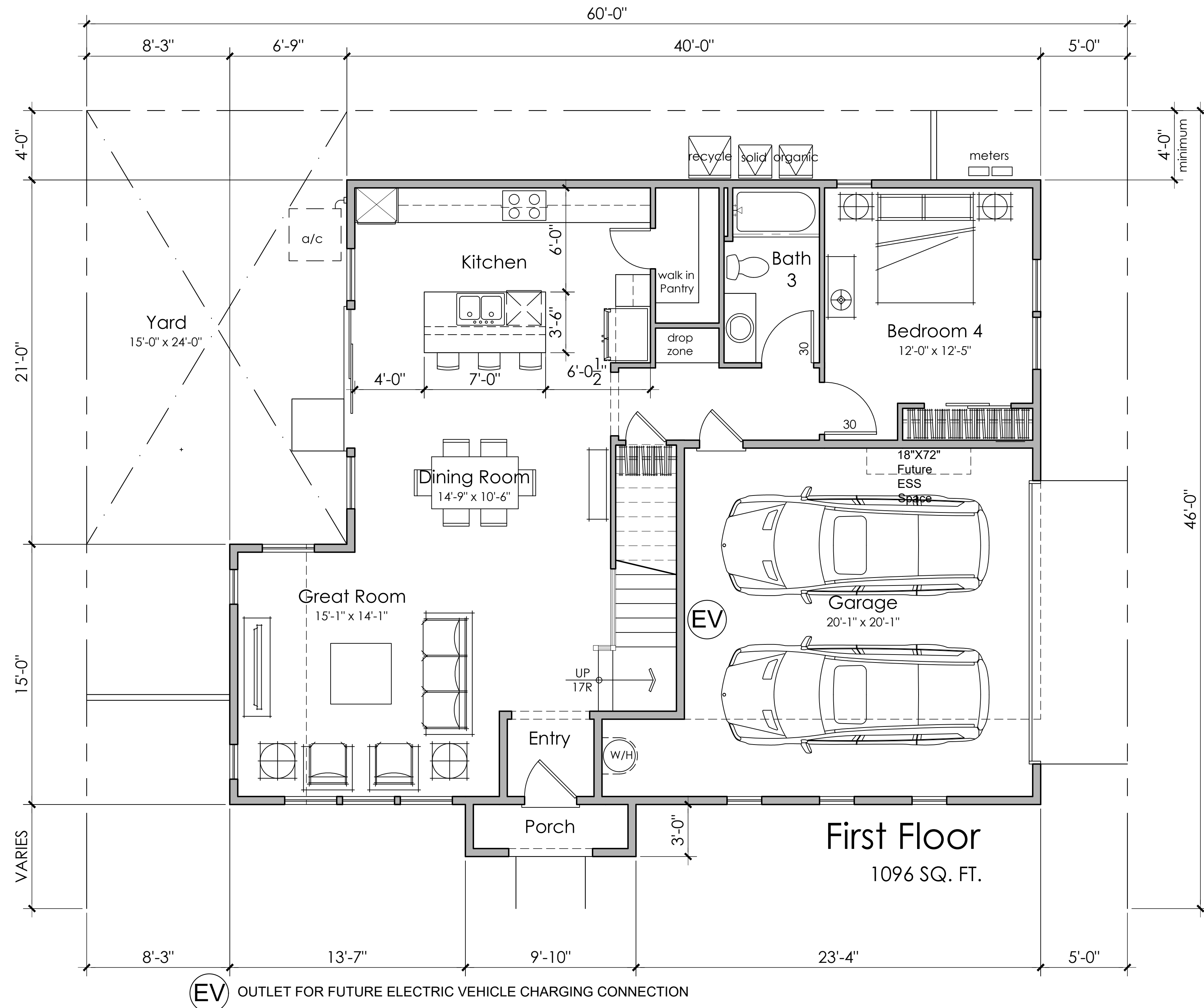
PLAN 2B - EXTERIOR ELEVATIONS

A2-2.3





PLAN 2A



- 2
- ROOF MATERIAL:
COMPOSITION ASPHALT

WEATHER WOOD
- METAL ROOF

MEDIUM BRONZE
- BATTEN BOARD SIDING

SW 9164
ILLUSIVE GREEN
- FASCIA / EAVES

SW 6252
ICE CUBE
- TRIM

SW 6252
ICE CUBE
- GARAGE DOORS

SW 6252
ICE CUBE
- ENTRY DOORS

SW 0033
REMBRANDT RUBY



- MATERIAL LEGEND
1. STUCCO

2. FIBER CEMENT LAP SIDING

3. FIBER CEMENT BOARD AND BATTEN SIDING

4. STONE VENEER

5. METAL GARAGE DOOR

6. CONCRETE S PROFILE ROOF TILE

7. COMPOSITION SHINGLE ROOF

8. LIGHT FIXTURE

9. UNIT ADDRESS

10. ENTRY DOOR

11. FIBER CEMENT TRIM

12. HIGH DENSITY FOAM TRIM

13. VINYL WINDOW

14. WOOD POST

15. FIBER CEMENT PANEL

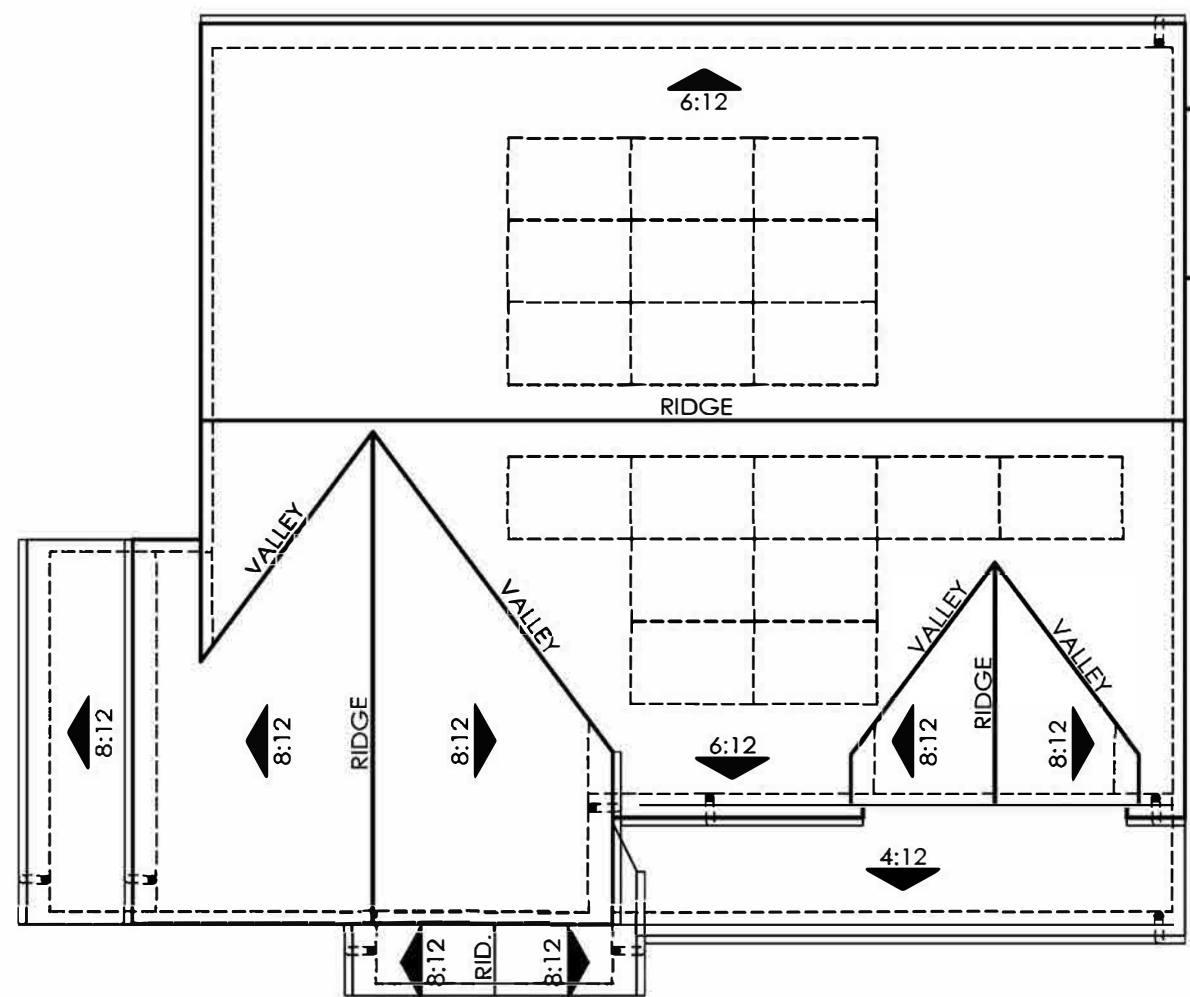
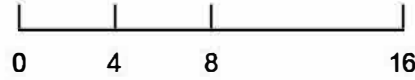
16. METAL ROOFING

17. METAL AWNING

Front Elevation 2A Alt

Scheme 2

(Right Side)

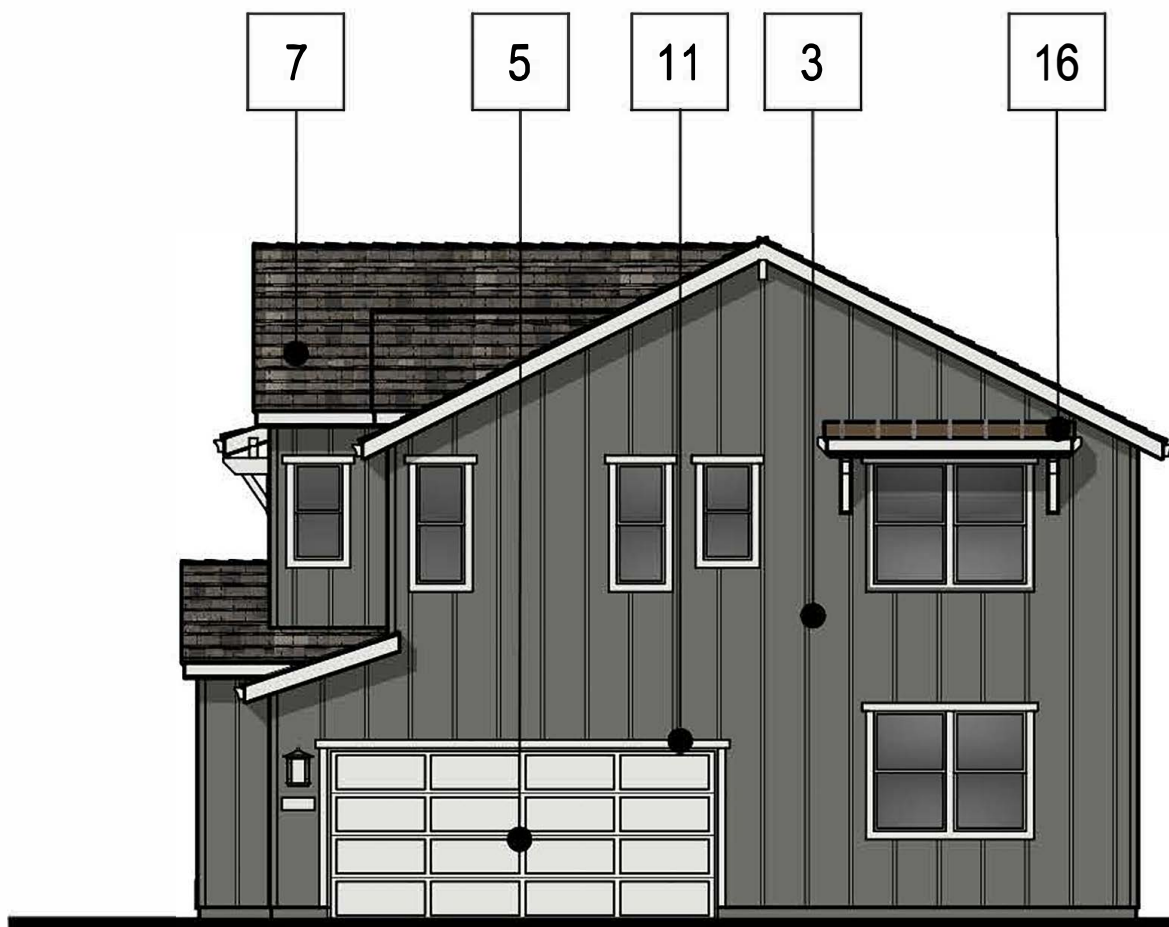


ROOF PLAN 2A

OVERHANG : 12"

RAKE : 6"

ROOF PITCH : 6:12 U.N.O



Right Elevation - Street Facing



Rear Elevation



Left Elevation

NOTE:

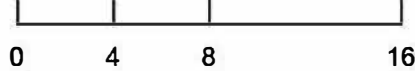
Solar panels shown are for illustrative purposes.

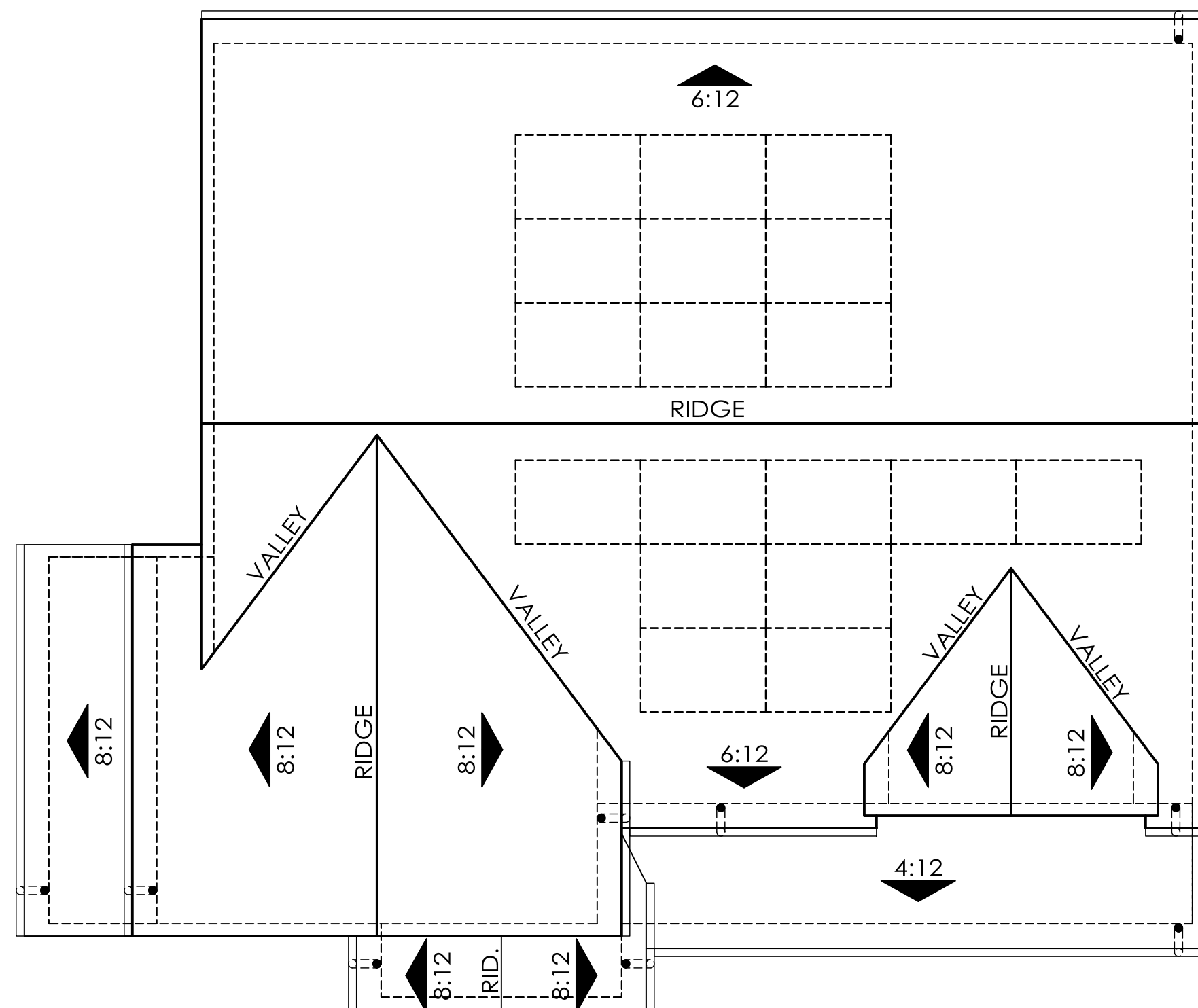
Solar will be confirmed with solar consultant during

building submittal process.

Location, quantity and orientation may change.

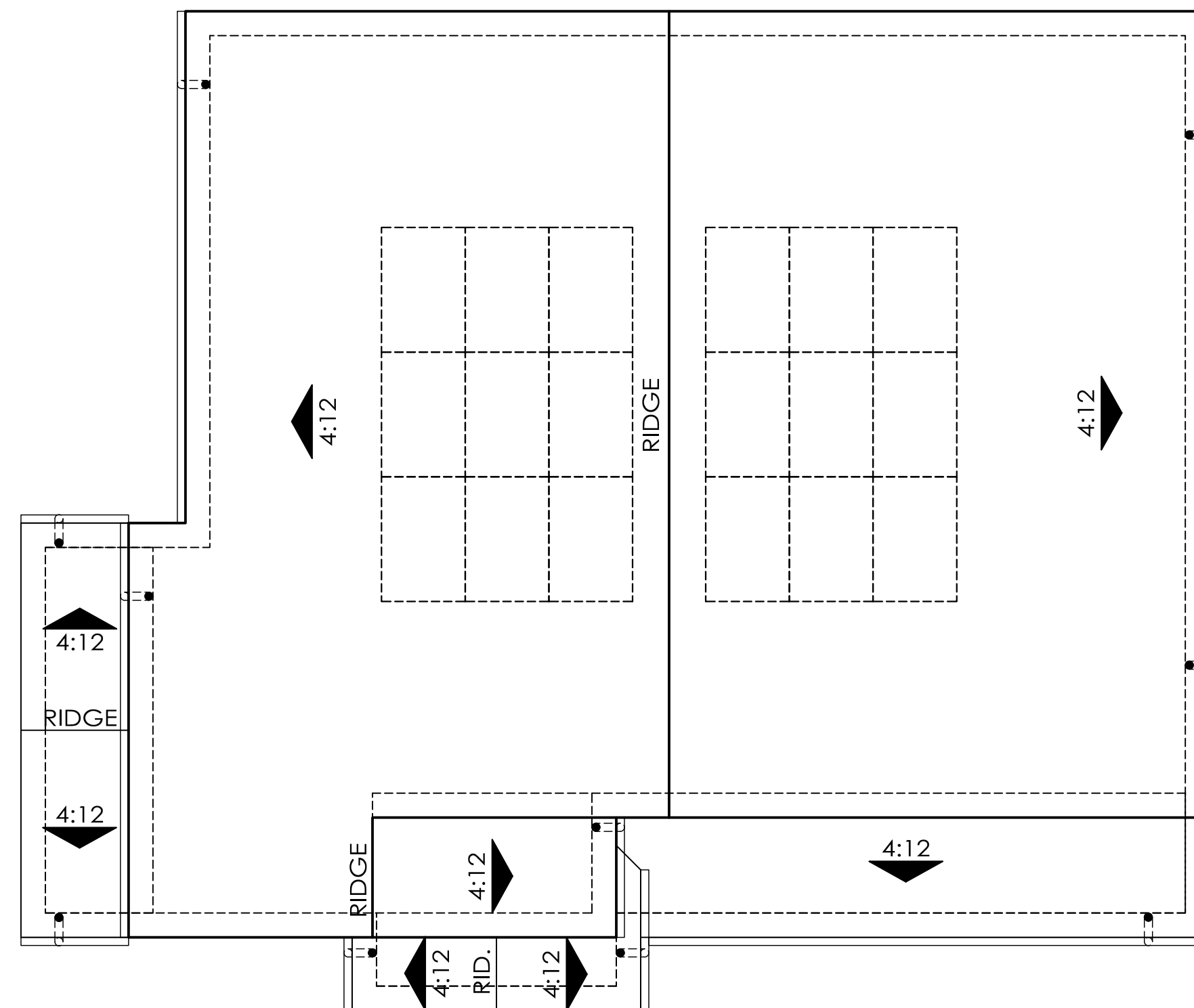
No roof mounted mechanical equipment.





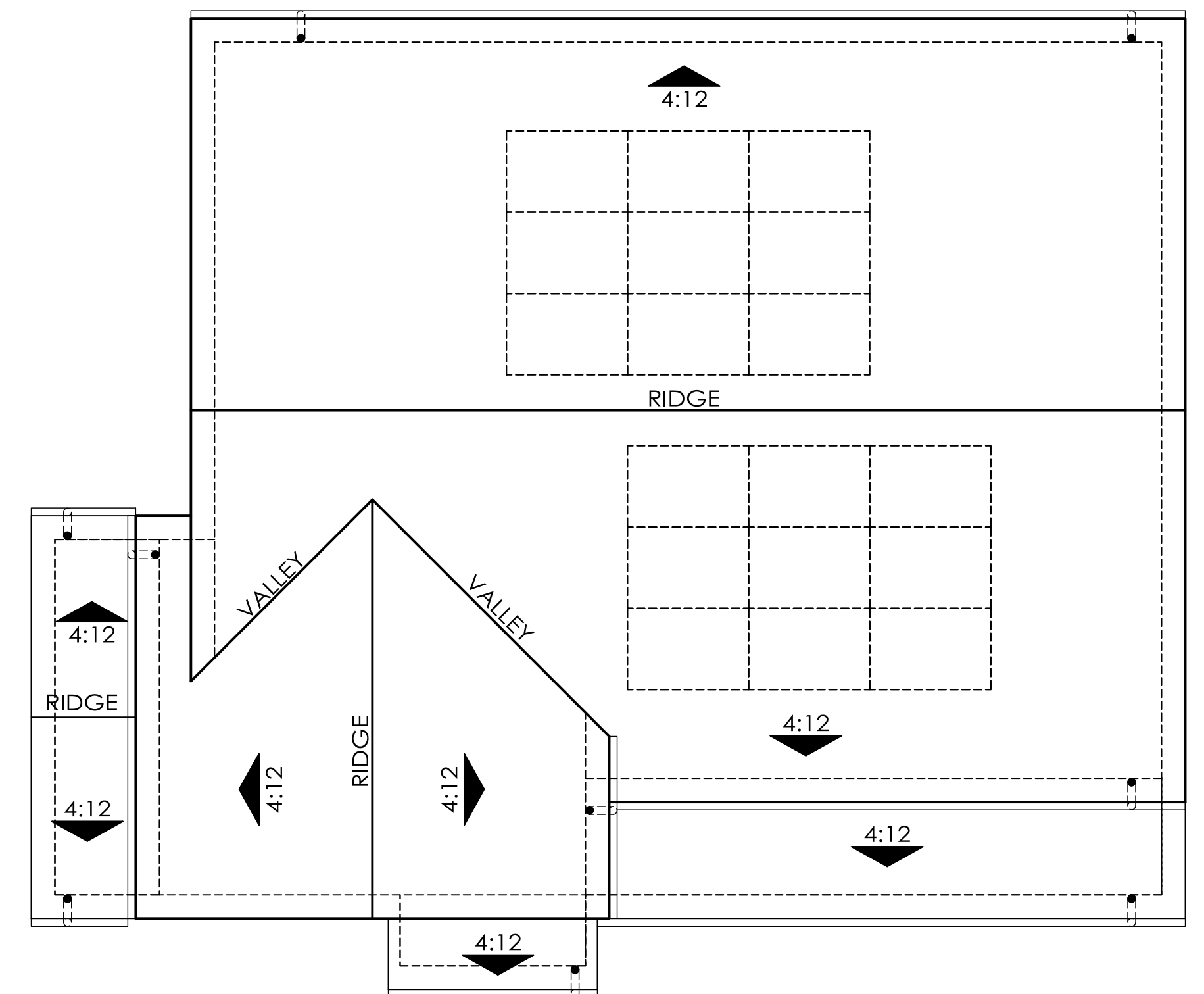
ROOF PLAN 2A

OVERHANG : 12"
RAKE : 6"
ROOF PITCH : 6:12 U.N.O



ROOF PLAN 2B

OVERHANG : 12"
RAKE : 12"
ROOF PITCH : 4:12 U.N.O



ROOF PLAN 2C

OVERHANG : 12"
RAKE : 12"
ROOF PITCH : 4:12 U.N.O

NOTE:

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Location, quantity and orientation may change.

No roof mounted mechanical equipment.



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Scale: 3/16" = 1'-0"

PLAN 2 ROOF PLANS

A2-2.7



Front Elevation 3A

Scheme 3



Front Elevation 3B

Scheme 6



Front Elevation 3C

Scheme 9

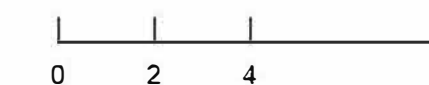


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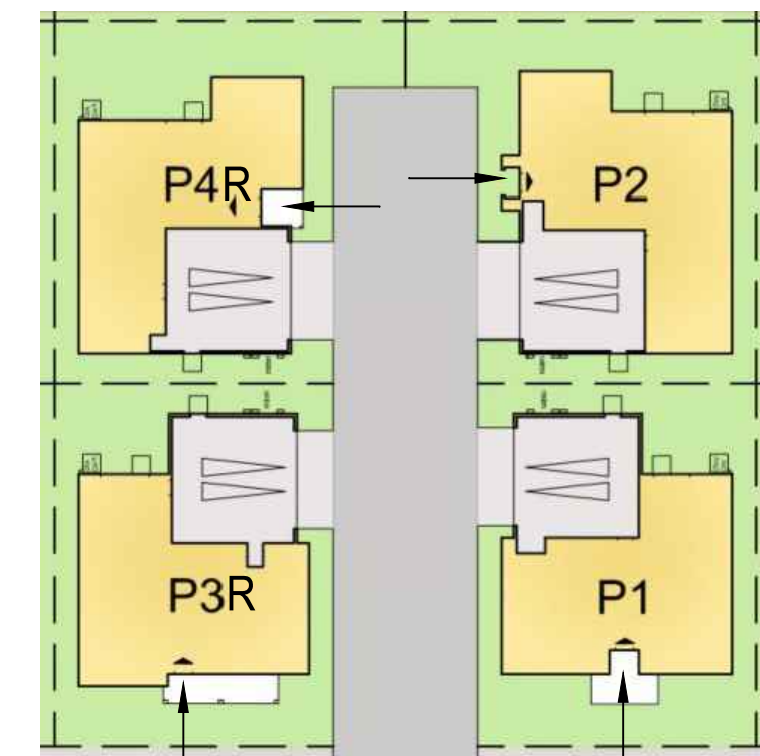
DePaul Residences
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APRIL 1, 2024

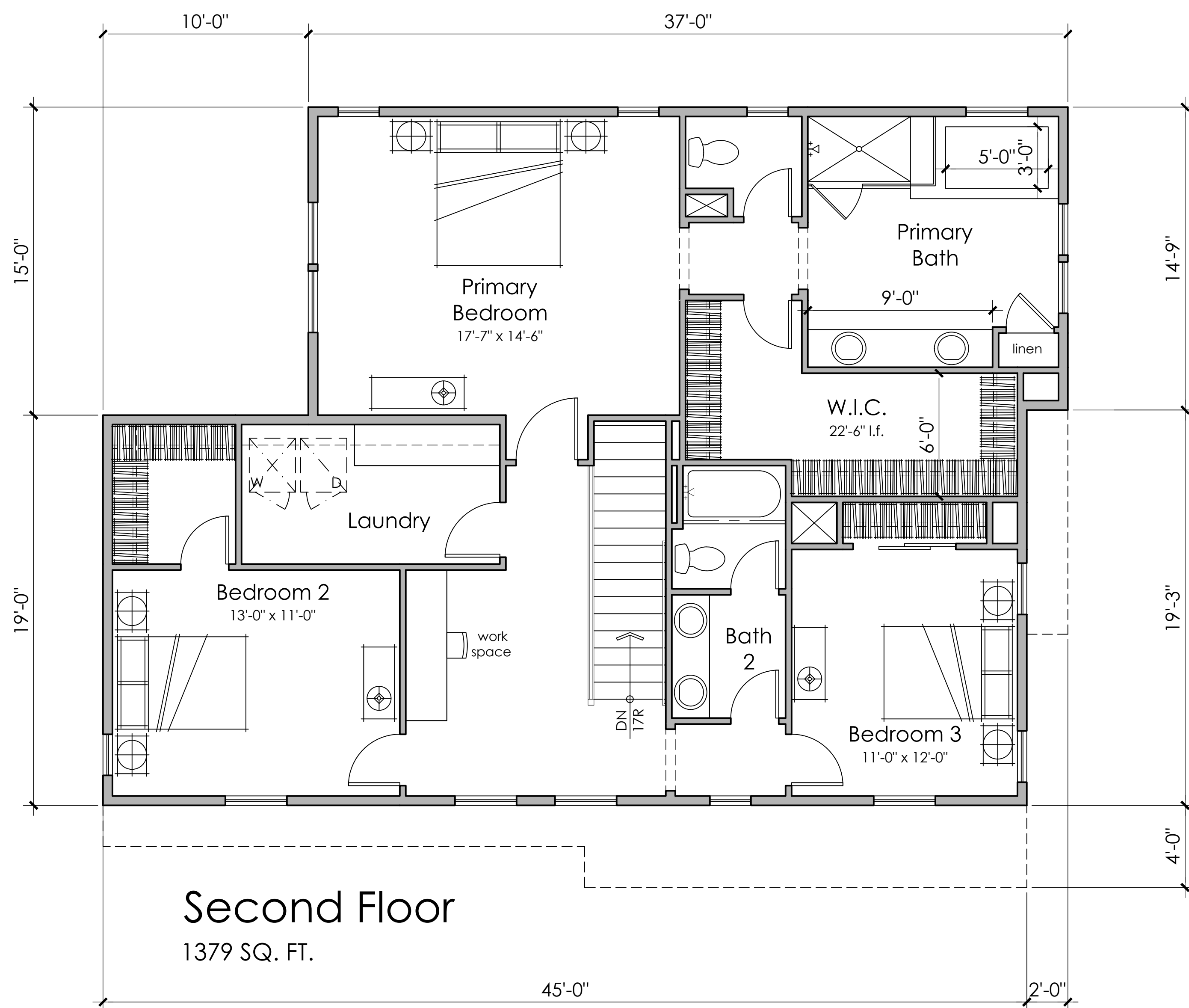


PLAN 3 FRONT ELEVATIONS

A2-3.0



Key Map



PLAN 3A



EV ONE LEVEL 2 EV READY SPACE & ONE LEVEL 1 EV READY SPACE @ EACH PRIVATE GARAGE



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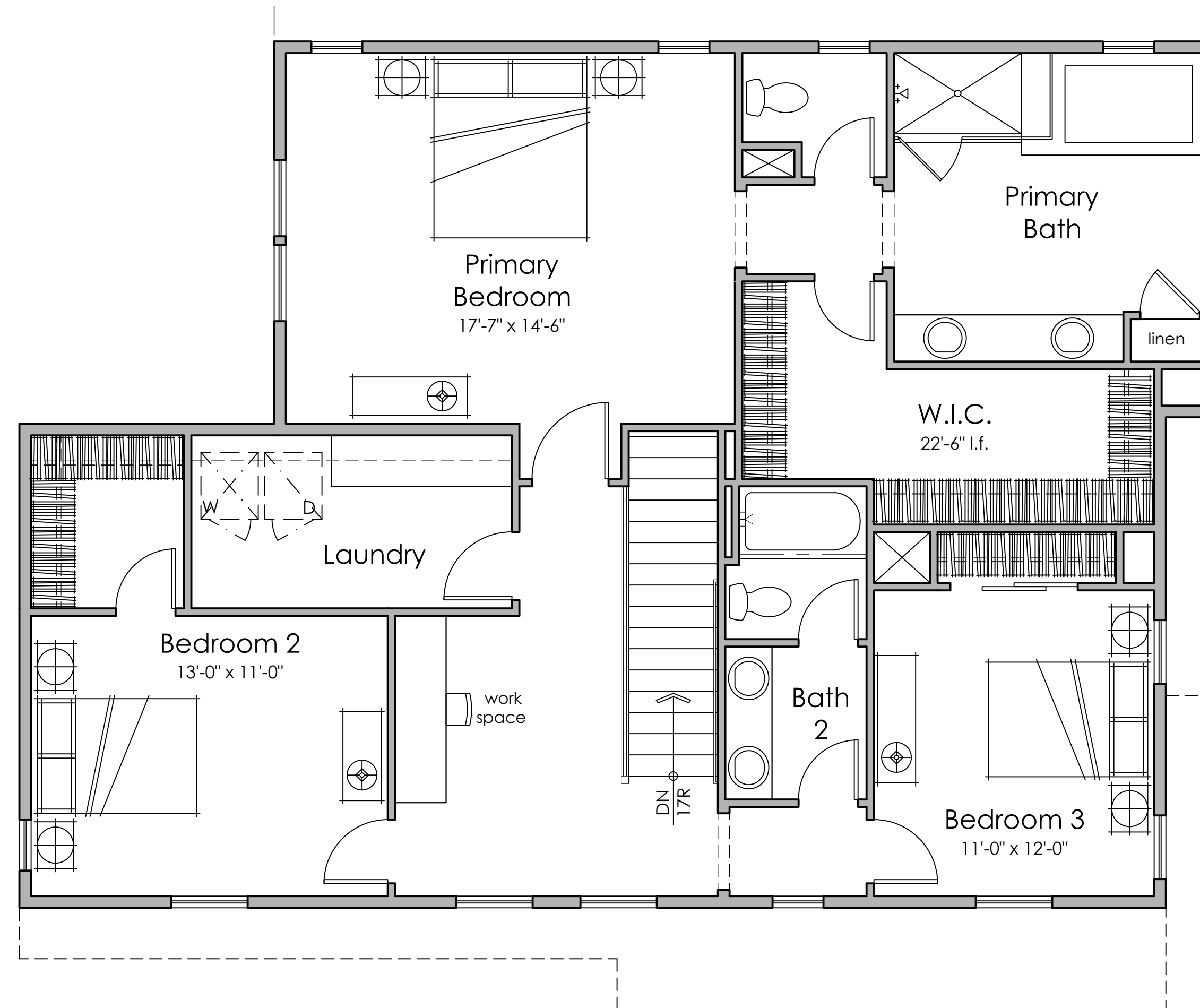
DESIGN PERMIT
APPLICATION - SB330
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Scale: 1/4" = 1'-0"
0 2 4 8

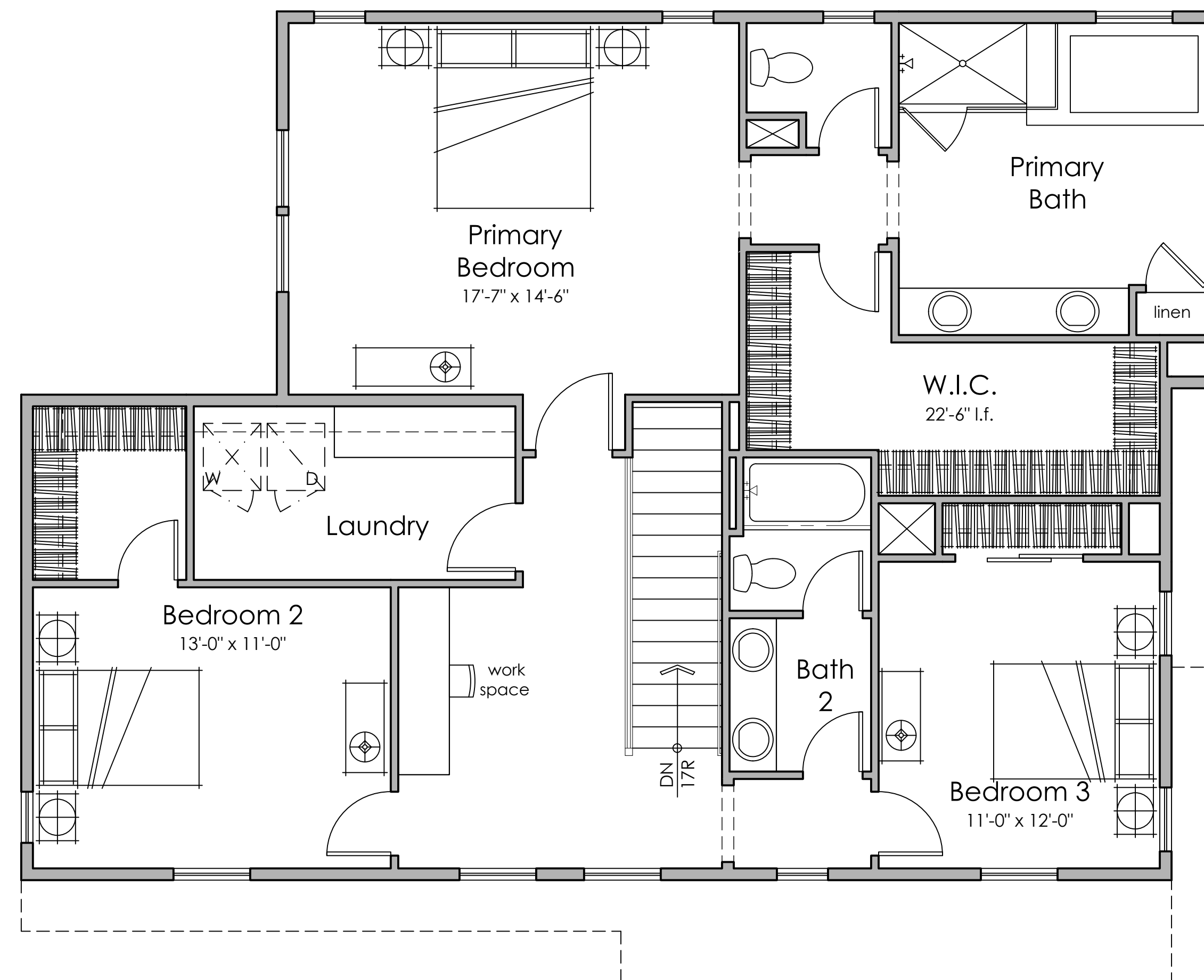
4 BEDROOMS
LOFT
3.5 BATHS
2,435 S.F.
GARAGE 498 S.F.

SINGLE FAMILY -
PLAN 3 FLOOR PLAN

A2-3.1

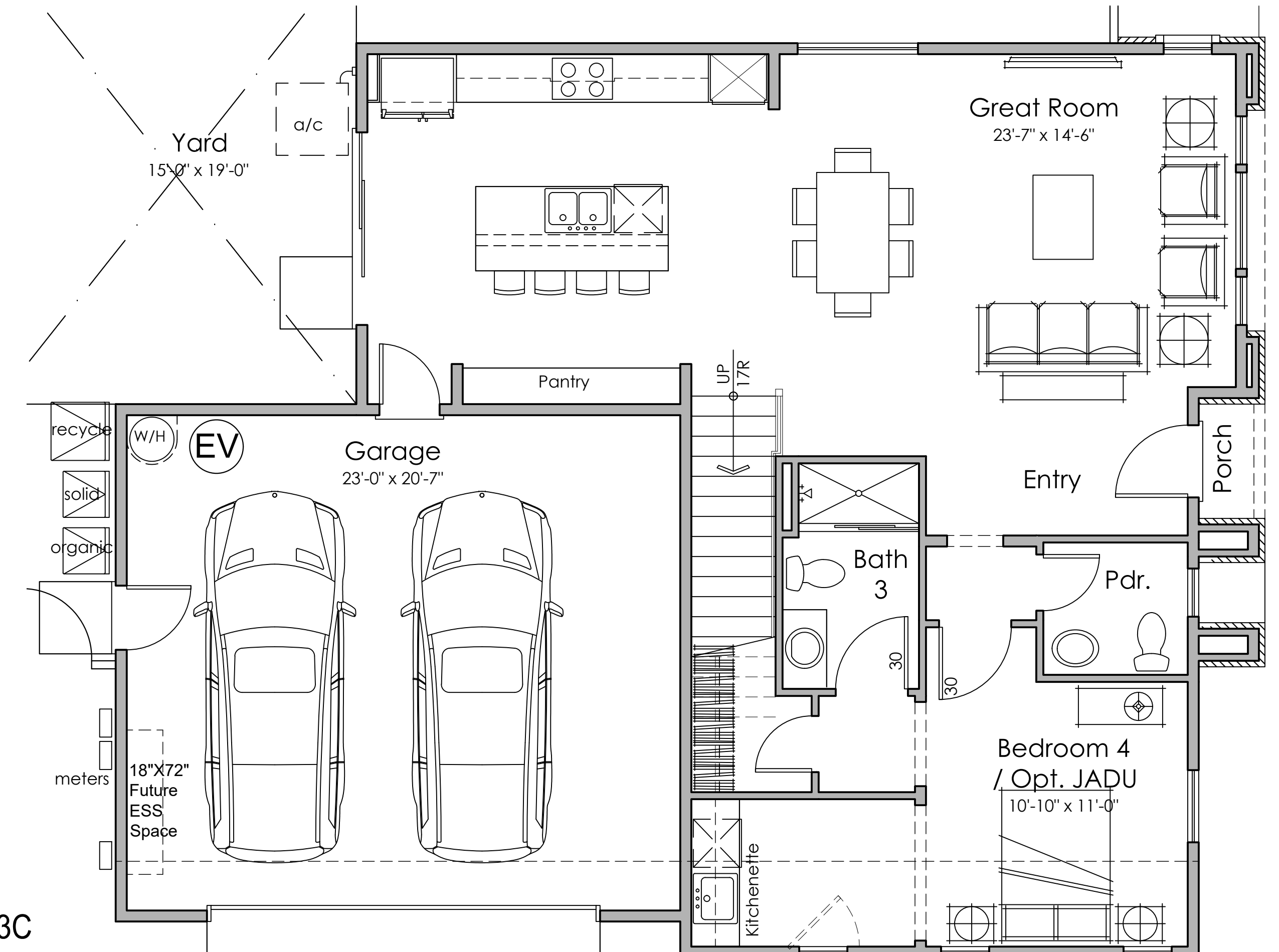


Second Floor



Second Floor

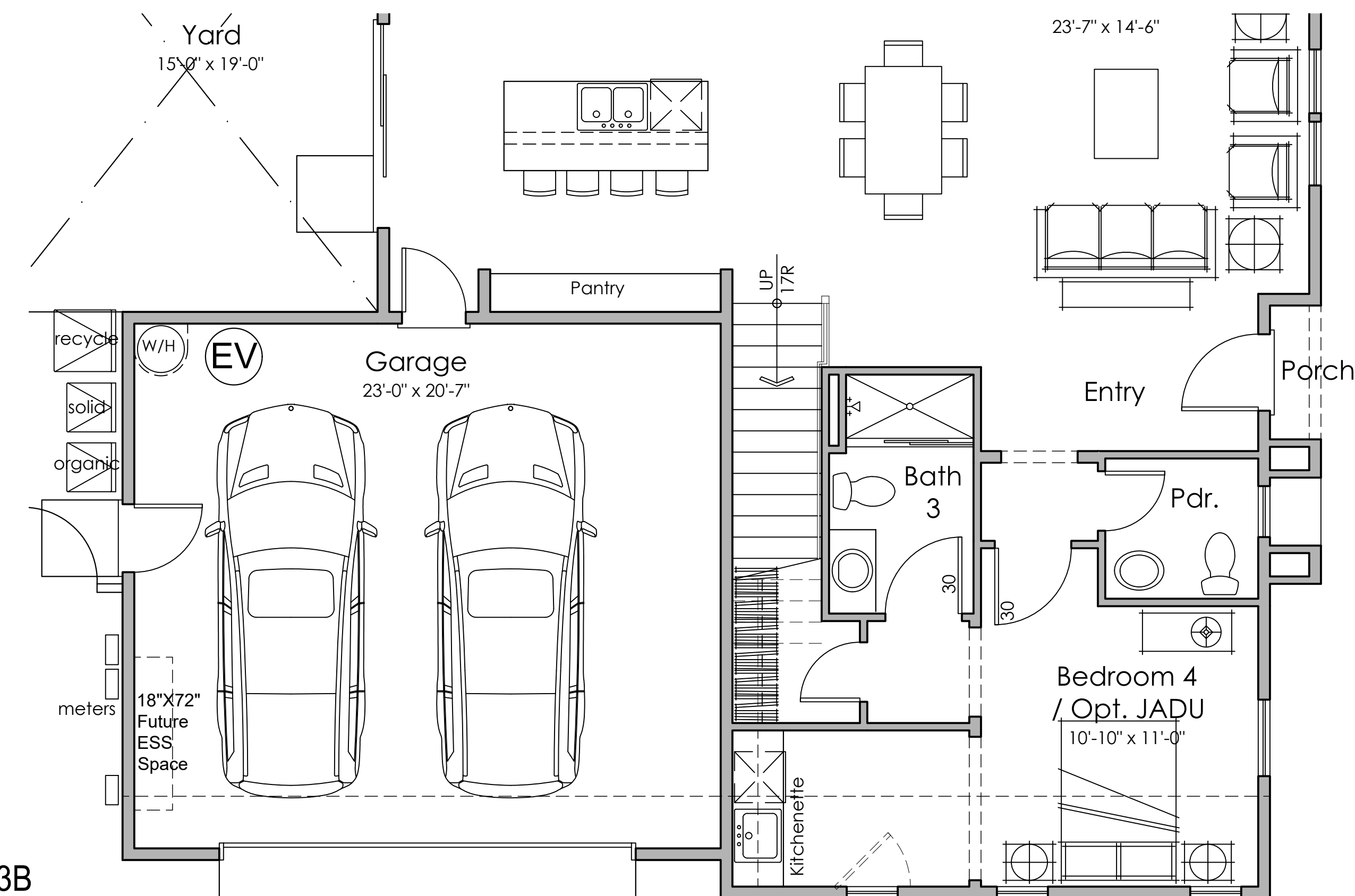
1379 SQ. FT.



PLAN 3C

First Floor

1056 SQ. FT.



PLAN 3B

First Floor

1056 SQ. FT.



ONE LEVEL 2 EV READY SPACE & ONE LEVEL 1 EV READY SPACE @ EACH PRIVATE GARAGE

ROOF MATERIAL: COMPOSITION ASPHALT	
METAL ROOF	
BATTEN BOARD SIDING	
FASCIA / EAVES	
TRIM	
GARAGE DOORS	
ENTRY DOORS	

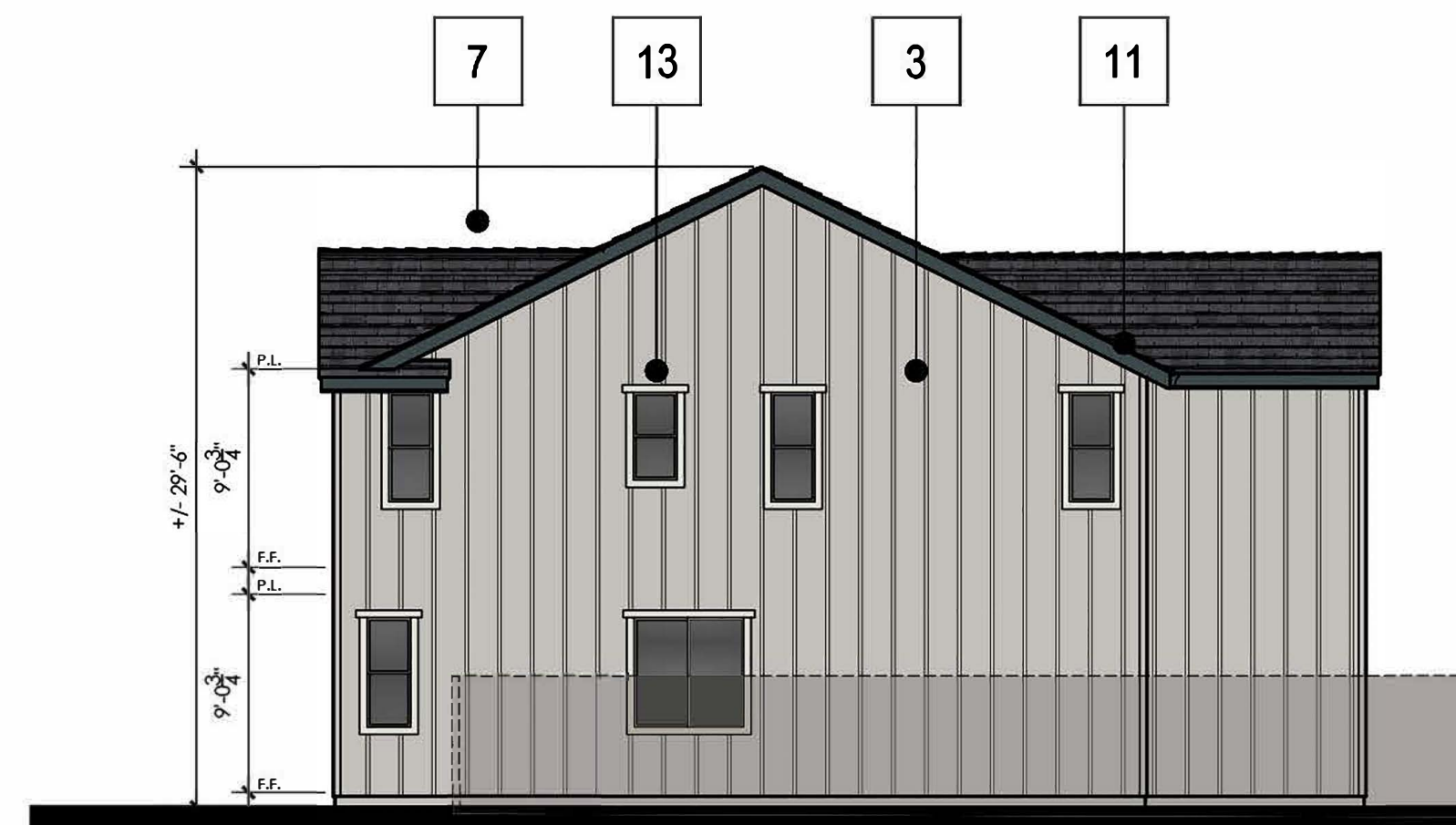
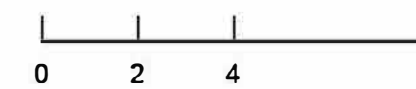


MATERIAL LEGEND

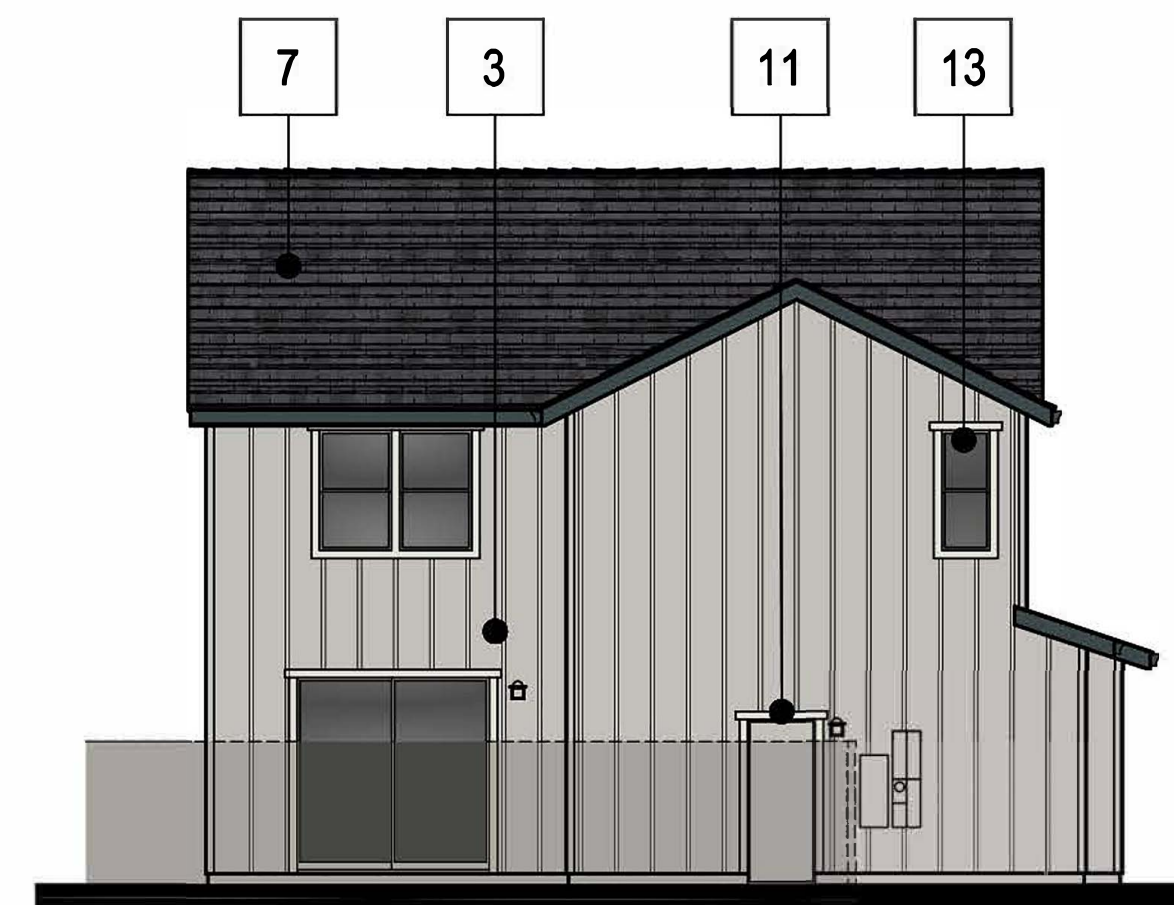
1. STUCCO
2. FIBER CEMENT LAP SIDING
3. FIBER CEMENT BOARD AND BATTEN SIDING
4. STONE VENEER
5. METAL GARAGE DOOR
6. CONCRETE S PROFILE ROOF TILE
7. COMPOSITION SHINGLE ROOF
8. LIGHT FIXTURE
9. UNIT ADDRESS
10. ENTRY DOOR
11. FIBER CEMENT TRIM
12. HIGH DENSITY FOAM TRIM
13. VINYL WINDOW
14. WOOD POST
15. FIBER CEMENT PANEL
16. METAL ROOFING
17. METAL AWNING

Front Elevation 3A

Scheme 3



Right Elevation



Rear Elevation



Left Elevation

6

ROOF MATERIAL:
COMPOSITION ASPHALT

THUNDERSTORM GRAY

STUCCO BODY

SW 6183
CONSERVATIVE GRAY

FASCIA / EAVES /
TRIM /
INSET SIDING AT 3B & 4B ONLY

SW 6989
DOMINO

INSET SIDING AT 1B & 2B /
LAP SIDING
INCLUDING CORNER BOARDS

SW 7018
DOVETAIL

GARAGE DOORS

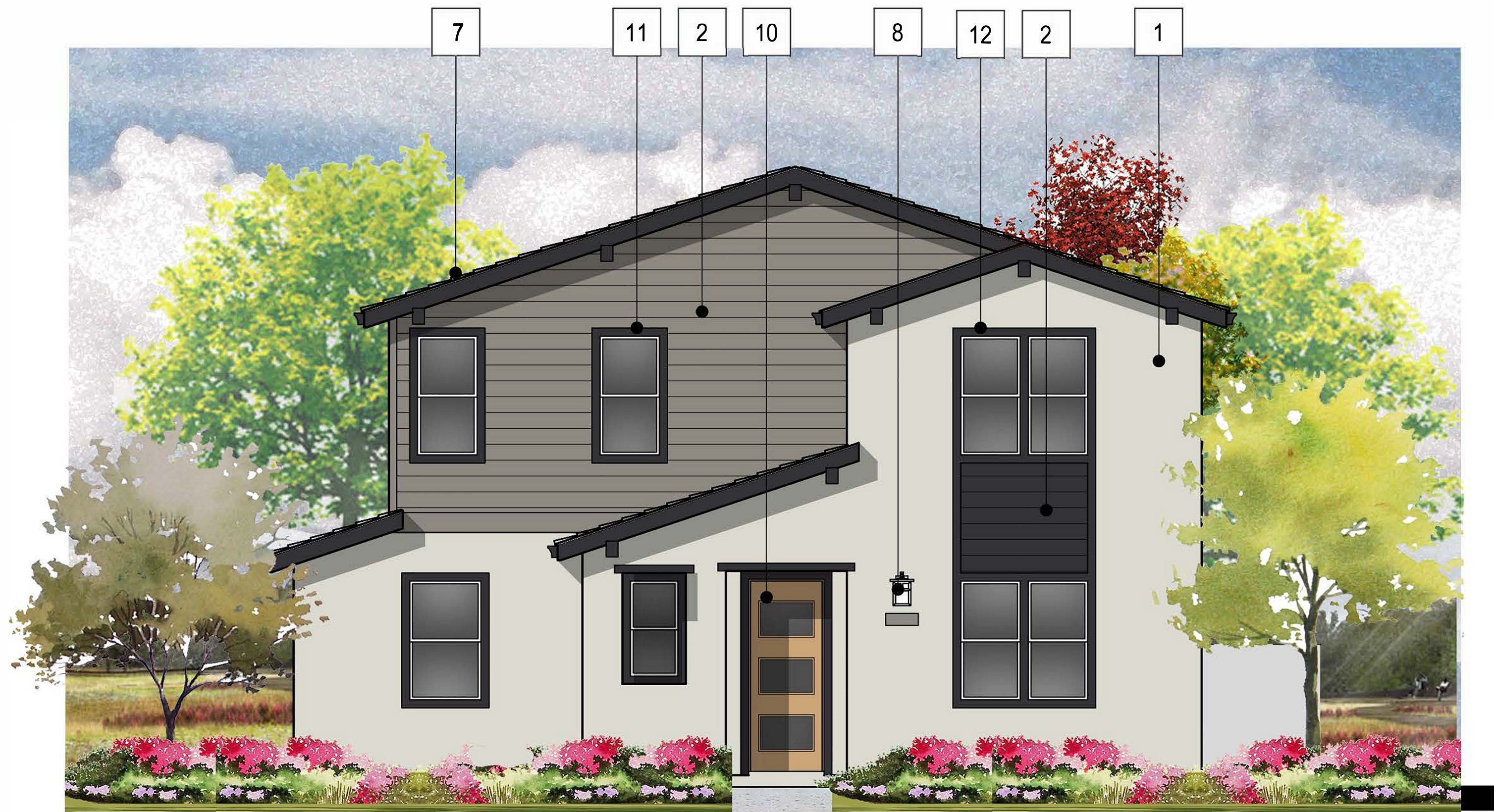
SW 7643
PUSSYWILLOW

ENTRY DOORS

SW 9024
VINTAGE GOLD

BRICK VENEER

LOREI BRICK
ULIA



- MATERIAL LEGEND
1.

STUCCO
2.

FIBER CEMENT LAP SIDING
3.

FIBER CEMENT BOARD AND BATTEN SIDING
4.

STONE VENEER
5.

METAL GARAGE DOOR
6.

CONCRETE S PROFILE ROOF TILE
7.

COMPOSITION SHINGLE ROOF
8.

LIGHT FIXTURE
9.

UNIT ADDRESS
10.

ENTRY DOOR
11.

FIBER CEMENT TRIM
12.

HIGH DENSITY FOAM TRIM
13.

VINYL WINDOW
14.

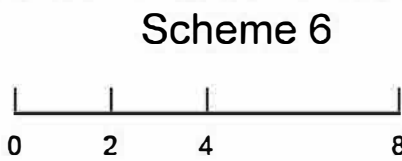
WOOD POST
15.

FIBER CEMENT PANEL
16.

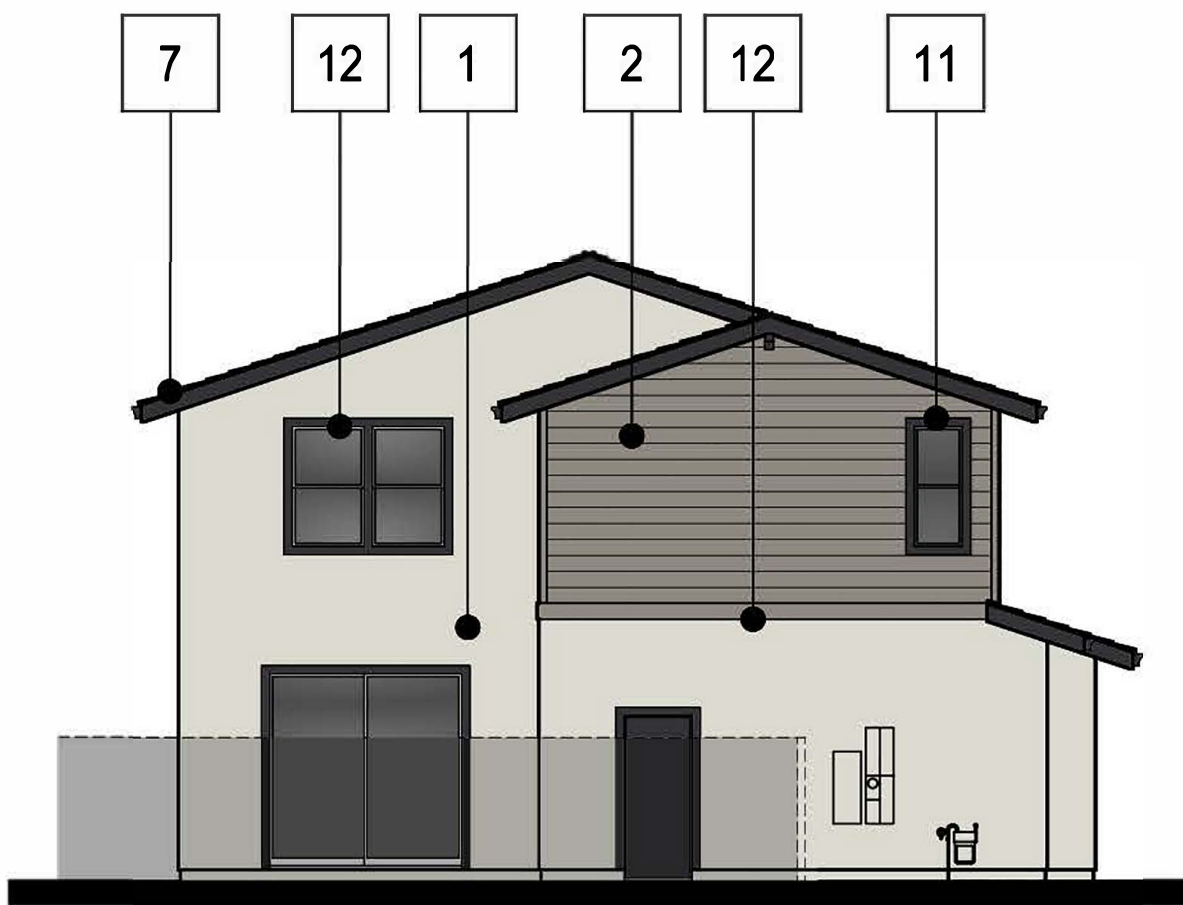
METAL ROOFING
17.

METAL AWNING

Front Elevation 3B



Right Elevation



Rear Elevation



Left Elevation

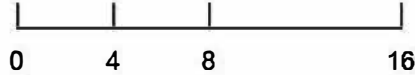


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PLAN 3B - EXTERIOR ELEVATIONS

A2-3.3

9

ROOF MATERIAL:
COMPOSITION ASPHALT

MOIRE BLACK

STUCCO BODY

SW 7632
MODERN GRAY

LAP SIDING
INCLUDING
CORNER BOARDS

SW 7018
DOVETAIL

FASCIA / EAVES /
GARAGE DOORS

SW 7009
PEARLY WHITE

TRIM

SW 7009
PEARLY WHITE

ENTRY DOORS

SW 7630
RAISIN

STONE VENEER

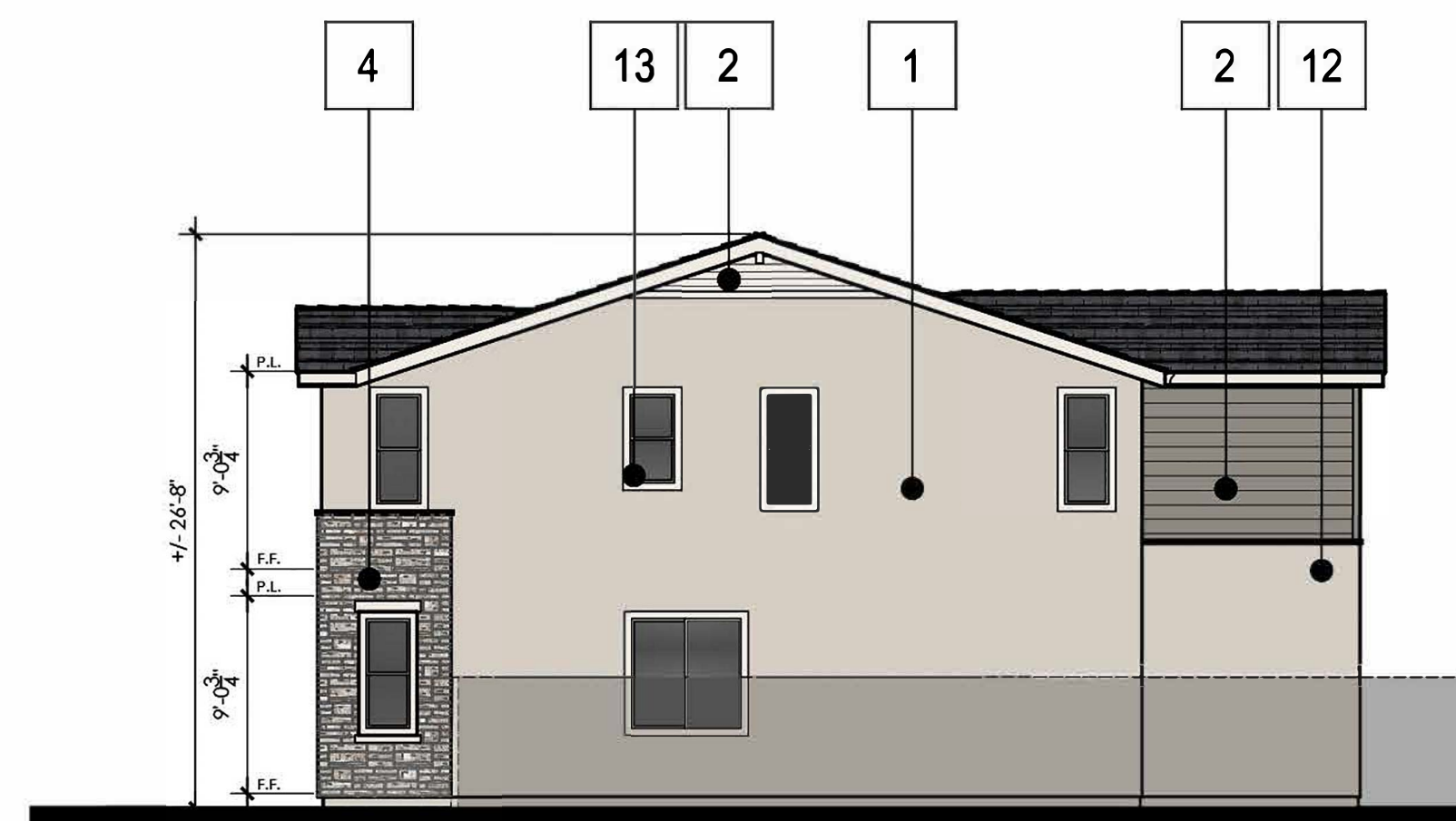
LEDGECUT 33
WHITE CAP



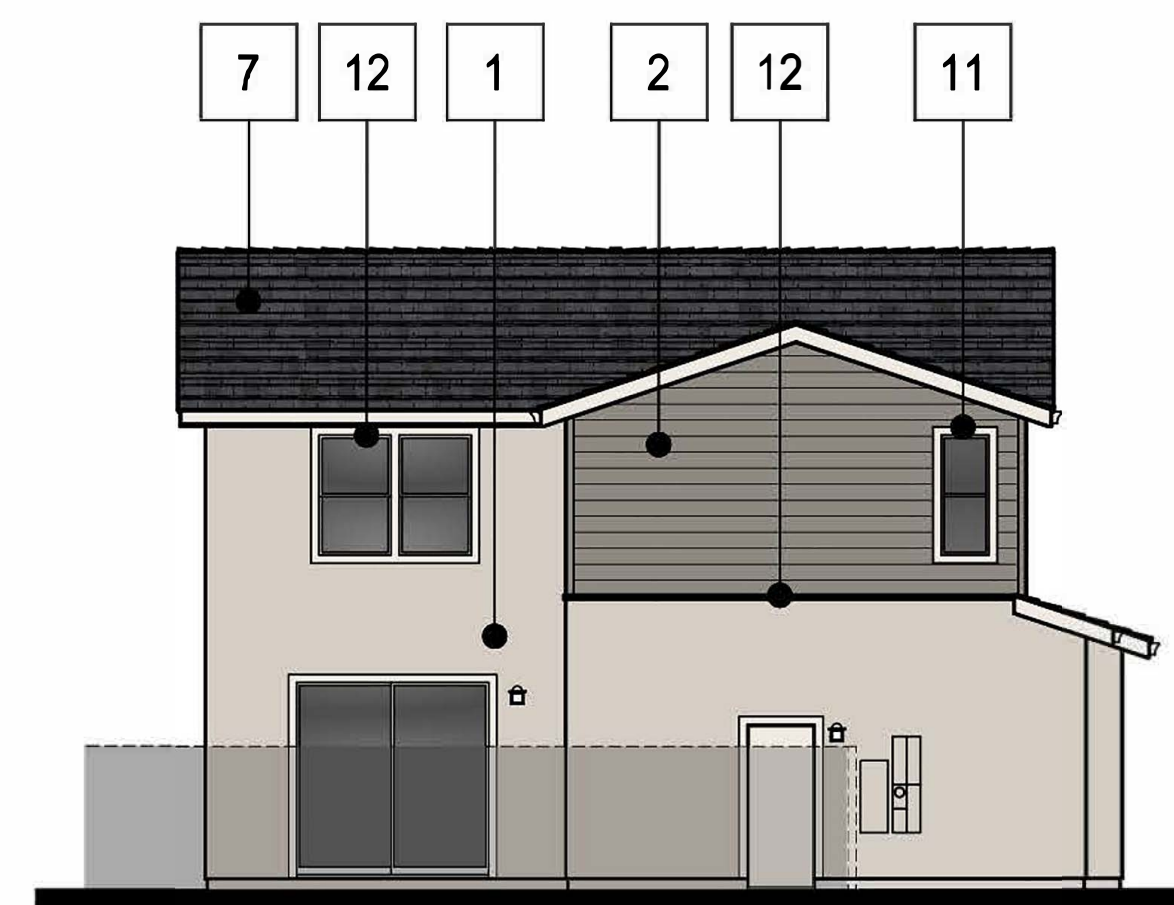
MATERIAL LEGEND

1. STUCCO
2. FIBER CEMENT LAP SIDING
3. FIBER CEMENT BOARD AND BATTEN SIDING
4. STONE VENEER
5. METAL GARAGE DOOR
6. CONCRETE S PROFILE ROOF TILE
7. COMPOSITION SHINGLE ROOF
8. LIGHT FIXTURE
9. UNIT ADDRESS
10. ENTRY DOOR
11. FIBER CEMENT TRIM
12. HIGH DENSITY FOAM TRIM
13. VINYL WINDOW
14. WOOD POST
15. FIBER CEMENT PANEL
16. METAL ROOFING
17. METAL AWNING

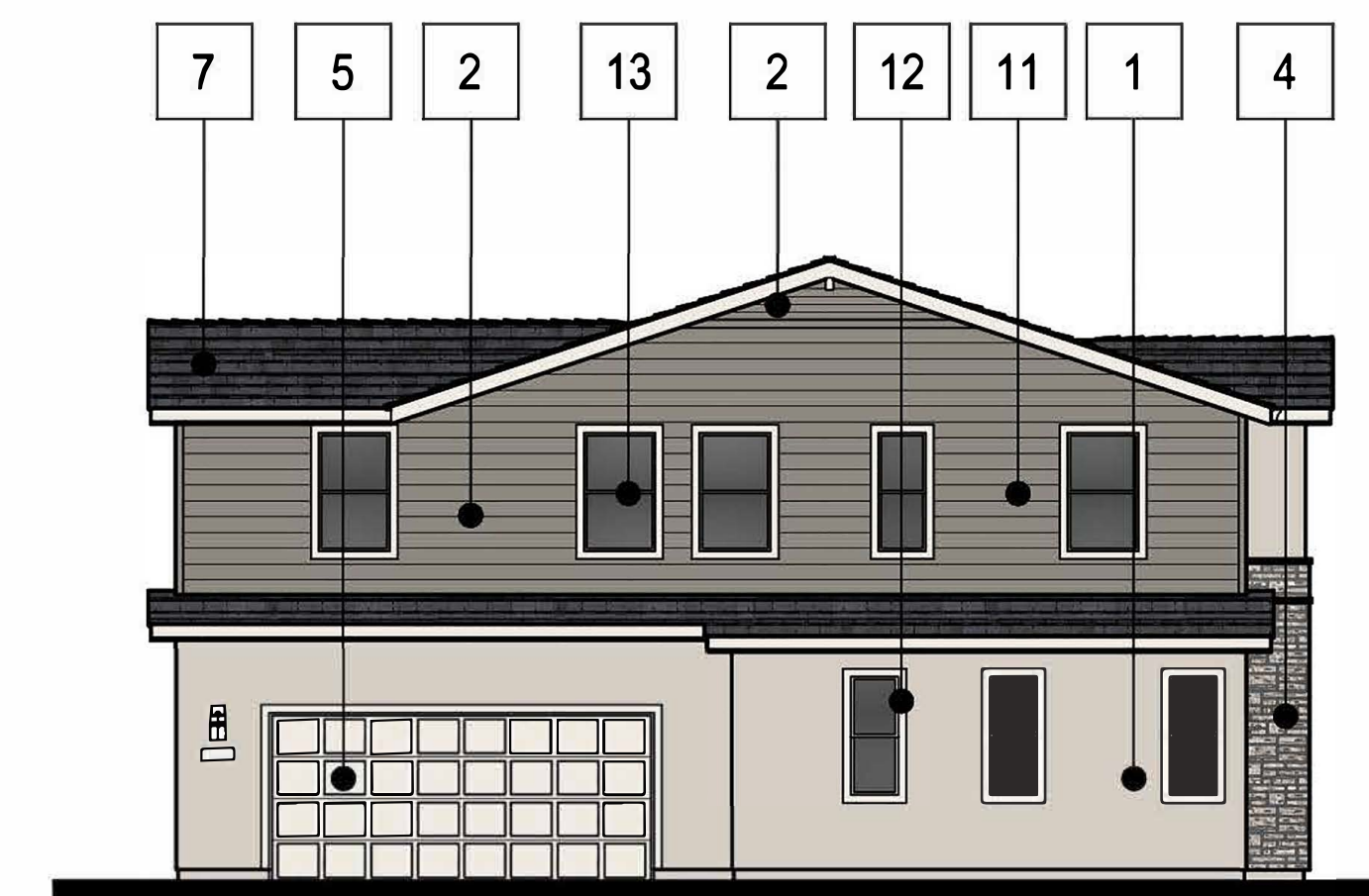
Front Elevation 3C



Right Elevation



Rear Elevation



Left Elevation

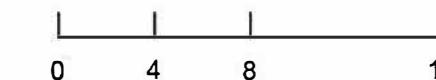


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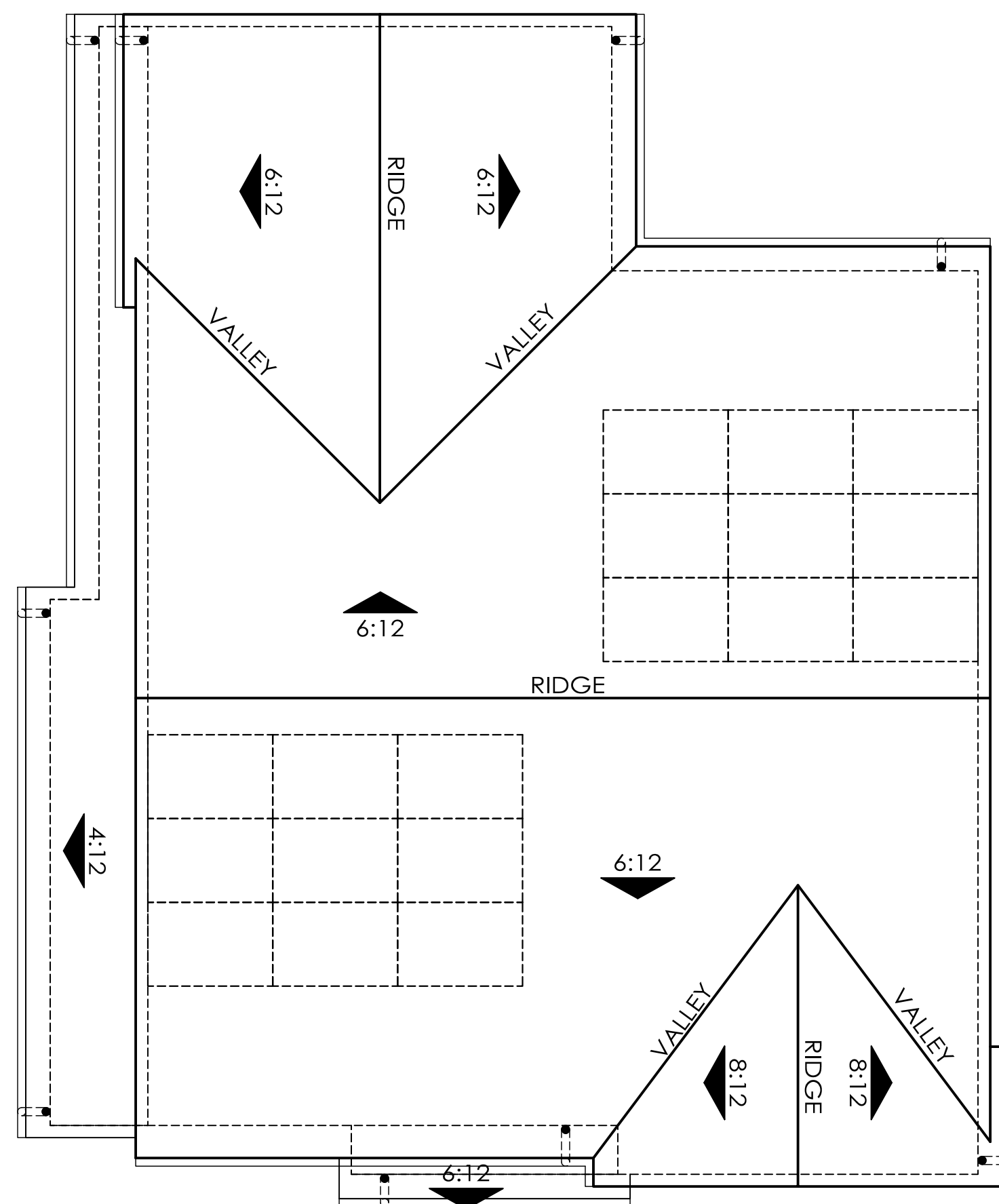
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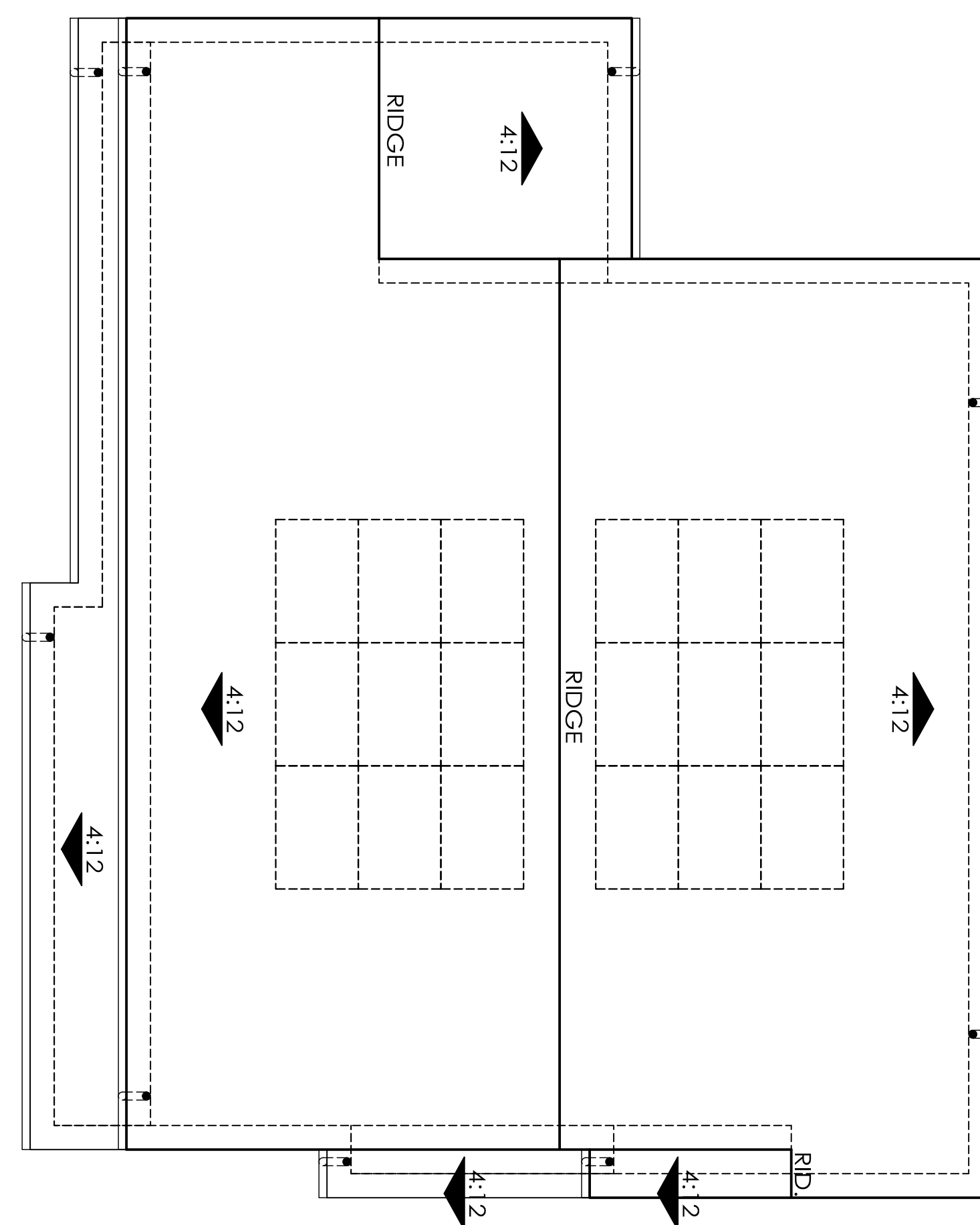
PLAN 3C - EXTERIOR ELEVATIONS

A2-3.4



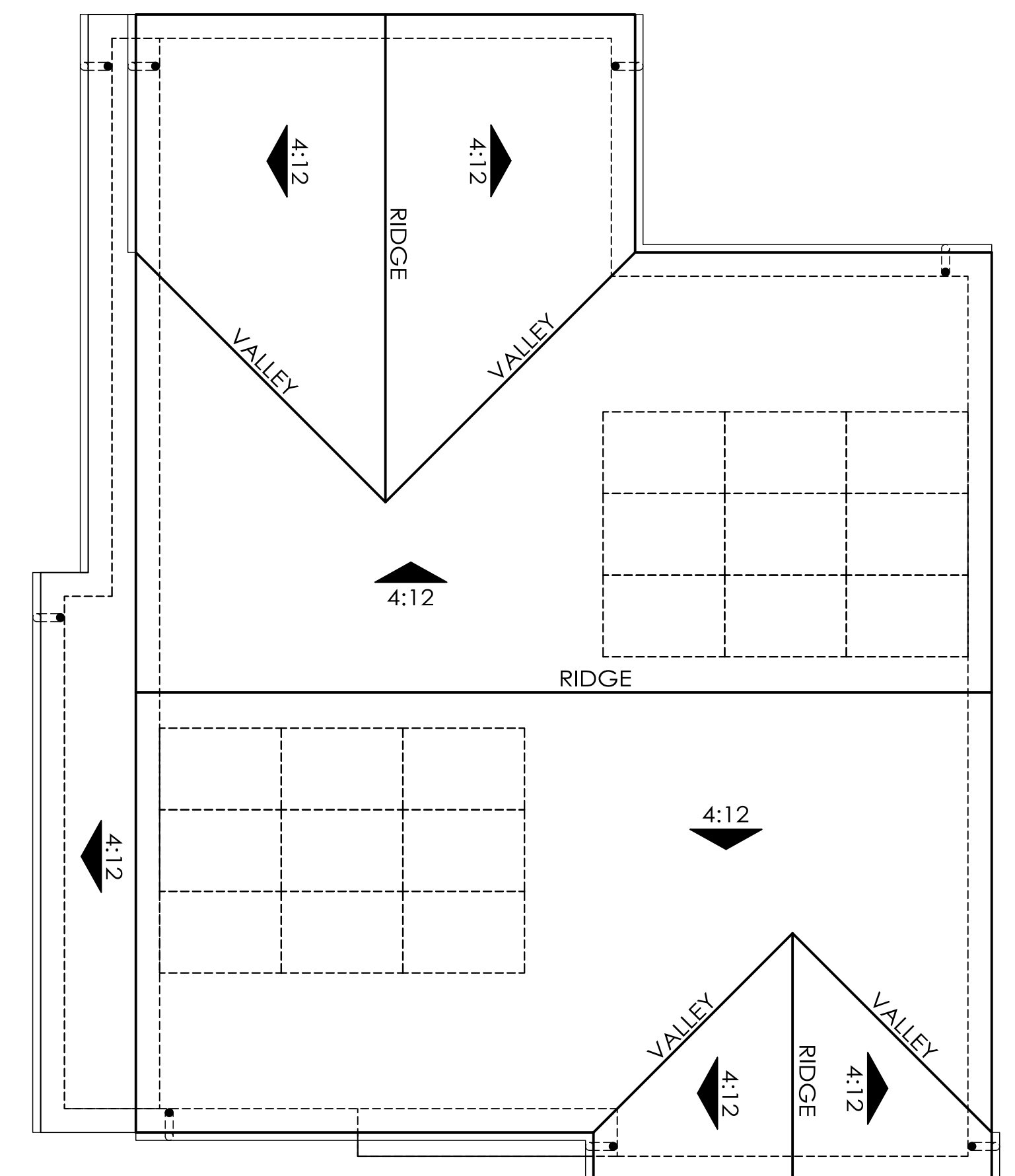
ROOF PLAN 3A

OVERHANG : 12"
RAKE : 6"
ROOF PITCH : 6:12 U.N.O



ROOF PLAN 3B

OVERHANG : 12"
RAKE : 12"
ROOF PITCH : 4:12 U.N.O



ROOF PLAN 3C

OVERHANG : 12"
RAKE : 12"
ROOF PITCH : 4:12 U.N.O

NOTE:

Solar panels shown are for illustrative purposes.
Solar will be confirmed with solar consultant during
building submittal process.
Location, quantity and orientation may change.

No roof mounted mechanical equipment.



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Scale: 3/16" = 1'-0"

PLAN 3 ROOF PLANS

A2-3.5



Front Elevation 4A

Scheme 1



Front Elevation 4B

Scheme 4



Front Elevation 4C

Scheme 7

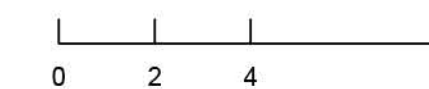


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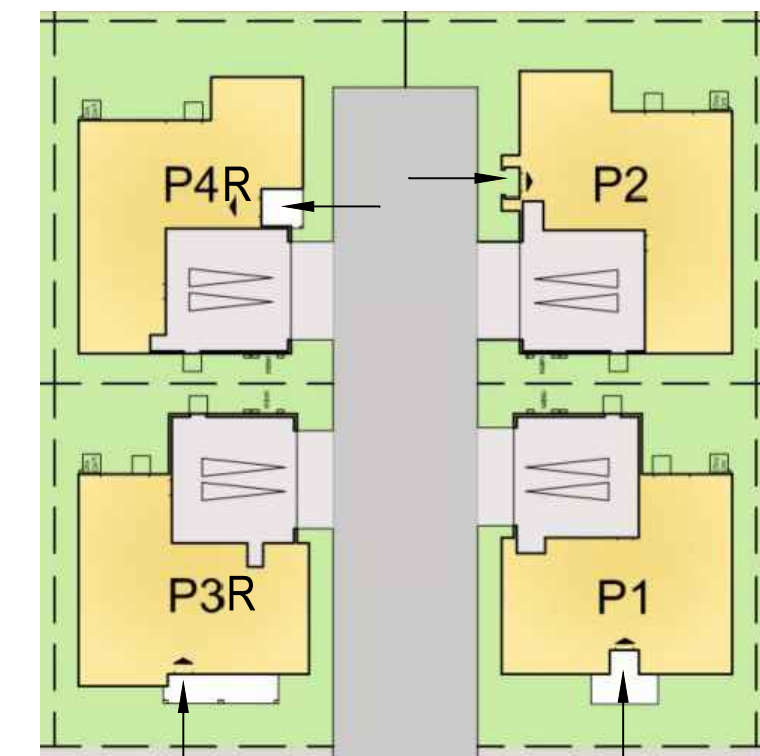
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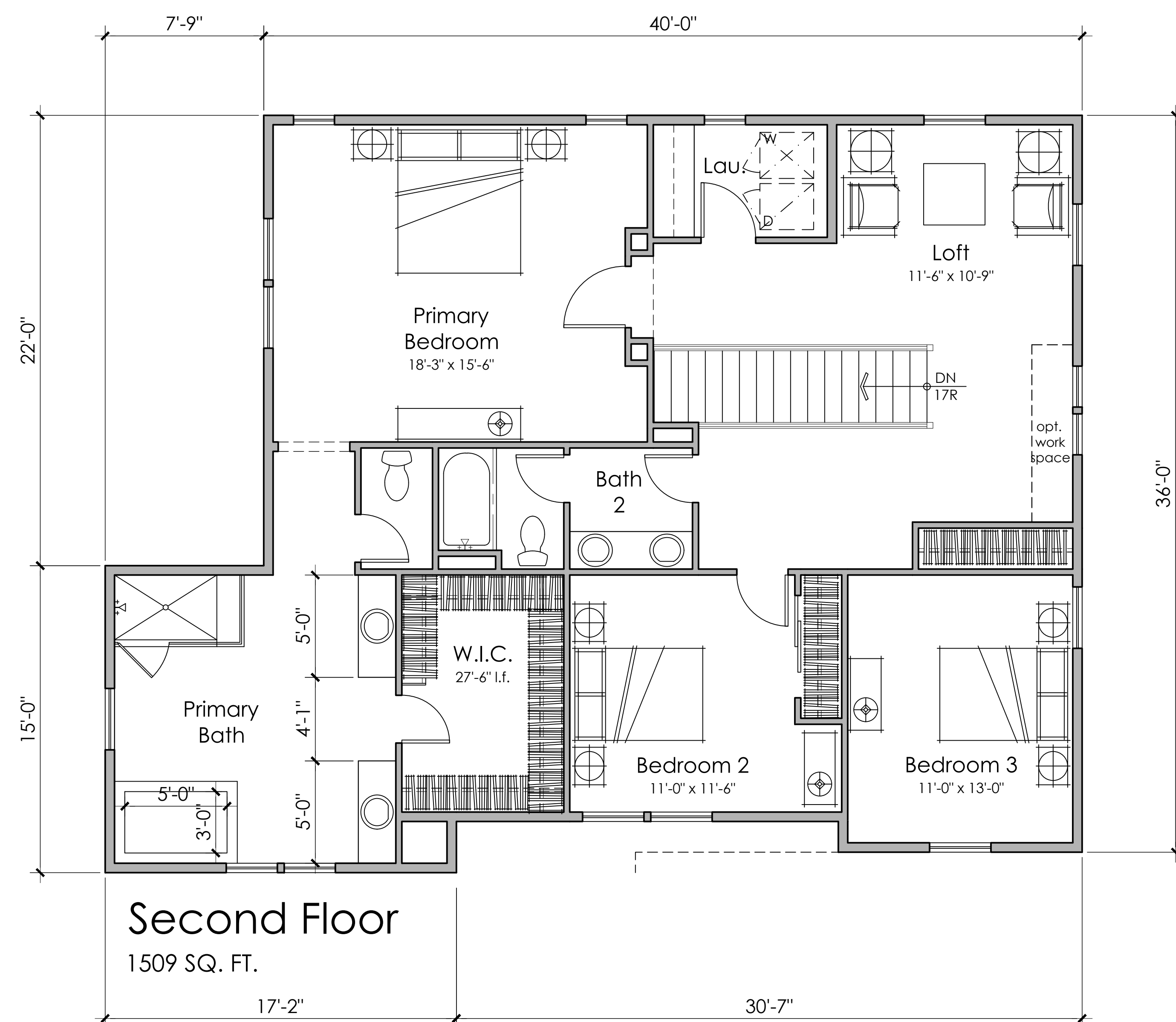


PLAN 4 FRONT ELEVATIONS

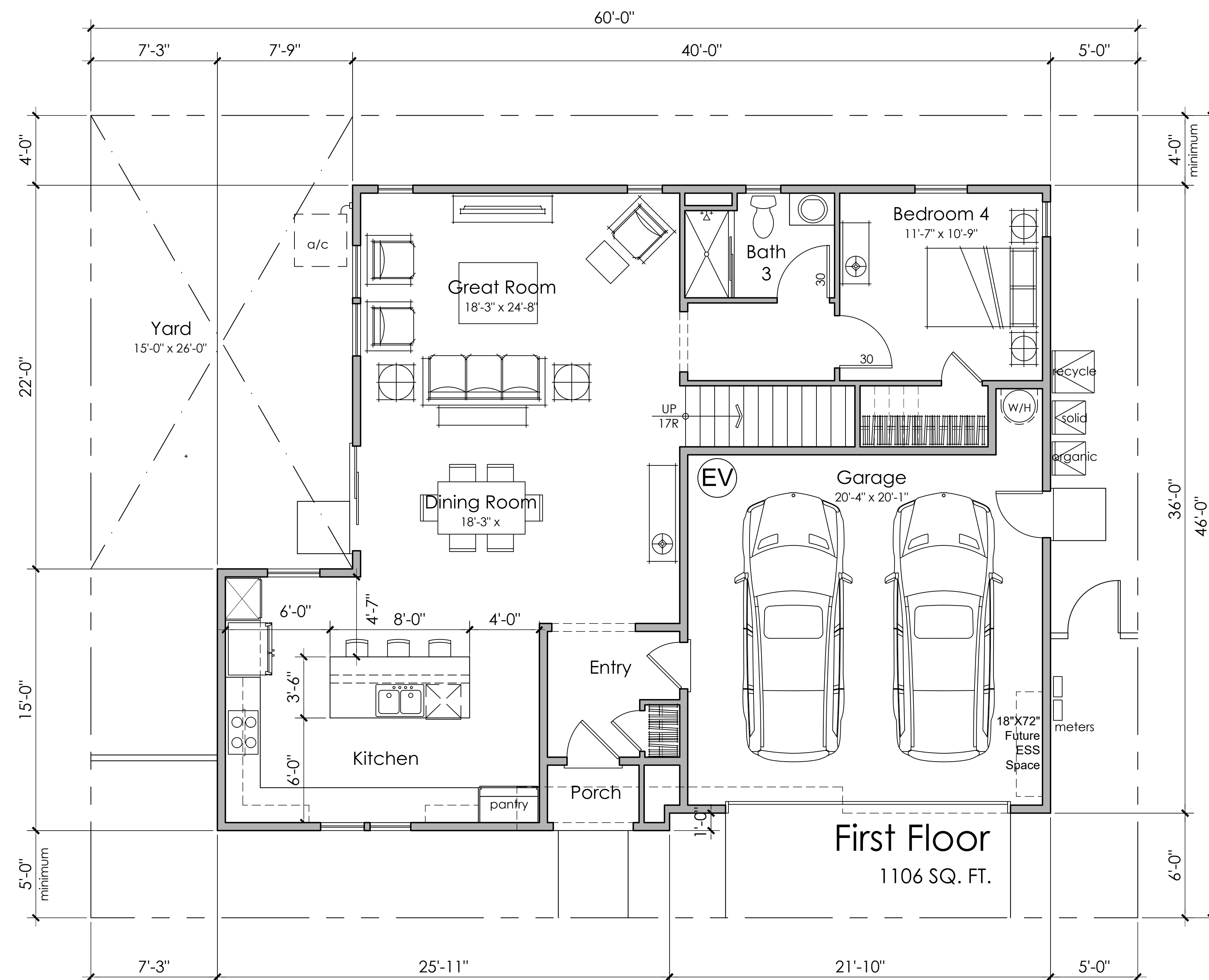
A4.0



Key Map



PLAN 4A



EV ONE LEVEL 2 EV READY SPACE & ONE LEVEL 1 EV READY SPACE @ EACH PRIVATE GARAGE



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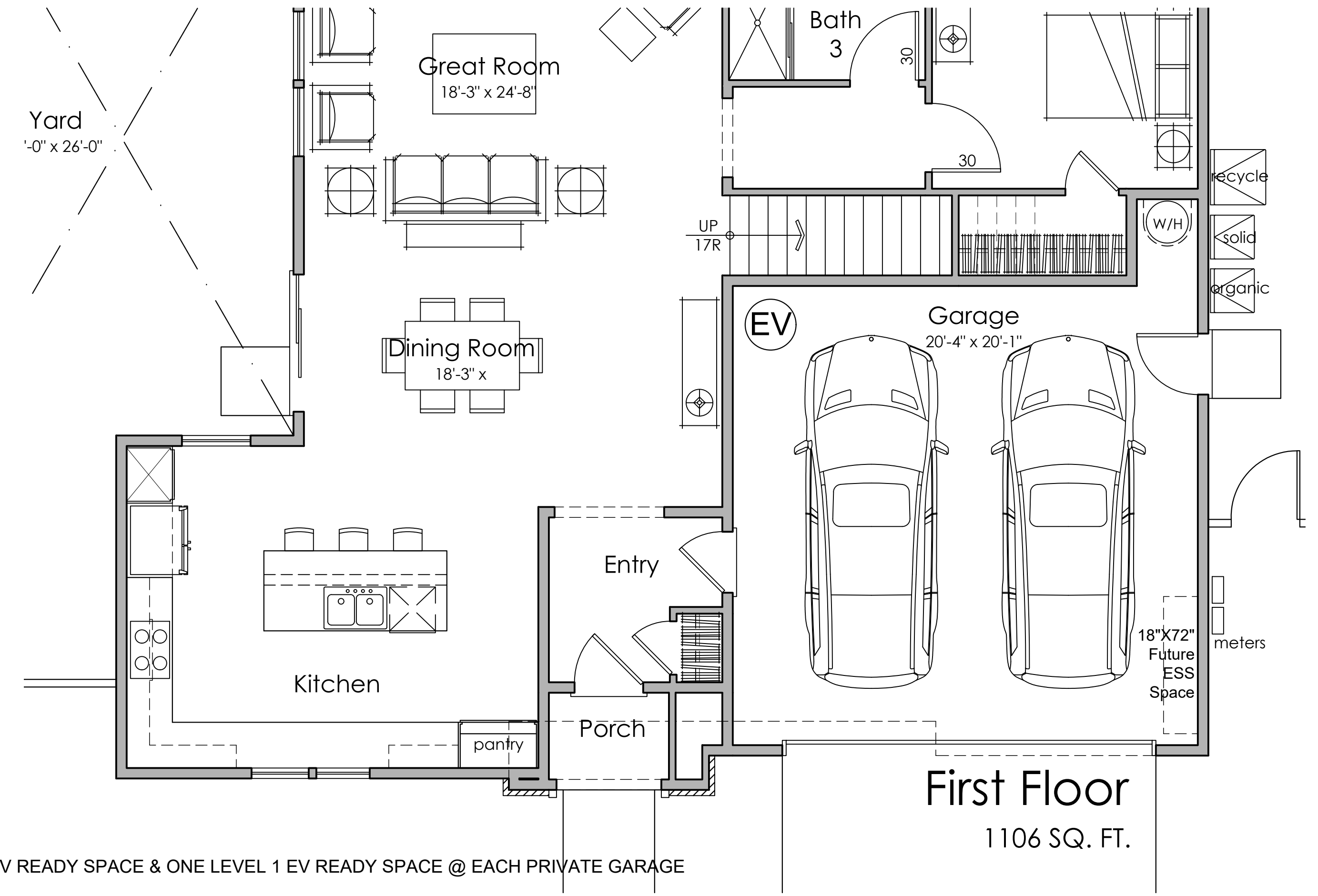
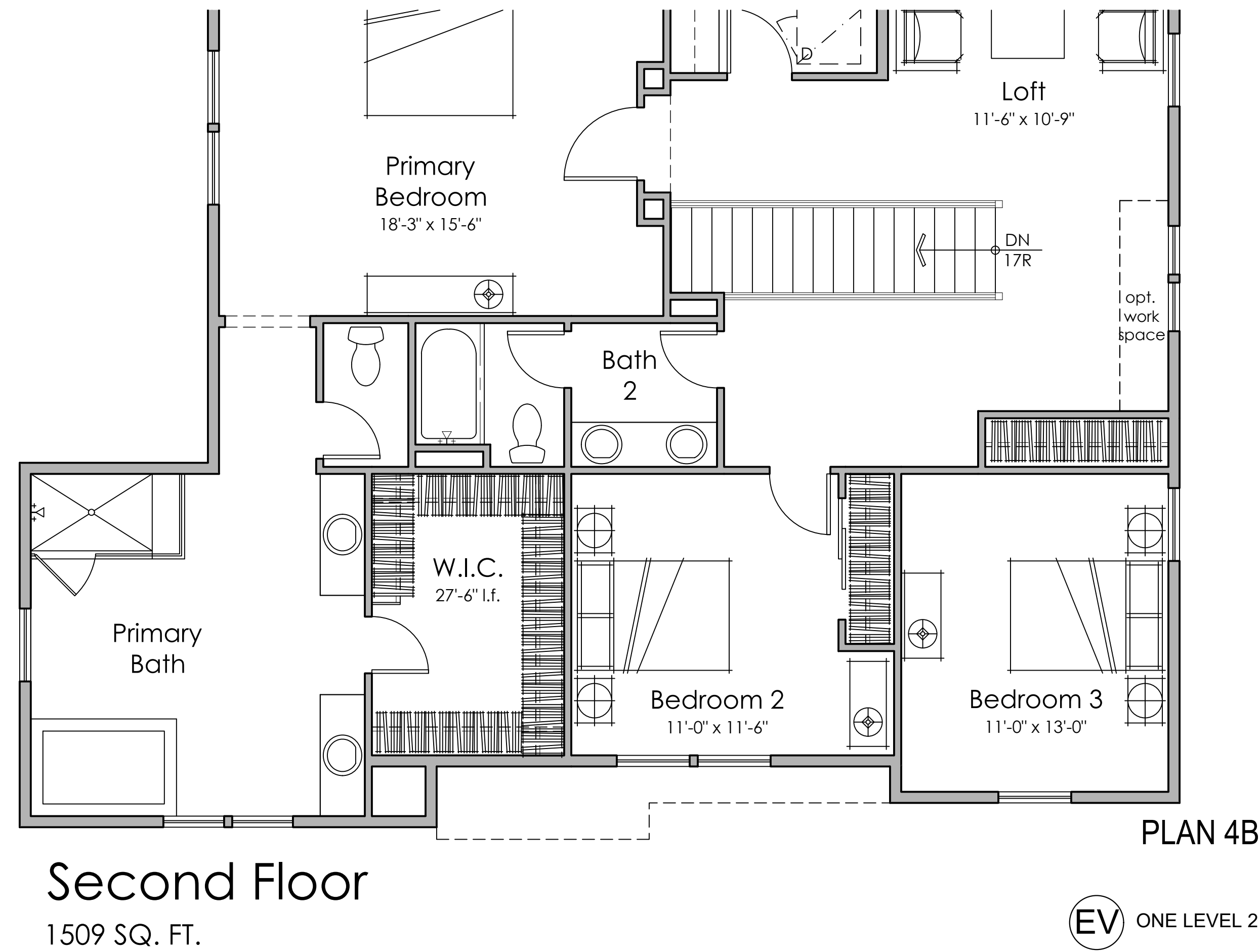
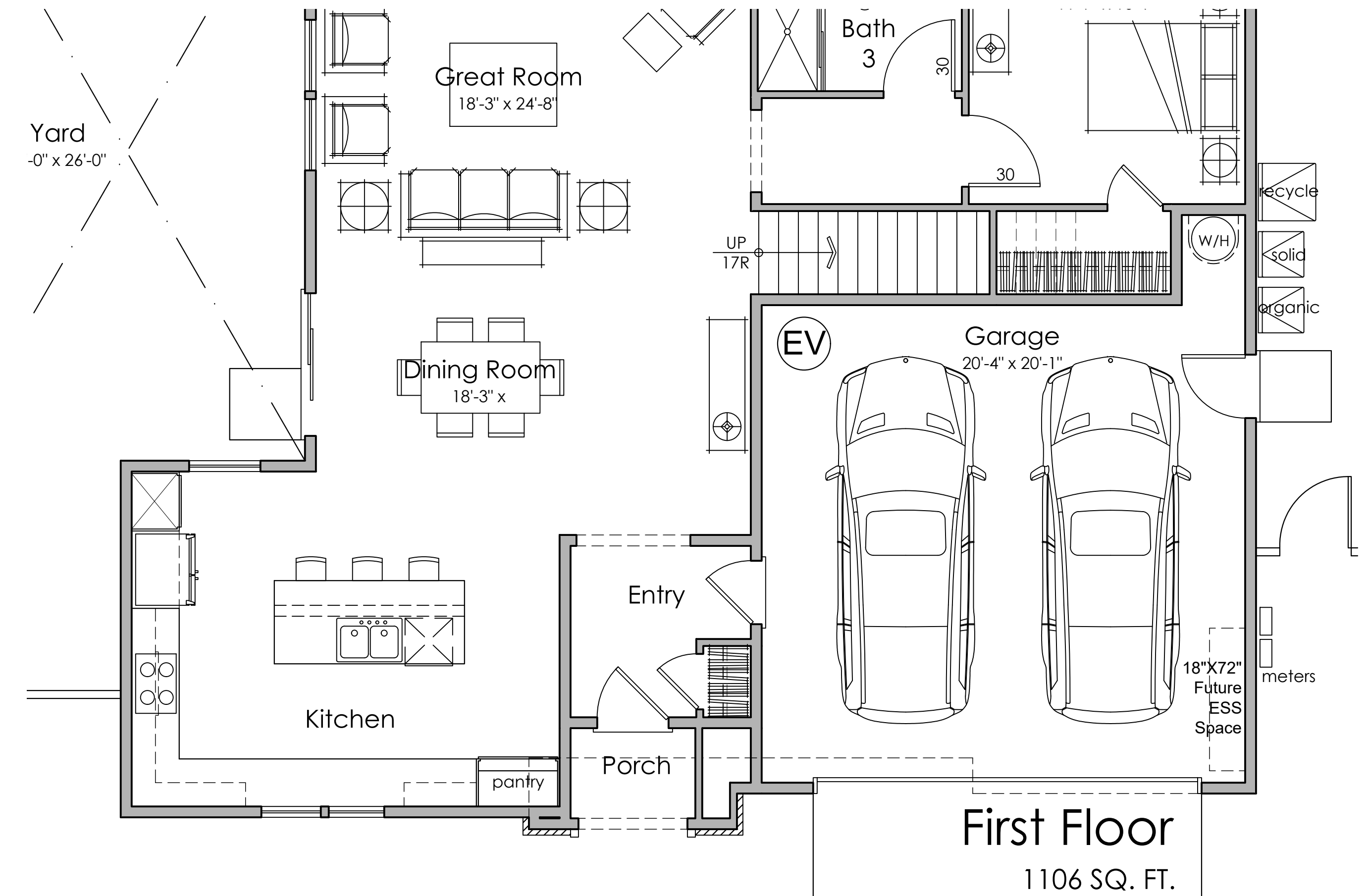
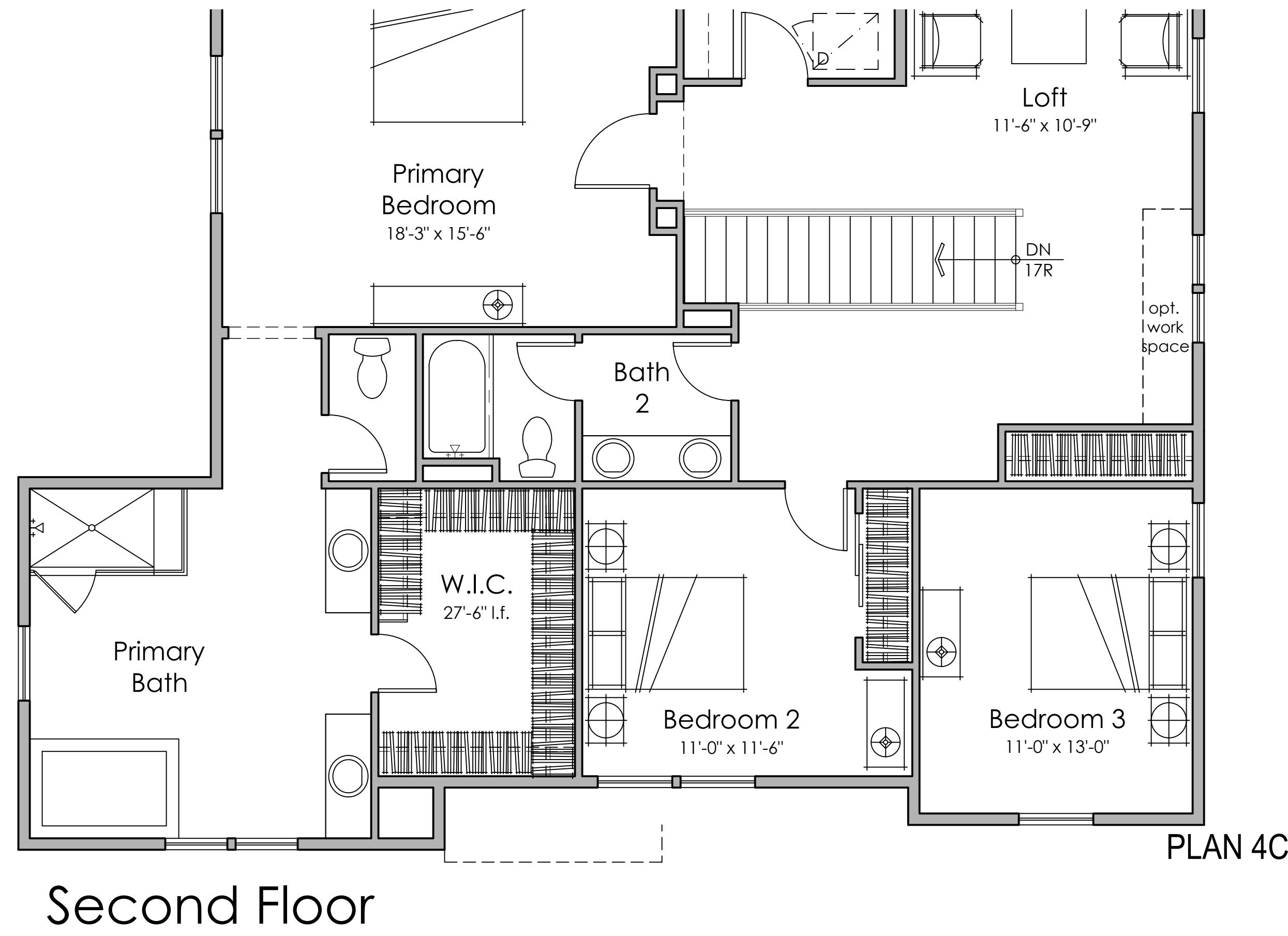
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Scale: 1/4" = 1'-0"
0 2 4 8

4 BEDROOMS
LOFT
3 BATHS
2,619 S.F.
GARAGE 440 S.F.

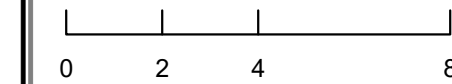
SINGLE FAMILY -
PLAN 4 FLOOR PLAN

A2-4.1



(EV) ONE LEVEL 2 EV READY SPACE & ONE LEVEL 1 EV READY SPACE @ EACH PRIVATE GARAGE

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FLOOR PLAN 4 ADDENDA

A2-4.1.1



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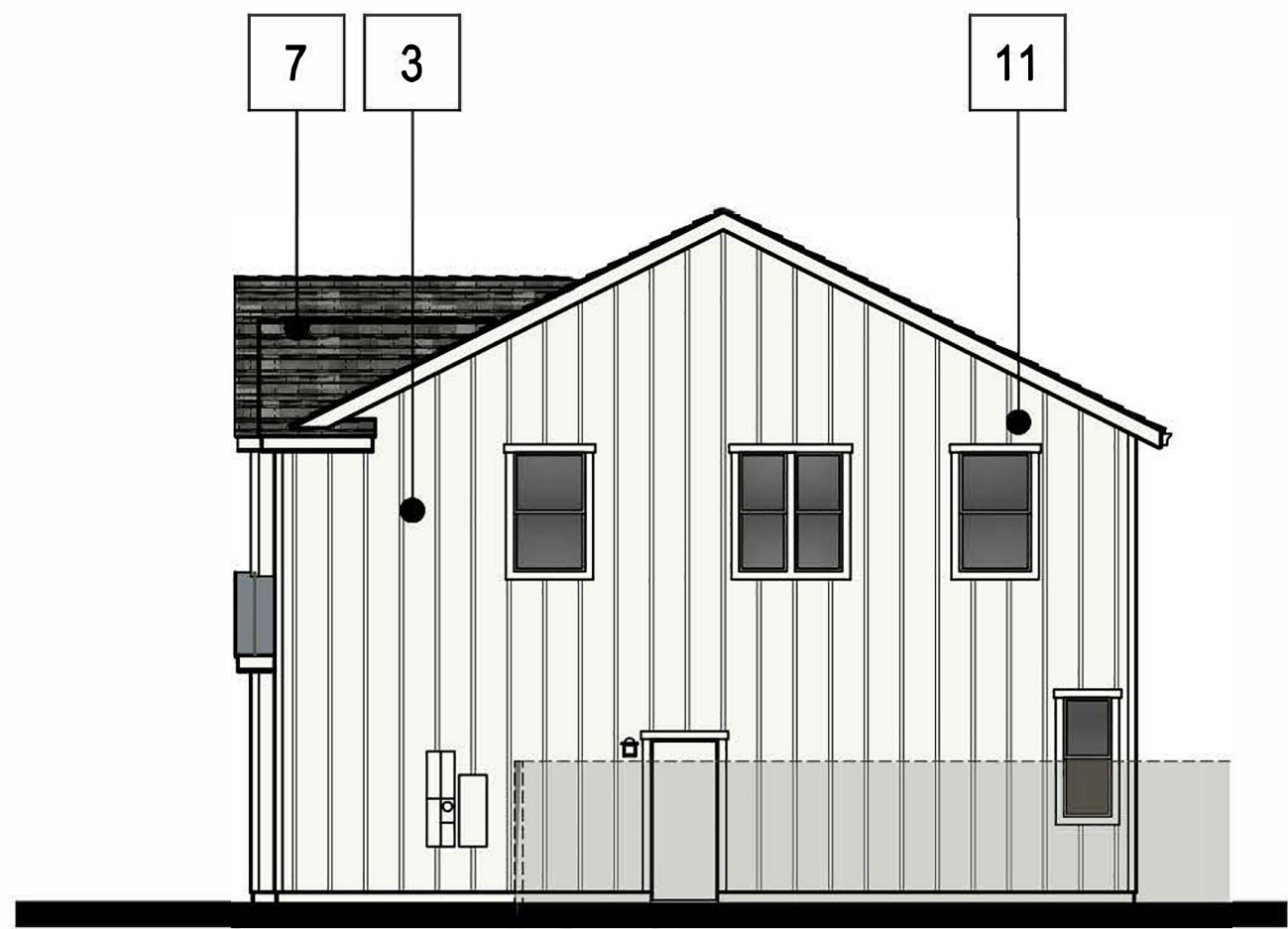
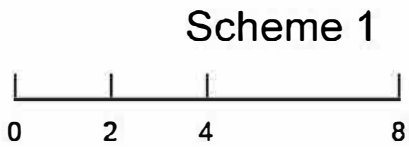
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- 1. THUNDERSTORM GRAY
- METAL ROOF: ZINC GREY
- BATTEN BOARD SIDING: SW 7757 HIGH REFLECTIVE WHITE
- FASCIA / EAVES: SW 7757 HIGH REFLECTIVE WHITE
- TRIM: SW 7757 HIGH REFLECTIVE WHITE
- GARAGE DOORS: SW 7659 GRIS
- ENTRY DOORS: SW 6229 TEMPE STAR

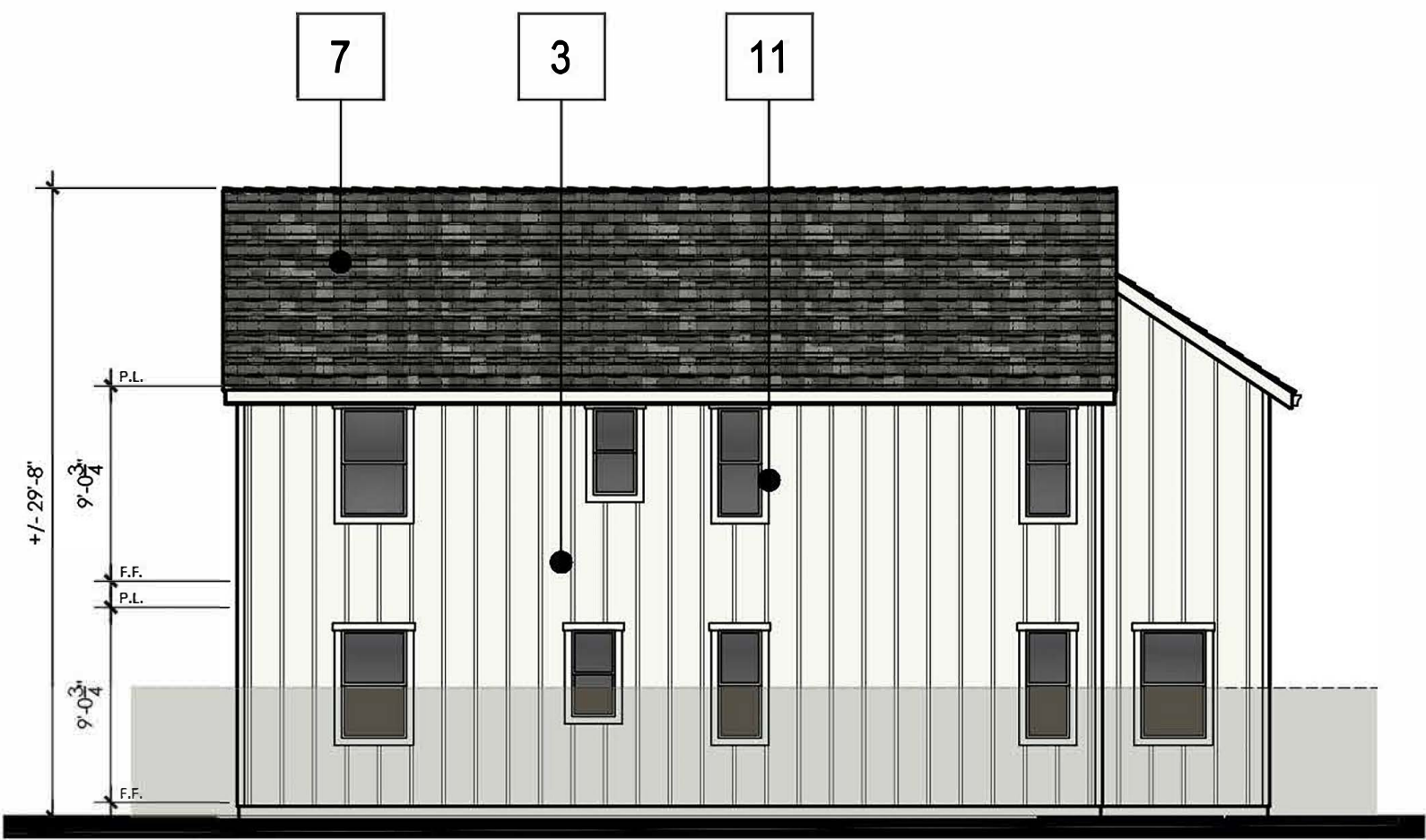


- MATERIAL LEGEND
- 1. STUCCO
 - 2. FIBER CEMENT LAP SIDING
 - 3. FIBER CEMENT BOARD AND BATTEN SIDING
 - 4. STONE VENEER
 - 5. METAL GARAGE DOOR
 - 6. CONCRETE S PROFILE ROOF TILE
 - 7. COMPOSITION SHINGLE ROOF
 - 8. LIGHT FIXTURE
 - 9. UNIT ADDRESS
 - 10. ENTRY DOOR
 - 11. FIBER CEMENT TRIM
 - 12. HIGH DENSITY FOAM TRIM
 - 13. VINYL WINDOW
 - 14. WOOD POST
 - 15. FIBER CEMENT PANEL
 - 16. METAL ROOFING
 - 17. METAL AWNING

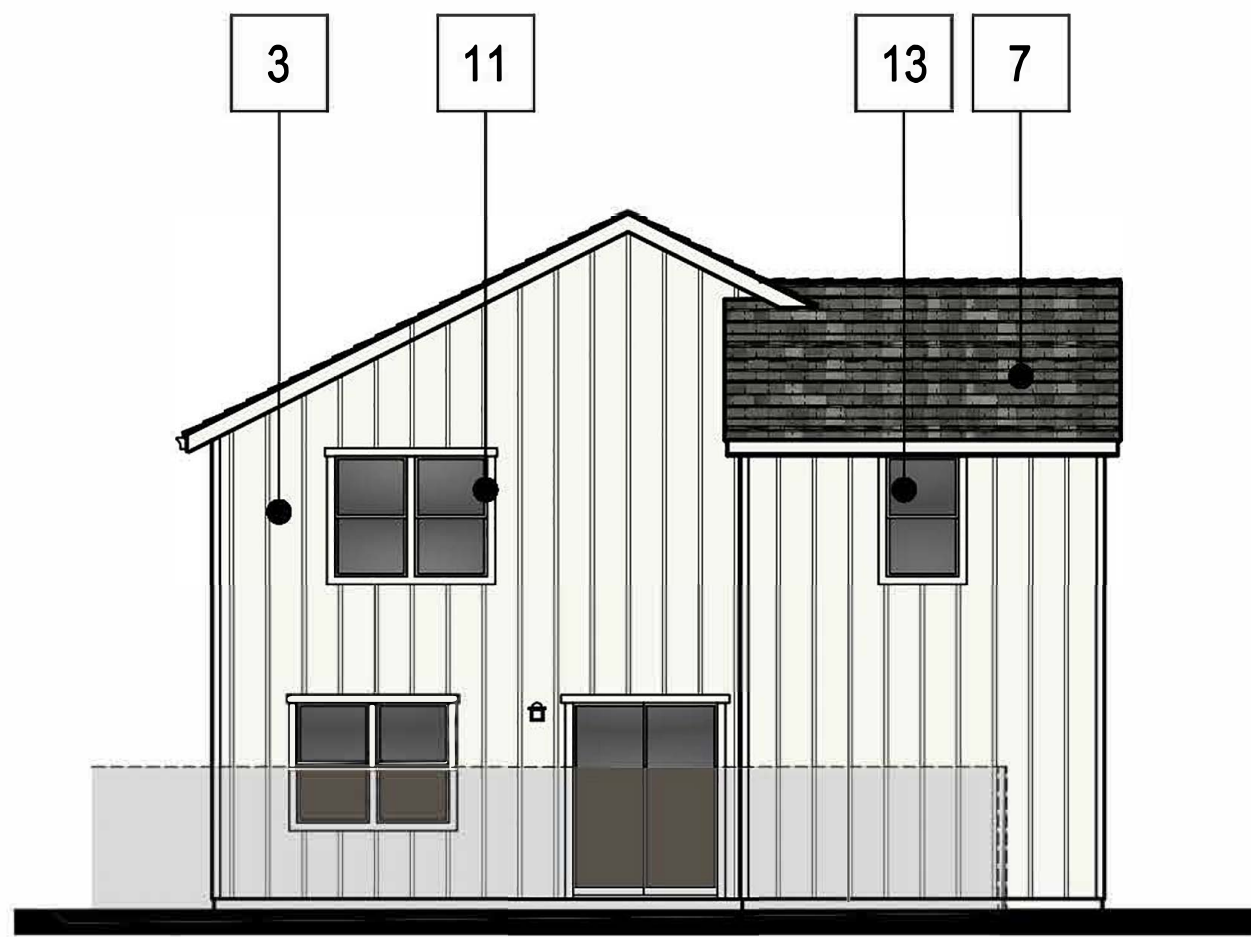
Front Elevation 4A



Right Elevation



Rear Elevation



Left Elevation

4

ROOF MATERIAL:
COMPOSITION ASPHALT

WEATHER WOOD

STUCCO BODY

SW 7641
GRECIAN IVORY

FASCIA / EAVES /
TRIM /
INSET SIDING AT 3B & 4B ONLY

SW 7645
THUNDER GRAY

INSET SIDING AT 1B & 2B /
LAP SIDING
INCLUDING CORNER BOARDS

SW 2848
ROYCROFT PEWTER

GARAGE DOORS

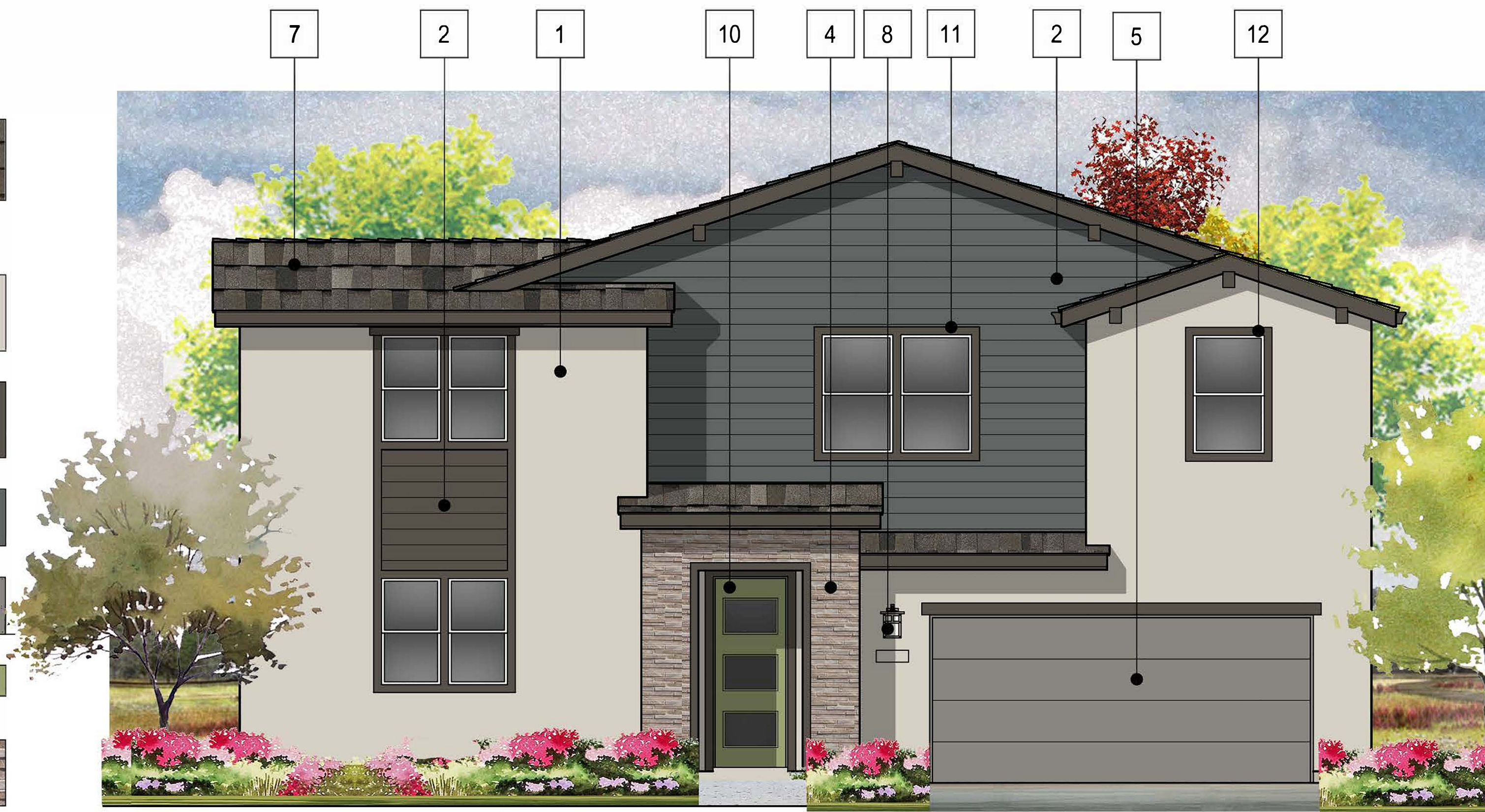
SW 0077
CLASSIC FRENCH GRAY

ENTRY DOORS

SW 9038
CUCUZZA VERDE

BRICK VENEER

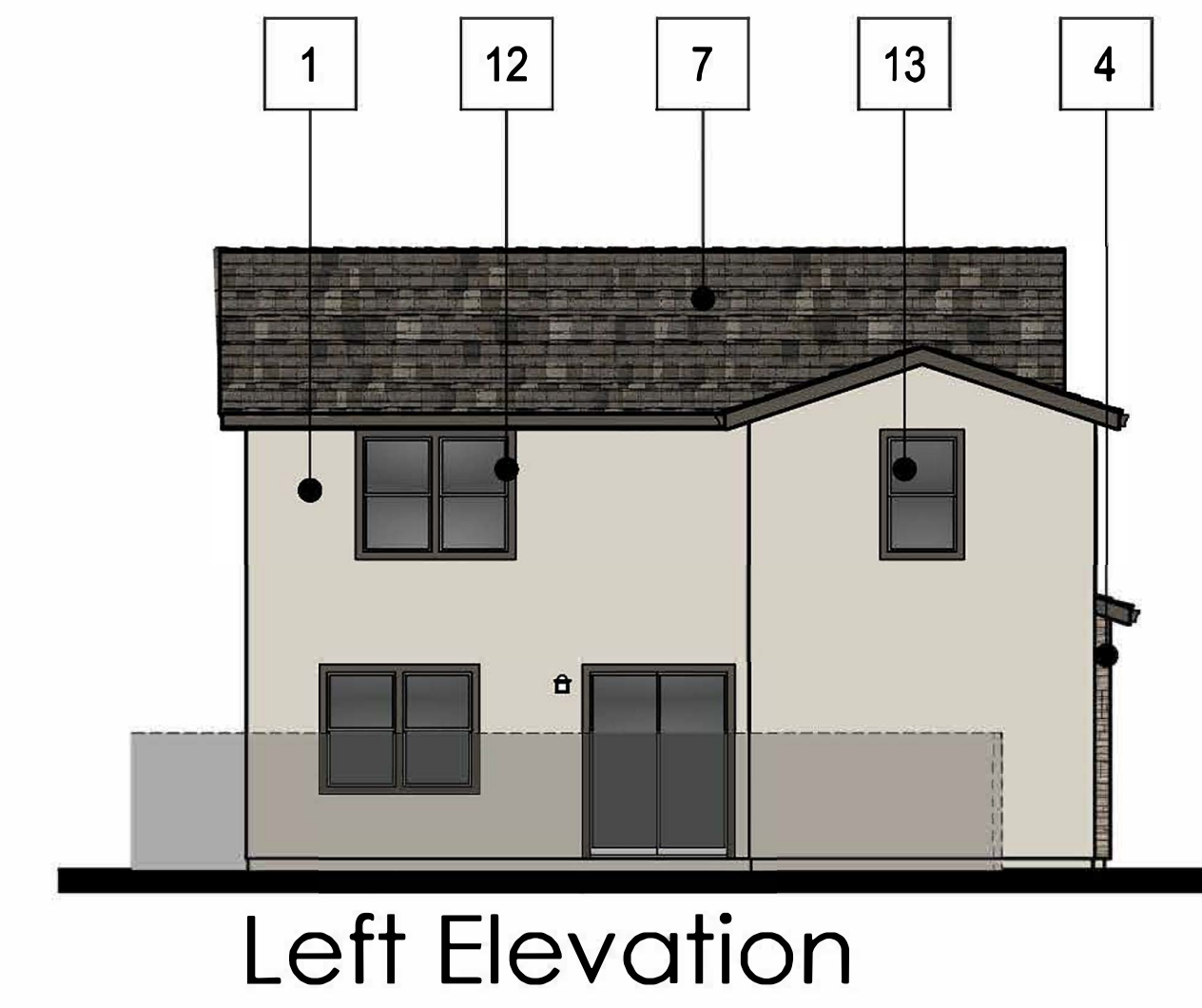
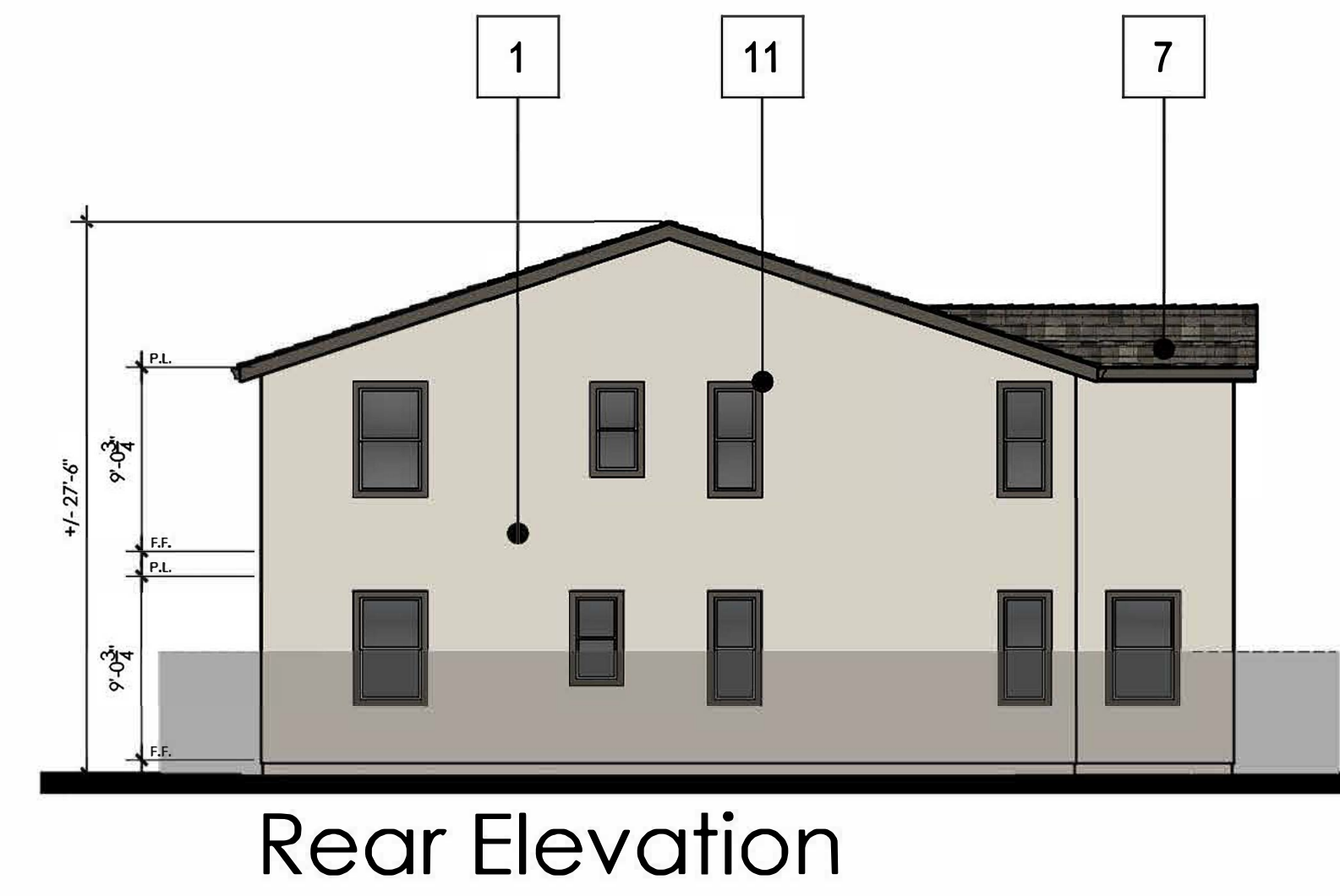
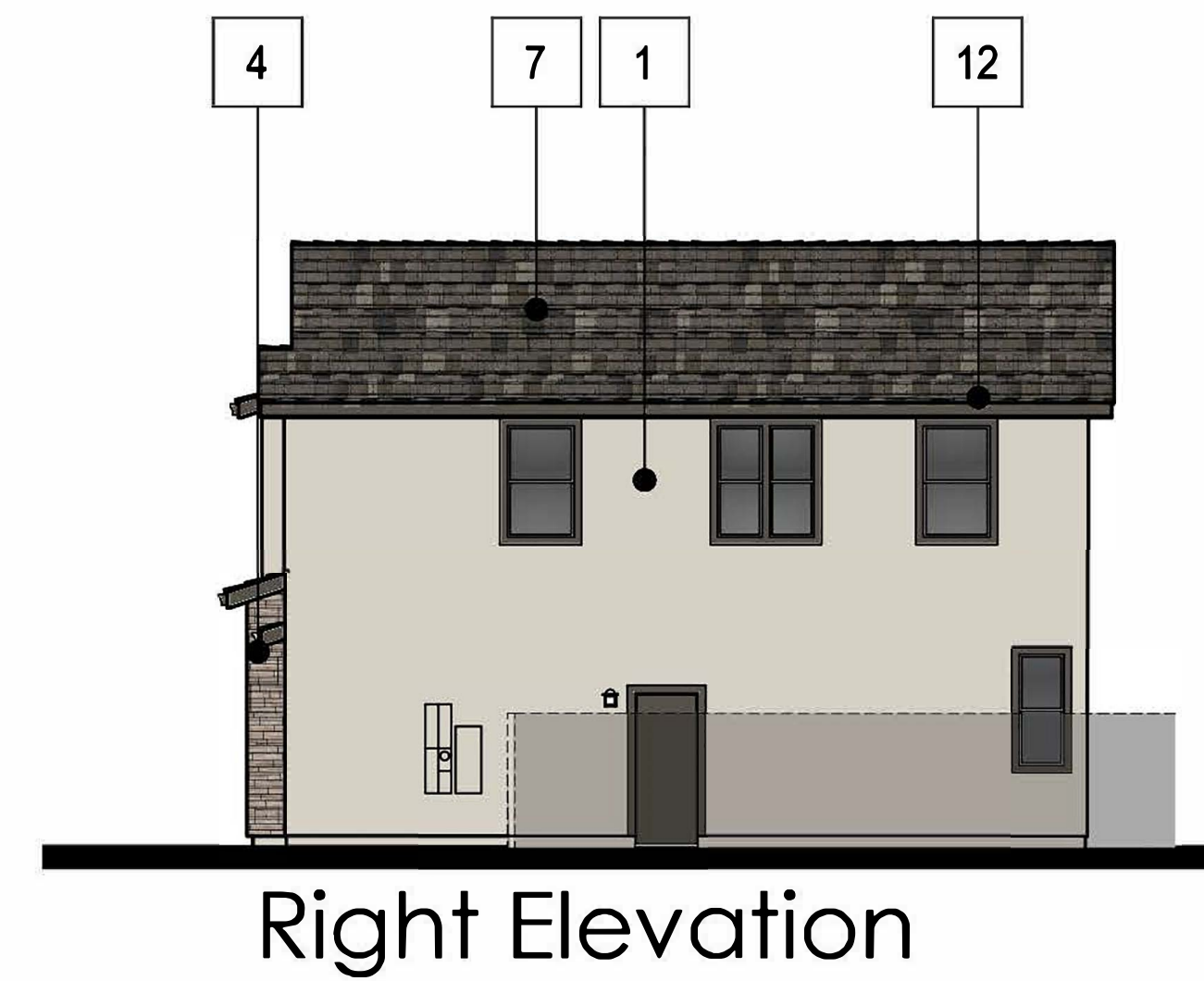
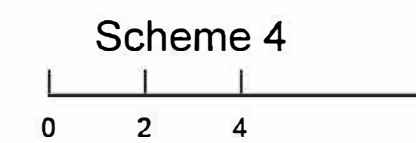
LOREI BRICK
FAROLA

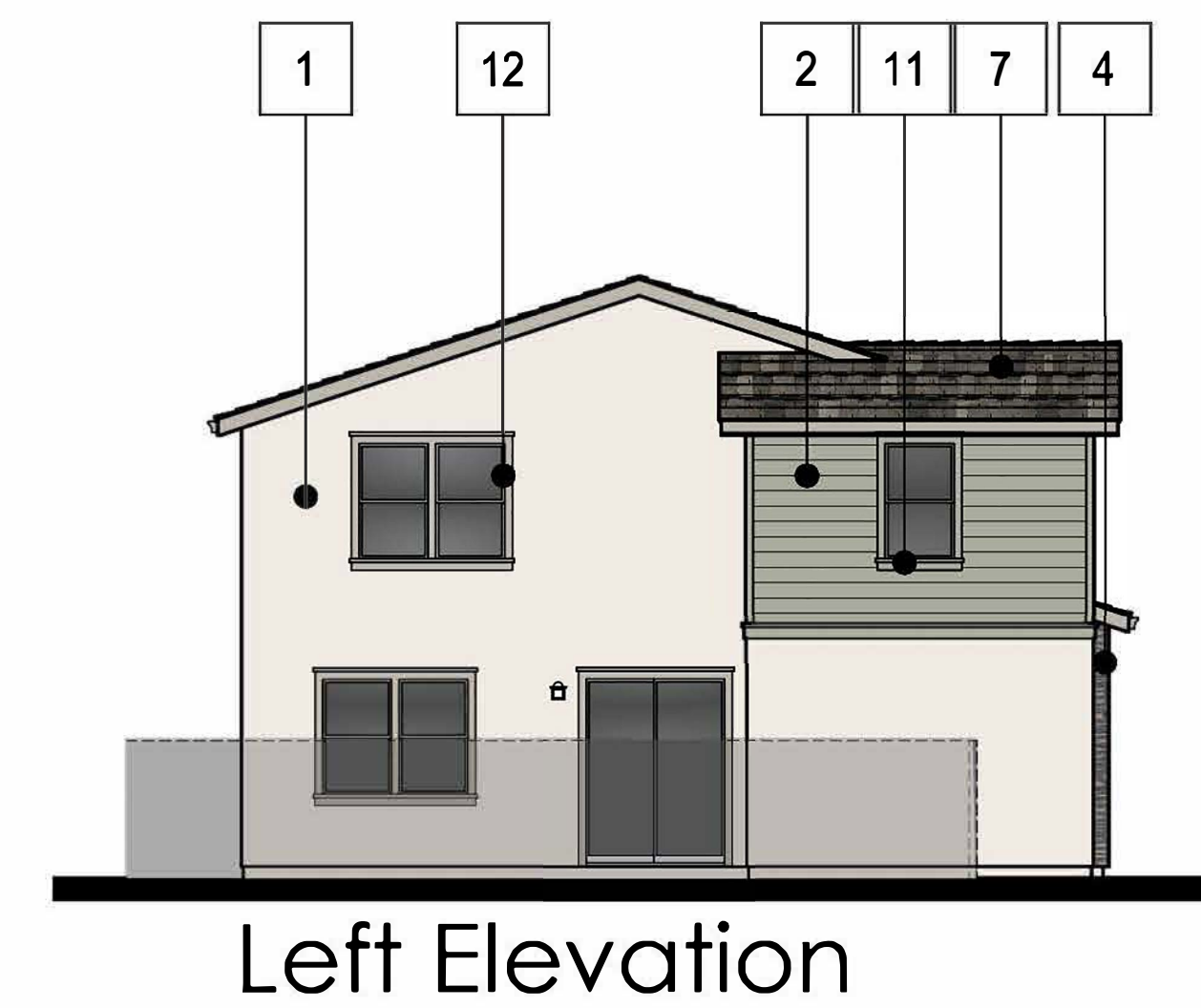
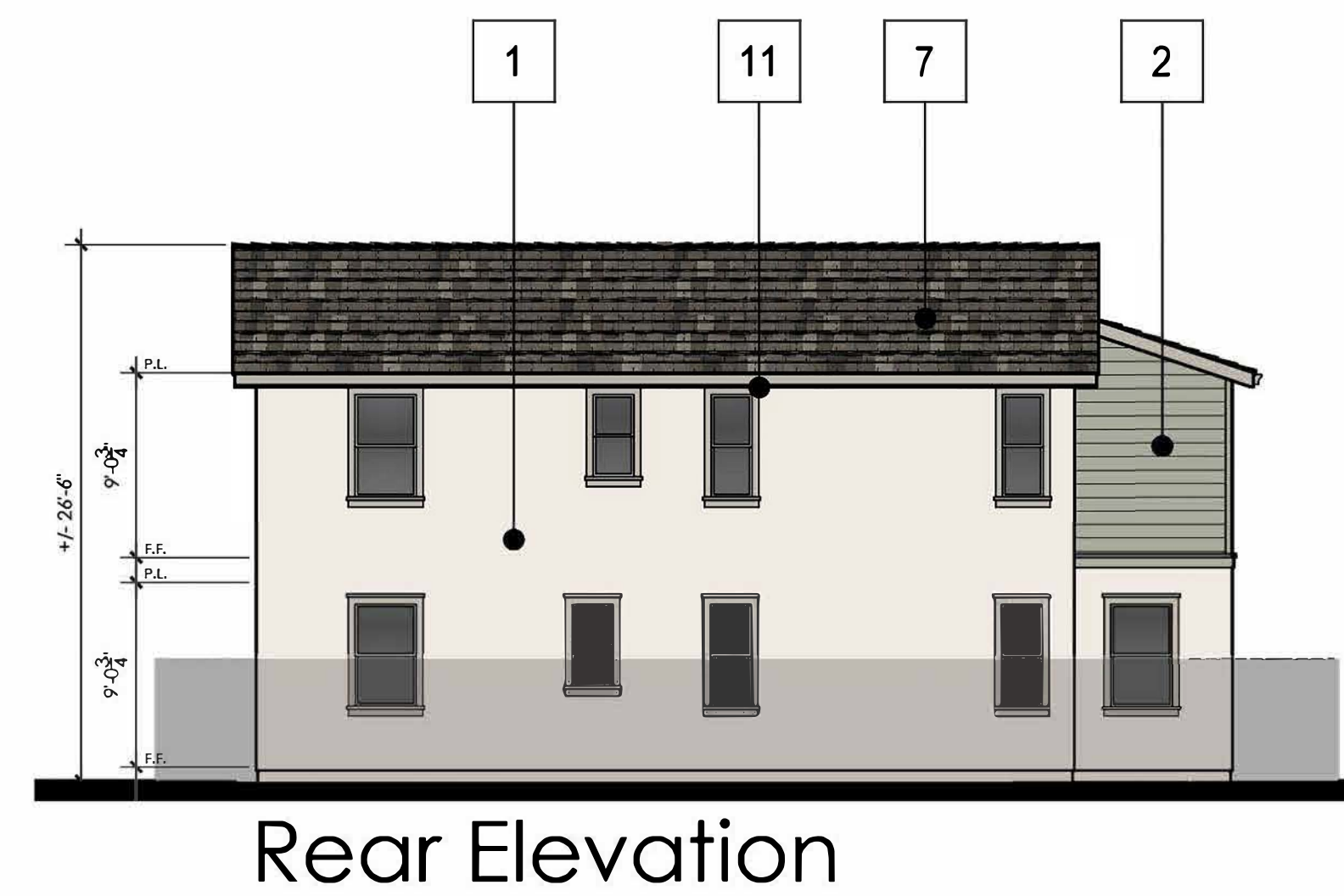
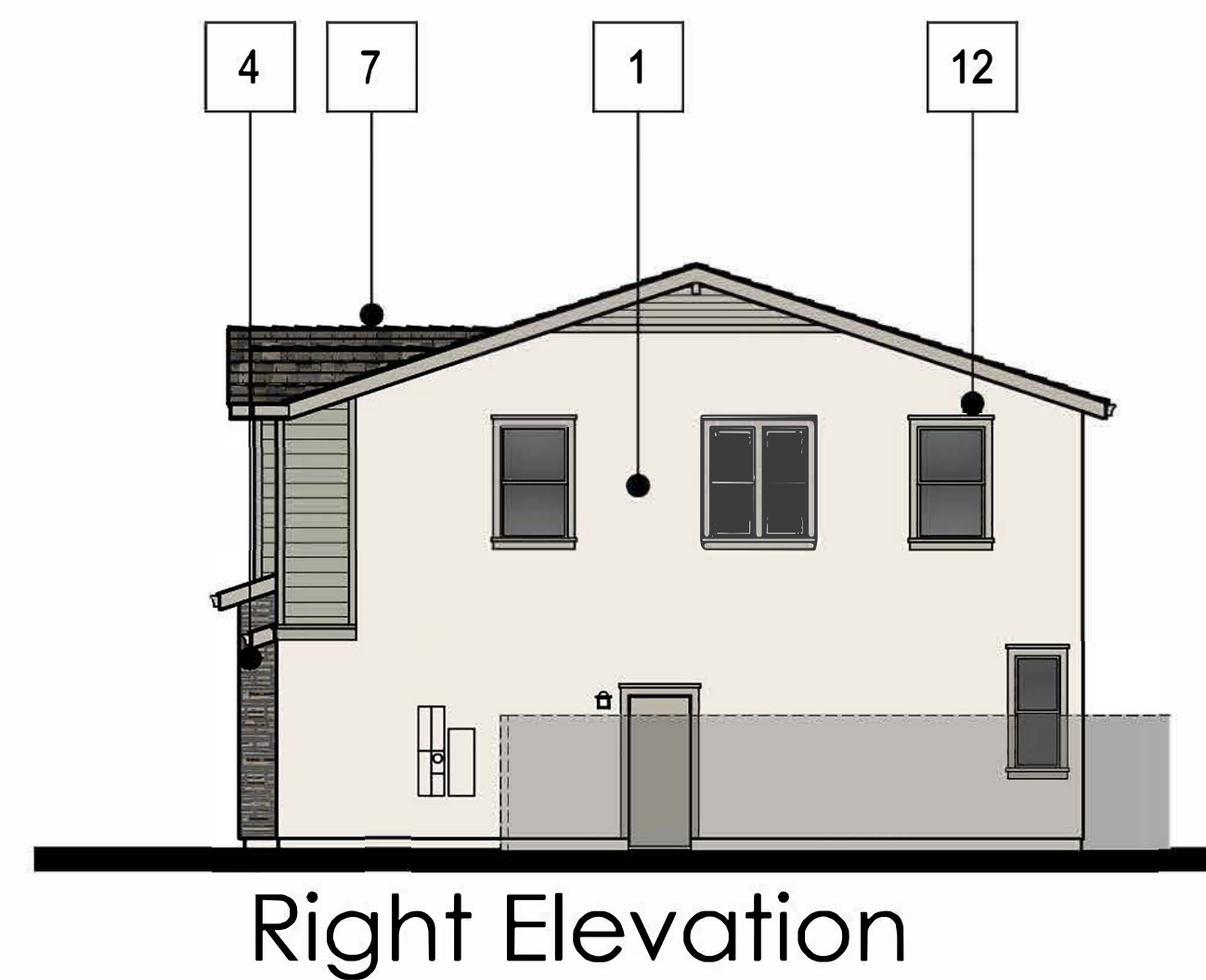
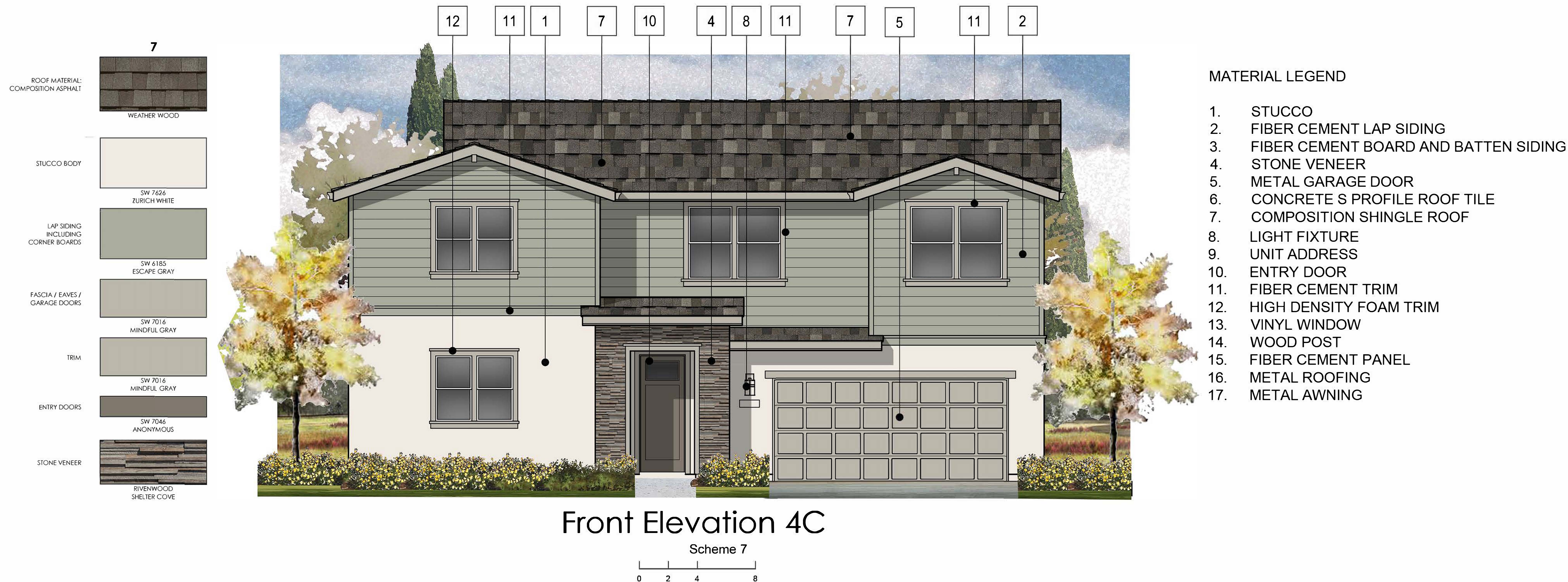


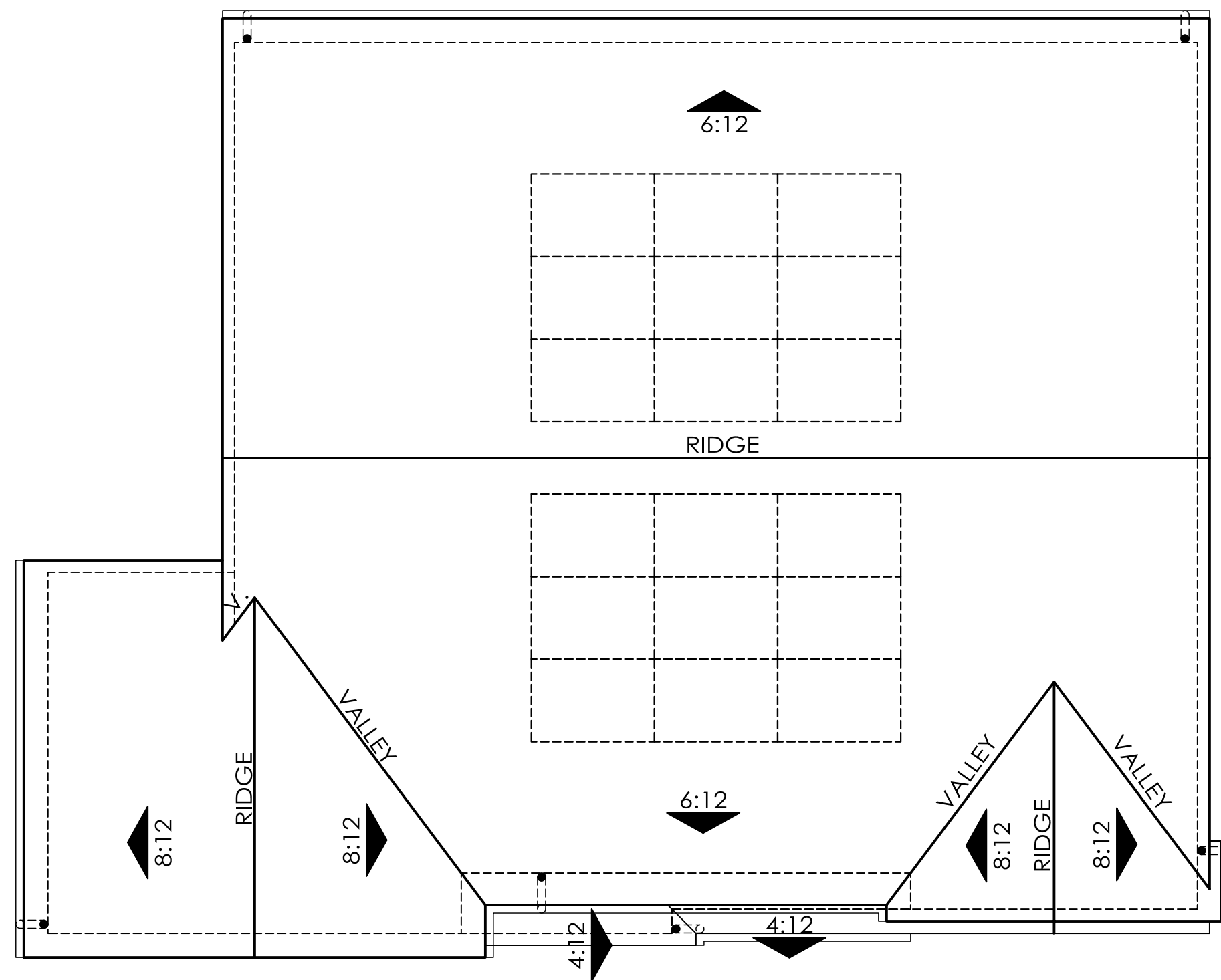
MATERIAL LEGEND

1. STUCCO
2. FIBER CEMENT LAP SIDING
3. FIBER CEMENT BOARD AND BATTEN SIDING
4. BRICK VENEER
5. METAL GARAGE DOOR
6. CONCRETE S PROFILE ROOF TILE
7. COMPOSITION SHINGLE ROOF
8. LIGHT FIXTURE
9. UNIT ADDRESS
10. ENTRY DOOR
11. FIBER CEMENT TRIM
12. HIGH DENSITY FOAM TRIM
13. VINYL WINDOW
14. WOOD POST
15. FIBER CEMENT PANEL
16. METAL ROOFING
17. METAL AWNING

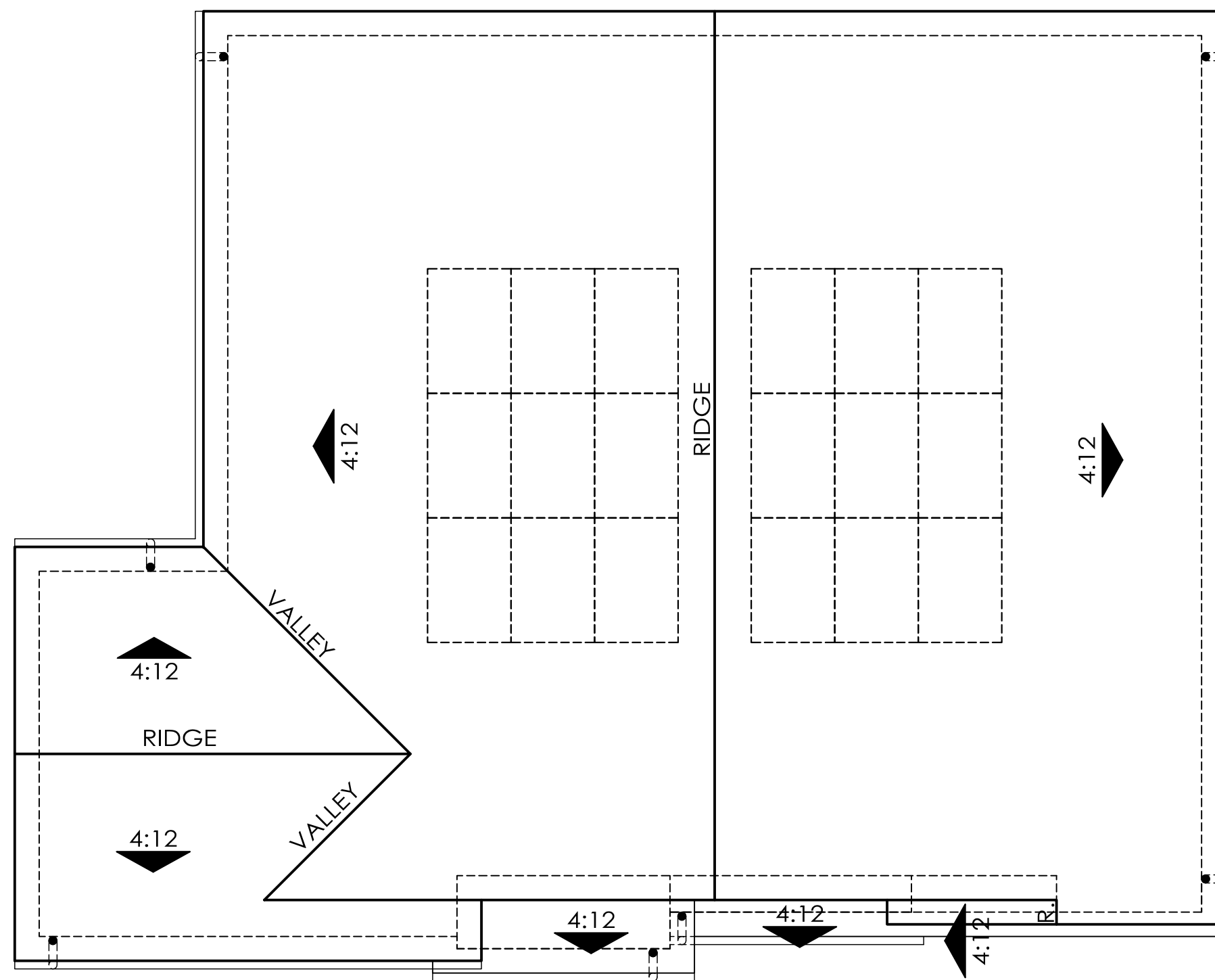
Front Elevation 4B



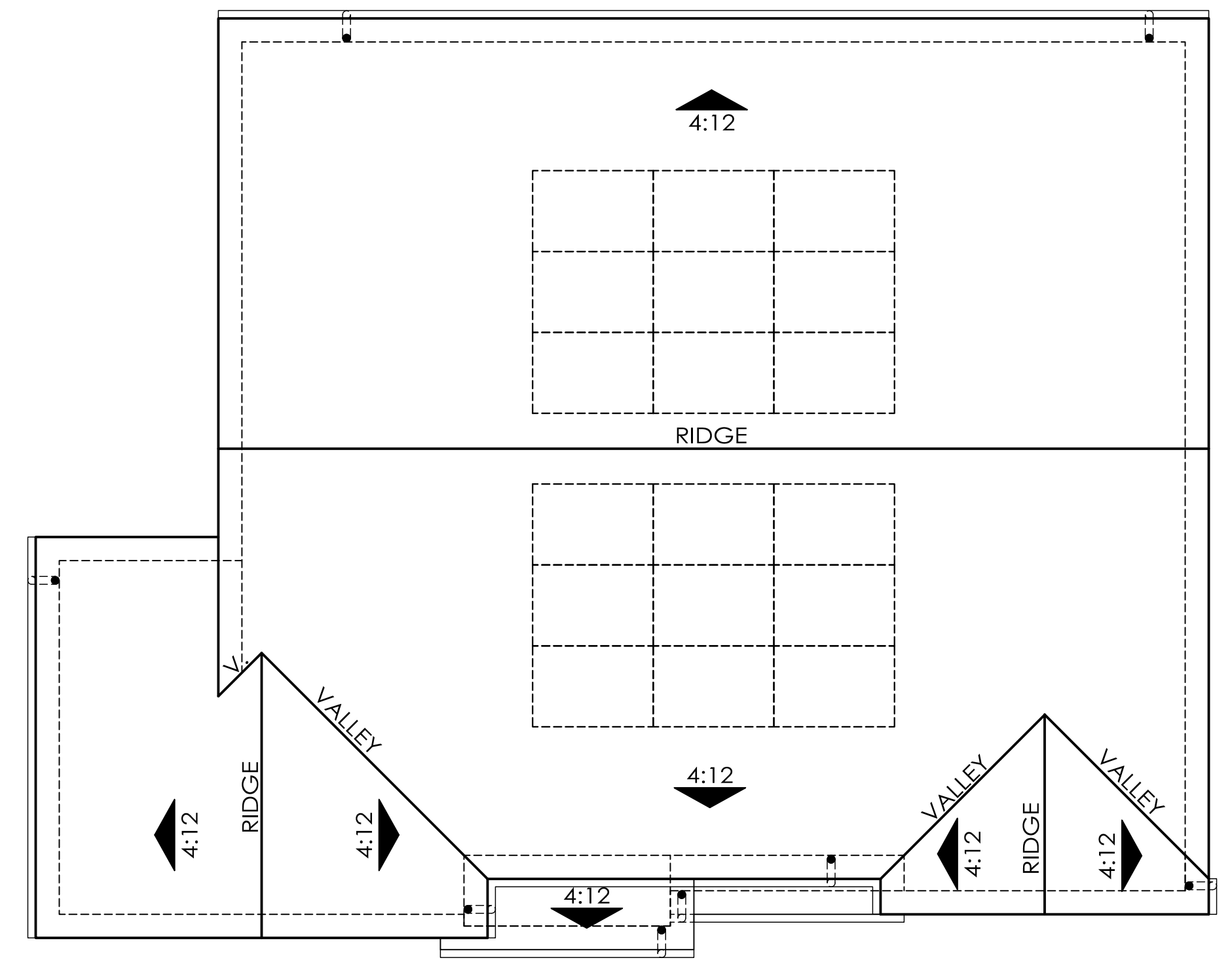




ROOF PLAN 4A
 OVERHANG : 12"
 RAKE : 6" U.N.O
 ROOF PITCH : 6:12 U.N.O



ROOF PLAN 4B
 OVERHANG : 12"
 RAKE : 12"
 ROOF PITCH : 4:12 U.N.O



ROOF PLAN 4C
 OVERHANG : 12"
 RAKE : 12"
 ROOF PITCH : 4:12 U.N.O

NOTE:

Solar panels shown are for illustrative purposes.
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 Location, quantity and orientation may change.

No roof mounted mechanical equipment.



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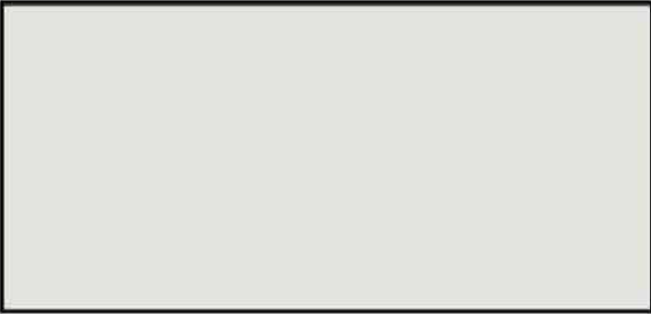
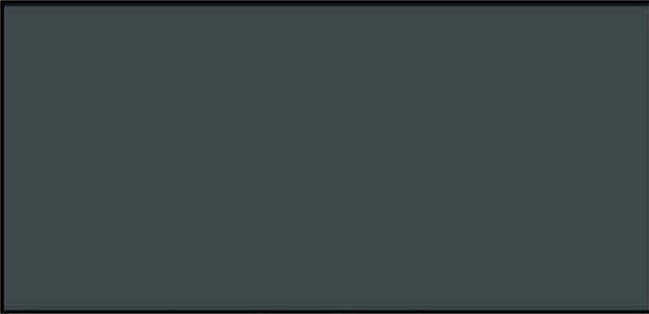
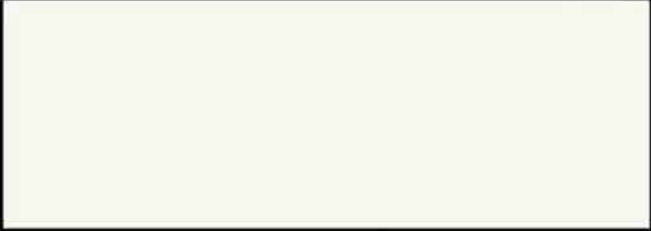
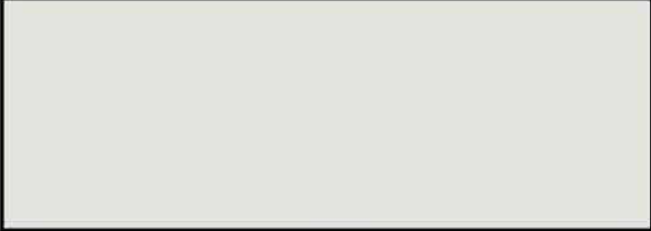


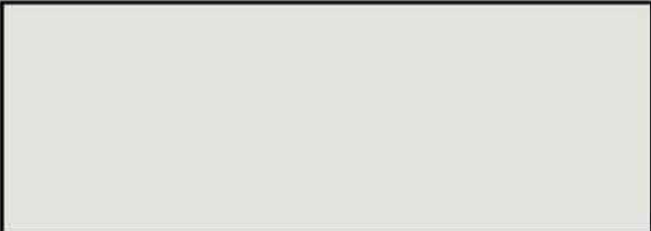
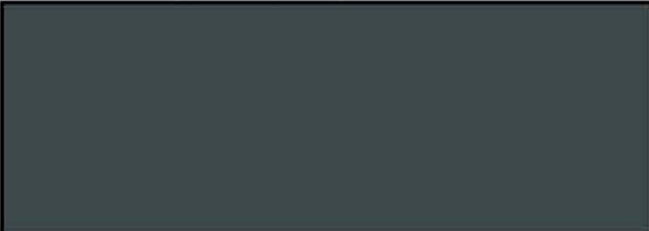



Scale: 3/16" = 1'-0"

PLAN 4 ROOF PLANS

A2-4.5

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	1	2	3
ROOF MATERIAL: COMPOSITION ASPHALT	 THUNDERSTORM GRAY	 WEATHER WOOD	 MOIRE BLACK
METAL ROOF	 ZINC GREY	 MEDIUM BRONZE	 CHARCOAL GRAY
BATTEN BOARD SIDING	 SW 7757 HIGH REFLECTIVE WHITE	 SW 9164 ILLUSIVE GREEN	 SW 0055 LIGHT FRENCH GRAY
FASCIA / EAVES	 SW 7757 HIGH REFLECTIVE WHITE	 SW 6252 ICE CUBE	 SW 7625 MOUNT ETNA
TRIM	 SW 7757 HIGH REFLECTIVE WHITE	 SW 6252 ICE CUBE	 SW 6168 MODERNE WHITE
GARAGE DOORS	 SW 7659 GRIS	 SW 6252 ICE CUBE	 SW 7625 MOUNT ETNA
ENTRY DOORS	 SW 6229 TEMPE STAR	 SW 0033 REMBRANDT RUBY	 SW 6991 BLACK MAGIC

'A' - ELEVATIONS

STUCCO/ PAINT: SHERWIN WILLIAMS
COMPOSITION ROOF: CERTAINTEED ROOFING - LANDMARK
STONE VENEER: EL DORADO STONE VENEER
METAL ROOF: BERRIDGE METALS



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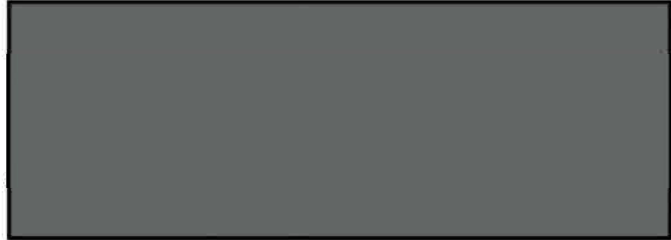











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COLOR / MATERIAL BOARD

A2-5.0

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	4	5	6
ROOF MATERIAL: COMPOSITION ASPHALT	 WEATHER WOOD	 MOIRE BLACK	 THUNDERSTORM GRAY
STUCCO BODY	 SW 7641 GRECIAN IVORY	 SW 7010 WHITE DUCK	 SW 6183 CONSERVATIVE GRAY
FASCIA / EAVES / TRIM / INSET SIDING AT 3B & 4B ONLY	 SW 7645 THUNDER GRAY	 SW 0038 LIBRARY PEWTER	 SW 6989 DOMINO
INSET SIDING AT 1B & 2B / LAP SIDING INCLUDING CORNER BOARDS	 SW 2848 ROYCROFT PEWTER	 SW 7052 GRAY AREA	 SW 7018 DOVETAIL
GARAGE DOORS	 SW 0077 CLASSIC FRENCH GRAY	 SW 0024 CURIO GRAY	 SW 7643 PUSSYWILLOW
ENTRY DOORS	 SW 9038 CUCUZZA VERDE	 SW 7710 BRANDYWINE	 SW 9024 VINTAGE GOLD
BRICK VENEER	 LOREI BRICK FAROLA	 LOREI BRICK HOLLIN	 LOREI BRICK LILIA

STUCCO/ PAINT: SHERWIN WILLIAMS
COMPOSITION ROOF: CERTAINTEED ROOFING - LANDMARK
STONE VENEER: EL DORADO STONE VENEER
METAL ROOF: BERRIDGE METALS

'B' - ELEVATIONS



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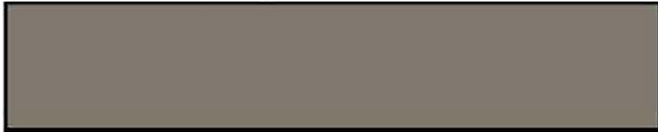





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COLOR / MATERIAL BOARD

A2-5.1

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	7	8	9
ROOF MATERIAL: COMPOSITION ASPHALT	 WEATHER WOOD	 THUNDERSTORM GRAY	 MOIRE BLACK
STUCCO BODY	 SW 7626 ZURICH WHITE	 SW 7063 NEBULOUS WHITE	 SW 7632 MODERN GRAY
LAP SIDING INCLUDING CORNER BOARDS	 SW 6185 ESCAPE GRAY	 SW 7063 NEBULOUS WHITE	 SW 7018 DOVETAIL
FASCIA / EAVES / GARAGE DOORS	 SW 7016 MINDFUL GRAY	 SW 7069 IRON ORE	 SW 7009 PEARLY WHITE
TRIM	 SW 7016 MINDFUL GRAY	 SW 0055 LIGHT FRENCH GRAY	 SW 7009 PEARLY WHITE
ENTRY DOORS	 SW 7046 ANONYMOUS	 SW 7605 GALE FORCE	 SW 7630 RAISIN
STONE VENEER	 RIVENWOOD SHELTER COVE	 RIVENWOOD SHORE BREEZE	 LEDGECUT 33 WHITE CAP

STUCCO/ PAINT: SHERWIN WILLIAMS
COMPOSITION ROOF: CERTAINTEED ROOFING - LANDMARK
STONE VENEER: EL DORADO STONE VENEER
METAL ROOF: BERRIDGE METALS

'C' - ELEVATIONS



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COLOR / MATERIAL BOARD

A2-5.2