

DEPAUL RESIDENCES MORGAN HILL, CALIFORNIA



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**DEPAUL RESIDENCES
MORGAN HILL, CALIFORNIA**

DESIGN PERMIT
APPLICATION - SB330
APRIL 1, 2024

COVER PAGE

A0-0.0



Landscape show for illustrative purposes only. See landscape drawings for specific selections.
Color and materials shown for illustrative purposes only, see color and material boards for specific selections



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DePaul Residences
MORGAN HILL # 2023-0661

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PERSPECTIVE RENDERING
NEIGHBORHOOD 1-TOWNHOUSES

A0-0.1



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PERSPECTIVE RENDERING
NEIGHBORHOOD 2- SINGLE FAMILY

A0-0.2

NORTH 30 RESIDENCES

SHEET INDEX:

A0-0.0 COVER PAGE
 A0-1.0 SHEET INDEX
 A0-1.1 PROJECT DATA / ARCHITECTURAL SITE PLAN
 A0-1.2 CODE ANALYSIS
 A0-2.0 EXISTING CONDITIONS AERIAL & PHOTOGRAPHS

LANDSCAPE:

L0 COVER SHEET
 L1 IRRIGATION NOTES
 L2 STREETSCAPE PLAN
 L3 LANDSCAPE PLAN
 L4 PASEO - AMENITY PLAN
 L5 COMMON OPEN SPACE - AMENITY PLAN
 L6 TREE PLAN
 L7 TYPICAL PASEO AND STORM WATER PLANTING PLAN
 L8 TYPICAL BASIN AND PARK PLANTING PLAN
 L9 TYPICAL SINGLE FAMILY AND STREET PLANTING PLAN
 L10 PLANT AND MATERIAL PALETTE
 L11 HYDOZONE PLAN
 L12 TYPICAL PASEO AND STORM WATER IRRIGATION PLAN
 L13 TYPICAL BASIN AND PARK IRRIGATION PLAN
 L14 TYPICAL SINGLE FAMILY AND STREET IRRIGATION PLAN
 L15 LIGHTING PLAN

PHOTOMETRICS

1 OF 3 LIGHTING PLAN -PHOTOMETRIC ANALYSIS
 LAYOUT VERIFICATION
 2 OF 3 LIGHTING PLAN -PHOTOMETRIC ANALYSIS
 LAYOUT VERIFICATION
 3 OF 3 LIGHTING PLAN -PHOTOMETRIC ANALYSIS
 LAYOUT VERIFICATION

ARCHITECTURE:

NEIGHBORHOOD 1 - TOWNHOUSES

A1-0.0 COVER PAGE - TOWNHOUSES

A1-2.0 BUILDING ELEVATIONS - 4PLEX (COLOR SCHEME 1)
 A1-2.1 BUILDING ELEVATIONS - 4PLEX (COLOR SCHEME 1)
 A1-2.2 BUILDING ELEVATIONS - 4PLEX (COLOR SCHEME 2)
 A1-2.3 BUILDING ELEVATIONS - 4PLEX (COLOR SCHEME 2)
 A1-2.4 BUILDING ELEVATIONS - 5PLEX (COLOR SCHEME 1)
 A1-2.5 BUILDING ELEVATIONS - 5PLEX (COLOR SCHEME 1)
 A1-2.6 BUILDING ELEVATIONS - 5PLEX (COLOR SCHEME 2)
 A1-2.7 BUILDING ELEVATIONS - 5PLEX (COLOR SCHEME 2)
 A1-2.8 BUILDING ELEVATIONS - 6PLEX (COLOR SCHEME 1)
 A1-2.9 BUILDING ELEVATIONS - 6PLEX (COLOR SCHEME 1)
 A1-2.10 BUILDING ELEVATIONS - 6PLEX (COLOR SCHEME 2)
 A1-2.11 BUILDING ELEVATIONS - 6PLEX (COLOR SCHEME 2)
 A1-3.0 BUILDING PLANS - 4PLEX
 A1-3.1 BUILDING PLANS - 4PLEX
 A1-3.2 BUILDING PLANS - 5PLEX
 A1-3.3 BUILDING PLANS - 5PLEX
 A1-3.4 BUILDING PLANS - 6PLEX
 A1-3.5 BUILDING PLANS - 6PLEX
 A1-4.0 TYPICAL BUILDING SECTIONS
 A1-4.1 TYPICAL BUILDING SECTIONS
 A1-4.2 TYPICAL BUILDING SECTIONS
 A1-5.0 UNIT PLANS - UNIT 1
 A1-5.1 UNIT PLANS - UNIT 2
 A1-5.2 UNIT PLANS - UNIT 3
 A1-6.0 ARCHITECTURAL DETAILS
 A1-6.1 ARCHITECTURAL DETAILS
 A1-7.0 COLOR AND MATERIAL SELECTIONS

ARCHITECTURE:

NEIGHBORHOOD 2 - SINGLE FAMILY DETACHED

A2-0.0 COVER PAGE - SINGLE FAMILY

PLAN 1
 A2-1.0 PLAN 1 COLORED FRONT ELEVATIONS
 A2-1.1 PLAN 1 FLOOR PLAN
 A2-1.1.1 PLAN 1 ADDENDA
 A2-1.2 PLAN 1A EXTERIOR ELEVATIONS
 A2-1.3 PLAN 1B EXTERIOR ELEVATIONS
 A2-1.4 PLAN 1C EXTERIOR ELEVATIONS
 A2-1.5 PLAN 1 ROOF PLANS
 PLAN 2
 A2-2.0 PLAN 2 COLORED FRONT ELEVATIONS
 A2-2.1 PLAN 2 FLOOR PLAN
 A2-2.1.1 PLAN 2 ADDENDA
 A2-2.2 PLAN 2A EXTERIOR ELEVATIONS
 A2-2.3 PLAN 2B EXTERIOR ELEVATIONS
 A2-2.4 PLAN 2C EXTERIOR ELEVATIONS
 A2-2.5 PLAN 2A ALT FLOOR PLAN
 A2-2.6 PLAN 2 ALT EXTERIOR ELEVATIONS
 A2-2.7 PLAN 2 ROOF PLANS
 PLAN 3
 A2-3.0 PLAN 3 COLORED FRONT ELEVATIONS
 A2-3.1 PLAN 3 FLOOR PLAN
 A2-3.1.1 PLAN 3 ADDENDA
 A2-3.2 PLAN 3A EXTERIOR ELEVATIONS
 A2-3.3 PLAN 3B EXTERIOR ELEVATIONS
 A2-3.4 PLAN 3C EXTERIOR ELEVATIONS
 A2-3.5 PLAN 3 ROOF PLANS
 PLAN 4
 A2-4.0 PLAN 4 COLORED FRONT ELEVATIONS
 A2-4.1 PLAN 4 FLOOR PLAN
 A2-4.1.1 PLAN 4 ADDENDA
 A2-4.2 PLAN 4A EXTERIOR ELEVATIONS
 A2-4.3 PLAN 4B EXTERIOR ELEVATIONS
 A2-4.4 PLAN 4C EXTERIOR ELEVATIONS
 A2-4.5 PLAN 4 ROOF PLANS

COLOR MATERIAL BOARDS

A2-5.0 COLOR / MATERIAL BOARD
 A2-5.1 COLOR / MATERIAL BOARD
 A2-5.2 COLOR / MATERIAL BOARD

CIVIL:

CV COVER SHEET
 C1.0 TOPOGRAPHIC SURVEY
 C2.0 HORIZONTAL CONTROL PLAN
 C3.0 OVERALL GRADING & DRAINAGE PLAN
 C3.1 PRELIMINARY GRADING & DRAINAGE PLAN
 C3.2 PRELIMINARY GRADING & DRAINAGE PLAN
 C3.3 PRELIMINARY GRADING & DRAINAGE PLAN
 C3.4 PRELIMINARY GRADING & DRAINAGE PLAN
 C4.0 SECTIONS
 C5.0 OVERALL UTILITY PLAN
 C5.1 PRELIMINARY UTILITY PLAN
 C5.2 PRELIMINARY UTILITY PLAN
 C5.3 PRELIMINARY UTILITY PLAN
 C5.4 PRELIMINARY UTILITY PLAN
 C6.0 STORM WATER QUALITY CONTROL PLAN
 C7.0 EROSION CONTROL PLAN



LEGEND

- SINGLE FAMILY DETACHED
- 4 PLEX - TOWNHOUSE
- 5 PLEX - TOWNHOUSE
- 6 PLEX - TOWNHOUSE



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PROJECT DATA
& SITE PLAN

A0-1.1

MORGAN HILL, CA

SINGLE FAMILY

GENERAL INFORMATION UNIT DATA + AREA CALCULATIONS

| | Livable Gross SF | Garage SF | Non-Residential Gross SF | Residential Gross SF | # of homes | Total Gross SF |
|-------------------------------------|------------------|-----------|--------------------------|----------------------|------------|-------------------|
| Plan 1 | 2,131 | 458 | 0 | 2,589 | 26 | 67,314 |
| Plan 2 | 2,416 | 445 | 0 | 2,861 | 25 | 71,525 |
| Plan 3 | 2,435 | 498 | 0 | 2,933 | 25 | 73,325 |
| Plan 4 | 2,601 | 440 | 0 | 3,041 | 22 | 66,902 |
| Total Single Family Gross SF | | | | | 98 | 279,066 SF |

TOWNHOMES

UNIT DATA UNIT COUNT

| | Plan 1 | Plan 2 | Plan 3 | # of Buildings |
|-------------------------|--------|--------|--------|----------------|
| 4-Plex | 1 | 1 | 2 | 10 |
| 5-Plex | 1 | 2 | 2 | 3 |
| 6-Plex | 2 | 2 | 2 | 3 |
| Total Units / Plan Type | 19 | 22 | | 32 |
| Total # Units | | | | 73 Total Units |

UNIT DATA + AREA CALCULATIONS PER TOWNHOME UNIT

| | Residential Area SF* | Garage SF** | Non-Residential Gross SF | Residential Gross SF | # of homes | Project Total Gross SF |
|--------------------------------|----------------------|-------------|--------------------------|----------------------|------------|------------------------|
| Townhome - Plan 1 | 1,982 | 472 | 0 | 1,982 | 19 | 46,626 |
| Townhome - Plan 2 | 2,189 | 487 | 0 | 2,189 | 22 | 58,872 |
| Townhome - Plan 3 | 2,223 | 485 | 0 | 2,223 | 32 | 86,656 |
| Total Townhome Gross SF | | | | | 73 | 192,154 SF |

*Residential Area measured to outside face of stud. Does not include patios, balconies,

**Garage Area measured to outside face of stud of garages.

AREA CALCULATIONS

| Building Type | Gross Residential Area per Building* SF | Gross Non-Residential Area per Building | # of Buildings | Total Project Gross Residential Area SF |
|--------------------------------|---|---|----------------|---|
| 4-Plex | 10,546 | 0 | 10 | 105,460 SF |
| 5-Plex | 13,222 | 0 | 3 | 39,666 SF |
| 6-Plex | 15,676 | 0 | 3 | 47,028 SF |
| Total Townhome Gross SF | | | 16 | 192,154 SF |

*Area includes residential area, including garages to outside face of stud. Does not include patios and balconies

RESIDENTIAL PARKING SUMMARY

| Guest Parking: | # of Units | Req. Ratio. | Spaces Required | Spaces Provided |
|---|---------------------------|-------------|-----------------|------------------|
| Townhouses | 73 | 0.25 | 18.25 | 19 |
| Van Accessible - 19 Spaces x 5% = 1 Van Accessible Space | | | | |
| EV Charging - 19 Spaces x 5% = 1 EV at Van Accessible Space (noted above) | | | | |
| Single Family Detached | 98 | 0.25 | 24.5 | 152 |
| | | | | Total Guest: 171 |
| Private Parking in Garages: | | | | |
| Townhouse (MF) Res. (Garage) | 73 Units x 2 Spaces Ea. = | | | 146 |
| Single Family Res. (Garage) | 98 Units x 2 Spaces Ea. = | | | 196 |

A POTENTIAL LOCATION OF ACCESSIBLE UNITS
73 Townhouse Units x 10 % Accessible = 8 Units

NOTES:

1. REFER TO CIVIL SHEETS FOR ALL PROPERTY LINES, EASEMENTS, SITE DIMENSIONS, ACCESSIBLE UNIT LOCATIONS, ETC.
2. REFER TO LANDSCAPE SHEETS FOR LANDSCAPE DESIGN, DIMENSIONS AND DETAILED INFORMATION.

SINGLE FAMILY DETACHED R3

APPLICABLE CODES:

2022 CALIFORNIA RESIDENTIAL CODE (CRC)

2022 CALIFORNIA ELECTRICAL CODE (CEC) PART 3, TITLE 24
[BASED ON 2017 NATIONAL ELECTRICAL CODE]

2022 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24
[BASED ON 2018 UNIFORM MECHANICAL CODE]

2022 CALIFORNIA PLUMBING CODE (CPC) PART 5, TITLE 24
[BASED ON 2018 UNIFORM PLUMBING CODE]

2022 CALIFORNIA ENERGY CODE PART 6, TITLE 24

2022 CALIFORNIA FIRE CODE (CFC) PART 9, TITLE 24
[BASED ON 2018 INTERNATIONAL FIRE CODE]

2022 CALIFORNIA GREEN BUILDING CODE (CAL GREEN) PART 11

CITY OF MORGAN HILL MUNICIPAL CODE

TYPE OF CONSTRUCTION: V-B
OCCUPANCY GROUP: R-3
GARAGE: U
FIRE SPRINKLERS: NFPA 13-D

AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 13-D IN ONE- AND TWO- FAMILY DWELLINGS.

THIS PROJECT SHALL COMPLY WITH ALL OTHER REGULATIONS AND ORDINANCES ADOPTED BY THE LOCAL GOVERNING AGENCIES.

3 STORY TOWNHOUSE: R2- TOWNHOUSE CONDOMINIUMS

APPLICABLE CODES:

2022 CALIFORNIA BUILDING CODE (CBC) PART 2, VOLUMES 1 AND 2, TITLE 24
[BASED ON 2018 INTERNATIONAL BUILDING CODE]

2022 CALIFORNIA RESIDENTIAL CODE (CRC)

2022 CALIFORNIA ELECTRICAL CODE (CEC) PART 3, TITLE 24
[BASED ON 2017 NATIONAL ELECTRICAL CODE]

2022 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24
[BASED ON 2018 UNIFORM MECHANICAL CODE]

2022 CALIFORNIA PLUMBING CODE (CPC) PART 5, TITLE 24
[BASED ON 2018 UNIFORM PLUMBING CODE]

2022 CALIFORNIA ENERGY CODE PART 6, TITLE 24

2022 CALIFORNIA FIRE CODE (CFC) PART 9, TITLE 24
[BASED ON 2018 INTERNATIONAL FIRE CODE]

2022 CALIFORNIA GREEN BUILDING CODE (CAL GREEN) PART 11

CITY OF MORGAN HILL MUNICIPAL CODE

DEFINITIONS:
[PER CRC R202]

TOWNHOUSE CONDOMINIUMS: A SINGLE FAMILY DWELLING UNIT CONSTRUCTED IN A GROUP OF THREE OR MORE ATTACHED UNITS IN WHICH EACH UNIT EXTENDS FROM FOUNDATION TO ROOF AND WITH A YARD OR PUBLIC WAY ON AT LEAST TWO SIDES.

OCCUPANCY GROUP:
(CRC R 1.1.3.1)

TOWNHOUSE CONDOMINIUMS
U (PRIVATE GARAGES)

CONSTRUCTION TYPE

TYPE V-B

FIRE SPRINKLERS:
(CRC R 313)

NFPA 13-D

ALLOWABLE HEIGHT:

40 FEET

ALLOWABLE STORIES:
(CRC 1.13)

3 STORIES

ALLOWABLE FLOOR AREA

THE CRC DOES NOT PUT AREA LIMITATIONS ON TOWNHOUSE CONDOMINIUMS

TOWNHOUSE UNIT SEPARATION
(CRC R 302.2.2)

PER CRC R302.2 EACH TOWNHOUSE CONDOMINIUM SHALL BE SEPARATED BY A COMMON WALL CONSTRUCTED WITHOUT PLUMBING OR MECHANICAL EQUIPMENT, DUCTS OR VENTS RUNNING VERTICALLY IN THE COMMON WALL CAVITY. PER CRC R 302.2 ITEM 7 THE COMMON WALL SHALL BE NOT LESS THAN 1-HOUR FIRE RATED.

EXTERIOR WALL RATING:
(CRC TABLE R 302.1(2))

FIRE SEPARATION DISTANCE \geq 3' SHALL BE ZERO (0) (NON-RATED)
FIRE SEPARATION DISTANCE $<$ 3' SHALL BE ONE (1) - (1 HOUR)

MAXIMUM AREA OF
EXTERIOR WALL OPENINGS:
(CRC TABLE R 302.1(2))

FIRE SEPARATION DISTANCE \geq 3' SHALL BE UNLIMITED (UNRATED)
FIRE SEPARATION DISTANCE $<$ 3' SHALL NOT BE ALLOWED

UTILITIES / THROUGH PENETRATIONS
(CRC R302.4.1)

ELECTRIC METERS LOCATED IN COMMON HOA MAINTAINED CLOSETS AT THE END OF EACH BUILDING ARE RUN THROUGH THE BUILDING LATERALLY IN A NON-RATED SOFFIT RACEWAY LOCATED IN THE GARAGES. ACCESS EASEMENTS EXIST FOR USE AND MAINTENANCE OF THE UTILITY RACEWAY. THROUGH PENETRATIONS OF THE 1-HOUR RATED COMMON WALL SEPARATING UNITS BY ELECTRICAL AND PLUMBING LINES SHALL BE PROTECTED IN ACCORDANCE WITH CRC R 302.4.1 & CRC R 302.4.1.2 BY PROVIDING A THROUGH PENETRATION FIRESTOP SYSTEM.

ACCESSIBILITY:
(PER CRC R320.1)

DWELLING UNITS IN A BUILDING CONSISTING OF FOUR OR MORE CONDOMINIUM UNITS SHALL MEET THE REQUIREMENTS OF CALIFORNIA BUILDING CODE CHAPTER 11A - MULTISTORY DWELLINGS. REFER TO SITE PLAN FOR MORE INFORMATION AND LOCATION OF ACCESSIBLE UNITS. MULTI-DWELLING BUILDINGS WITH LESS THAN 4 UNITS ARE EXEMPT FROM ACCESSIBILITY REQUIREMENTS. 10% OF THE REMAINING UNITS THAT ARE NOT EXEMPT MUST BE MADE ACCESSIBLE BASED ON CBC SECTION 1102.3.1 SEE SITE PLAN, SHEET A0-1.1



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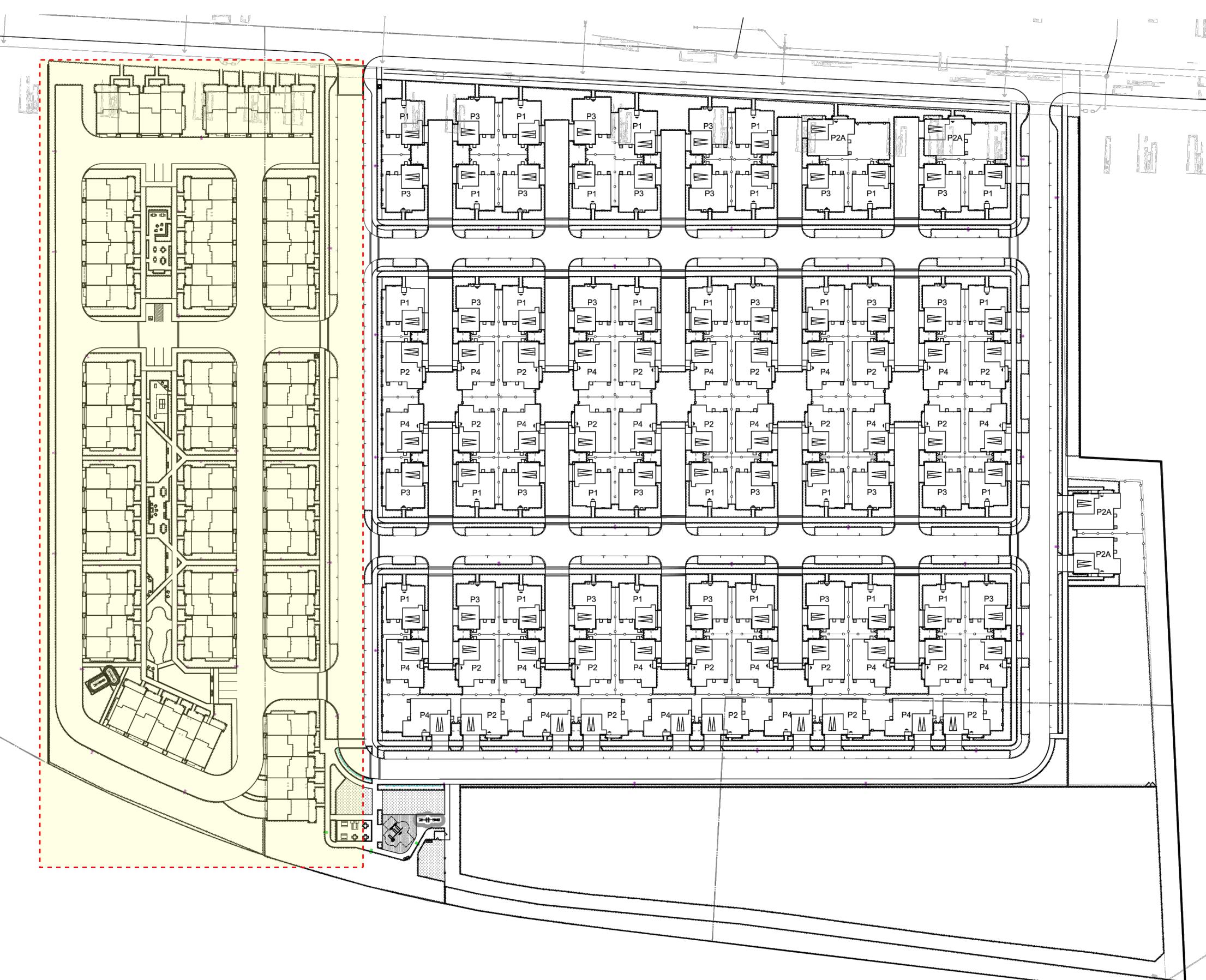
DePaul Residences
MORGAN HILL #2023-0661

DESIGN PERMIT
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APRIL 1, 2024

CODE ANALYSIS: NEIGHBORHOODS 1 & 2

A0-1.2

| <p>16. Useable Private and Common Open Space: Each lot must include a private open space area, such as a private yard, porch, balcony, roof garden, or patio. Private open space must be contiguous to the unit it serves and accessible and visible from the living area of the unit. Private open space must be open air. Private open space cannot be covered by a roof by more than 50 percent of the area; however, balconies can have up to 100 percent ceiling coverage. The following private open space is required per unit type:</p> | | | | | | | | | | | | | | | | | | | | | | | | |
|---|--------------------------------|--------------------------|--------------------------|--------------------------|--|--------------------------------|--|--|--|------------|-------------|-------------|-------------|--|--------------------|-------------------------|--------------------------|--------------------------|--------------------------|-------------------|--------------------------|--------------------------|--------------------------|--------------------------|
| <p>a. Single-family attached and detached units meeting the following average lot sizes shall provide useable open space as specified:</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <table border="1"> <thead> <tr> <th></th><th>Average Lot Area (square feet)</th><th></th><th></th><th></th></tr> </thead> <tbody> <tr> <td>1,440-1920</td><td>1,920-2,999</td><td>3,000-4,356</td><td>4,357-6,999</td><td></td></tr> <tr> <td>Private Open Space</td><td>60 square feet per unit</td><td>150 square feet per unit</td><td>300 square feet per unit</td><td>350 square feet per unit</td></tr> <tr> <td>Common Open Space</td><td>140 square feet per unit</td><td>150 square feet per unit</td><td>175 square feet per unit</td><td>200 square feet per unit</td></tr> </tbody> </table> | | | | | | Average Lot Area (square feet) | | | | 1,440-1920 | 1,920-2,999 | 3,000-4,356 | 4,357-6,999 | | Private Open Space | 60 square feet per unit | 150 square feet per unit | 300 square feet per unit | 350 square feet per unit | Common Open Space | 140 square feet per unit | 150 square feet per unit | 175 square feet per unit | 200 square feet per unit |
| | Average Lot Area (square feet) | | | | | | | | | | | | | | | | | | | | | | | |
| 1,440-1920 | 1,920-2,999 | 3,000-4,356 | 4,357-6,999 | | | | | | | | | | | | | | | | | | | | | |
| Private Open Space | 60 square feet per unit | 150 square feet per unit | 300 square feet per unit | 350 square feet per unit | | | | | | | | | | | | | | | | | | | | |
| Common Open Space | 140 square feet per unit | 150 square feet per unit | 175 square feet per unit | 200 square feet per unit | | | | | | | | | | | | | | | | | | | | |
| <p>d. If On-site Recreational Amenities are not provided, private and common open space shall be increased by 25 percent.</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>Common open space shall be fully landscaped and accessible to all residents. Private open space per unit may be reduced by up to 25 percent if offset by the equivalent increase in common open space with amenities.</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>(GP Policy CNF-11.29 Multi-Family Open Space)</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>ARCHITECTURAL DESIGN FEATURES</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>25. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>26. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>28. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick, or other material enhancements.</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>All facades (sides and rear) must have the level of detail, and materials incorporating at a minimum of two elements of the front façade. There shall be no blank walls.</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>(GP Policy CNF-11.16 360-Degree Design)</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>29. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth.</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously $\frac{1}{4}$ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>30. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>31. Height and Project Massing: Project design minimizes bulk of the buildings by limiting building height, or designing buildings with the following special features to break up building bulk, including:</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>a. Changes in roof form and height; and,</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses.</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>(General Plan Policy CNF 11.22)</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>32. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows:</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>a. Single-family Attached: 7 units maximum per structure</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>(General Plan Policy CNF 11.22)</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>100 percent affordable projects are exempt from this requirement</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>33. Building Colors: The project has provided a sample color palette of complimentary colors used in the surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors.</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>a. The use of fluorescent or neon colors is prohibited.</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>34. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project:</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>a. Minimum depth of at least 1 1/2 inches from glass to exterior of trim;</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or,</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>36. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>37. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventers, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment.</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>39. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling.</p> | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>43. Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.</p> | | | | | | | | | | | | | | | | | | | | | | | | |
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| | | Average Lot Area (square feet) | | |
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ARCHITECTURAL DESIGN FEATURES

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28. **360 Degree Architecture:** The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick, or other material enhancements.

All facades (sides and rear) must have the level of detail, and materials incorporating at a minimum of two elements of the front façade. There shall be no blank walls.

(GP Policy CNF-11.16 360-Degree Design)

29. **Exterior Treatments and Materials:** At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth.

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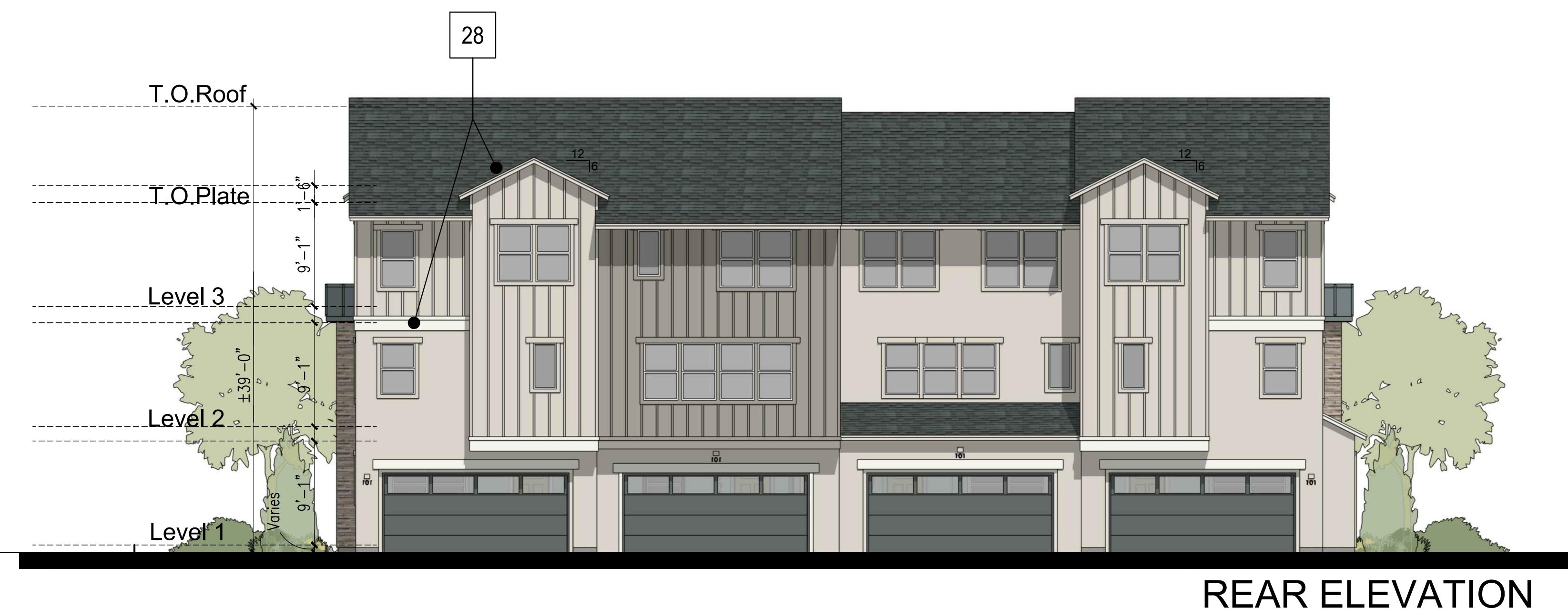
LEFT ELEVATION

FRONT PERSPECTIVE





RIGHT ELEVATION



REAR ELEVATION

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LEFT ELEVATION

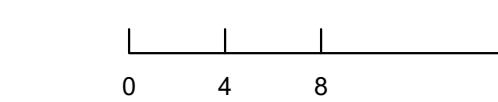


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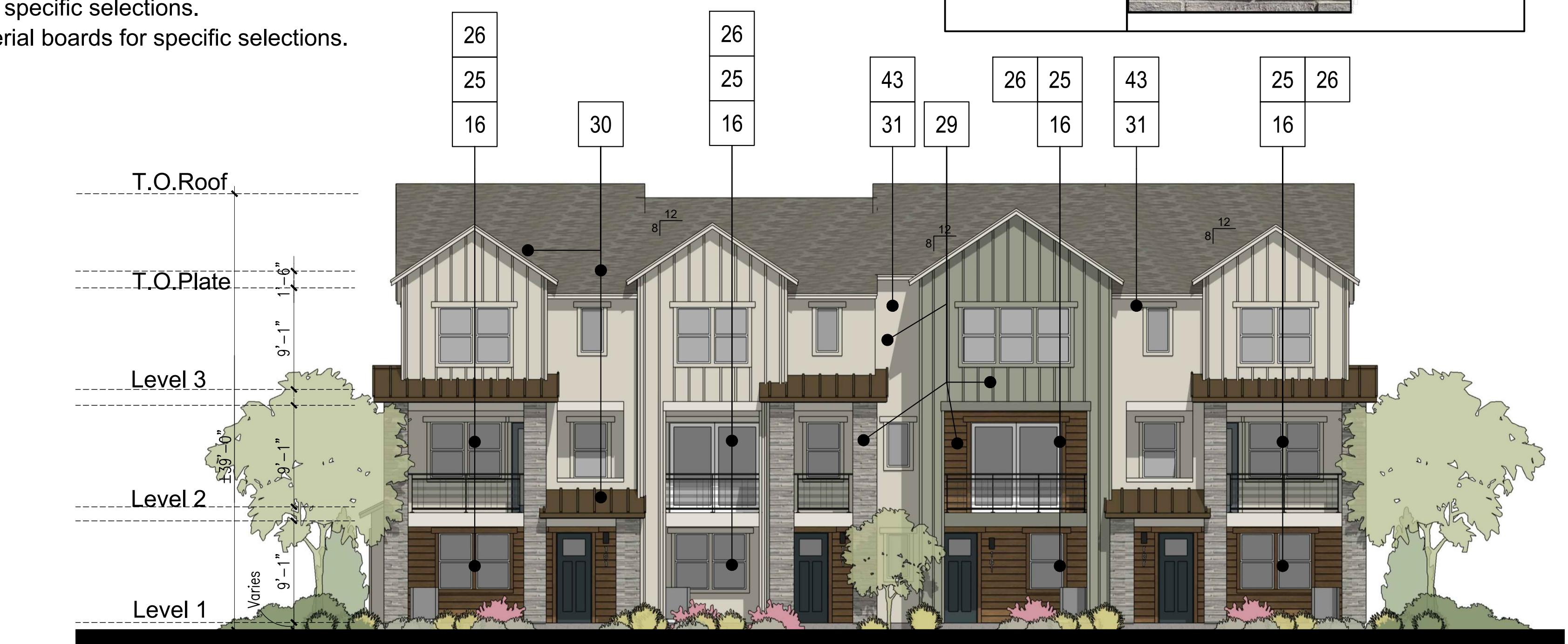


DePaul Residences
MORGAN HILL #2023-0661

DESIGN PERMIT APPLICATION - SB330
APRIL 1, 2024



| COLOR SCHEME | | 2 |
|--|--|-----------------------|
| COLOR APPLICATION | | |
| 33 | | |
| ROOF MATERIAL: IMPRESSION ROOFING | | WEATHERWOOD |
| METAL ROOF | | MEDIUM BRONZE |
| STUCCO BODY / BATTEN SIDING 1 | | SW 7050 USEFUL GRAY |
| FASCIA / EAVES 1 / TRIM 1 | | SW 9166 DRIFT OF MIST |
| BATTEN SIDING 2 | | SW 9130 EVERGREEN FOG |
| FASCIA / EAVES AT METAL ROOF / TRIM 2 | | SW 6200 LINK GRAY |
| GARAGE DOOR 1 | | SW 7645 THUNDER GRAY |
| GARAGE DOOR 2 | | SW 6200 LINK GRAY |
| ENTRY DOORS | | SW 7625 MOUNT ETNA |
| METAL RAILS | | SW 6258 TRICORN BLACK |
| WOOD TONE SIDING / WOOD TONE TRIM BOARDS | | SUMMERWHEAT |
| THIN BRICK | | LOREIO TALAVERA |

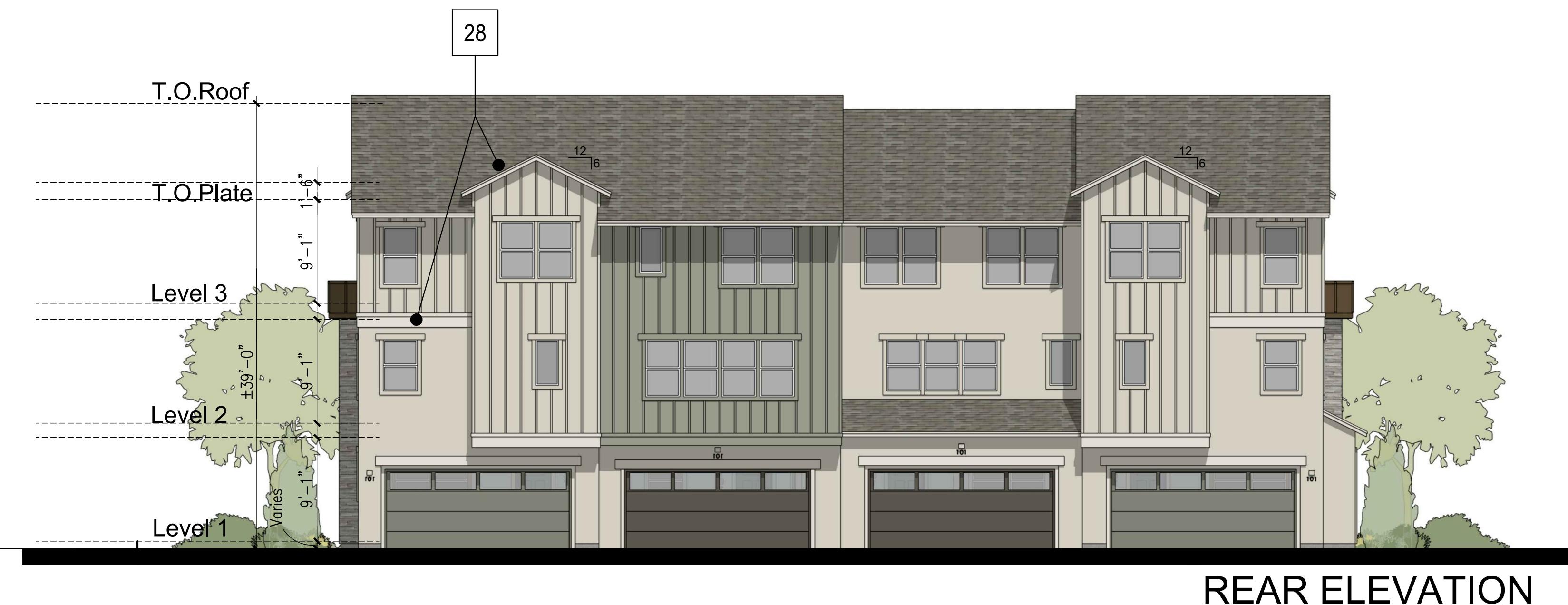


FRONT ELEVATION

A1-2.2



RIGHT ELEVATION



REAR ELEVATION

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LEFT ELEVATION



36

FRONT ELEVATION

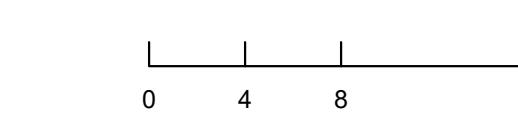


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DESIGN PERMIT APPLICATION - SB330
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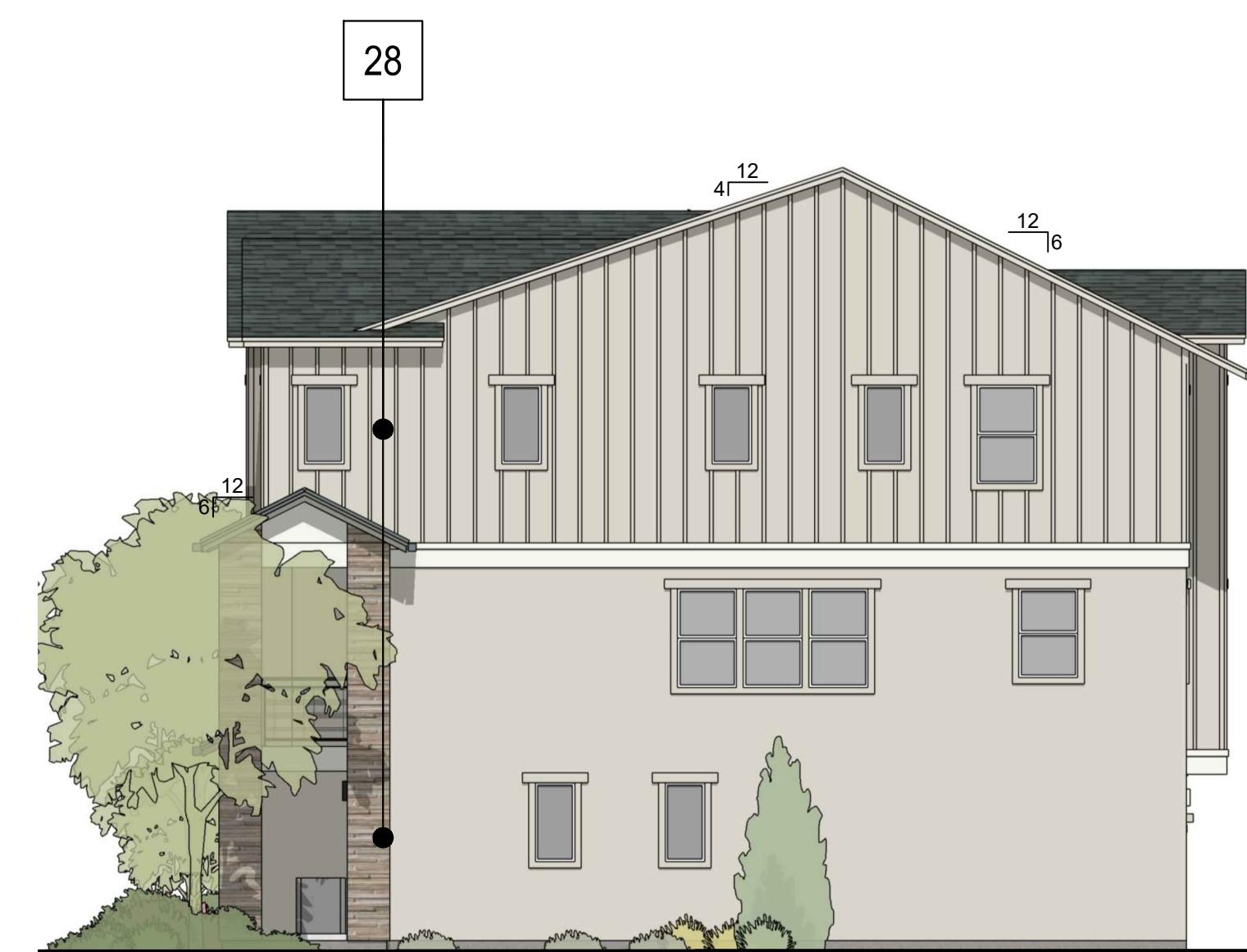


BUILDING ELEVATIONS - 5PLEX
COLOR SCHEME 1

A1-2.4

| COLOR SCHEME | |
|--|-----------------------------------|
| COLOR APPLICATION | |
| 33 | |
| ROOF MATERIAL: IMPOSITION ROOFING | MOIRE BLACK |
| METAL ROOF | ZINC GRAY |
| STUCCO BODY / BATTEN SIDING 1 | SW 9165 GOSSAMER VEIL |
| FASCIA / EAVES 1 / TRIM 1 | SW 7005 PURE WHITE |
| BATTEN SIDING 2 | SW 9170 ACIER |
| FASCIA / EAVES AT METAL ROOF / TRIM 2 | SW 0077 CLASSIC FRENCH GRAY |
| GARAGE DOOR 1 | SW 2848 ROYCROFT PEWTER |
| GARAGE DOOR 2 | SW 0077 CALSSIC FRENCH GRAY |
| ENTRY DOORS | SW 9038 CUCUZZA VERDE |
| METAL RAILS | SW 6258 TRICORN BLACK |
| WOOD TONE SIDING/ WOOD TONE TRIM BOARDS | OLD CHERRY |
| THIN BRICK | LOREIO FAROLA |

1



RIGHT ELEVATION



REAR ELEVATION

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37. **Equipment Screening:** All exterior mechanical and electrical equipment shall be screened or incorporated within the design of buildings so as not to be visible from the public right-of-way, common areas or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventers, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment.

38. **Garage Door Design:** The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling.

43. **Massing for three story buildings or taller:** Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.

44. **Distinct material changes for three story buildings or taller:** Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building façade with frontage upon a street, adjacent public park or public open space.



FRONT PERSPECTIVE

NOTE:

Landscape show for illustrative purposes only. See landscape drawings for specific selections.

Color and materials shown for illustrative purposes only, see color and material boards for specific selections.



Meter cabinet location may vary at time of building permit.

LEFT ELEVATION



36

FRONT ELEVATION



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DePaul Residences
MORGAN HILL #2023-0661

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APPLICATION - SB330
APRIL 1, 2024



BUILDING ELEVATIONS - 5PLEX
COLOR SCHEME 2

A1-2.6

| COLOR SCHEME | |
|--|-----------------------|
| COLOR APPLICATION | |
| 33 | 2 |
| ROOF MATERIAL: IMPOSITION ROOFING | WEATHERWOOD |
| METAL ROOF | MEDIUM BRONZE |
| STUCCO BODY / BATTEN SIDING 1 | SW 7050 USEFUL GRAY |
| FASCIA / EAVES 1 / TRIM 1 | SW 9166 DRIFT OF MIST |
| BATTEN SIDING 2 | SW 9130 EVERGREEN FOG |
| FASCIA / EAVES / AT METAL ROOF / TRIM 2 | SW 6200 LINK GRAY |
| GARAGE DOOR 1 | SW 7645 THUNDER GRAY |
| GARAGE DOOR 2 | SW 6200 LINK GRAY |
| ENTRY DOORS | SW 7625 MOUNT ETNA |
| METAL RAILS | SW 6258 TRICORN BLACK |
| WOOD TONE SIDING/ WOOD TONE TRIM BOARDS | SUMMERWHEAT |
| THIN BRICK | LOREIO TALAVERA |



RIGHT ELEVATION



REAR ELEVATION

NOTE:

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Color and materials shown for illustrative purposes only, see color and material boards for specific selections.



RIGHT ELEVATION



REAR ELEVATION

NOTE:

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Color and materials shown for illustrative purposes only, see color and material boards for specific selections.

16. Usable Private and Common Open Space: Each lot must include a private open space area, such as a private yard, porch, balcony, roof garden, or patio. Private open space must be contiguous to the unit it serves and accessible and visible from the living area of the unit. Private open space must be open air. Private open space cannot be covered by a roof by more than 50 percent of the area; however, balconies can have up to 100 percent ceiling coverage. The following private open space is required per unit type:

a. Single-family attached and detached units meeting the following average lot sizes shall provide useable open space as specified:

| | Average Lot Area (square feet) | | | |
|--------------------|--------------------------------|--------------------------|--------------------------|--------------------------|
| | 1,440-1,920 | 1,920-2,999 | 3,000-4,356 | 4,357-6,999 |
| Private Open Space | 60 square feet per unit | 150 square feet per unit | 300 square feet per unit | 350 square feet per unit |
| Common Open Space | 140 square feet per unit | 150 square feet per unit | 175 square feet per unit | 200 square feet per unit |

d. If On-site Recreational Amenities are not provided, private and common open space shall be increased by 25 percent.

Common open space shall be fully landscaped and accessible to all residents.

Private open space per unit may be reduced by up to 25 percent if off-set by the equivalent increase in common open space with amenities.

(GP Policy CNF-11.29 Multi-Family Open Space)

ARCHITECTURAL DESIGN FEATURES

25. **Front Porches:** 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.

26. **Balconies:** 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.

28. **360 Degree Architecture:** The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick, or other material enhancements.

All facades (sides and rear) must have the level of detail, and materials incorporating at a minimum of two elements of the front façade. There shall be no blank walls.

(GP Policy CNF-11.16 360-Degree Design)

29. **Exterior Treatments and Materials:** At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth.

Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously $\frac{1}{4}$ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.

30. **Roof line Variation for three or more units:** Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)

31. **Height and Project Massing:** Project design minimizes bulk of the buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including:

- Changes in roof form and height; and,
- Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses.

(General Plan Policy CNF 11.22)

32. **Separate Structures-Attached Projects:** Large projects shall be divided into separate structures. The maximum number of units per structure is as follows:

- Single-family Attached: 7 units maximum per structure

(General Plan Policy CNF 11.22)

100 percent affordable projects are exempt from this requirement

33. **Building Colors:** The project has provided a sample color palette of complimentary colors used in the surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors.

- The use of fluorescent or neon colors is prohibited.

34. **Window Design:** The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project:

- Minimum depth of at least 1 1/2 inches from glass to exterior of trim;
- Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Victorian Revival or Modern);
- Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.

36. **Exterior Lighting and Illumination:** Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.

37. **Equipment Screening:** All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public right-of-way, common areas or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventers, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment.

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FRONT PERSPECTIVE

NOTE:

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Color and materials shown for illustrative purposes only, see color and material boards for specific selections.



Meter cabinet location may vary at time of building permit.

LEFT ELEVATION



36

FRONT ELEVATION

| COLOR SCHEME | |
|---|-----------------------|
| COLOR APPLICATION | |
| 33 | 2 |
| ROOF MATERIAL: IMPRESSION ROOFING | WEATHERWOOD |
| METAL ROOF | MEDIUM BRONZE |
| STUCCO BODY / BATTEN SIDING 1 | SW 7050 USEFUL GRAY |
| FASCIA / EAVES 1 / TRIM 1 | SW 9166 DRIFT OF MIST |
| BATTEN SIDING 2 | SW 9130 EVERGREEN FOG |
| FASCIA / EAVES AT METAL ROOF / TRIM 2 | SW 6200 LINK GRAY |
| GARAGE DOOR 1 | SW 7645 THUNDER GRAY |
| GARAGE DOOR 2 | SW 6200 LINK GRAY |
| ENTRY DOORS | SW 7625 MOUNT ETNA |
| METAL RAILS | SW 6258 TRICORN BLACK |
| WOOD TONE SIDING/ WOOD TONE TRIM BOARDS | SUMMERWHEAT |
| THIN BRICK | LOREIO TALAVERA |

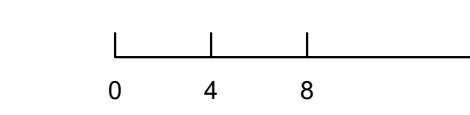


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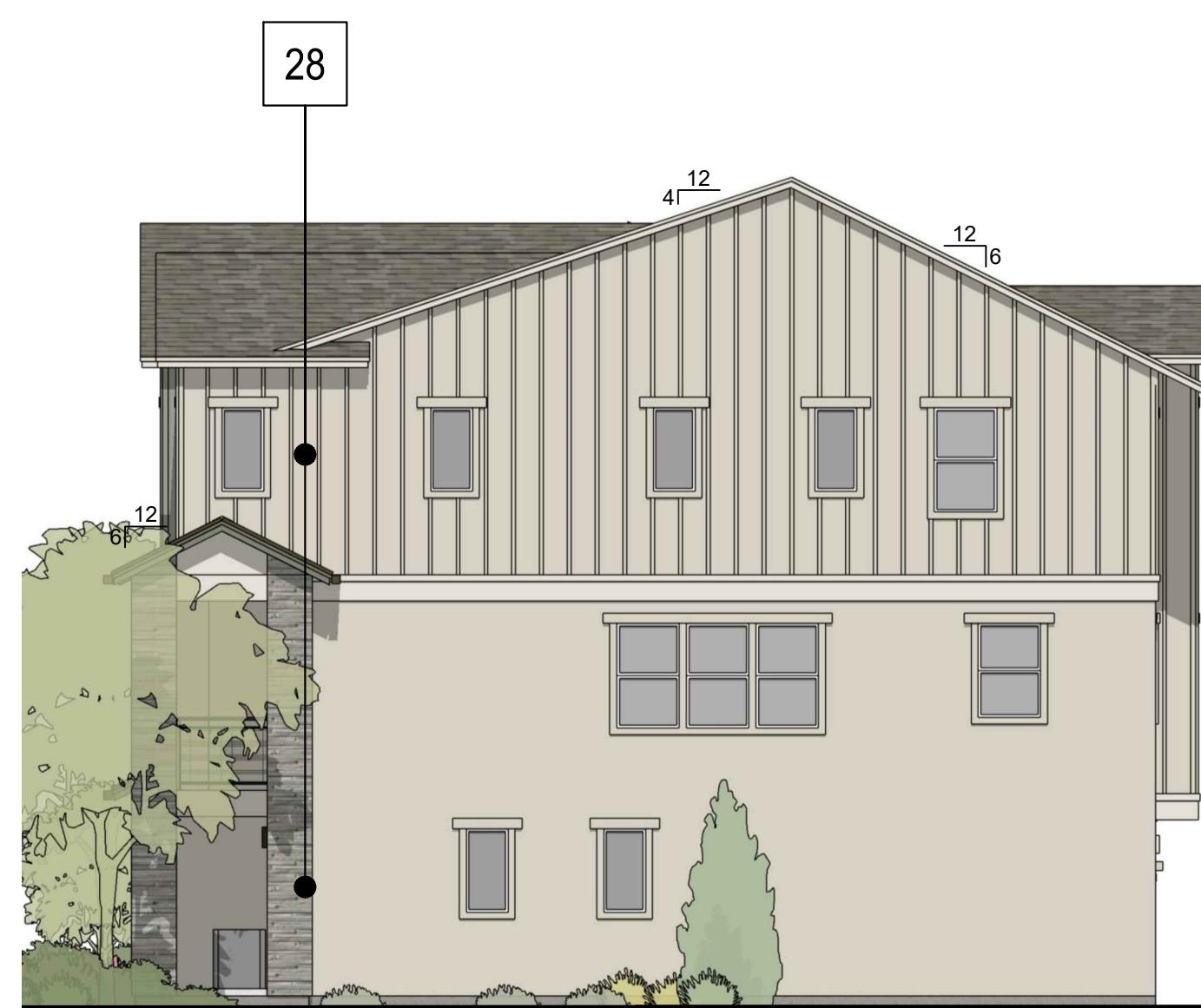
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MORGAN HILL #2023-0661

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APRIL 1, 2024



BUILDING ELEVATIONS - 6PLEX
COLOR SCHEME 2

A1-2.10



RIGHT ELEVATION

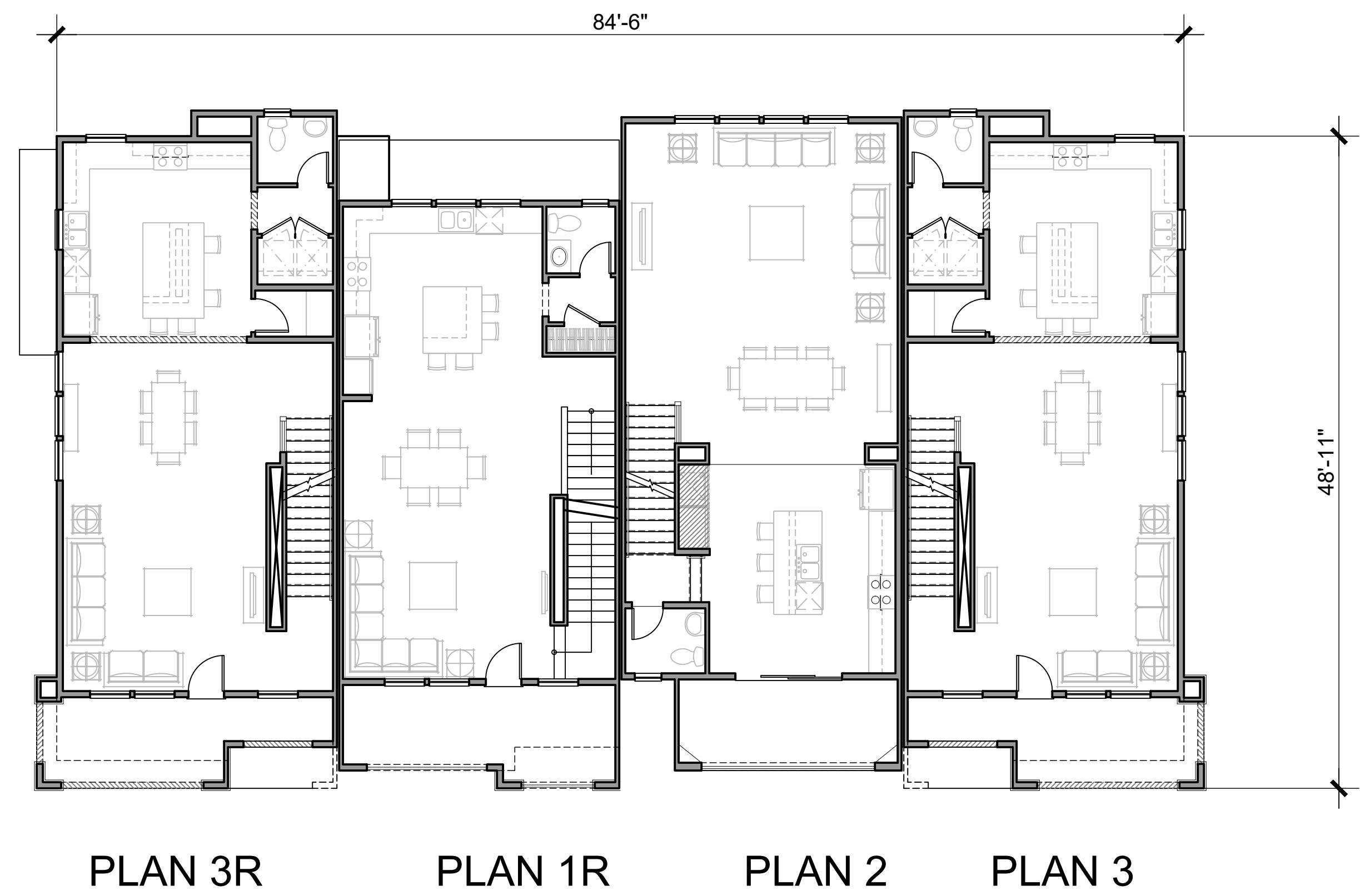


REAR ELEVATION

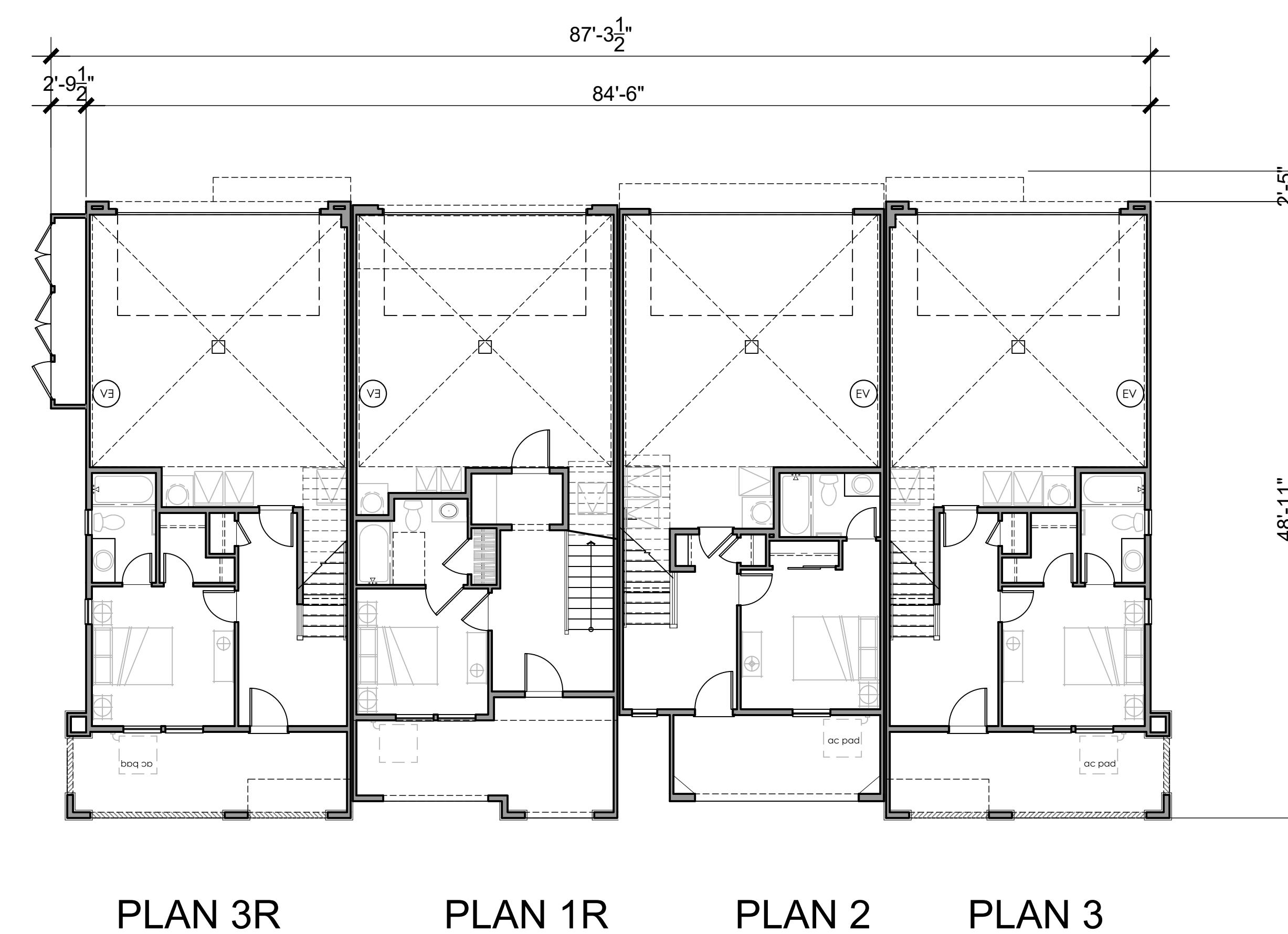
NOTE:

Landscape show for illustrative purposes only. See landscape drawings for specific selections.

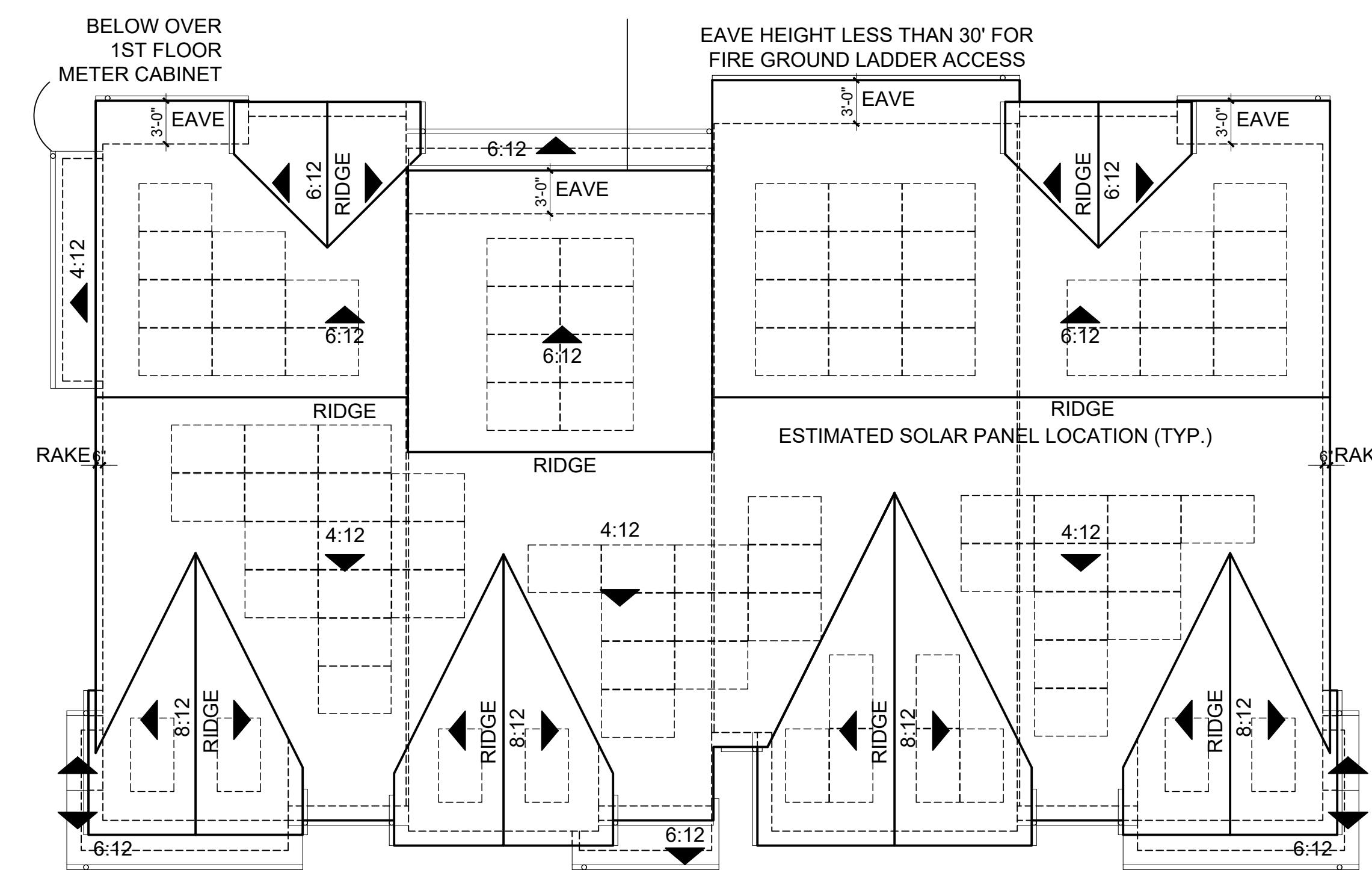
Color and materials shown for illustrative purposes only, see color and material boards for specific selections.



LEVEL 2



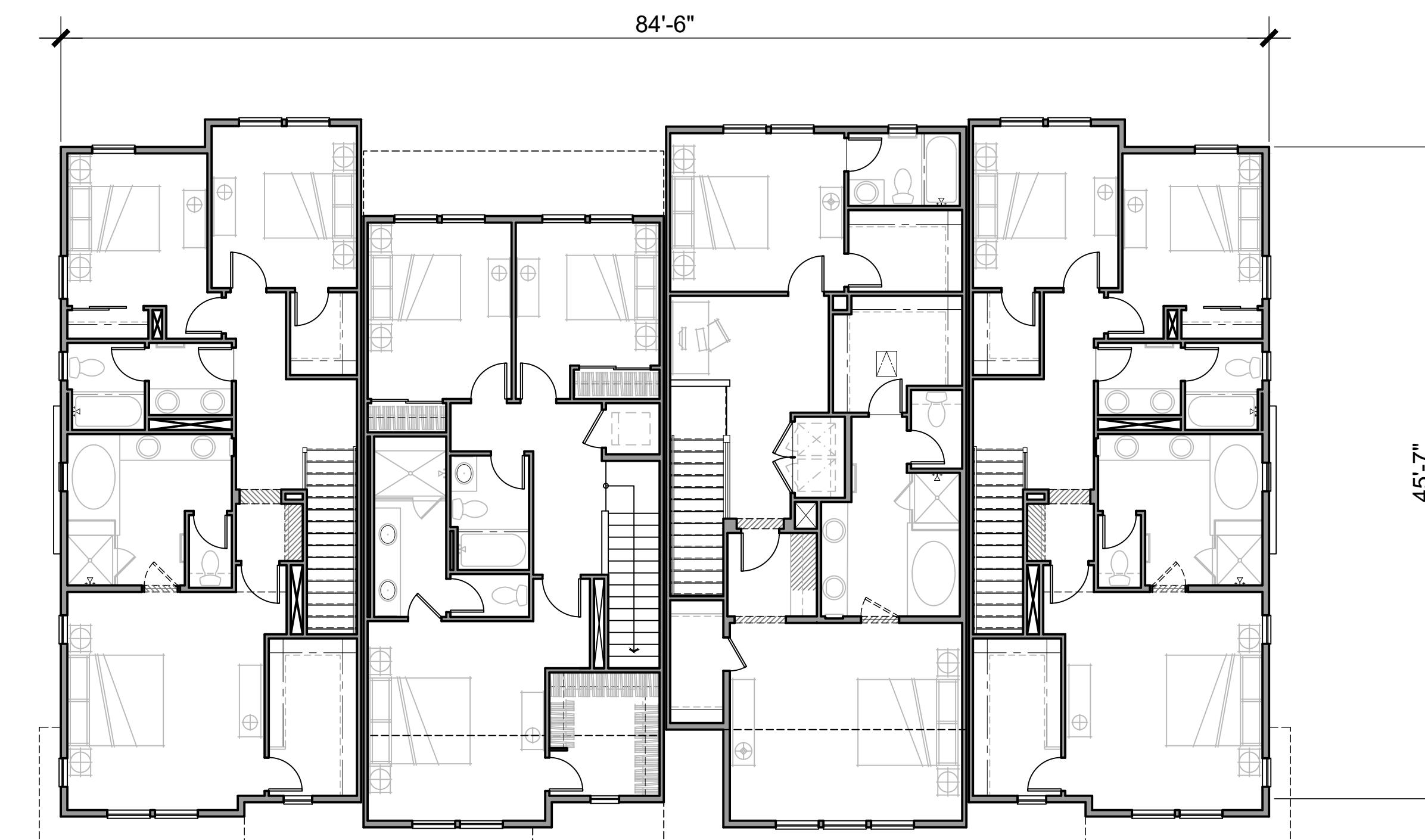
LEVEL 1



Roof Plan
12" Eave/Rake Typ. U.N.O.

NOTE: Solar panels shown are for illustrative purposes only. Solar will be confirmed with solar consultant during building submittal process. Location, quantity, and orientation may change.

No roof mounted mechanical equipment.



PLAN 3R

PLAN 1R

PLAN 2

PLAN 3



PLAN 3R

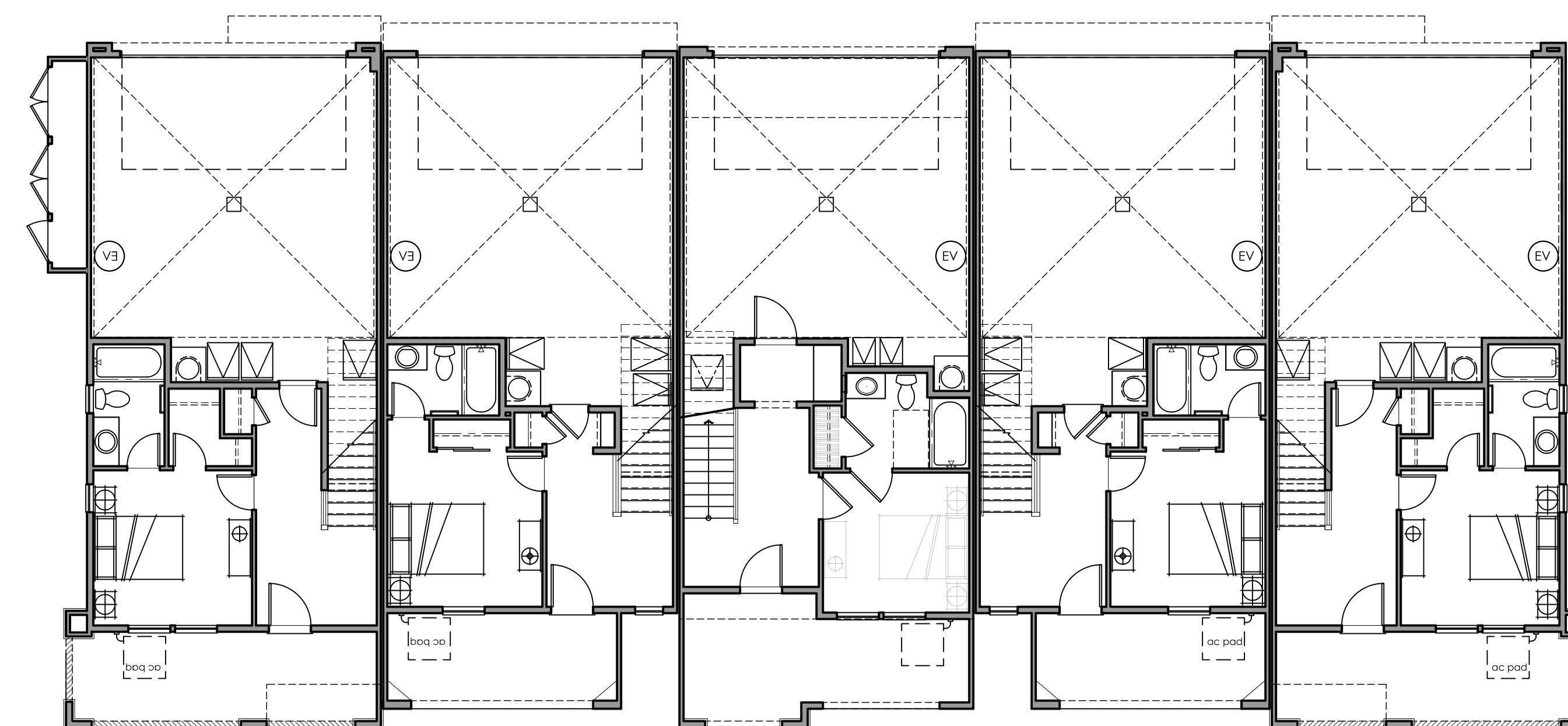
PLAN 2

PLAN 1

PLAN 2

PLAN 3

LEVEL 2



PLAN 3R

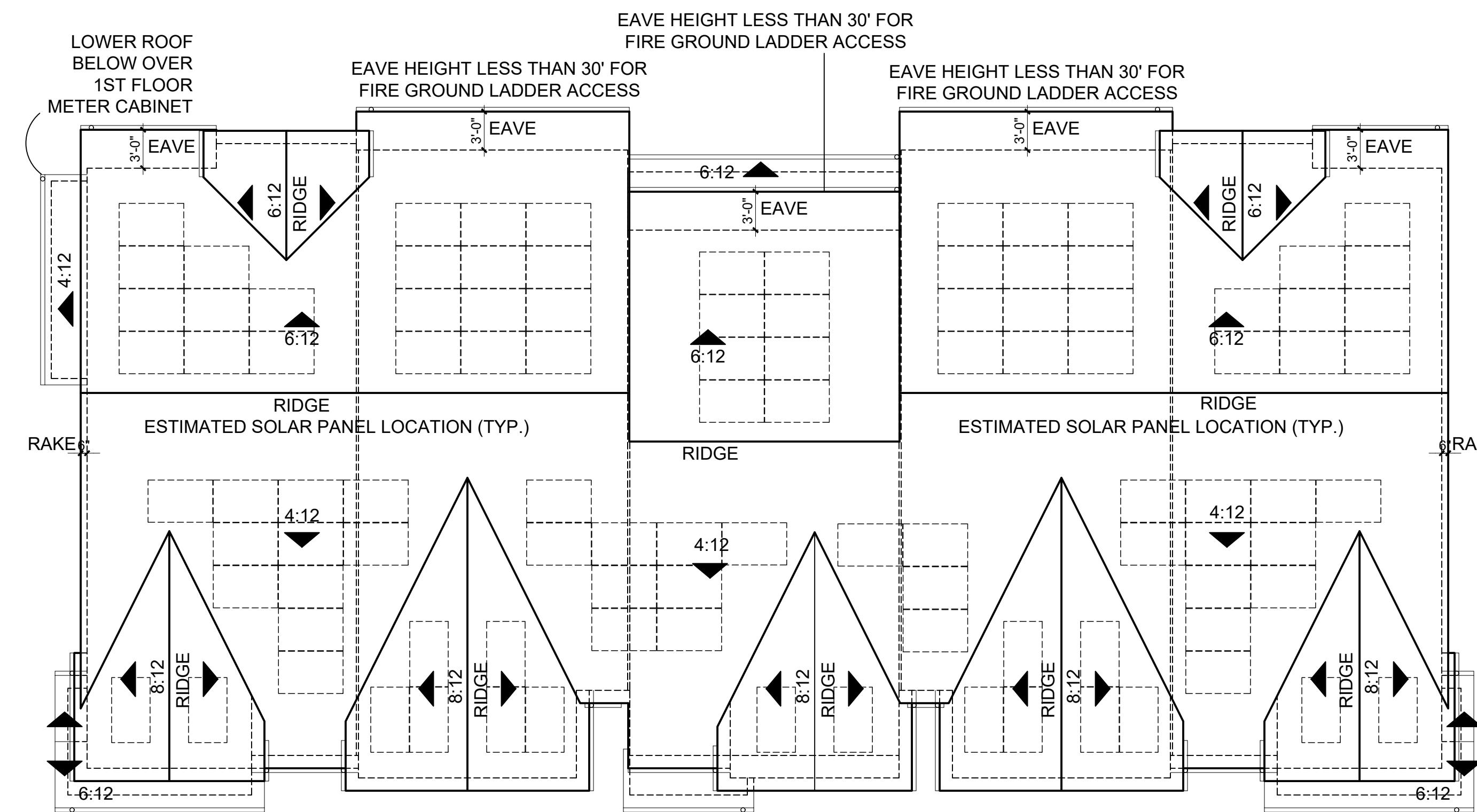
PLAN 2

PLAN 1

PLAN 2

PLAN 3

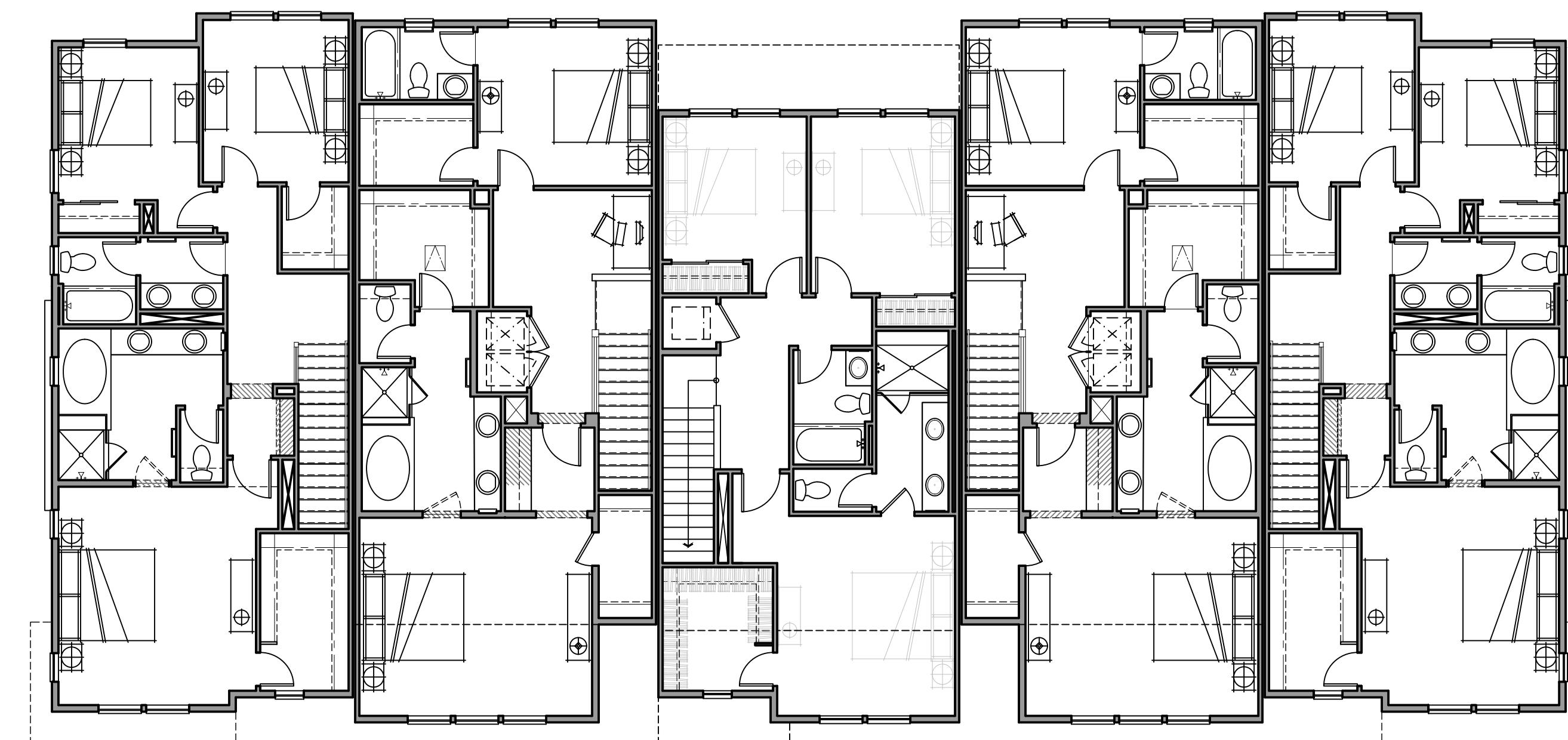
LEVEL 1



Roof Plan 12" Eave/Rake Typ. U.N.C

NOTE: Solar panels shown are for illustrative purposes only. Solar will be confirmed with solar consultant during building submittal process. Location, quantity, and orientation may change.

No roof mounted mechanical equipment.



PLAN 3R

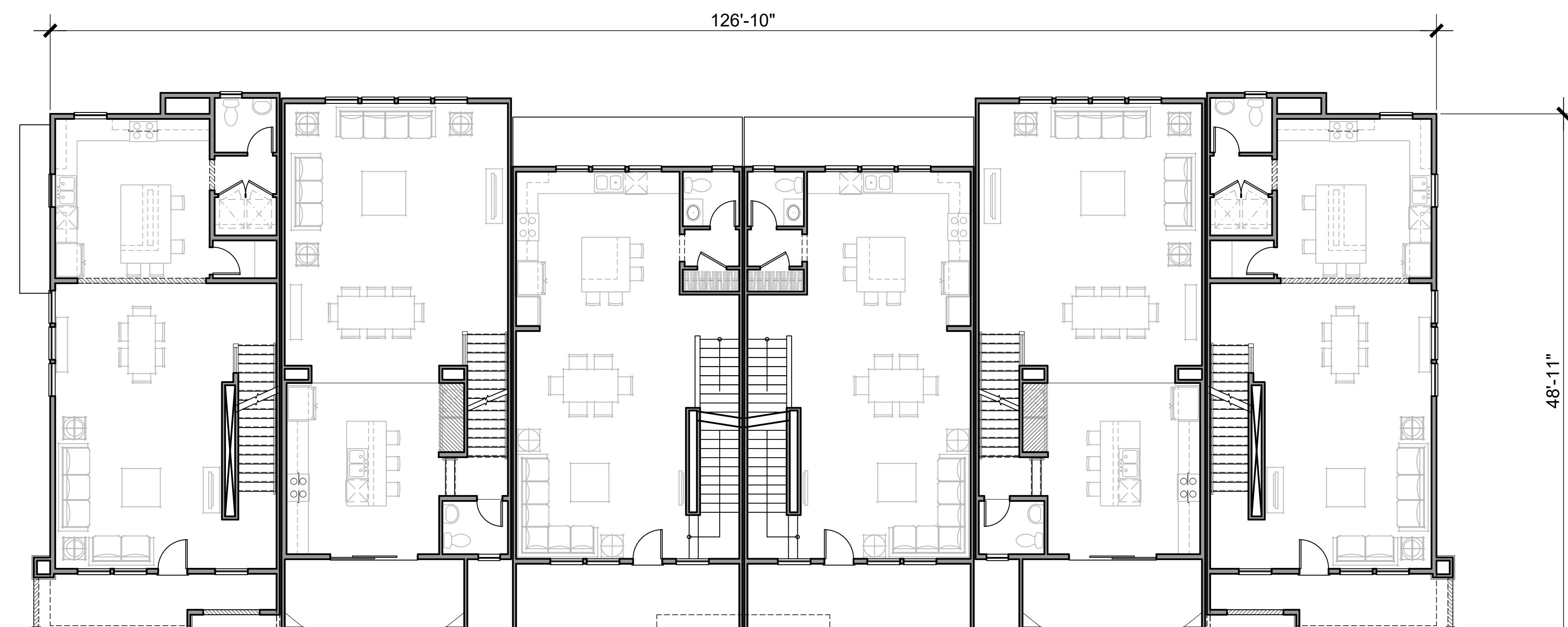
PLAN 2

PLAN 1

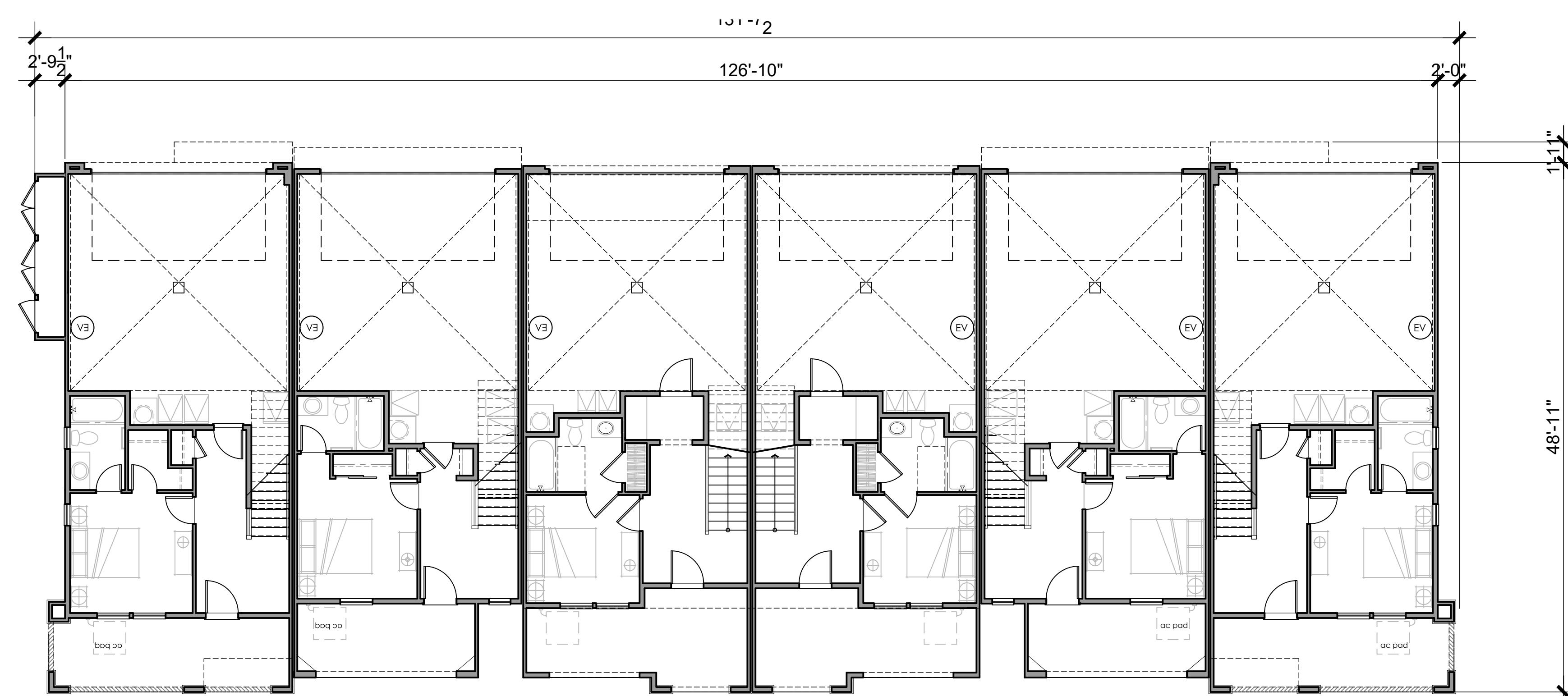
PLAN 2

PLAN 3

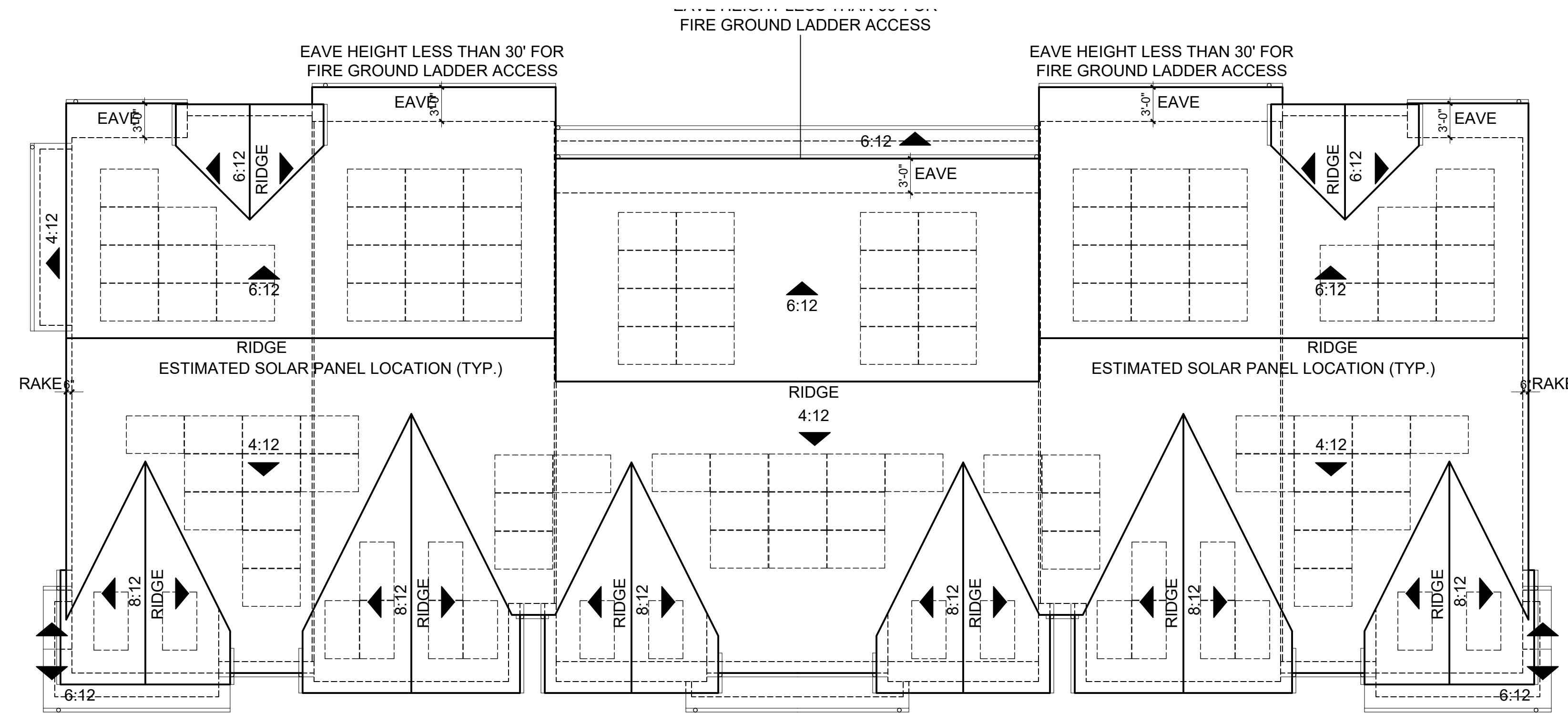
LEVEL 3



PLAN 3R PLAN 2 PLAN 1 PLAN 1R PLAN 2 PLAN 3 LEVEL 2



PLAN 3R PLAN 2 PLAN 1 PLAN 1R PLAN 2 PLAN 3 LEVEL 1

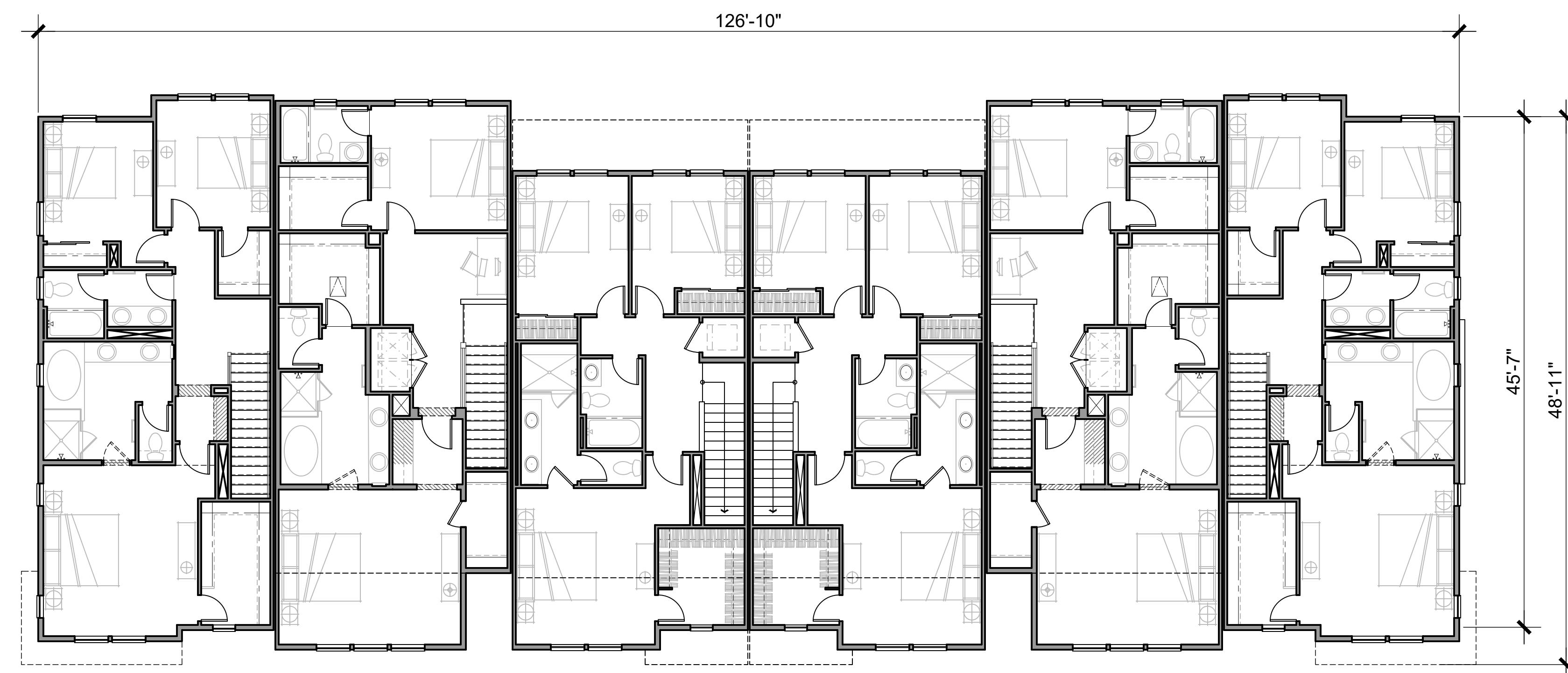


Roof Plan
12" Eave/Rake Typ. U.N.O.

NOTE: Solar panels shown are for illustrative purposes only. Solar will be confirmed with solar consultant during building submittal process. Location, quantity, and orientation may change.

No roof mounted mechanical equipment.

ROOF



PLAN 3R

PLAN 2

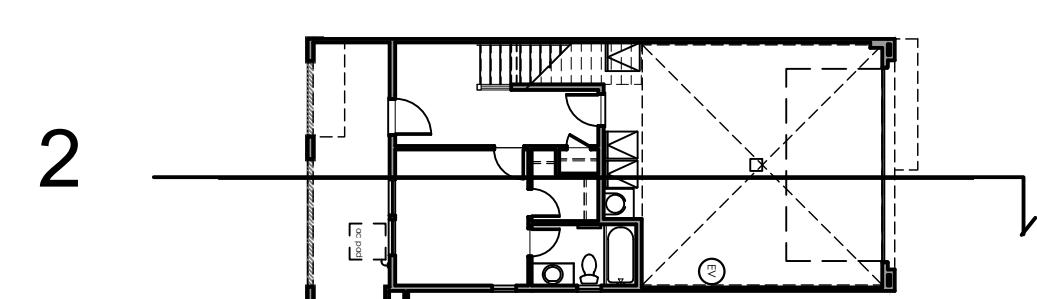
PLAN 1

PLAN 1R

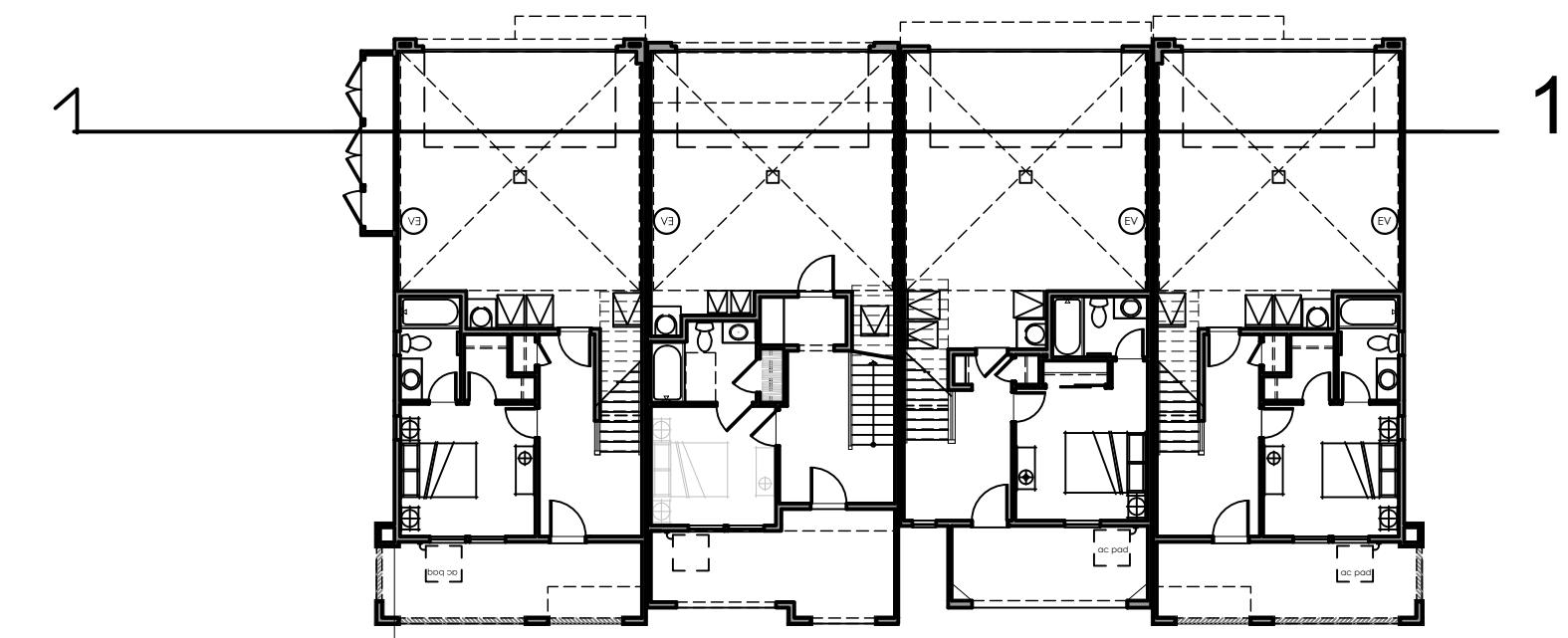
PLAN 2

PLAN 3

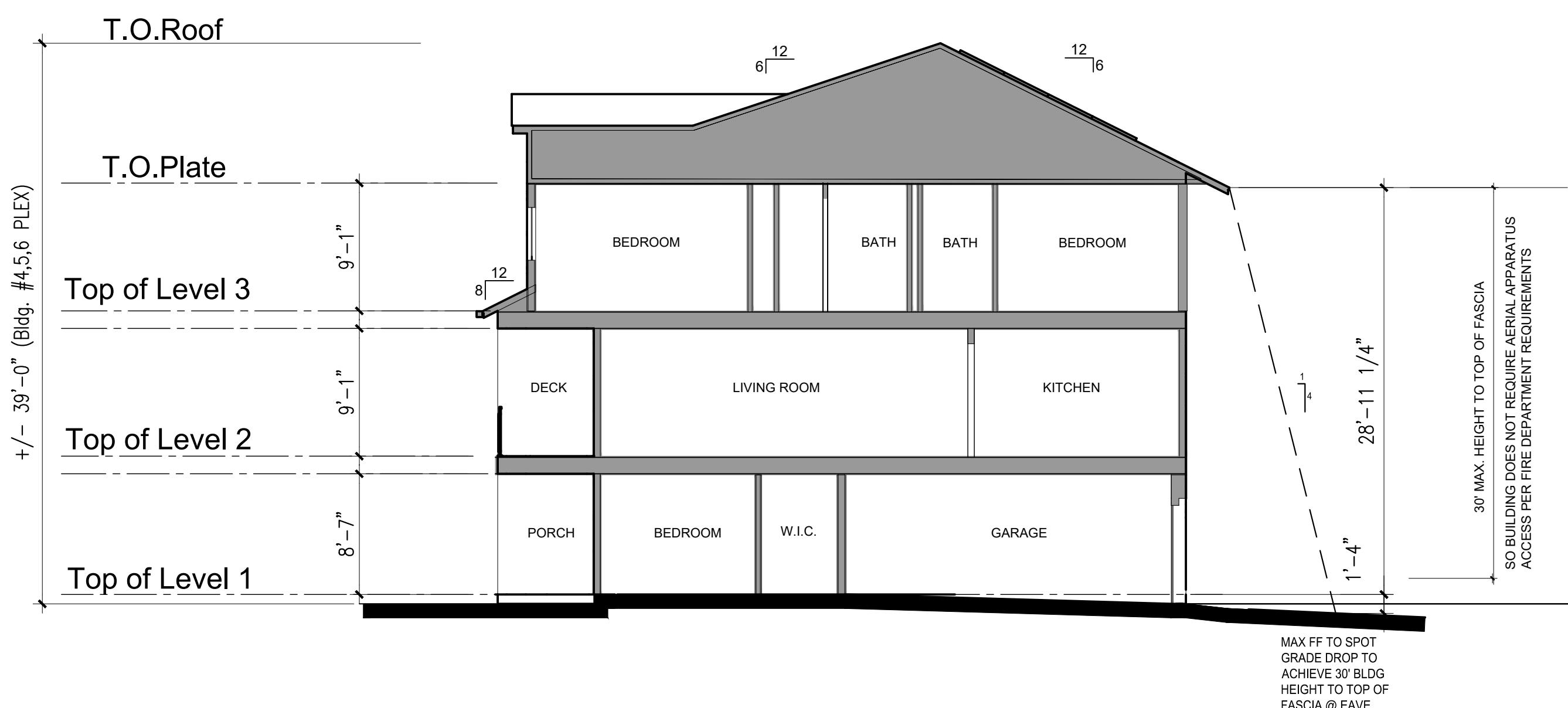
LEVEL 3



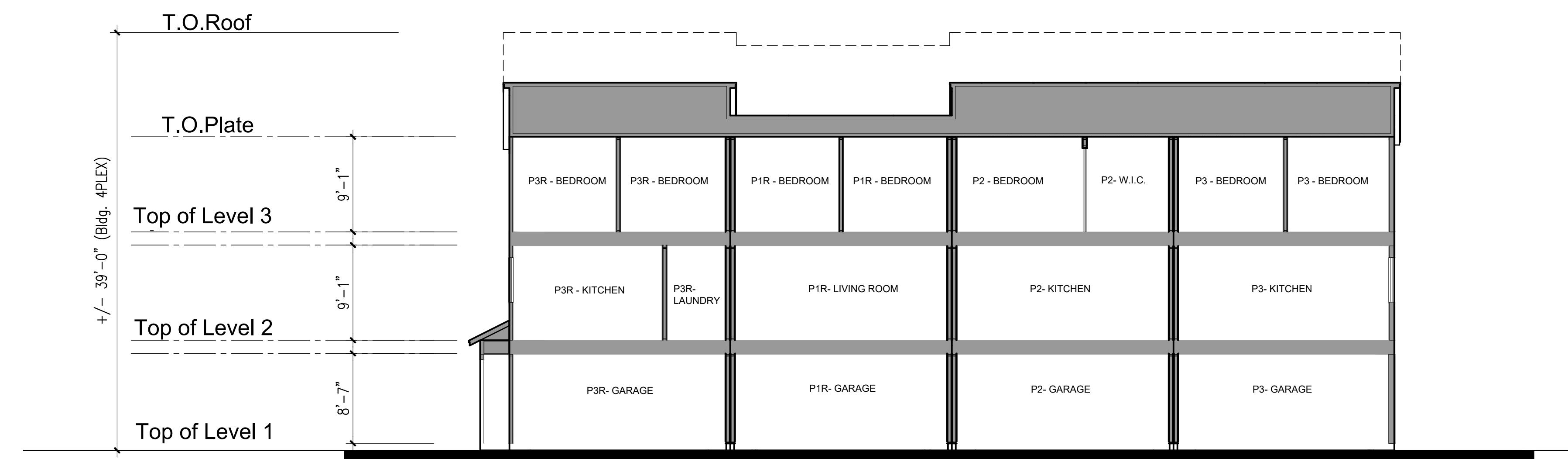
KEY PLAN - P1 GROUND FLOOR PLAN



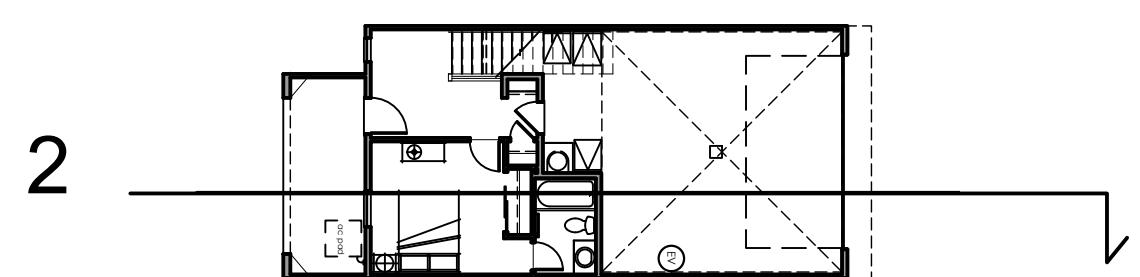
KEY PLAN - 4 PLEX GROUND FLOOR PLAN



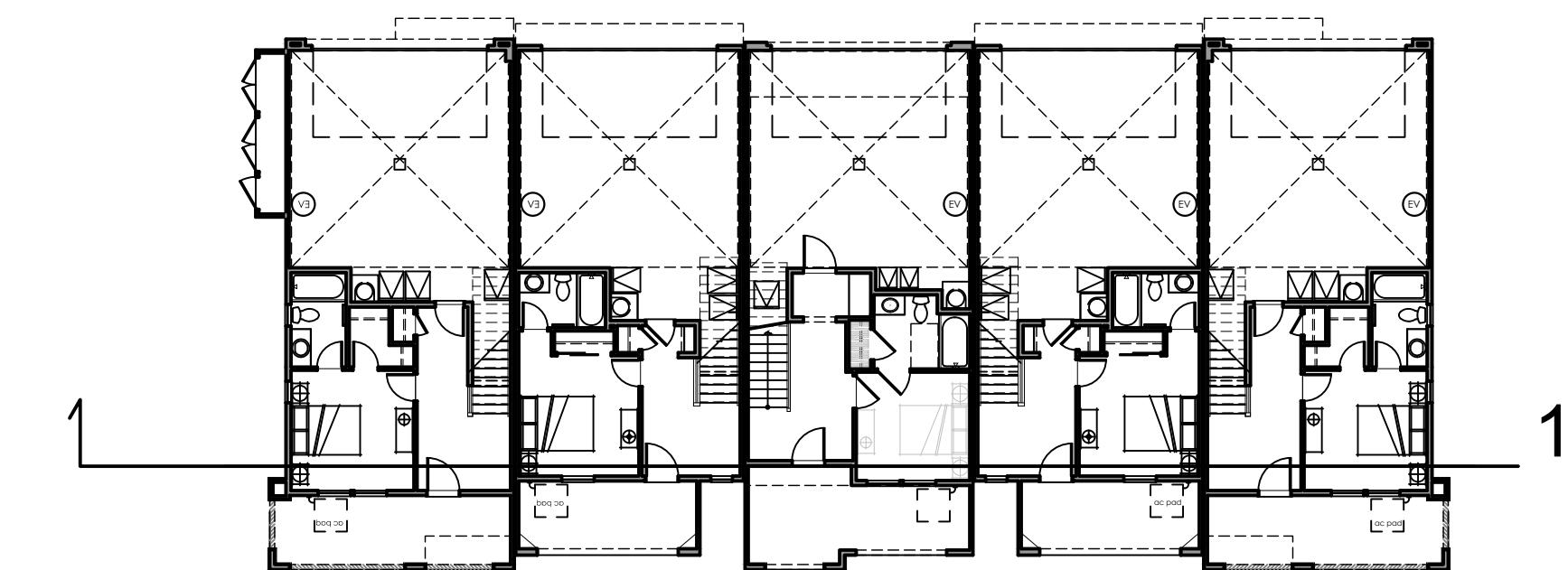
UNIT P1 SECTION 2



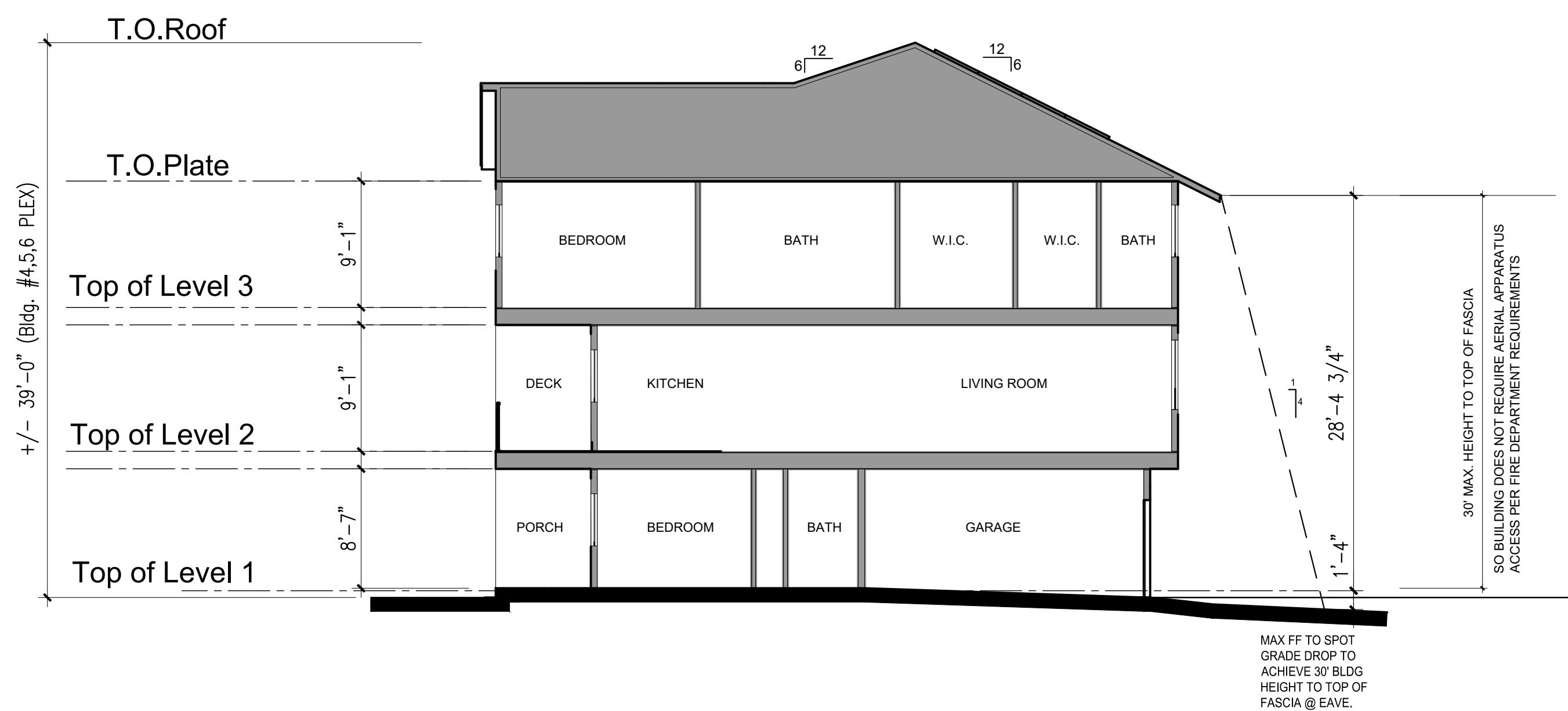
4 PLEX SECTION 1



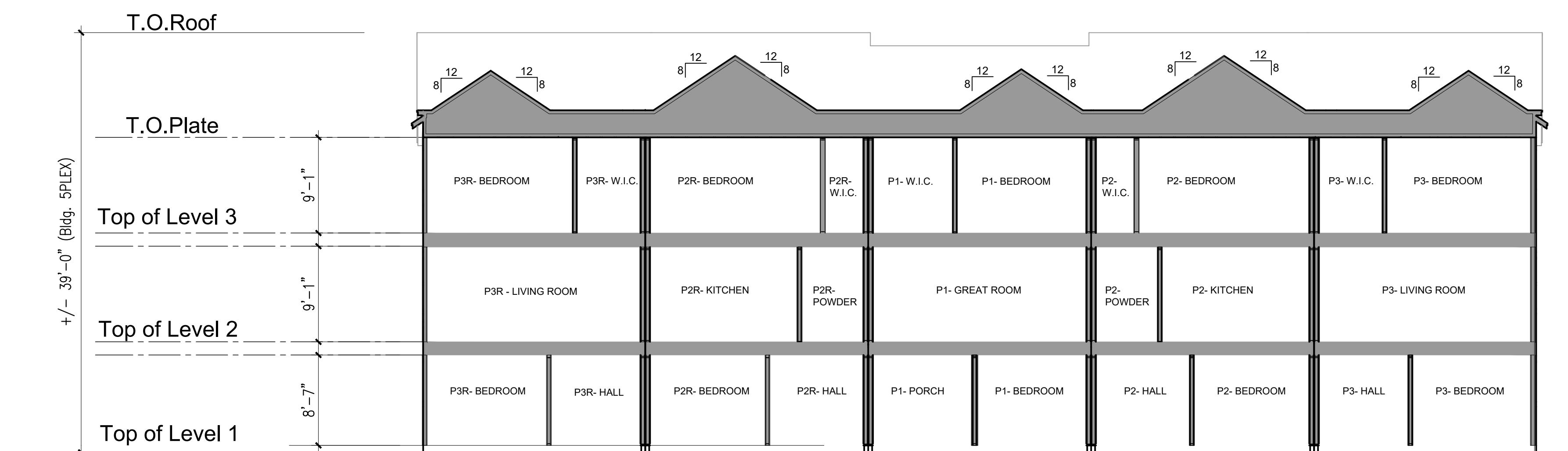
KEY PLAN - P2 GROUND FLOOR PLAN



KEY PLAN - 5 PLEX GROUND FLOOR PLAN



UNIT P2 SECTION 2



5 PLEX SECTION 1



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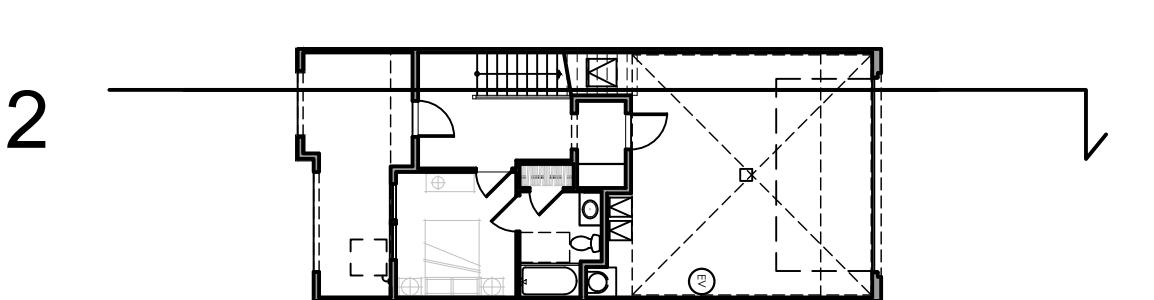
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APRIL 1, 2024

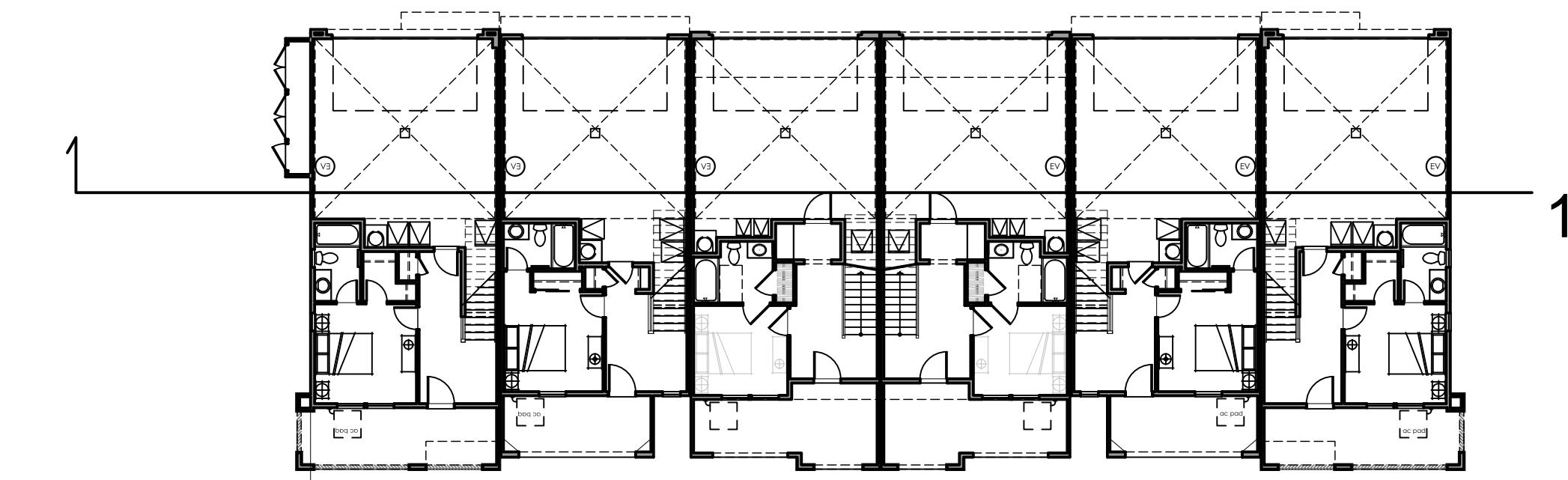


TYPICAL BUILDING SECTIONS
TOWNHOUSE

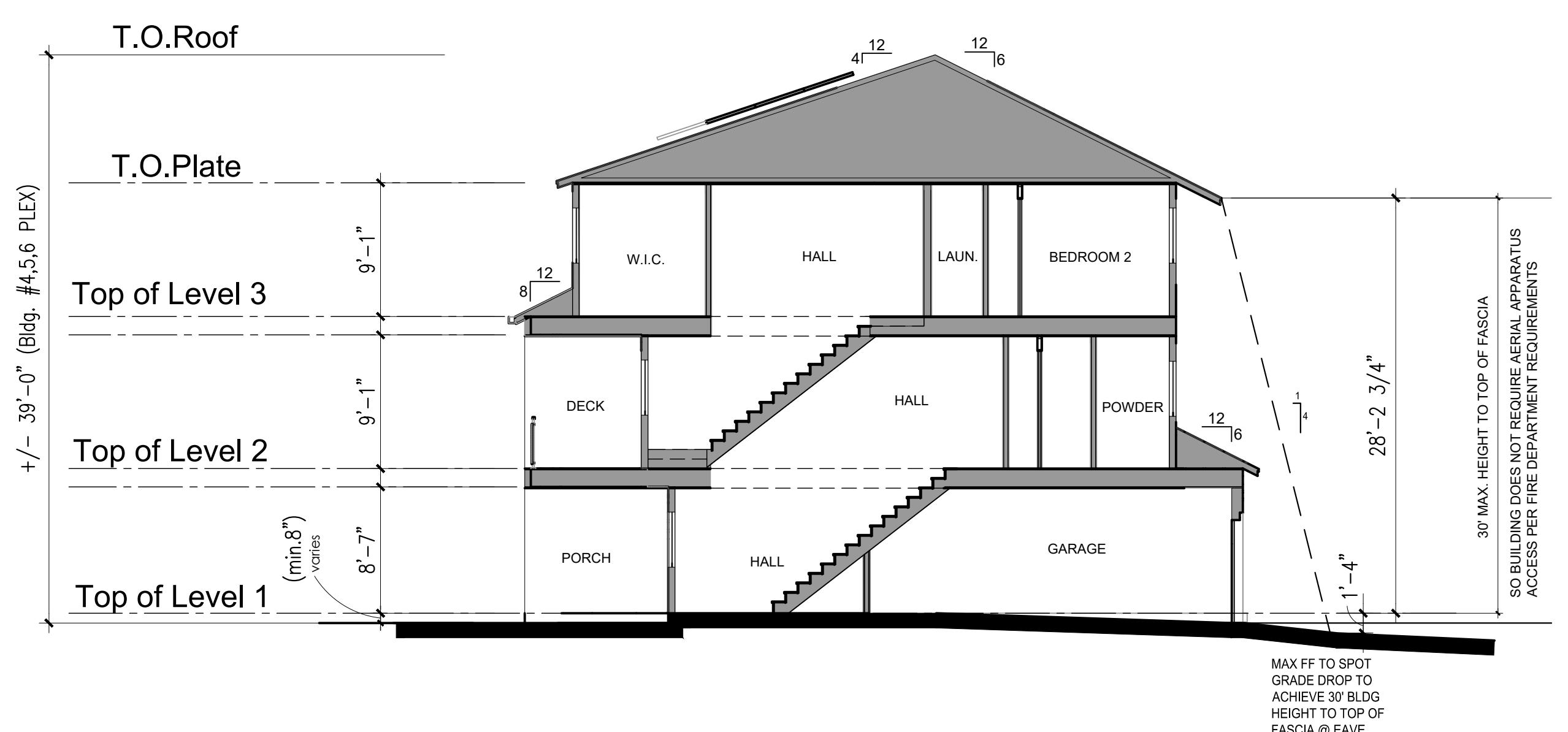
A1-4.1



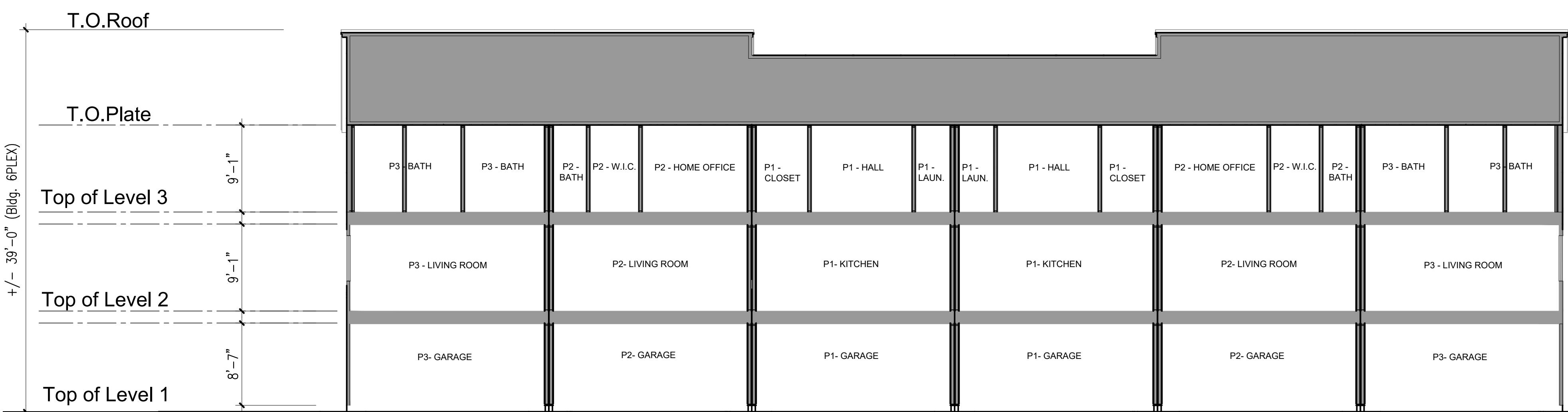
KEY PLAN - P3 GROUND FLOOR PLAN



KEY PLAN - 6 PLEX GROUND FLOOR PLAN



UNIT P3 SECTION 2



6 PLEX SECTION 1

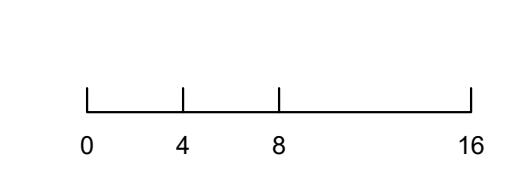


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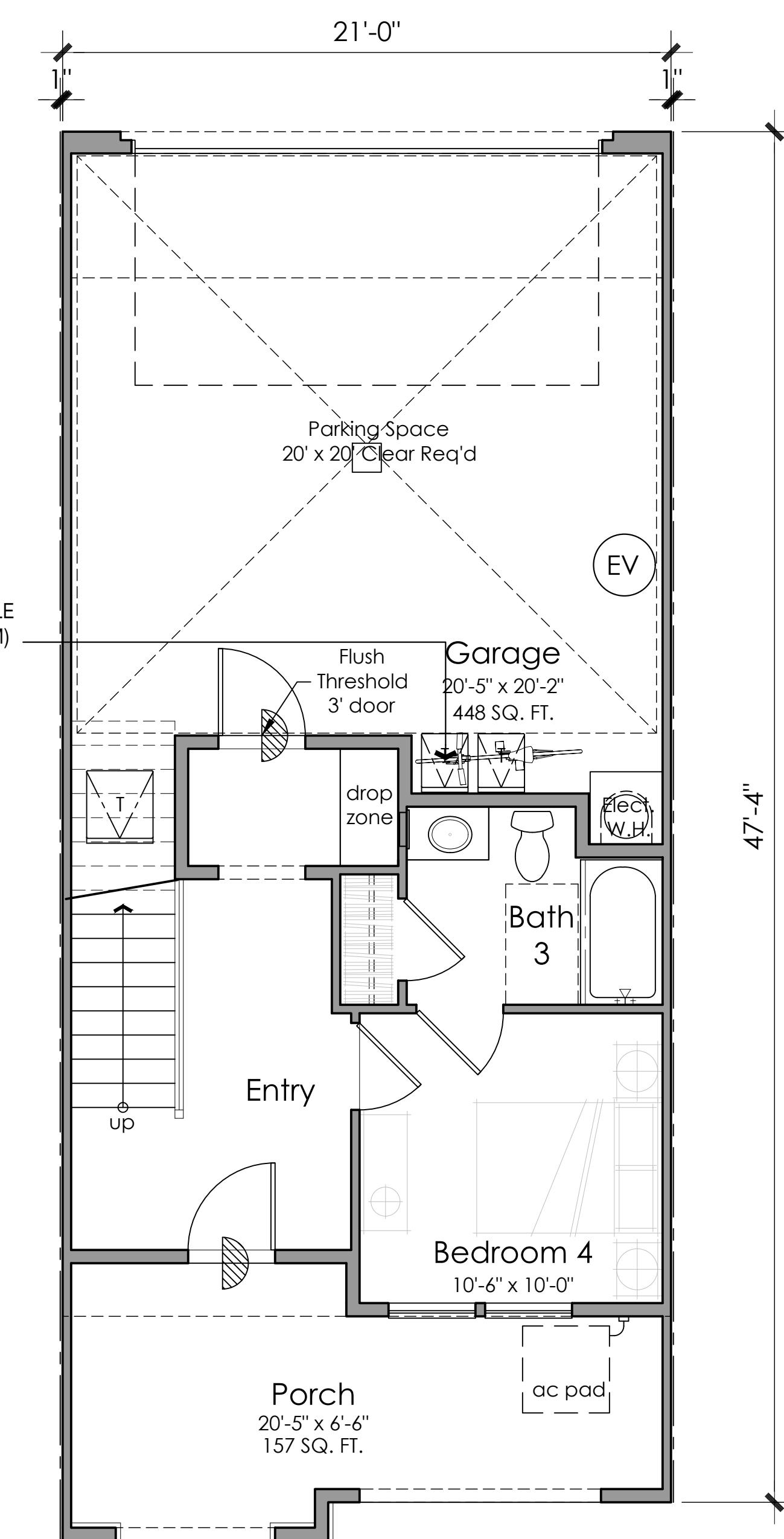
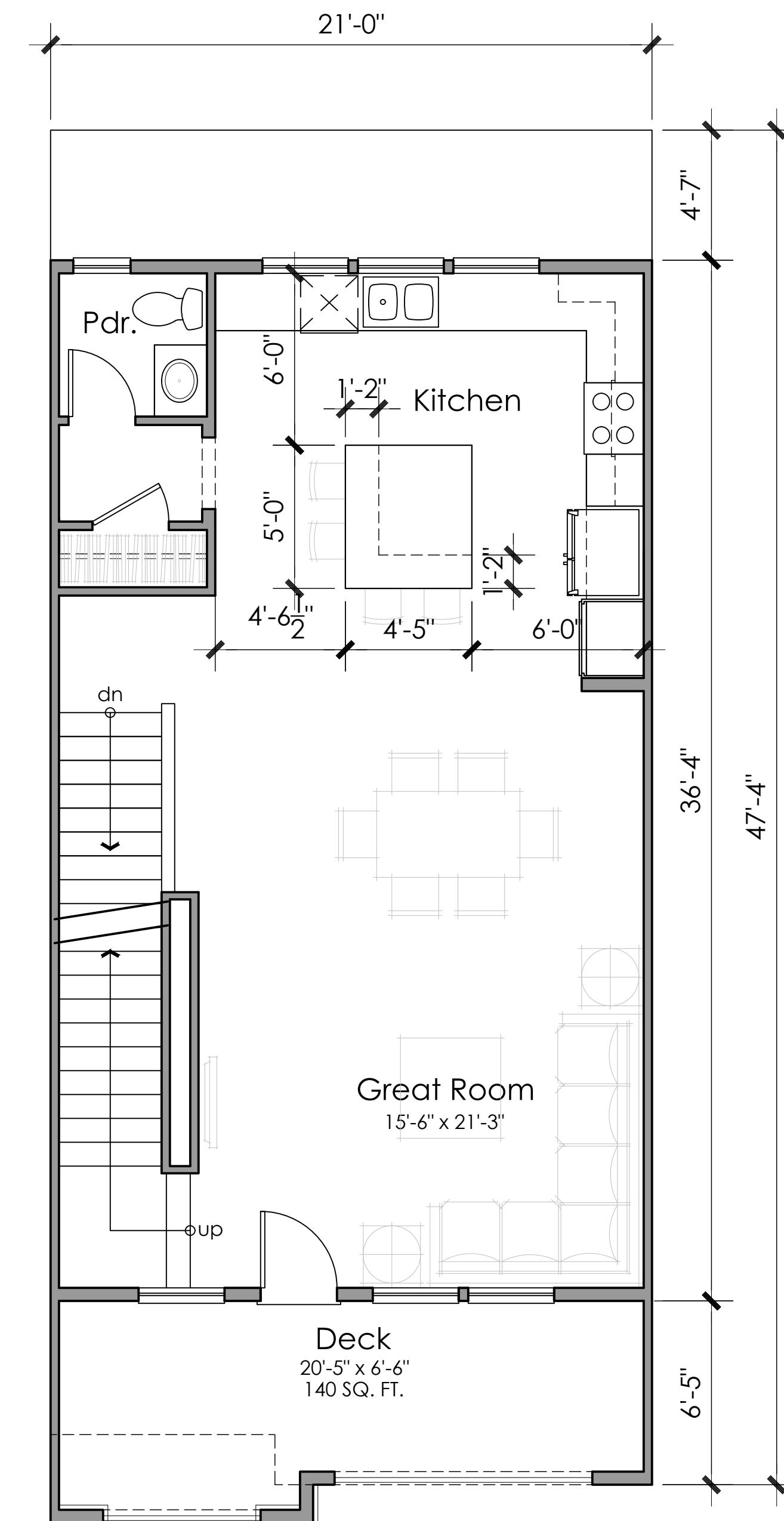
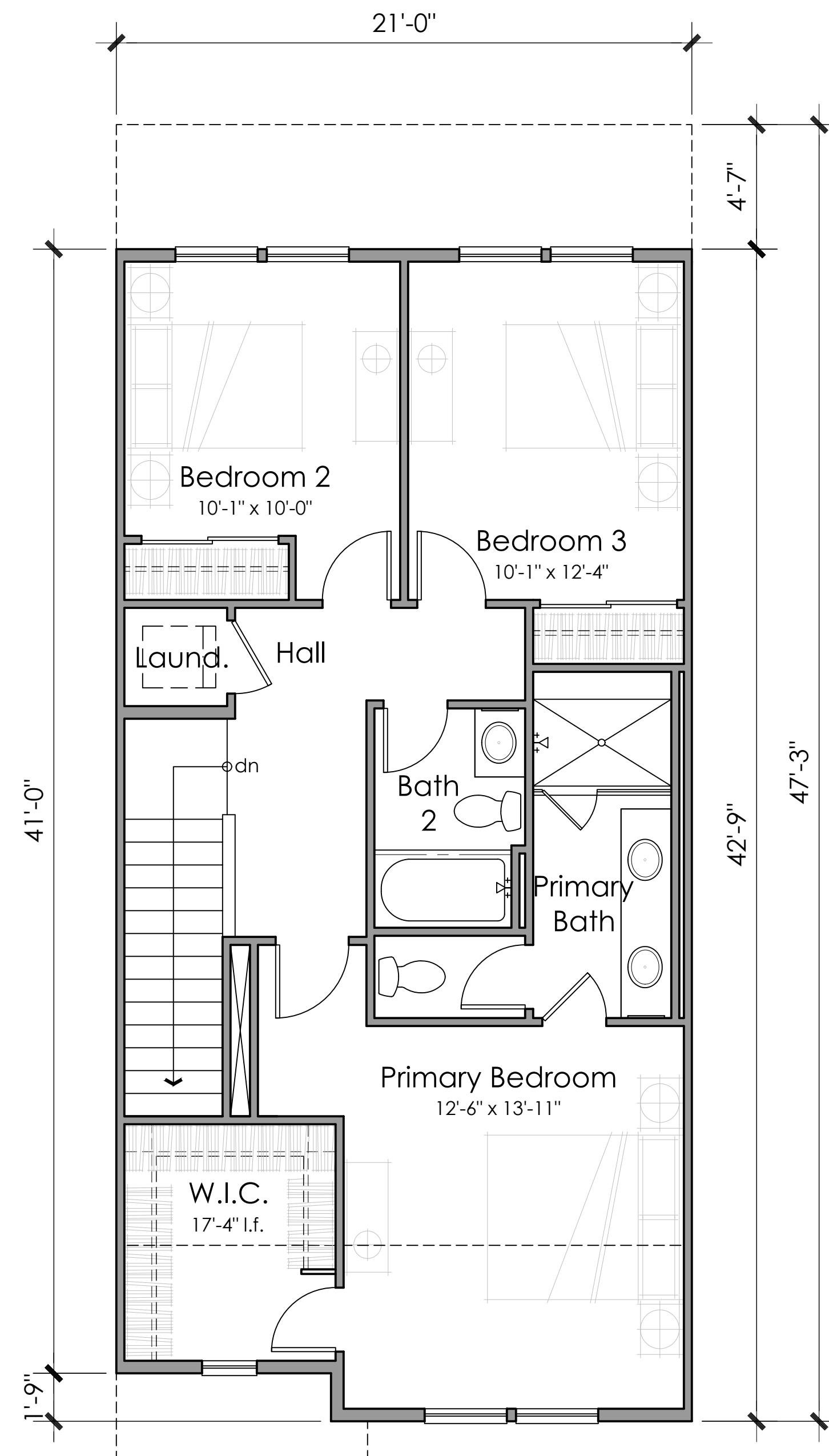
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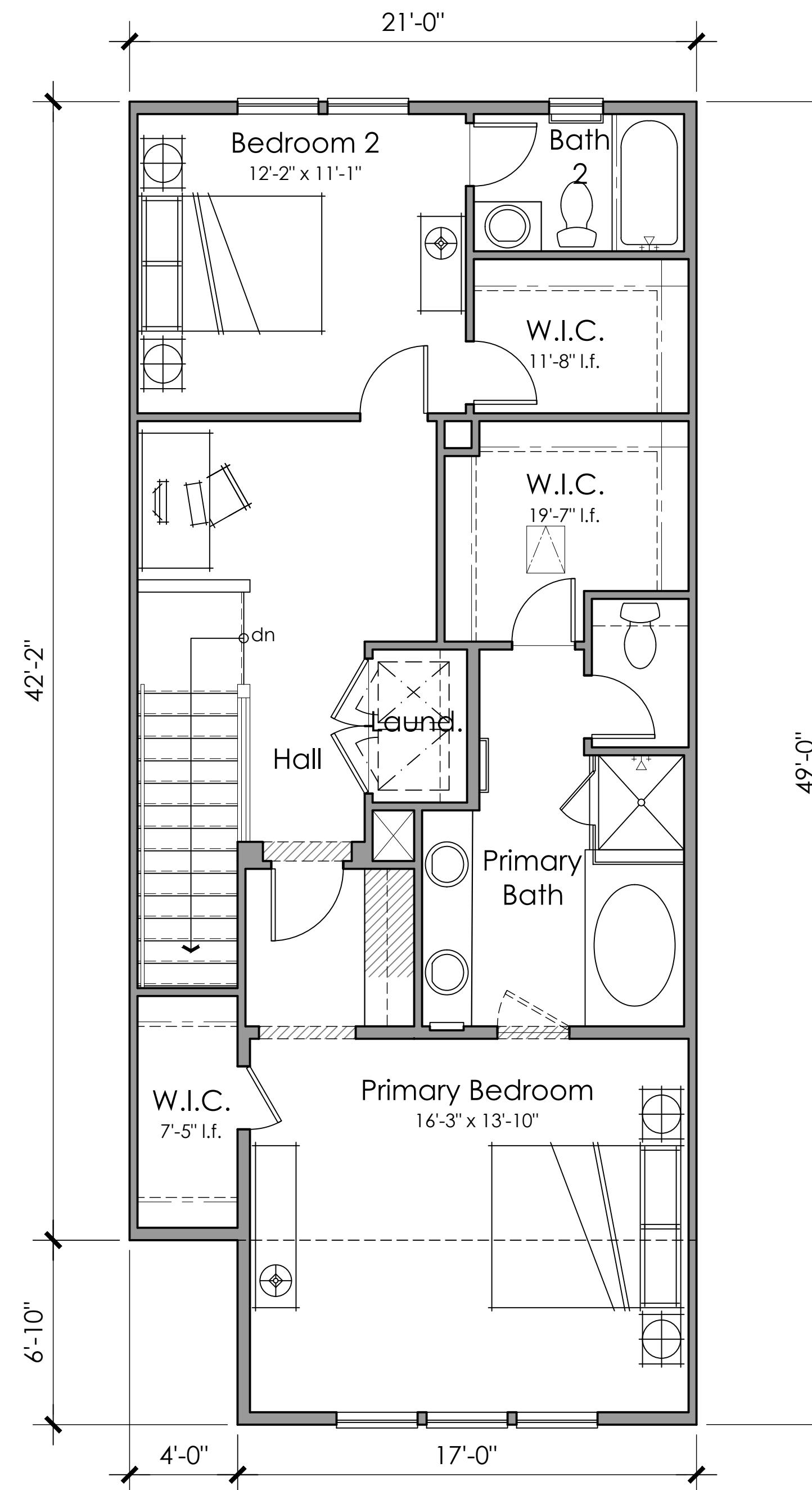


TYPICAL BUILDING SECTIONS
TOWNHOUSE

A1-4.2

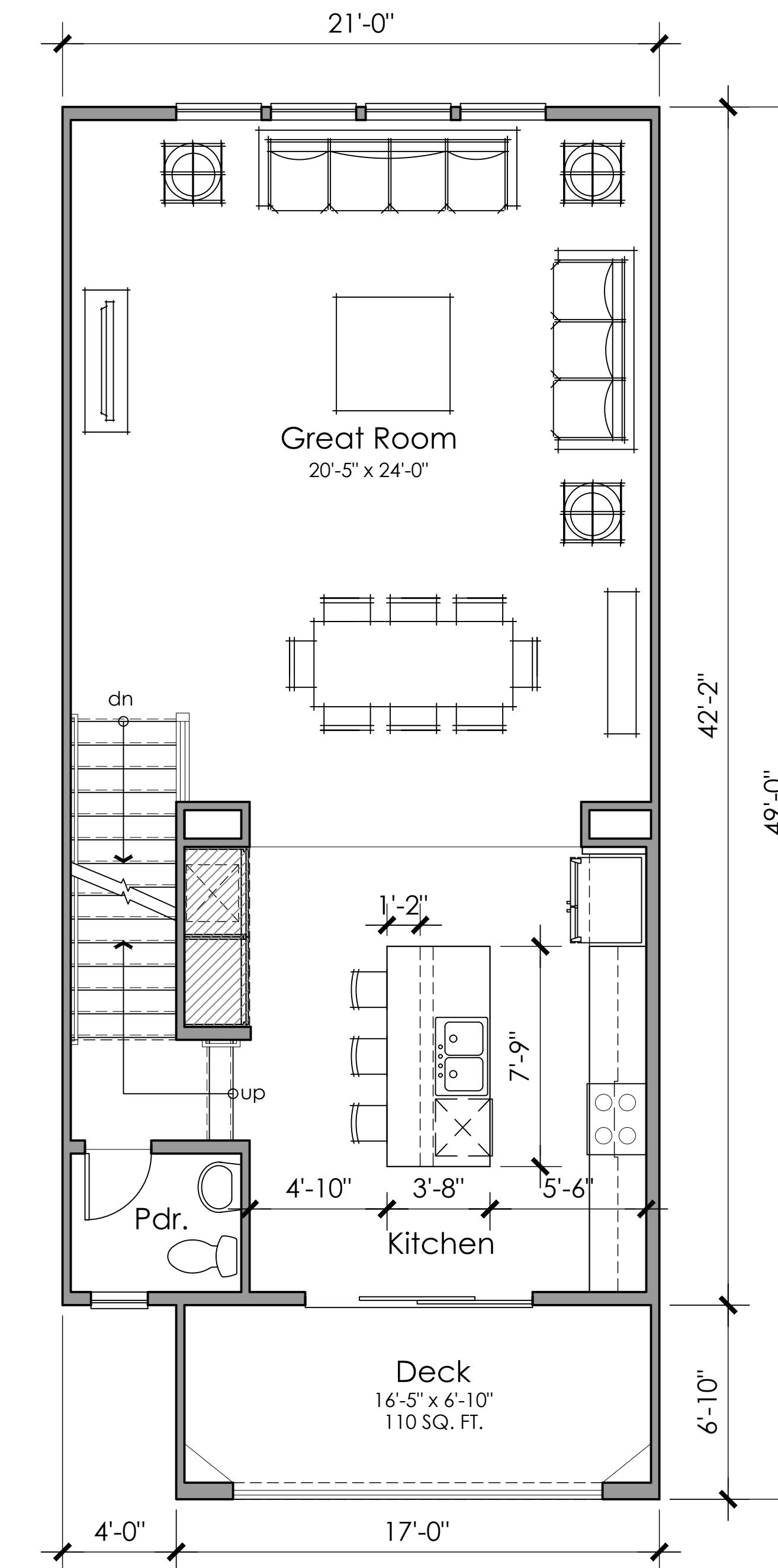


EV EACH PRIVATE GARAGE CONTAINS: 1" RACEWAY TO A 2 GANG BOX FOR FUTURE ELECT. CAR CHARGING STATION

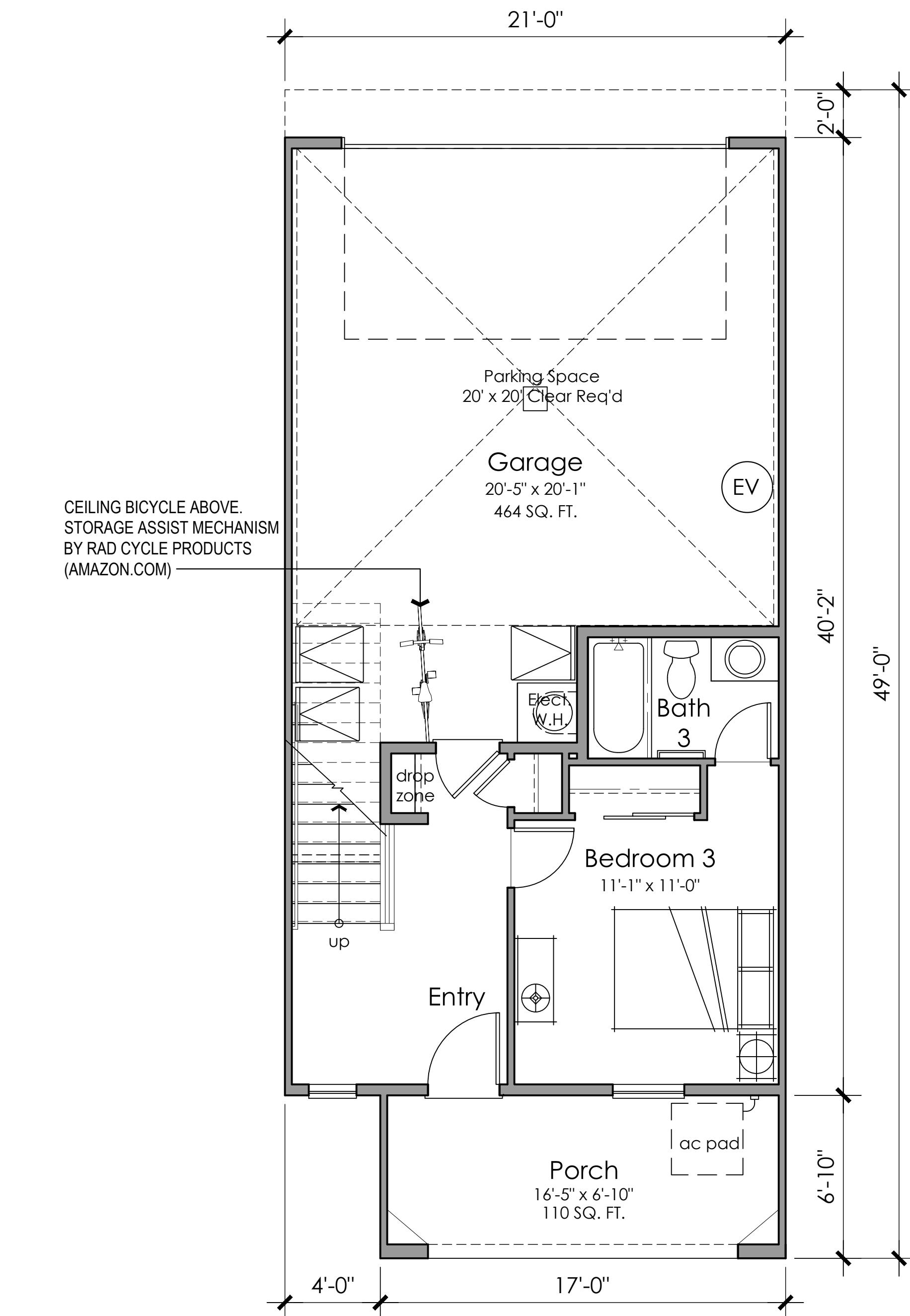


Third Floor
930 n.s.f.

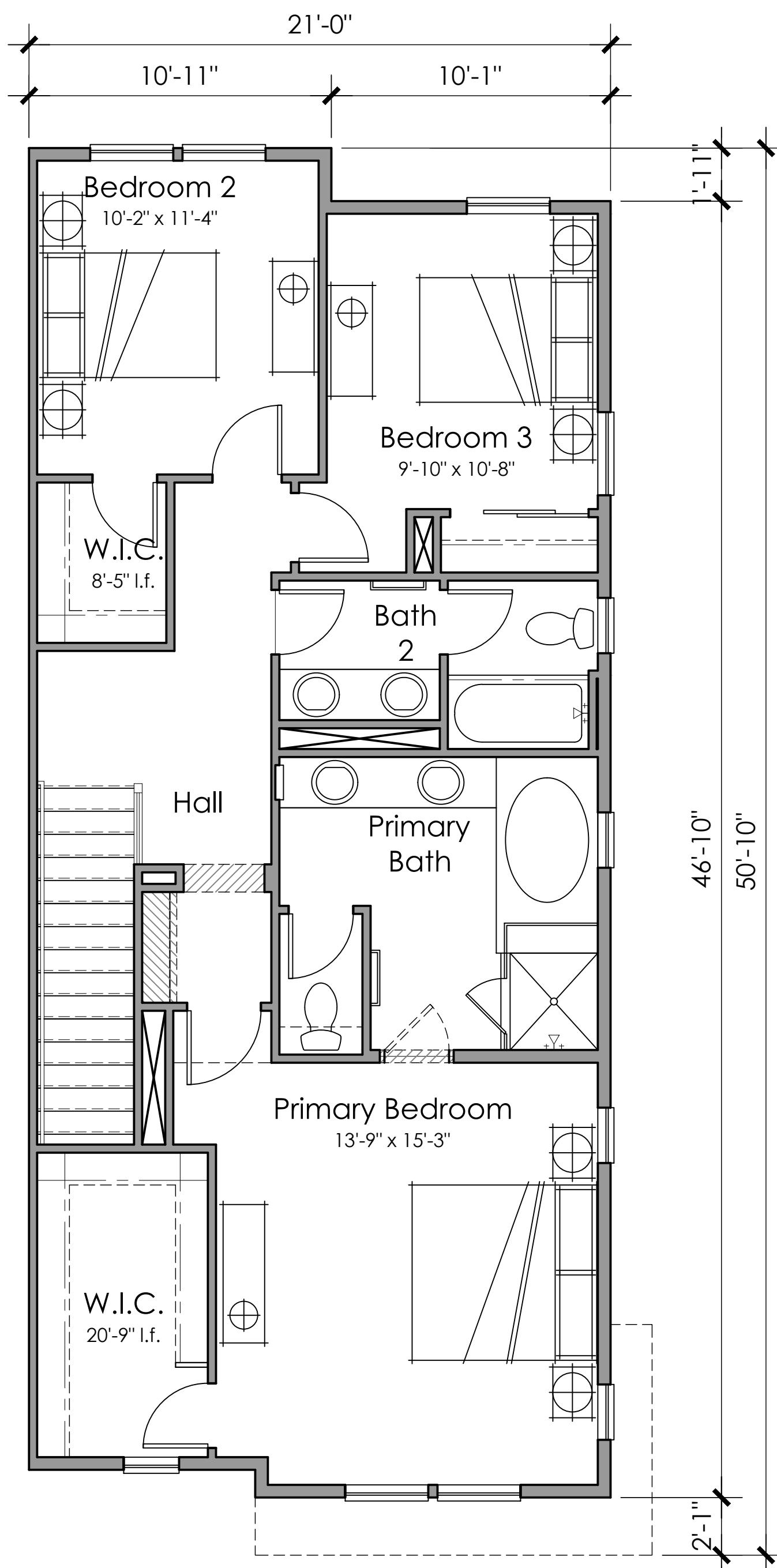
EV EACH PRIVATE GARAGE CONTAINS: 1" RACEWAY TO A 2 GANG BOX FOR FUTURE ELECT. CAR CHARGING STATION



Second Floor
840 n.s.f.



First Floor
337 n.s.f.
3 Bedrooms
3.5 Baths
2107 N.S.F.
110 S.F. PORCH + 110 S.F. DECK =
220 S.F. PRIVATE OPEN SPACE



Third Floor

913 n.s.f.



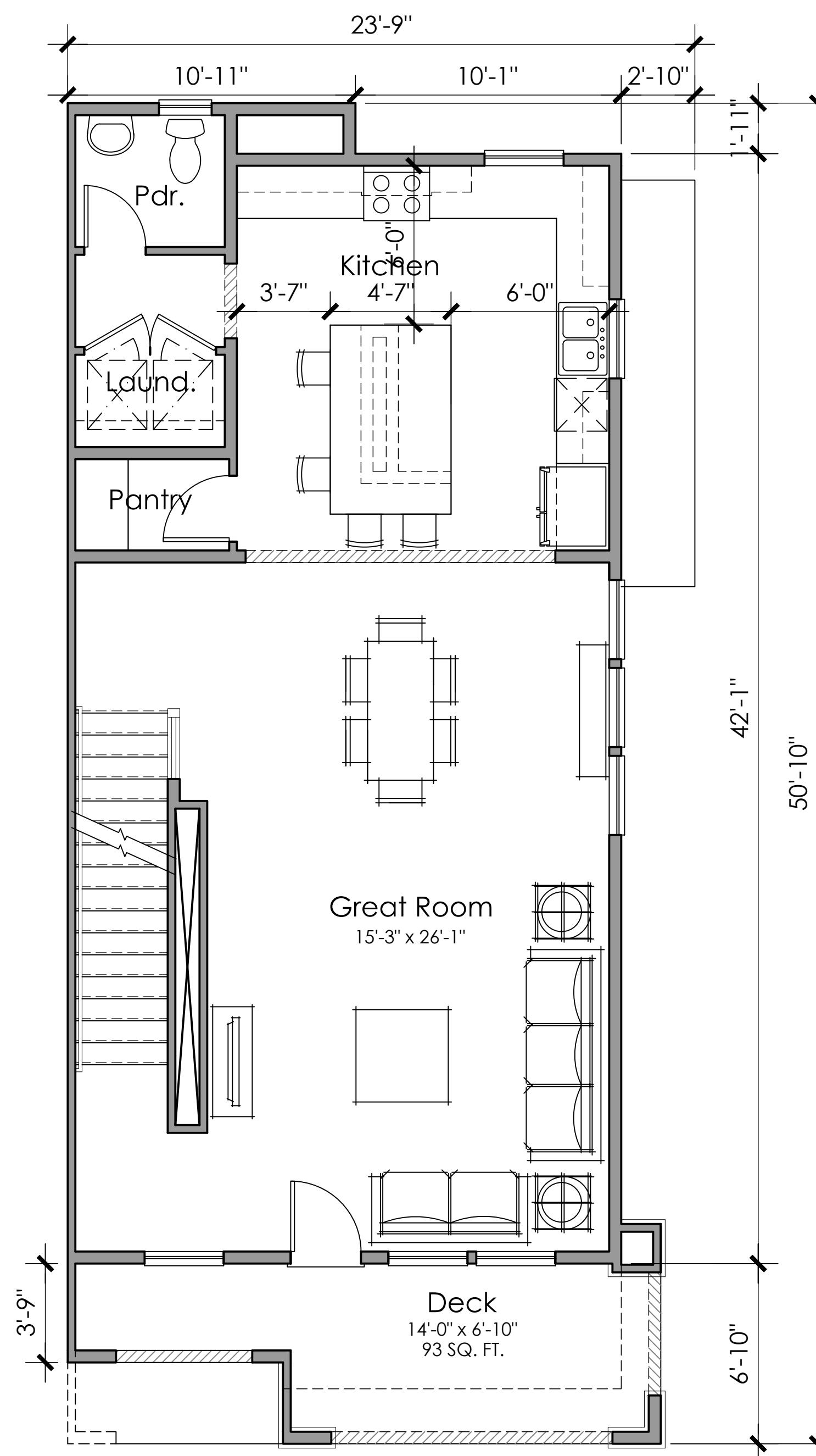
EACH PRIVATE GARAGE CONTAINS: 1" RACEWAY TO A 2 GANG BOX FOR FUTURE ELECT. CAR CHARGING STATION



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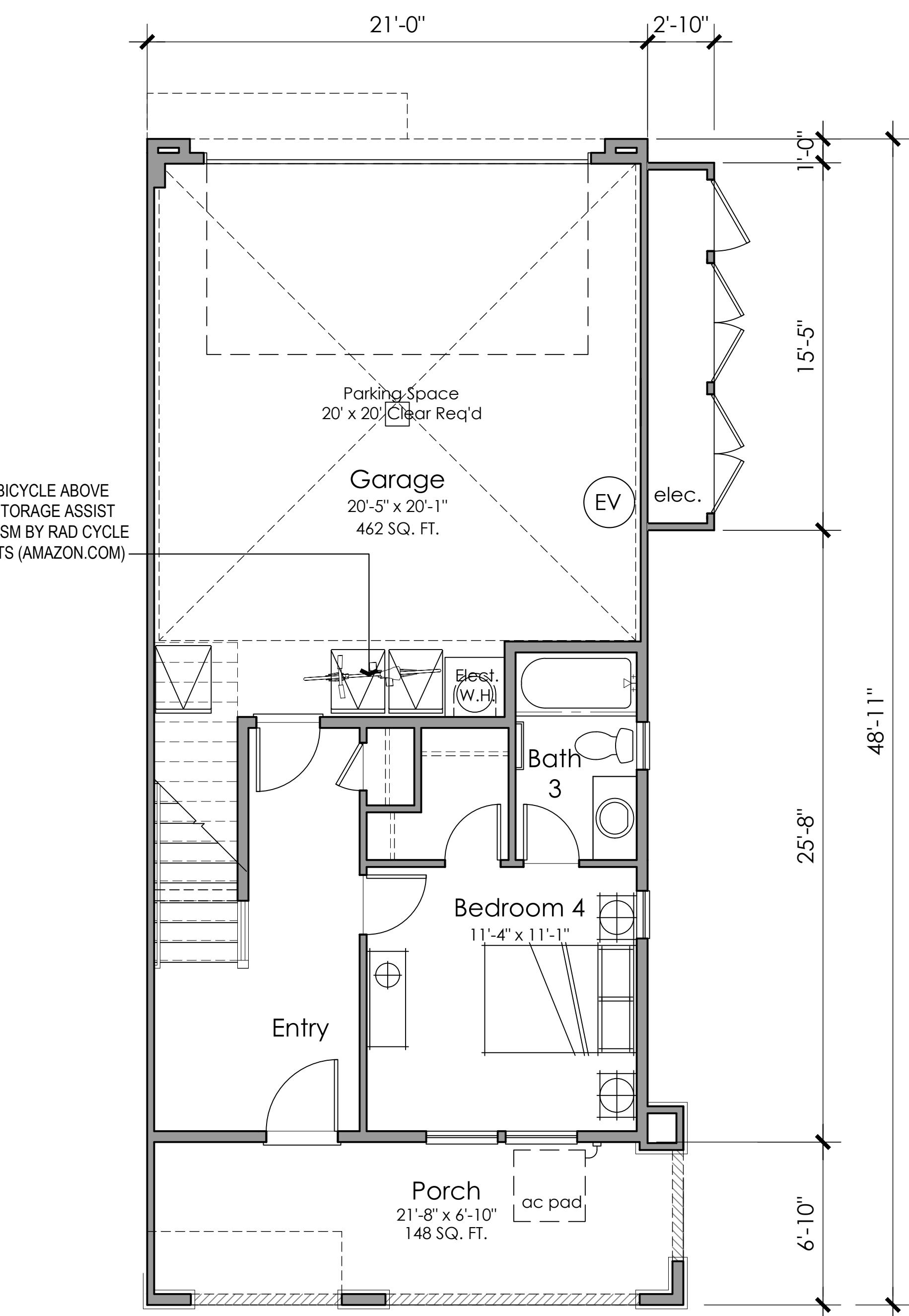


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Second Floor

844 n.s.f.



First Floor

363 n.s.f.

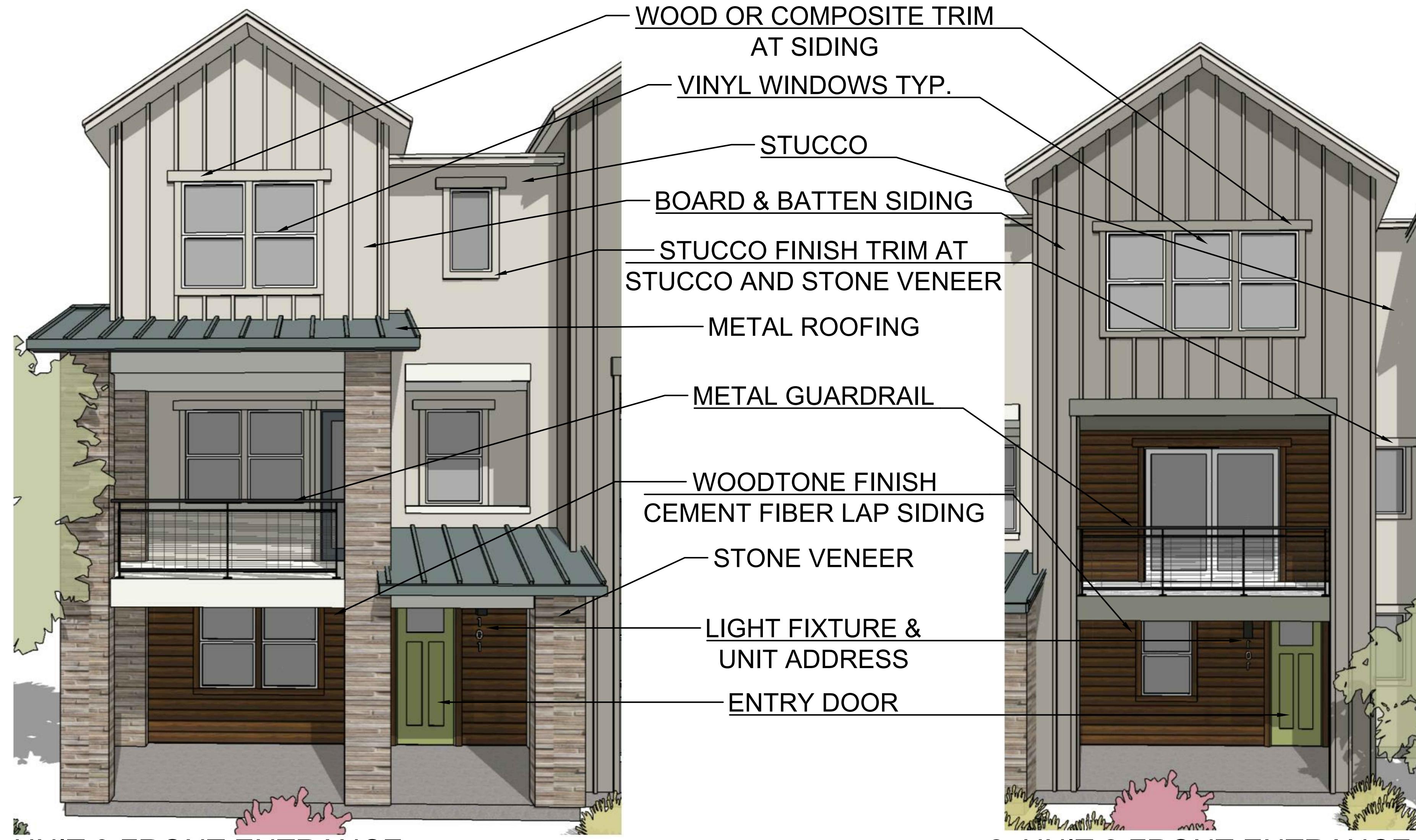
4 Bedrooms
3.5 Baths
2,120 N.S.F.
143 S.F. PORCH + 93 S.F. PORCH =
236 S.F. PRIVATE OPEN SPACE

0 2 4 8

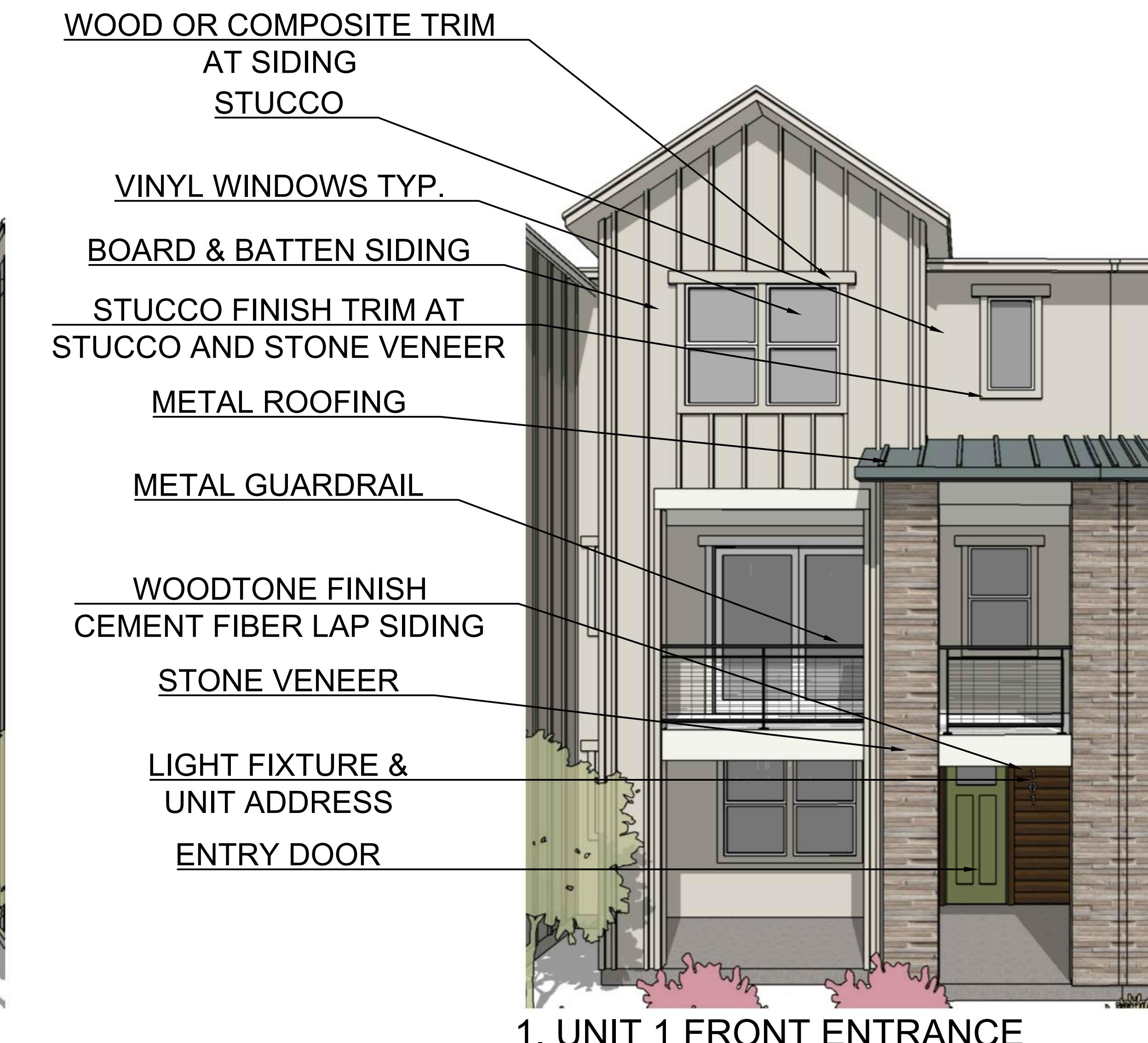
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APRIL 1, 2024

UNIT PLANS - UNIT 3

A1-5.2

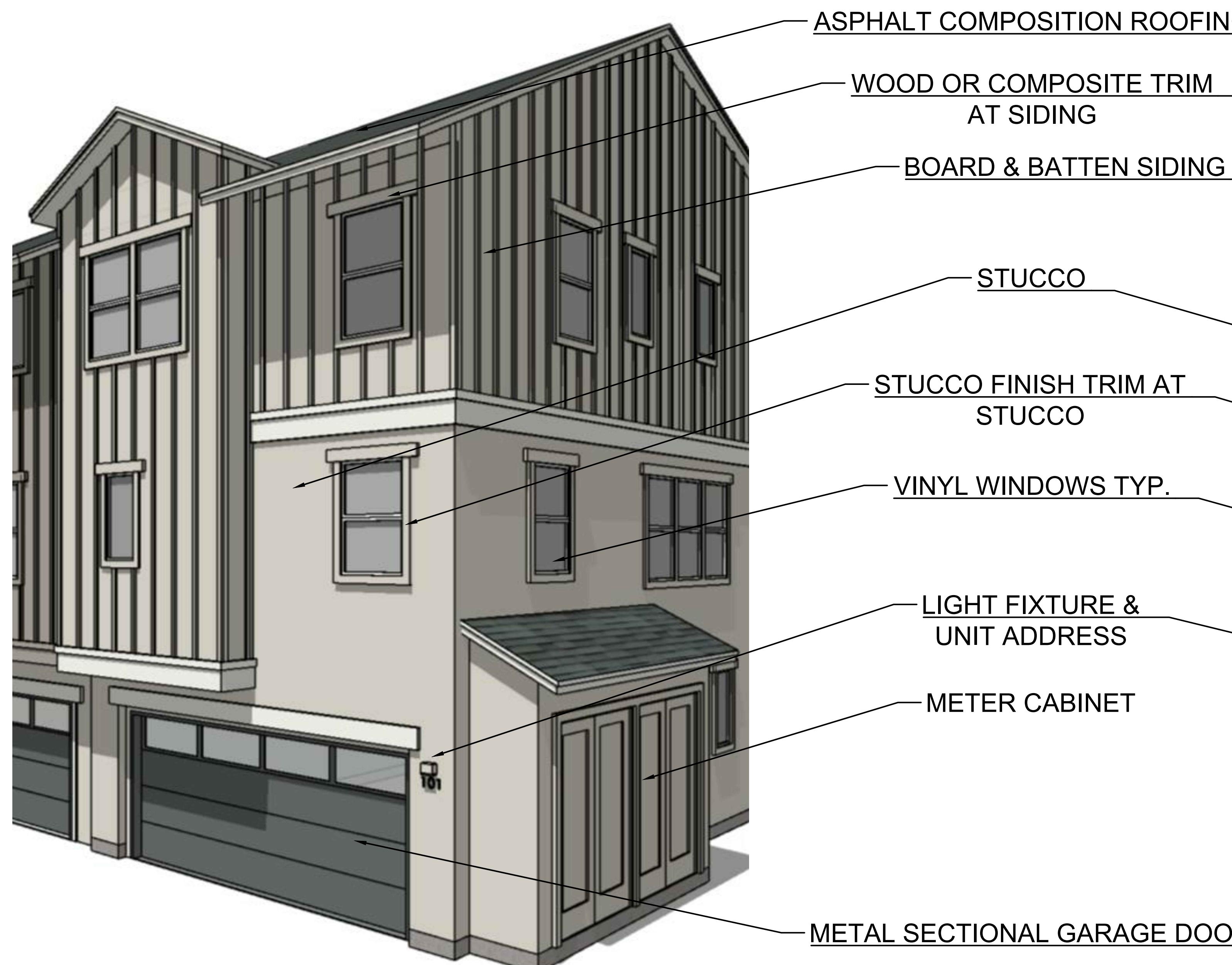


3. UNIT 3 FRONT ENTRANCE



1. UNIT 1 FRONT ENTRANCE





6. UNIT 3 REAR GARAGE

ASPHALT COMPOSITION ROOFING
WOOD OR COMPOSITE TRIM
AT SIDING
BOARD & BATTEN SIDING
STUCCO
STUCCO FINISH TRIM AT
STUCCO
VINYL WINDOWS TYP.
LIGHT FIXTURE &
UNIT ADDRESS
METER CABINET
METAL SECTIONAL GARAGE DOOR



7. UNIT 1 & 2 REAR GARAGES

| SCHEMES FOR APPROVAL 3.19.2024 | | |
|---|--------------------------------|--------------------------|
| COLOR SCHEME #/ COLOR APPLICATION | 1 | 2 |
| ROOF MATERIAL: COMPOSITION ROOFING | MOIRE BLACK | WEATHERWOOD |
| METAL ROOF | ZINC GRAY | MEDIUM BRONZE |
| STUCCO BODY / BATTEN SIDING 1 | SW 9165 GOSSAMER VEIL | SW 7050 USEFUL GRAY |
| FASCIA / EAVES 1 / TRIM 1 | SW 7005 PURE WHITE | SW 9166 DRIFT OF MIST |
| BATTEN SIDING 2 | SW 9170 ACIER | SW 9130 EVERGREEN FOG |
| FASCIA / EAVES AT METAL ROOF / TRIM 2 | SW 0077 CLASSIC FRENCH GRAY | SW 6200 LINK GRAY |
| GARAGE DOOR 1 | SW 2848 ROYCROFT PEWTER | SW 7645 THUNDER GRAY |
| GARAGE DOOR 2 | SW 0077 CLASSIC FRENCH GRAY | SW 6200 LINK GRAY |
| ENTRY DOORS | SW 9038 CUCUZZA VERDE | SW 7625 MOUNT ETNA |
| METAL RAILS | SW 6258 TRICORN BLACK | SW 6258 TRICORN BLACK |
| WOOD TONE SIDING / WOOD TONE TRIM BOARDS | OLD CHERRY | SUMMERWHEAT |
| THIN BRICK | LOREIO FAROLA | LOREIO TALAVERA |

All Paint to return to inside corners including under eaves, overhangs, headers, balconies and cantilver areas.
All photographs of stone, brick, masonry and roof tiles are for representation only - See actual samples for exact colors.
Mandoors/ Vents to be painted adjacent surface color

STUCCO /PAINT: Sherwin Williams
ROOF: Certainteed Landmark or equal
METAL ROOFING: Berridge Metals or equal
MASONRY VENEER: El Dorado Stone or equal
WOODTONE SIDING: Woodtone Products

TOWNHOME FARMHOUSE ELEVATIONS

| COLOR SCHEME COLOR APPLICATION | 1 | 2 |
|--|-----------------------------------|-----------------------------|
| ROOF MATERIAL: COMPOSITION ROOFING | MOIRE BLACK | WEATHERWOOD |
| METAL ROOF | ZINC GRAY | MEDIUM BRONZE |
| STUCCO BODY / BATTEN SIDING 1 | SW 9165 GOSSAMER VEIL | SW 7050 USEFUL GRAY |
| FASCIA / EAVES 1 / TRIM 1 | SW 7005 PURE WHITE | SW 9166 DRIFT OF MIST |
| BATTEN SIDING 2 | SW 9170 ACIER | SW 9130 EVERGREEN FOG |
| FASCIA / EAVES AT METAL ROOF / TRIM 2 | SW 0077 CLASSIC FRENCH GRAY | SW 6200 LINK GRAY |
| GARAGE DOOR 1 | SW 2848 ROYCROFT PEWTER | SW 7645 THUNDER GRAY |
| GARAGE DOOR 2 | SW 0077 CLASSIC FRENCH GRAY | SW 6200 LINK GRAY |
| ENTRY DOORS | SW 9038 CUCUZZA VERDE | SW 7625 MOUNT ETNA |
| METAL RAILS | SW 6258 TRICORN BLACK | SW 6258 TRICORN BLACK |
| WOOD TONE SIDING/ WOOD TONE TRIM BOARDS | OLD CHERRY | SUMMERWHEAT |
| THIN BRICK | LOREIO FAROLA | LOREIO TALAVERA |

STUCCO /PAINT: Sherwin Williams
ROOF: Certainteed Landmark or equal
METAL ROOFING: Berridge Metals or equal
MASONRY VENEER: El Dorado Stone or equal
WOODTONE SIDING: Woodtone Products

FARMHOUSE ELEVATIONS

ktgy

KTGY # 2023-0661

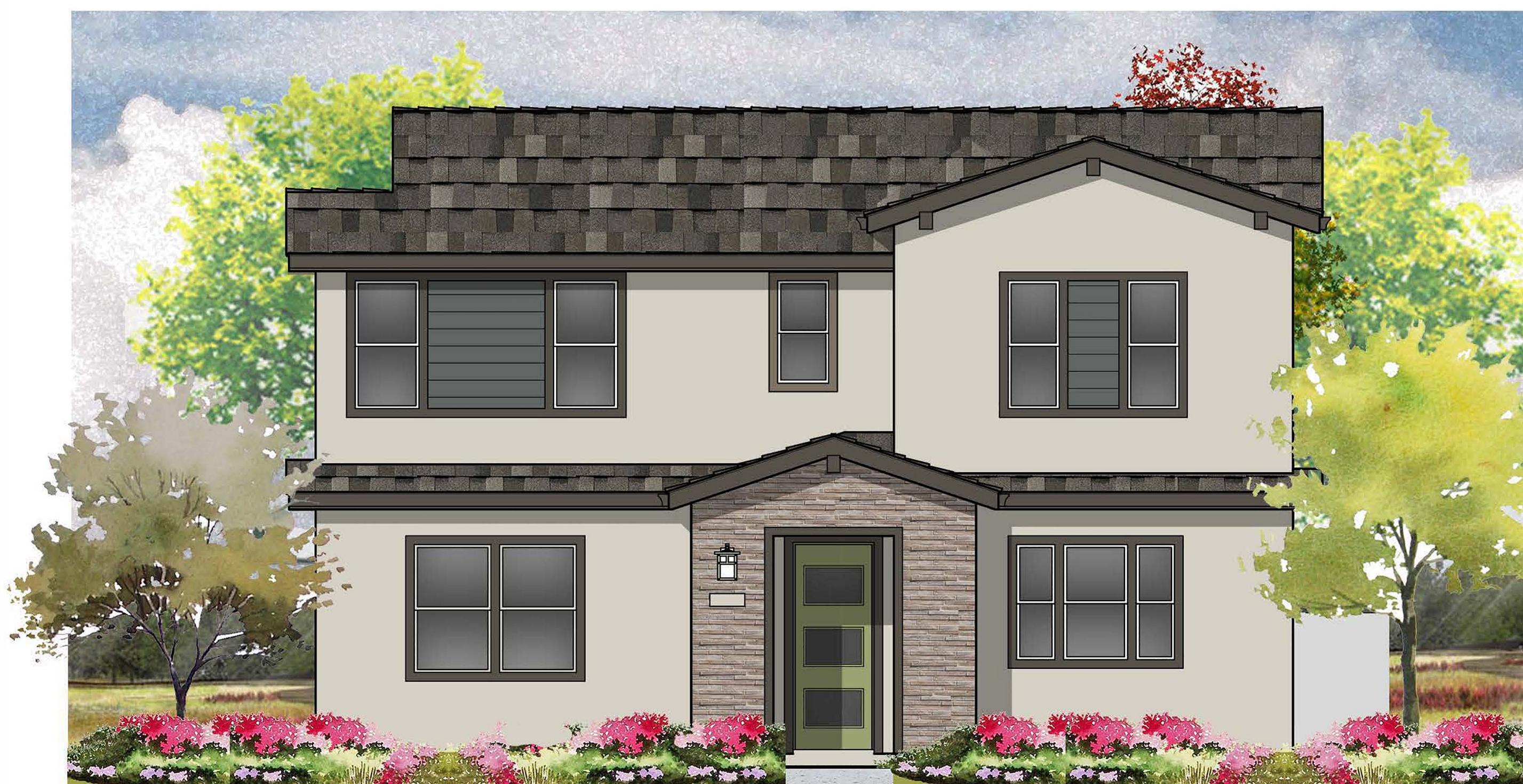
| DESIGN AND DEVELOPMENT STANDARDS | |
|---|--|
| ARCHITECTURAL DESIGN FEATURES | |
| 25. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet. | |
| 26. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet. | |
| 27. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted. | |
| 28. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick, or other material enhancements. All facades (sides and rear) must have the level of detail, and materials incorporating at a minimum of two elements of the front facade. There shall be no blank walls. (GP Policy CNF-11.16 360-Degree Design) | |
| 29. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously $\frac{1}{4}$ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges. | |
| 30. Roof line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.) | |
| 31. Height and Project Massing: Project design minimizes bulk of the buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: | |
| a. Changes in roof form and height; and, | |
| b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22) | |
| 33. Building Colors: The project has provided a sample color palette of complimentary colors used in the surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. | |
| a. The use of fluorescent or neon colors is prohibited. | |
| 34. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: | |
| a. Minimum depth of at least 1 1/2 inches from glass to exterior of trim; | |
| b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, | |
| c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design. | |
| 35. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency. | |
| 36. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details. | |
| 37. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within enclosed structure. | |
| Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment. | |
| 39. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling. | |
| 45.2 Trash: Single Family Units or developments that will not use trash enclosures. Designate solid / recycling / organics receptacle storage area. | |





Front Elevation 1A

Scheme 1



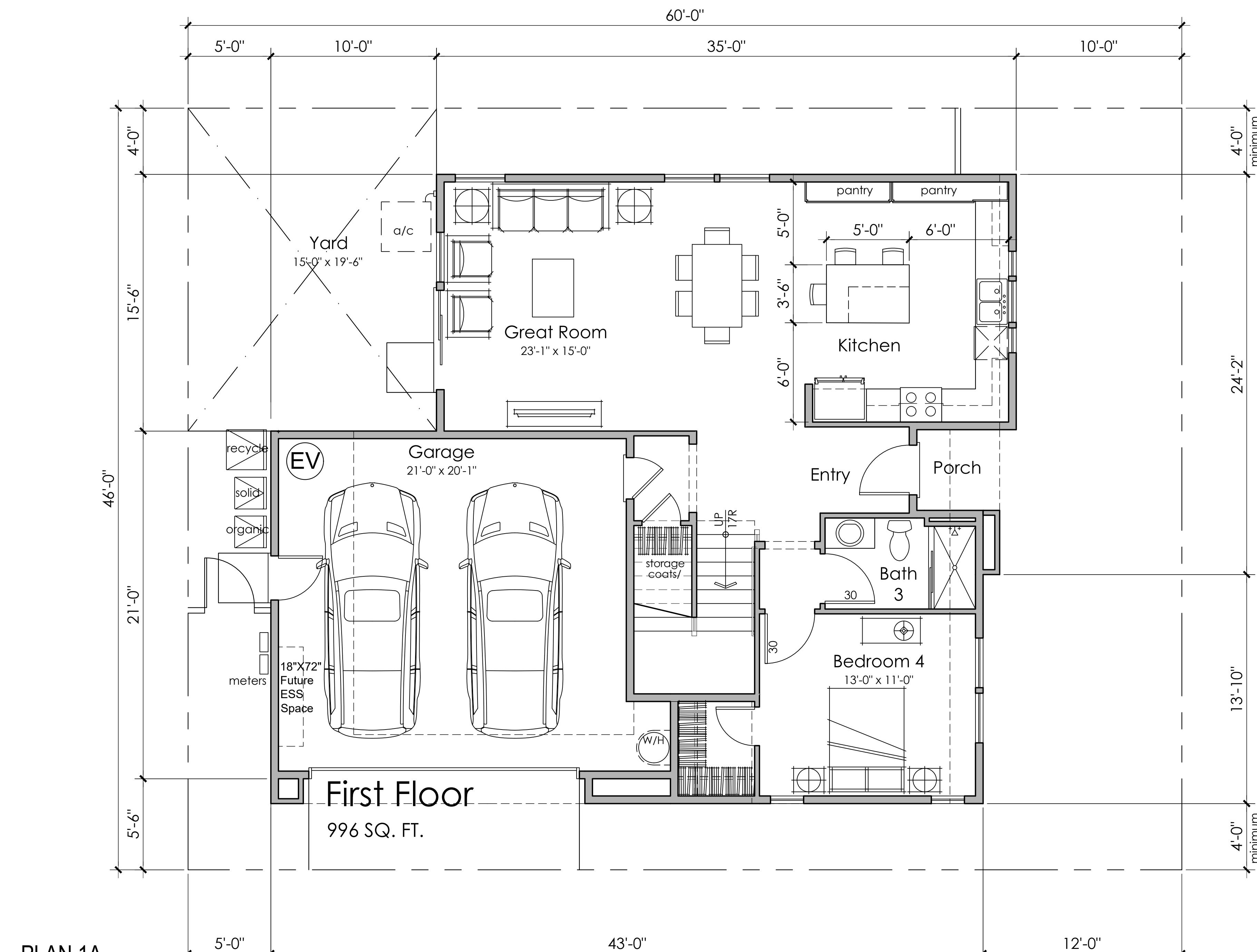
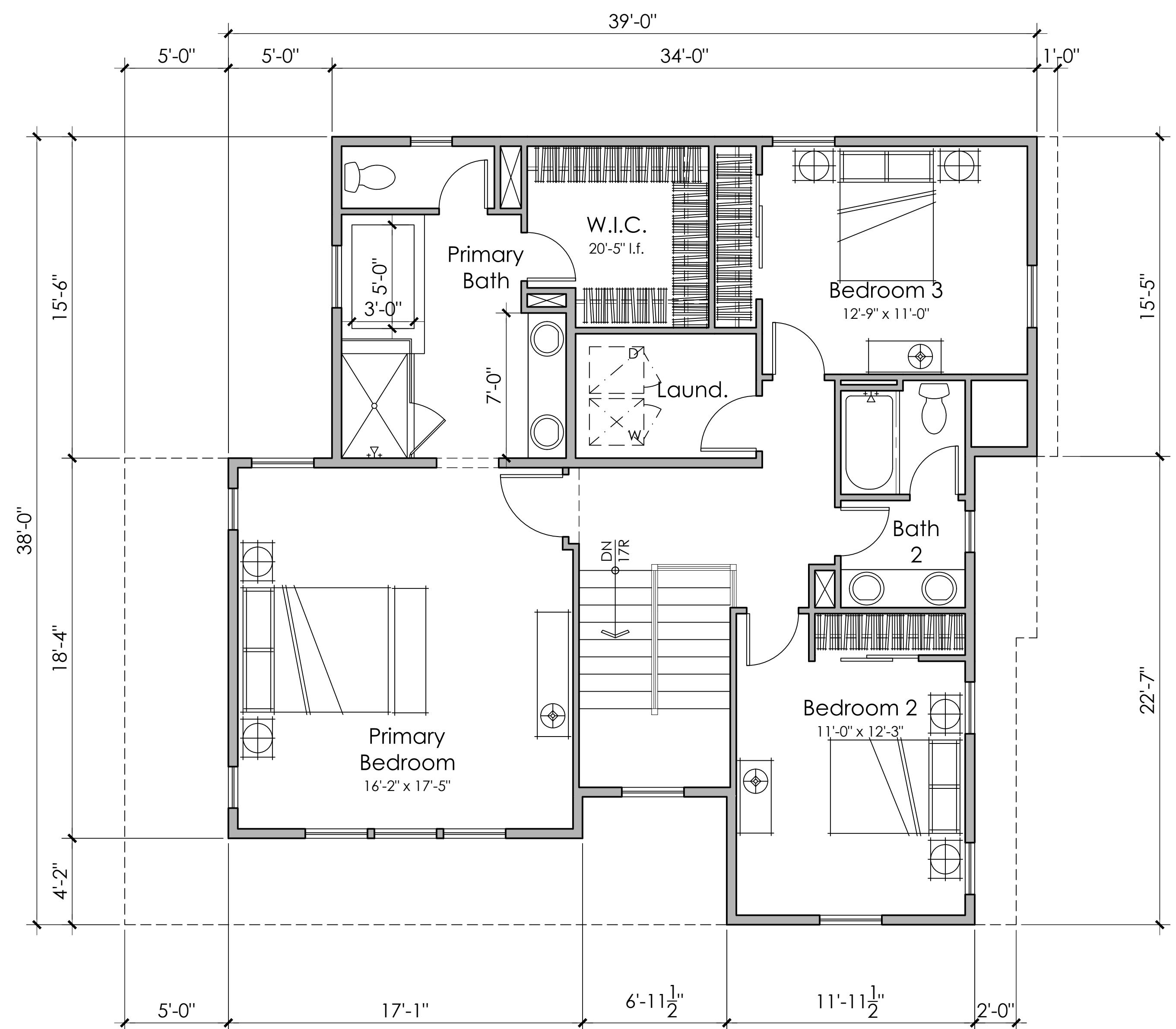
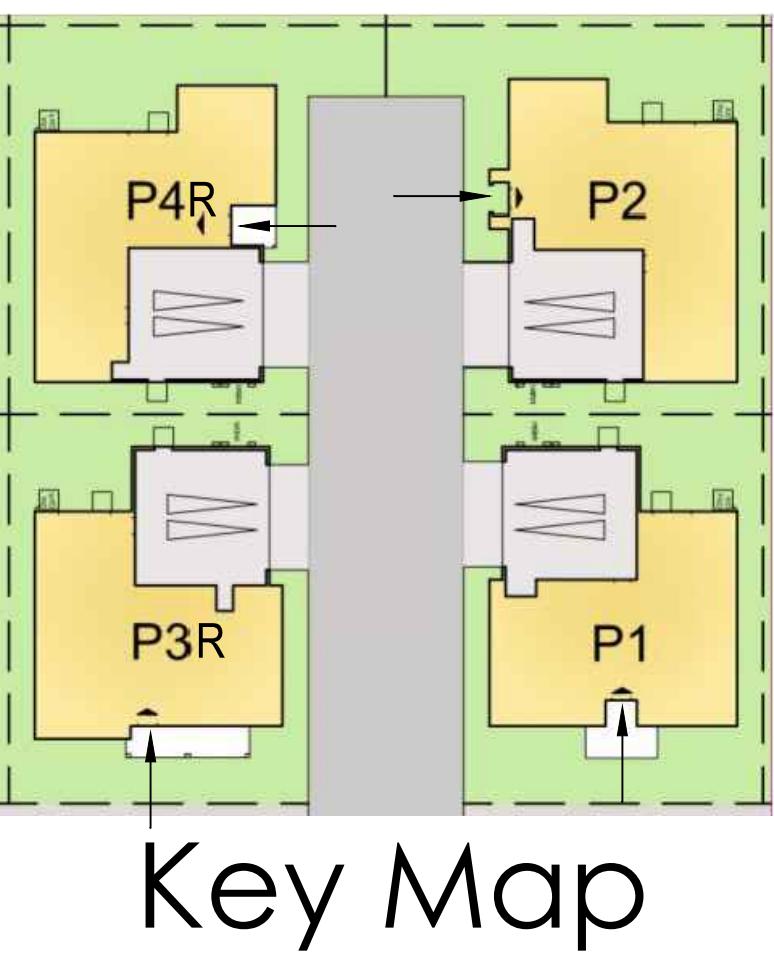
Front Elevation 1B

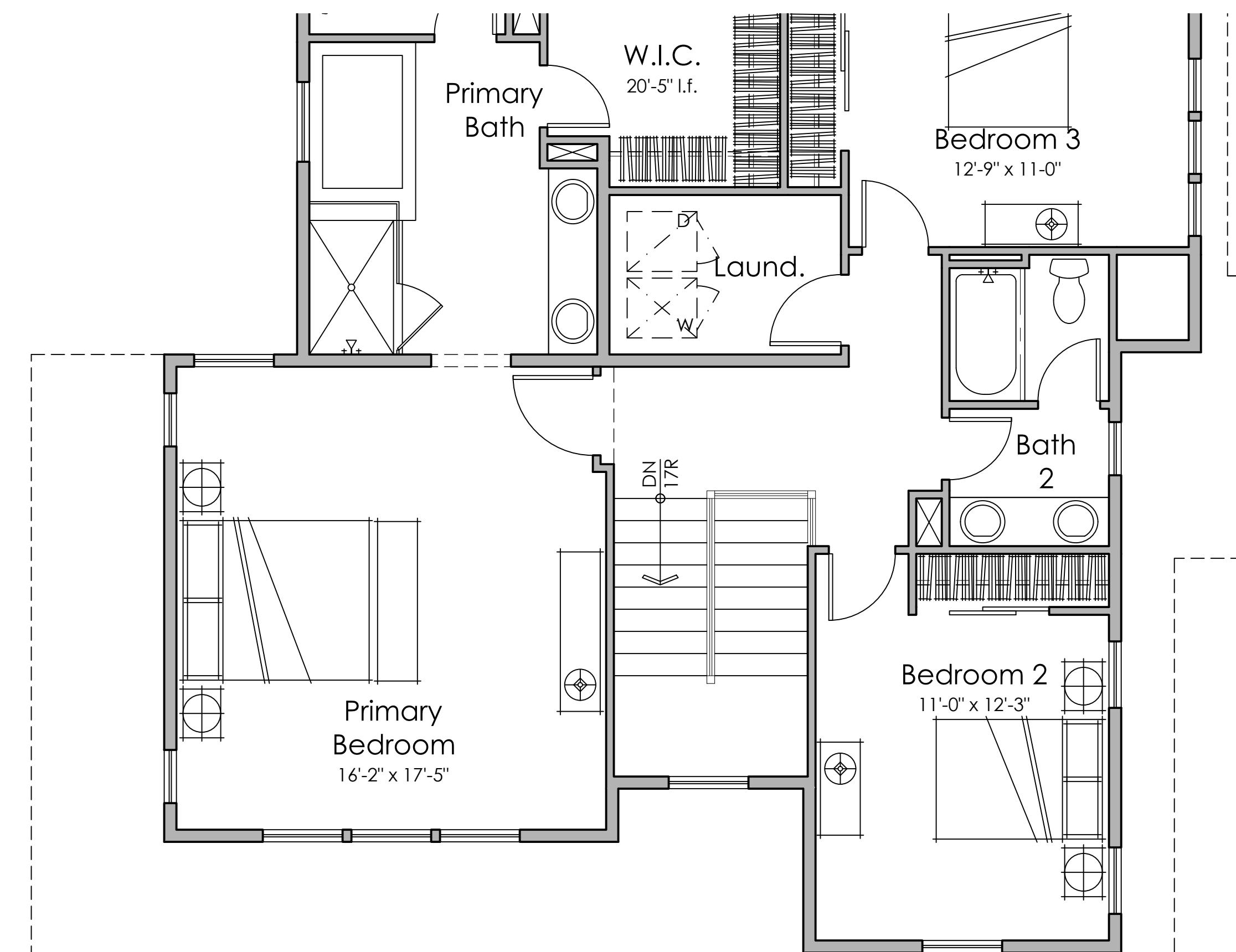
Scheme 4



Front Elevation 1C

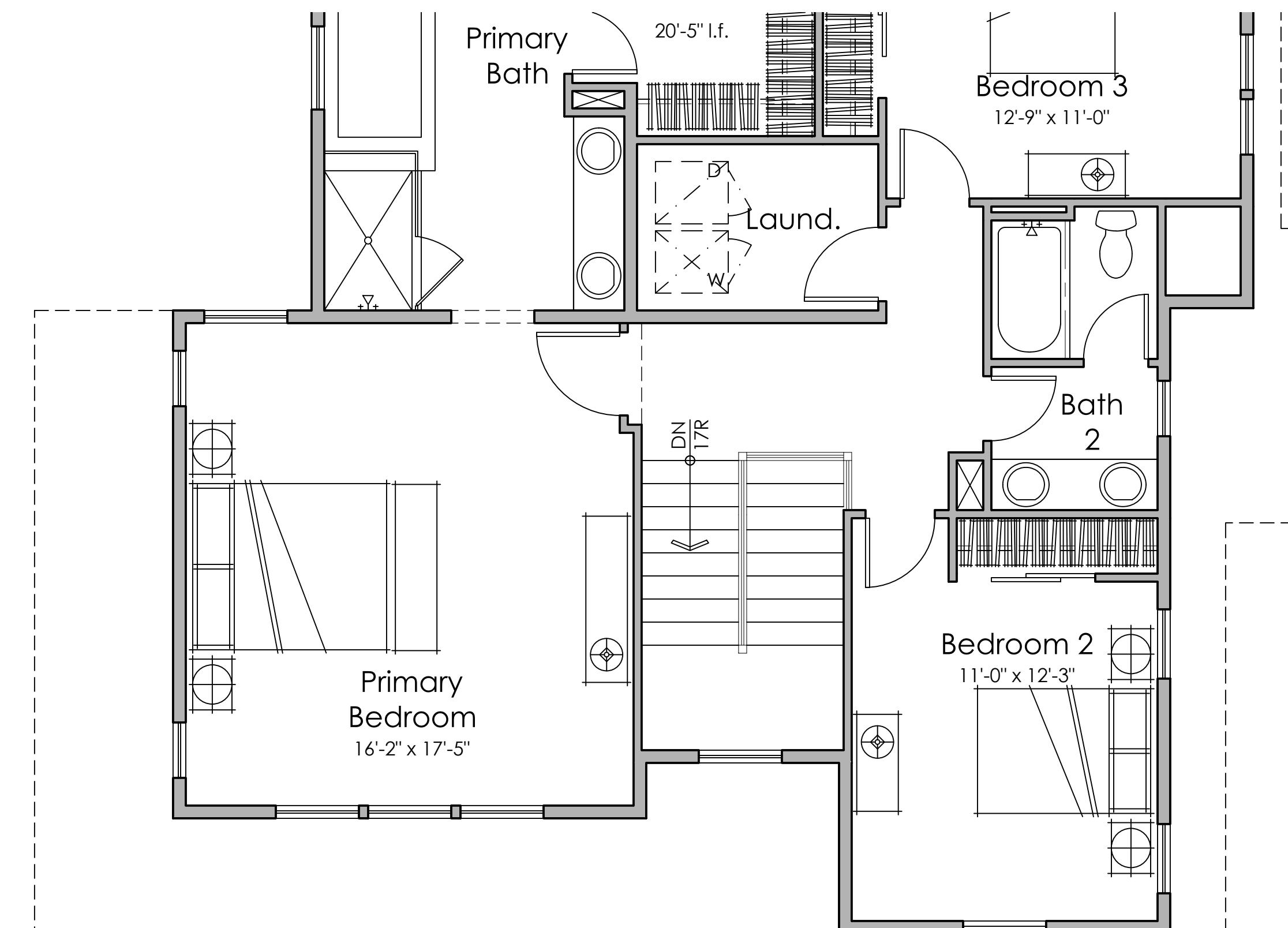
Scheme 7





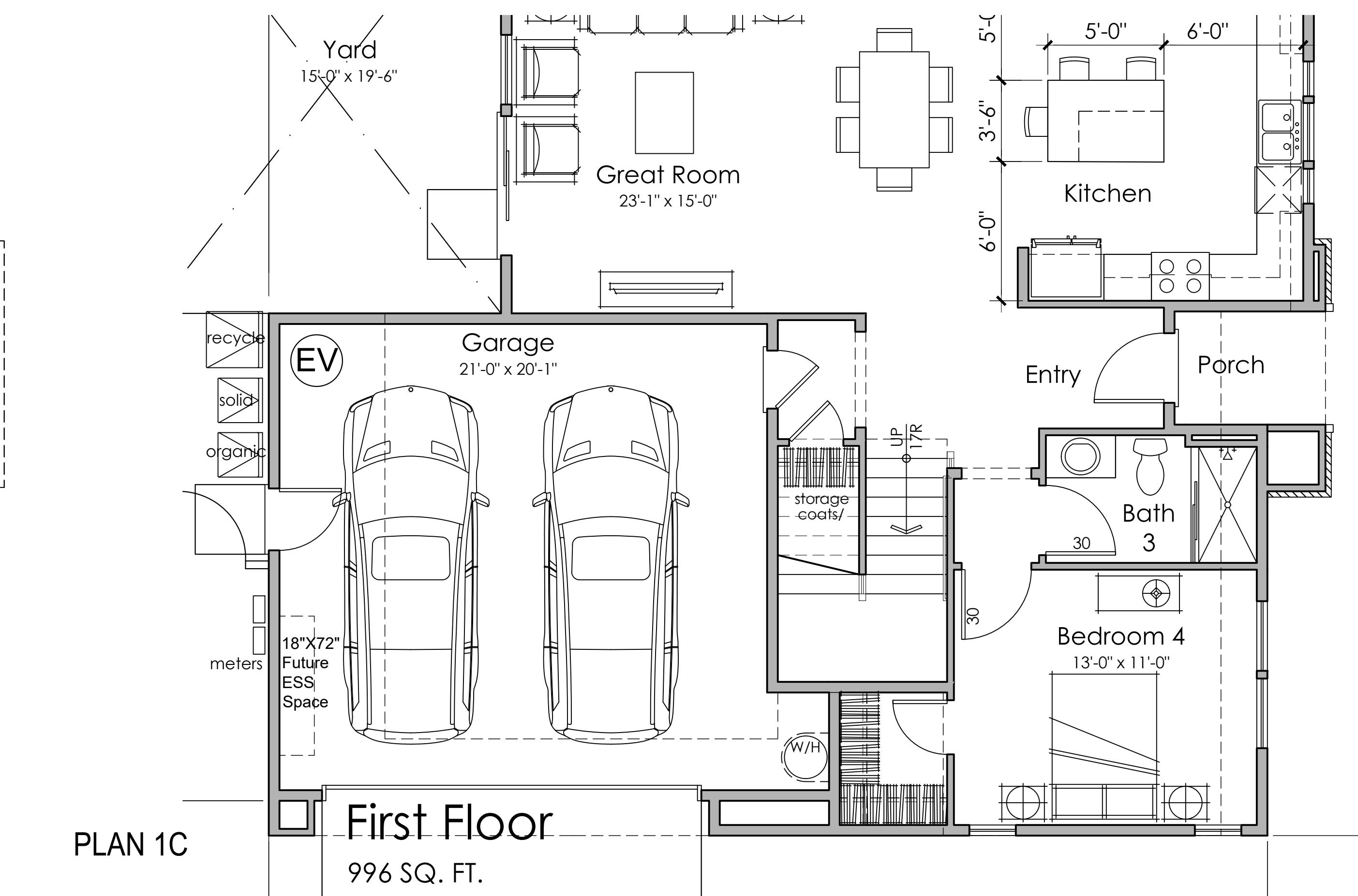
Second Floor

1151 SQ. FT.



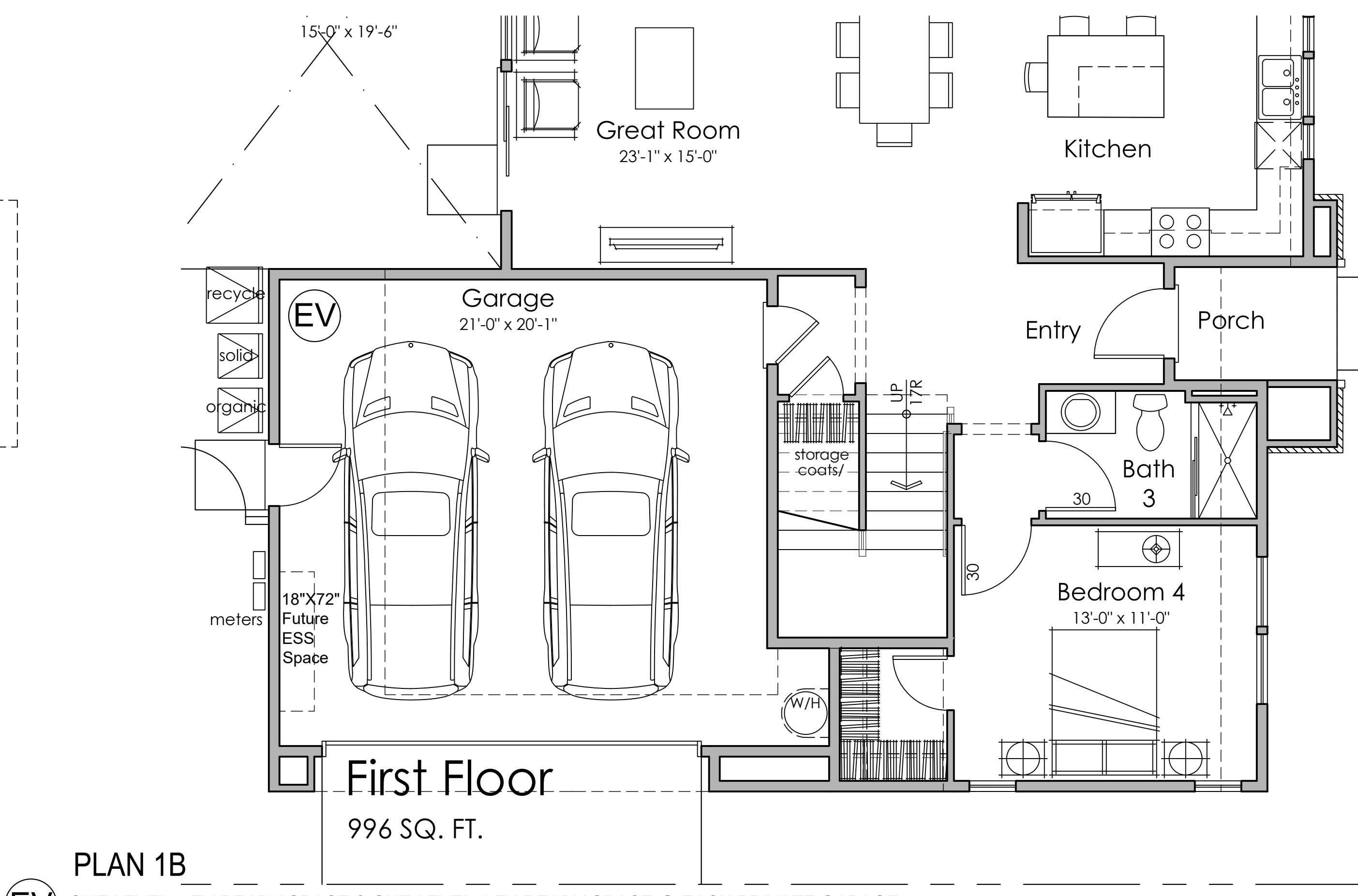
Second Floor

1151 SQ. FT.



First Floor

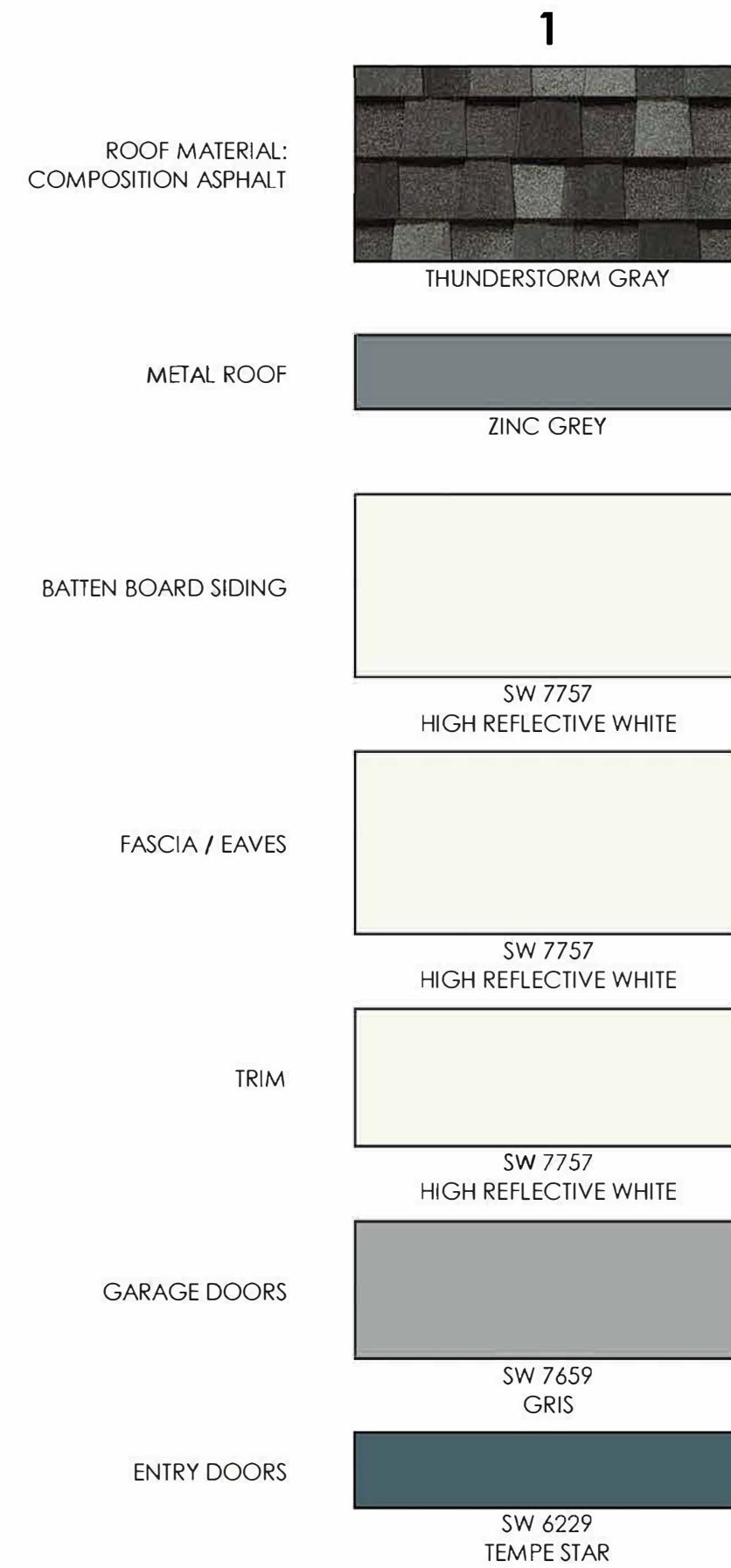
996 SQ. FT.



First Floor

996 SQ. FT.

EV ONE LEVEL 2 EV READY SPACE & ONE LEVEL 1 EV READY SPACE @ EACH PRIVATE GARAGE



MATERIAL LEGEND

1. STUCCO
2. FIBER CEMENT LAP SIDING
3. FIBER CEMENT BOARD AND BATTEN SIDING
4. STONE VENEER
5. METAL GARAGE DOOR
6. CONCRETE S PROFILE ROOF TILE
7. COMPOSITION SHINGLE ROOF
8. LIGHT FIXTURE
9. UNIT ADDRESS
10. ENTRY DOOR
11. FIBER CEMENT TRIM
12. HIGH DENSITY FOAM TRIM
13. VINYL WINDOW
14. WOOD POST
15. FIBER CEMENT PANEL
16. METAL ROOFING
17. METAL AWNING

Front Elevation 1A

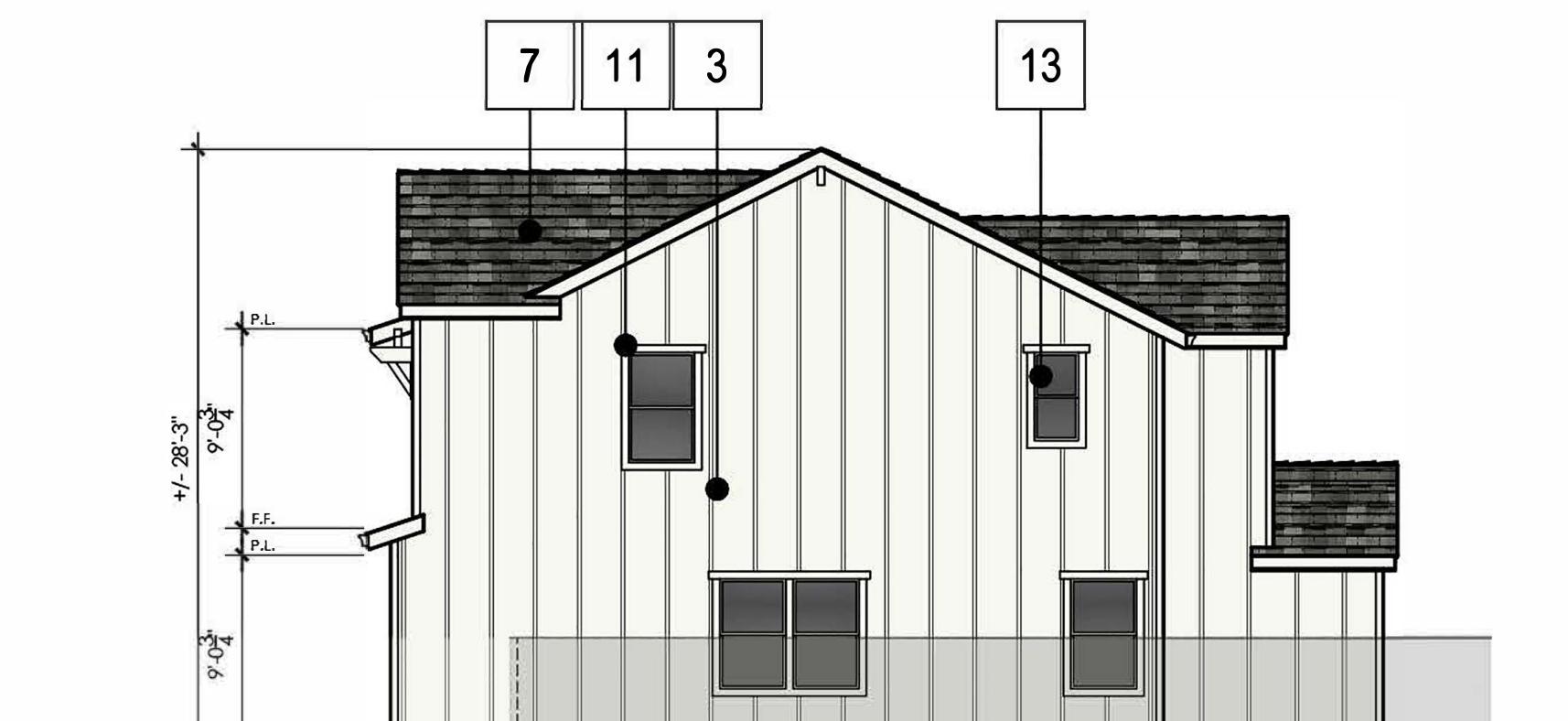
Scheme 1
0 2 4 8



Left Elevation

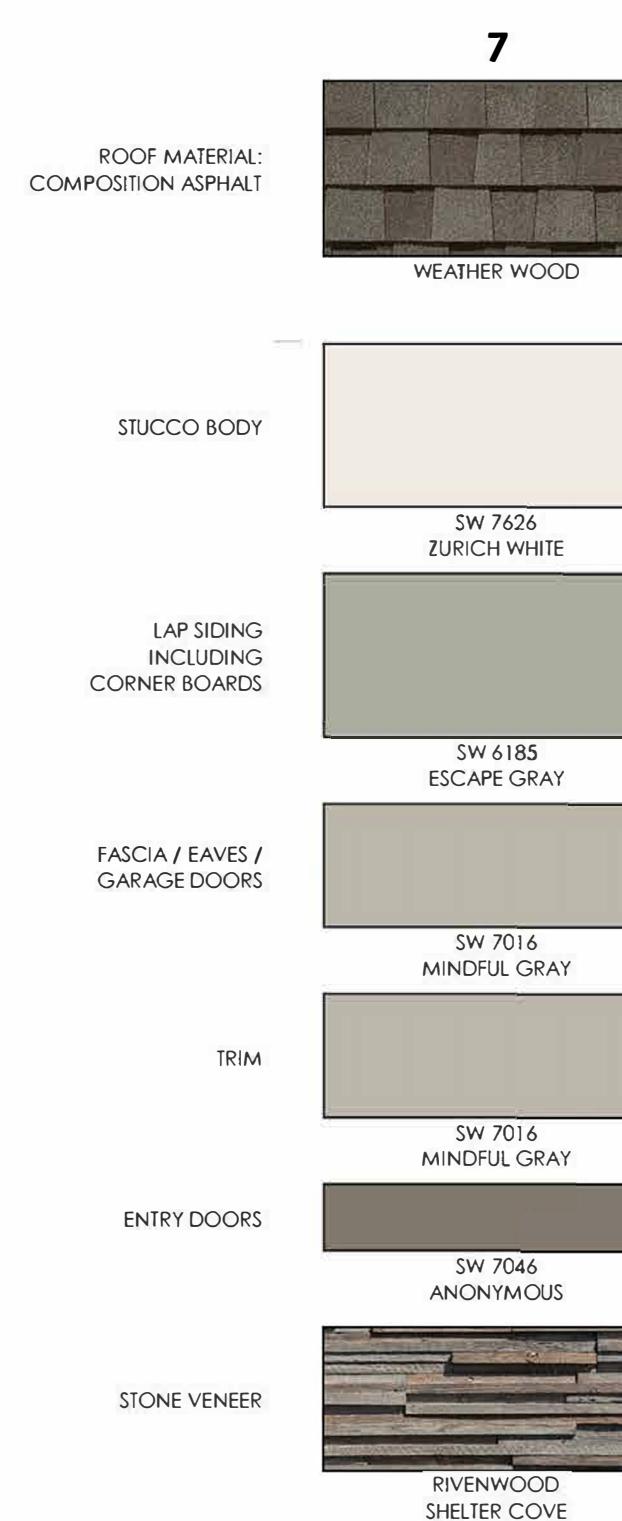


Rear Elevation



Right Elevation





MATERIAL LEGEND

1. STUCCO
2. FIBER CEMENT LAP SIDING
3. FIBER CEMENT BOARD AND BATTEN SIDING
4. STONE VENEER
5. METAL GARAGE DOOR
6. CONCRETE S PROFILE ROOF TILE
7. COMPOSITION SHINGLE ROOF
8. LIGHT FIXTURE
9. UNIT ADDRESS
10. ENTRY DOOR
11. FIBER CEMENT TRIM
12. HIGH DENSITY FOAM TRIM
13. VINYL WINDOW
14. WOOD POST
15. FIBER CEMENT PANEL
16. METAL ROOFING
17. METAL AWNING

Front Elevation 1C

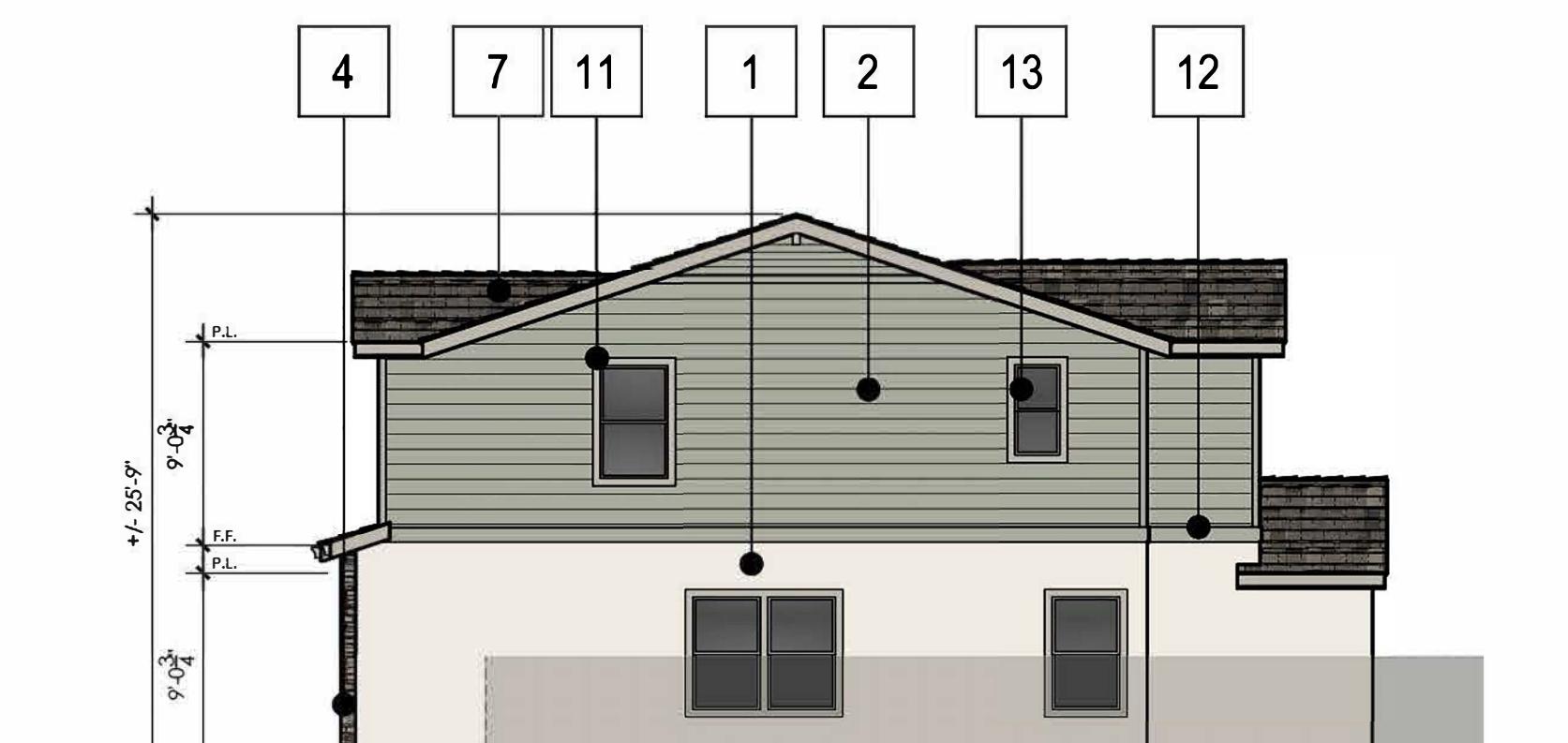
Scheme 7
0 2 4 8



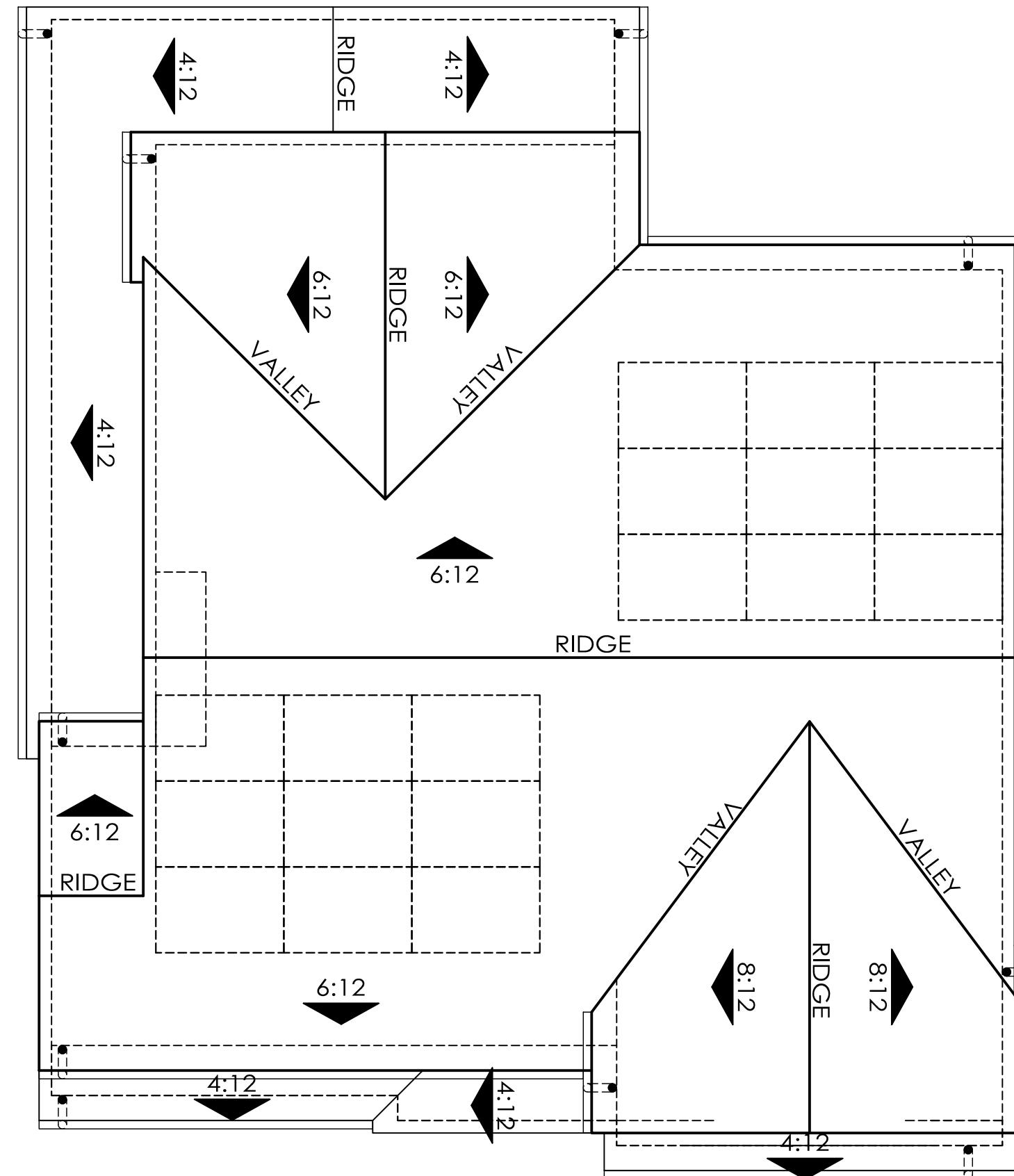
Left Elevation



Rear Elevation

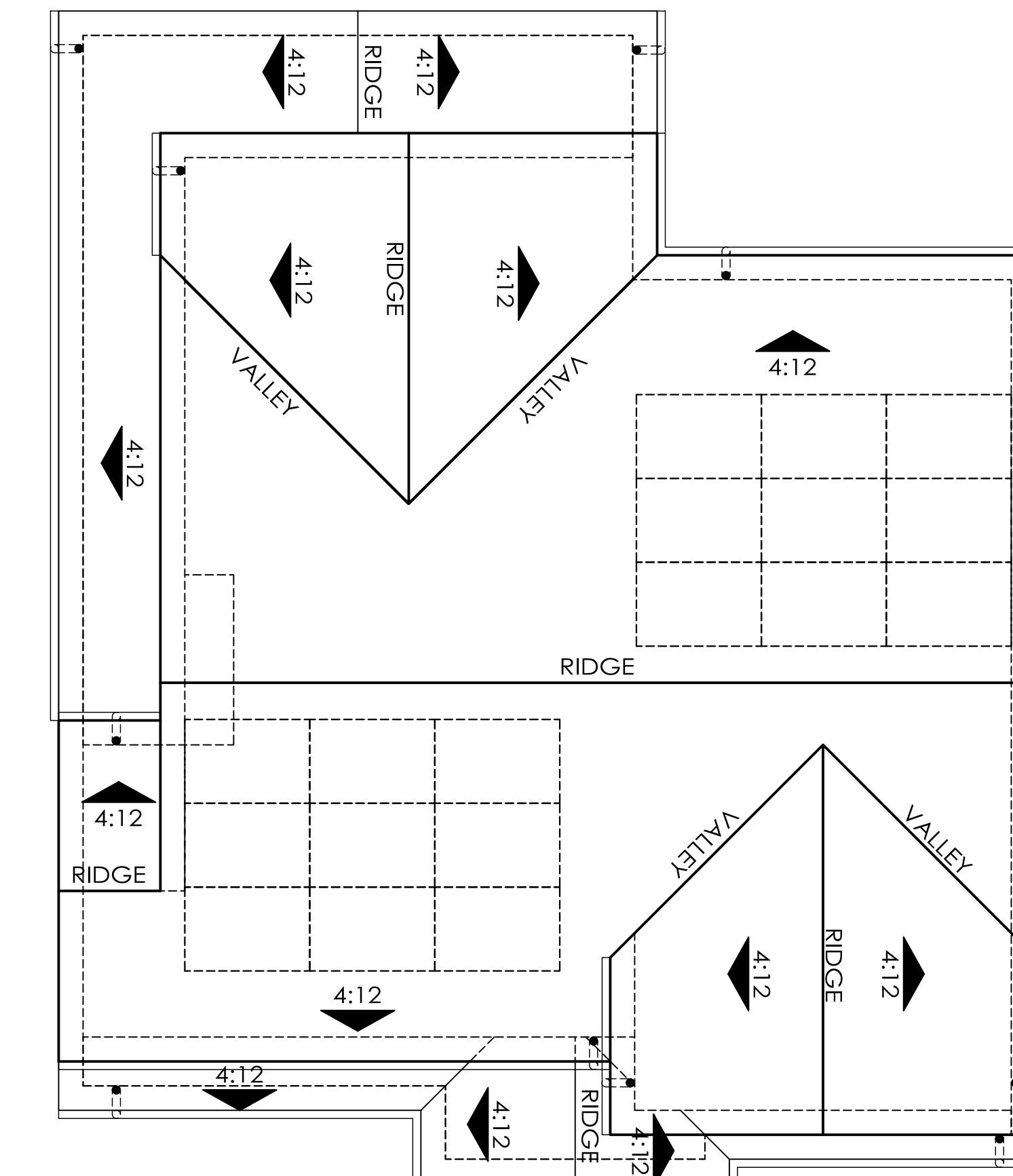


Right Elevation



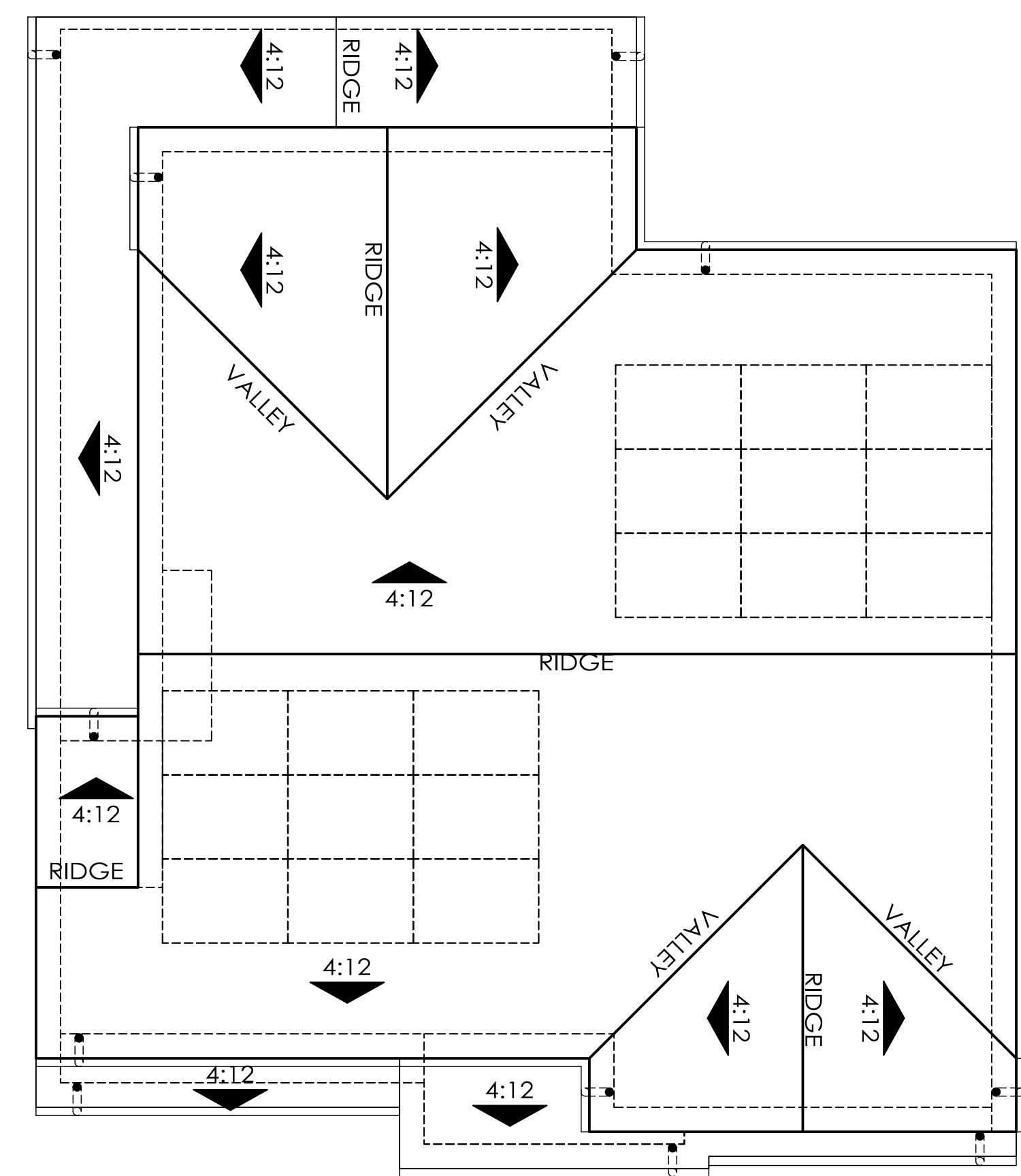
ROOF PLAN 1A

OVERHANG : 12"
RAKE : 6"
ROOF PITCH : 6:12 U.N.O.



ROOF PLAN 1B

OVERHANG : 12"
RAKE : 12"
ROOF PITCH : 4:12 U.N.O.



ROOF PLAN 1C

OVERHANG : 12"
RAKE : 12"
ROOF PITCH : 4:12 U.N.O.

NOTE:

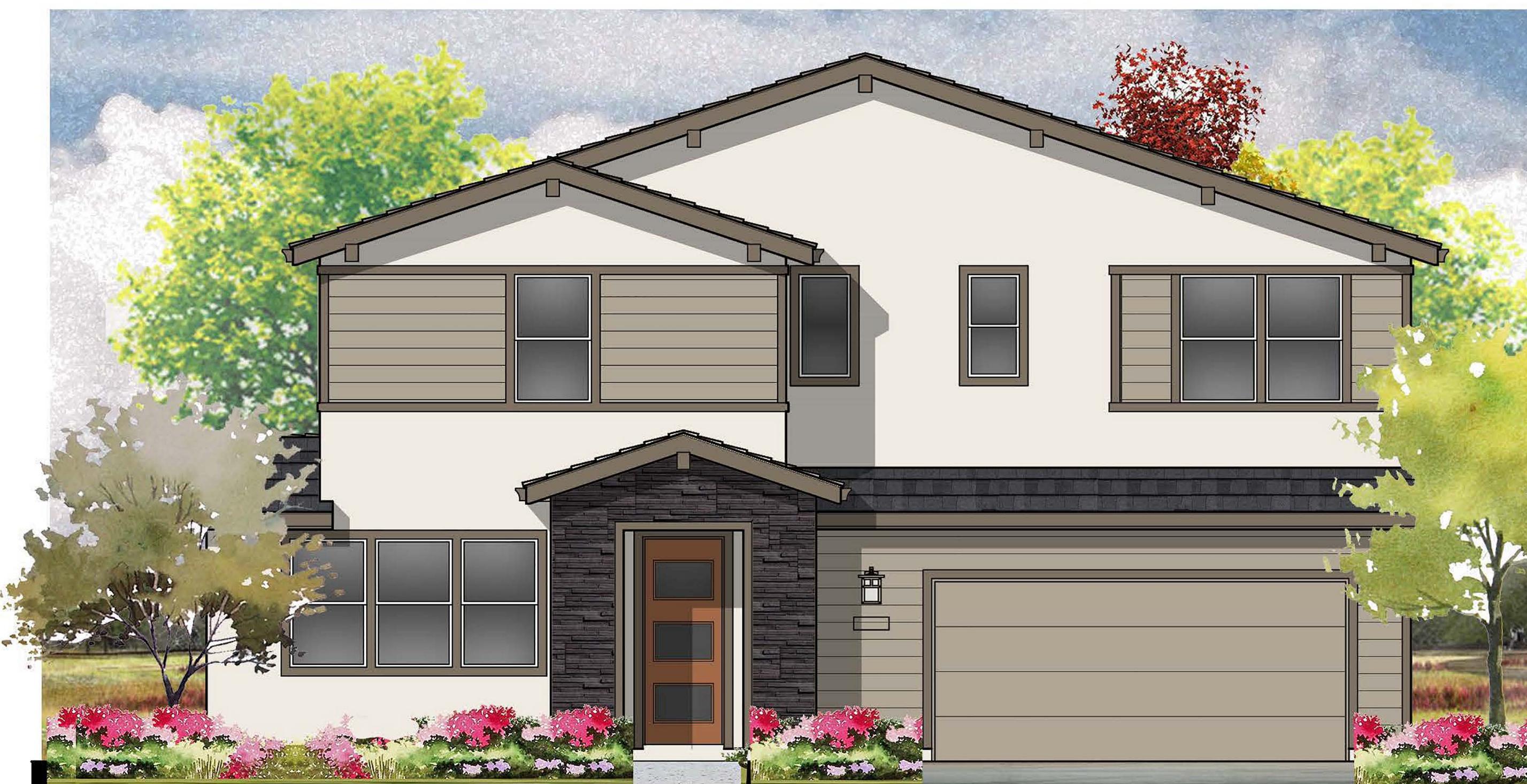
Solar panels shown are for illustrative purposes.
Solar will be confirmed with solar consultant during
building submittal process.
Location, quantity and orientation may change.

No roof mounted mechanical equipment.



Front Elevation 2A

Scheme 2



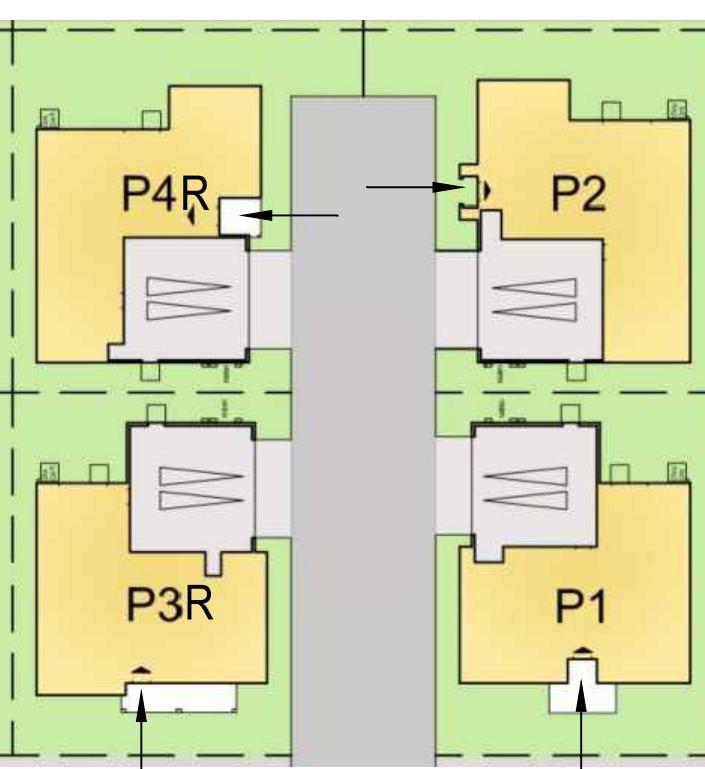
Front Elevation 2B

Scheme 5

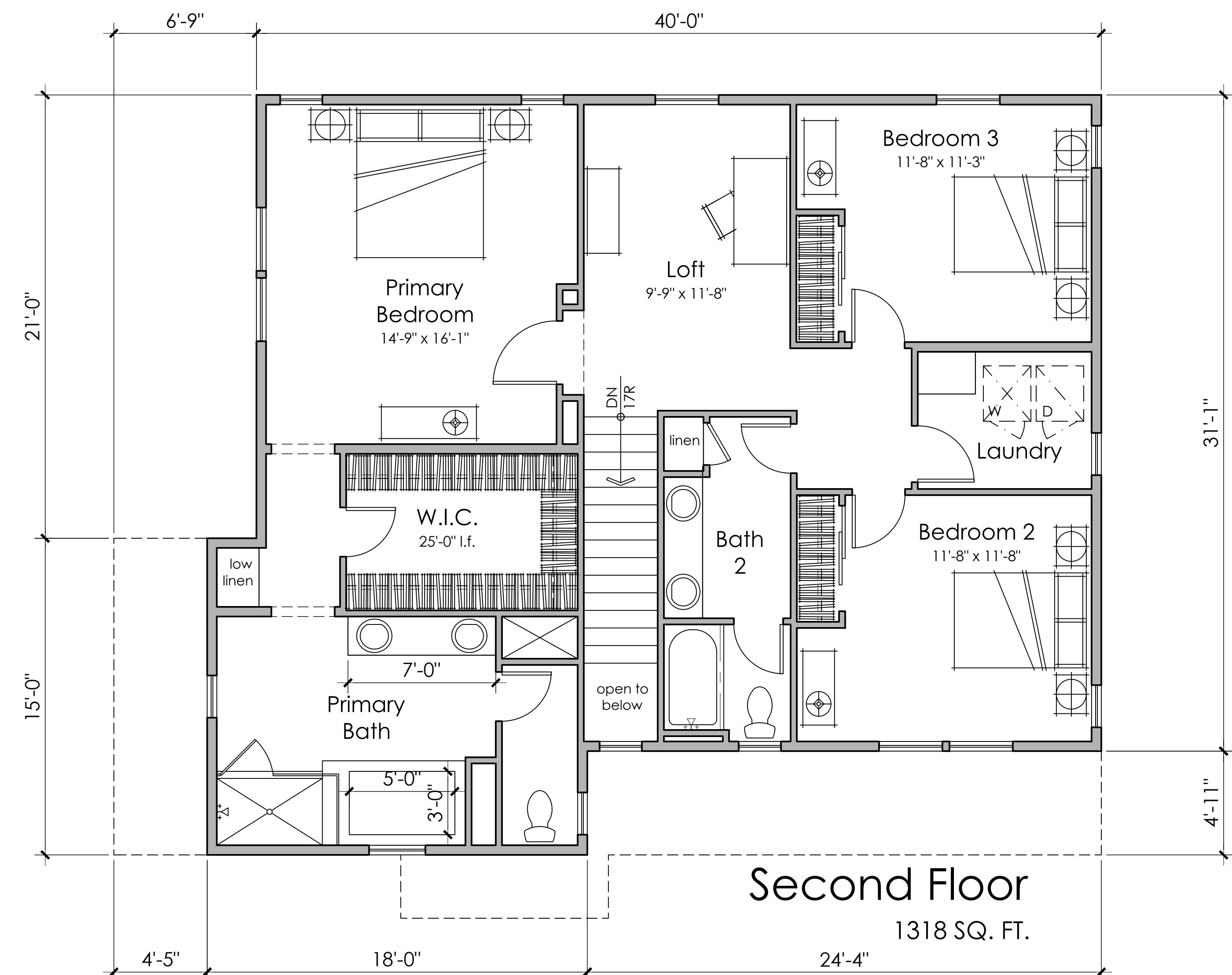


Front Elevation 2C

Scheme 8

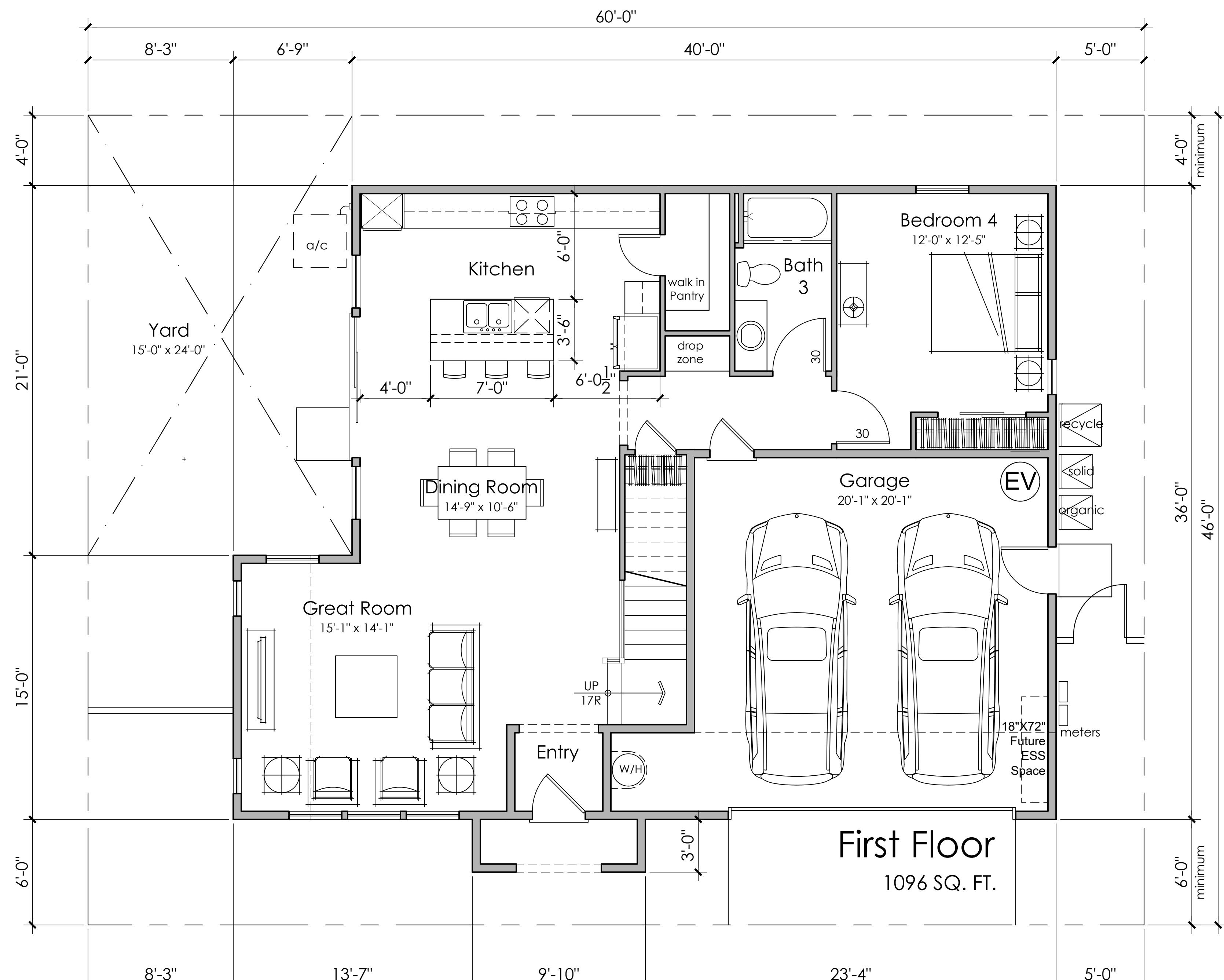


Key Map



PLAN 2

FV ONE LEVEL 2 EV READY SPACE & ONE LEVEL 1 EV READY SPACE @ EACH PRIVATE GARAGE



1ktgy

Architecture + Planning
The Leamington Building
1814 Franklin St., Suite 400
Oakland, CA 94612
510.272.2910
ktqy.com

HIGHSTREET® RESIDENTIAL

DePaul Residences

MORGAN HILL # 2023-0661

DESIGN PERMIT APPLICATION - SB330

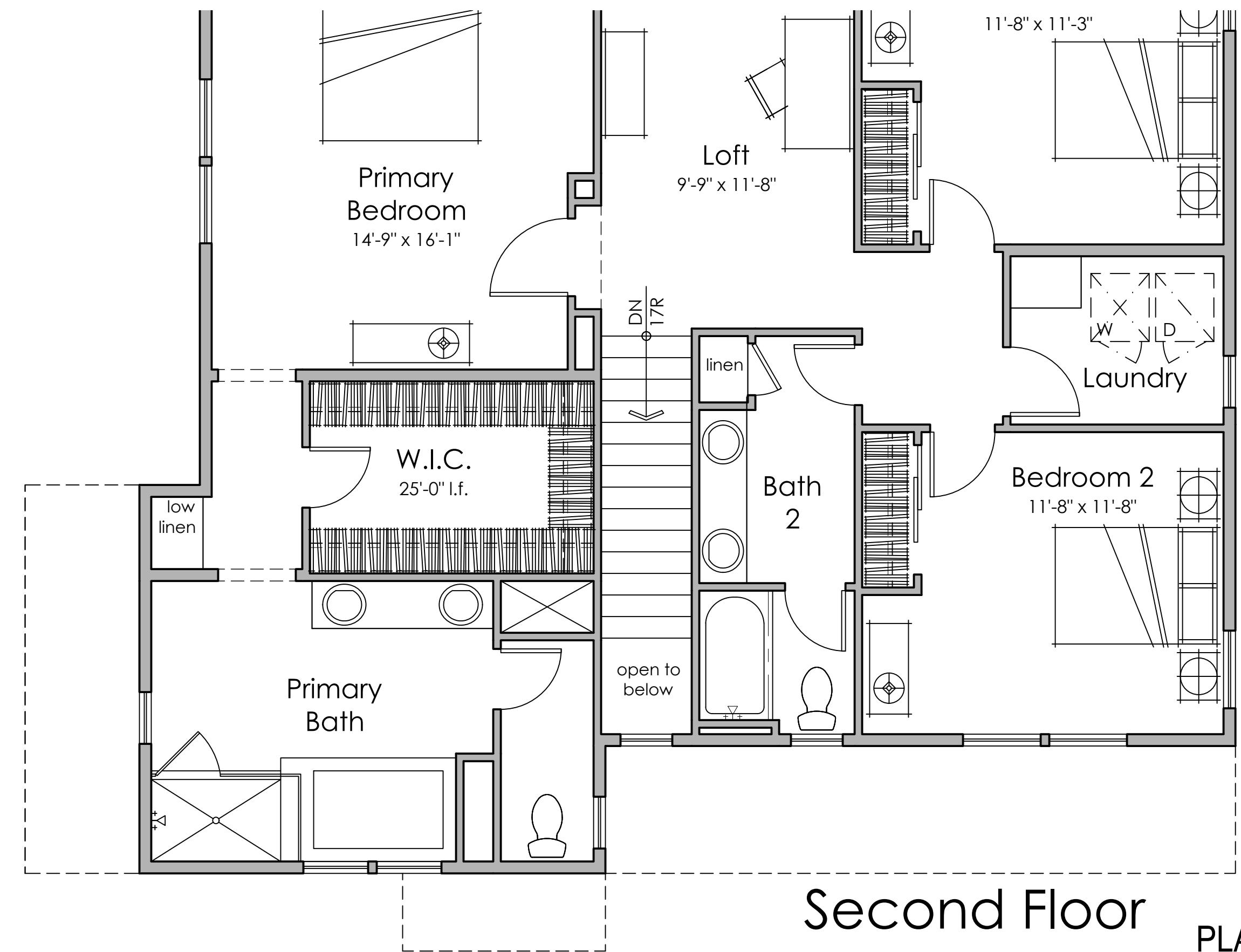
APRIL 1, 2024

Scale: $\frac{1}{4}$ " = 1'-0"

4 BEDROOMS
LOFT
3 BATHS
2,414 S.F.
GARAGE 445 S.F.

single family - plan 2 floor plan

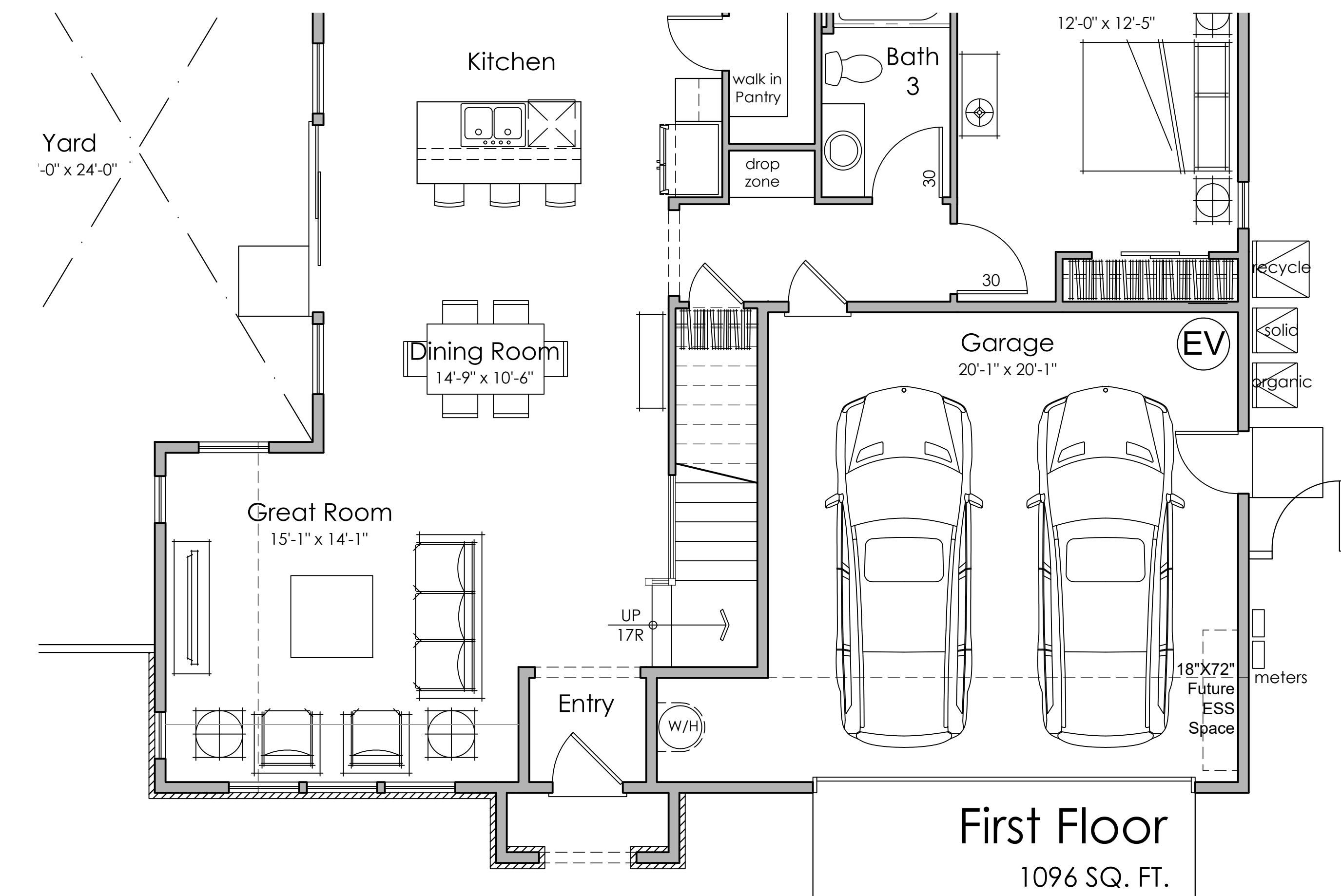
A2-2.1



Second Floor

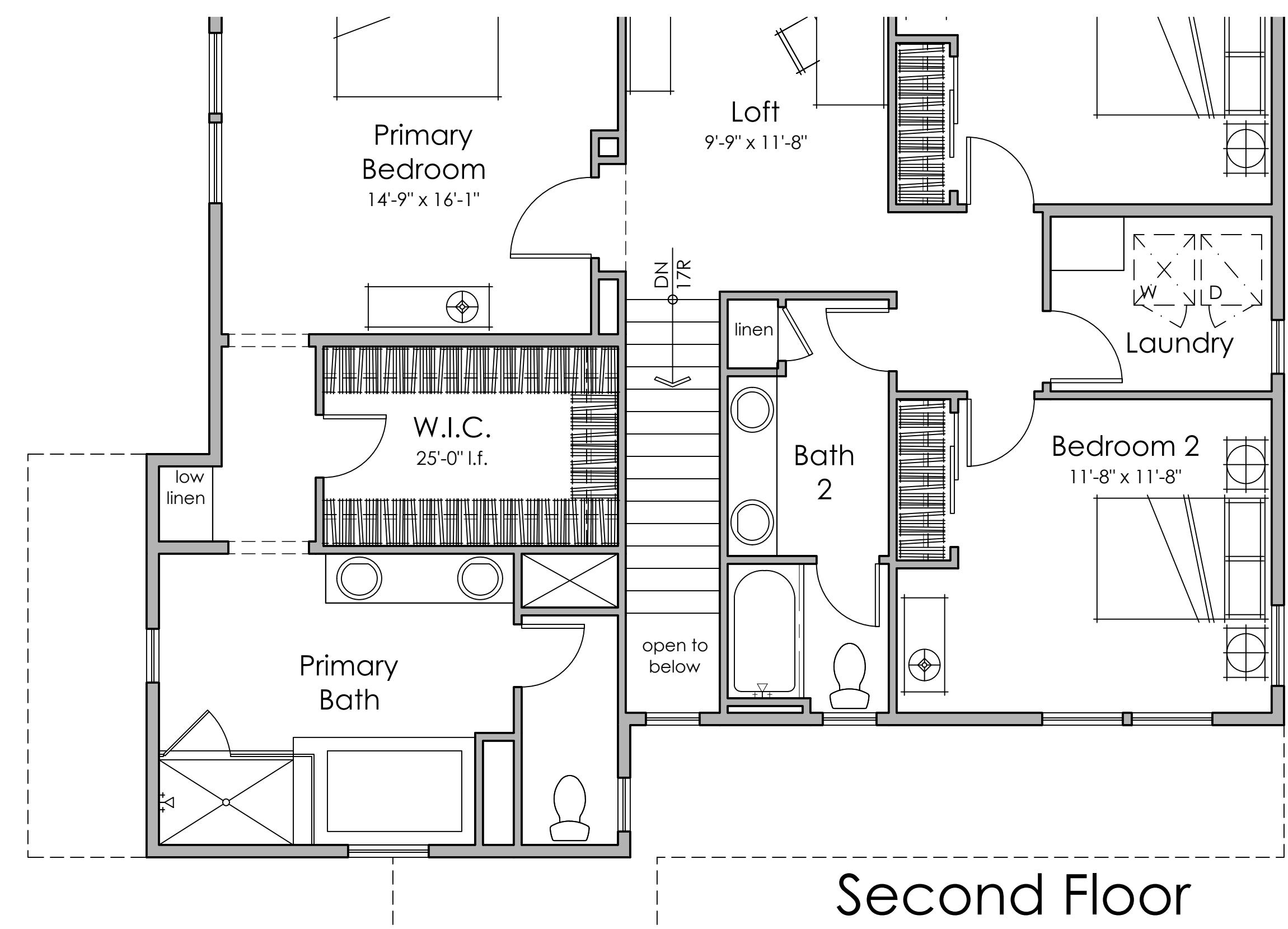
1318 SQ. FT.

PLAN 2C



First Floor

1096 SQ. FT.



Second Floor

1318 SQ. FT.

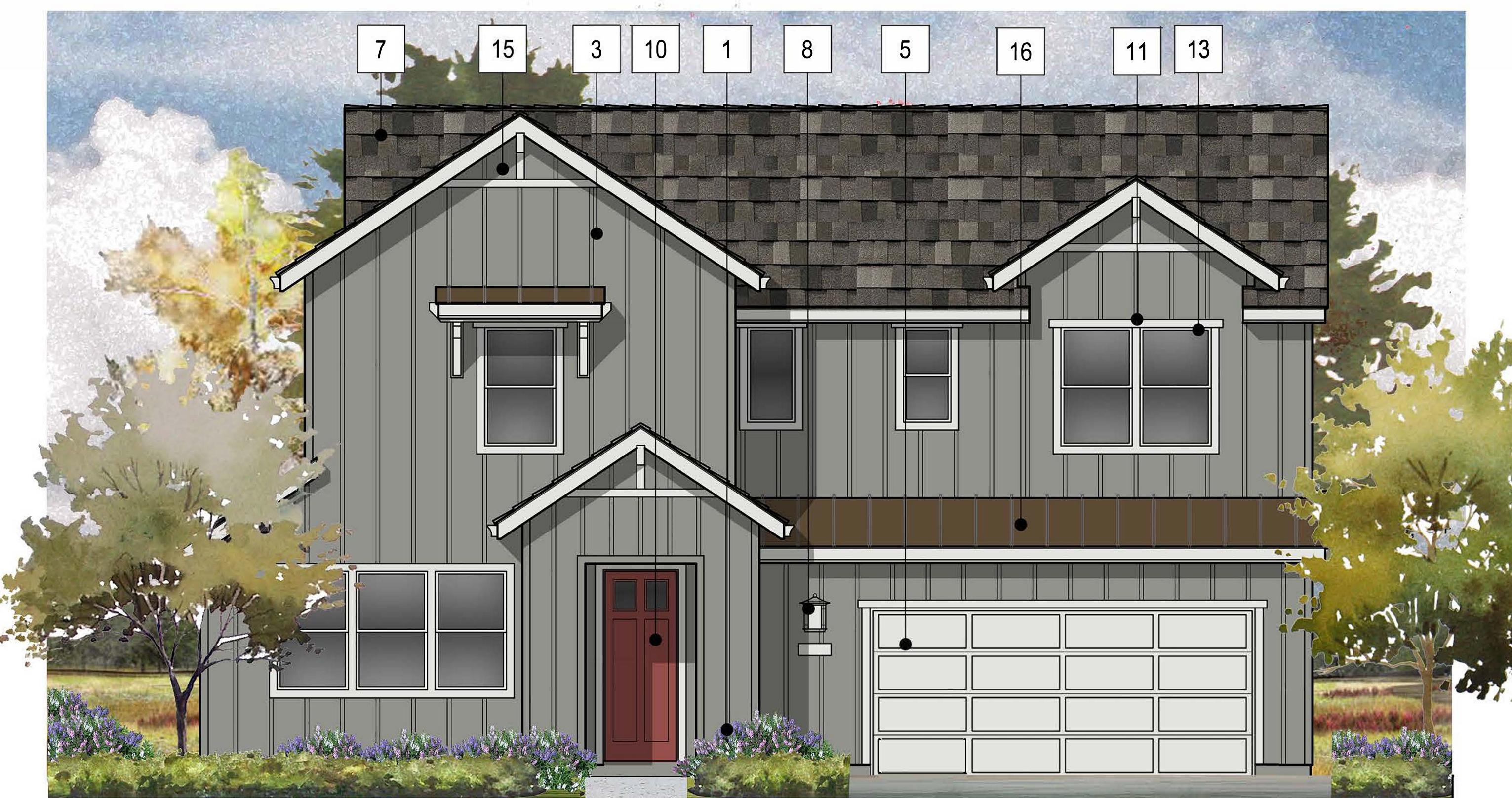
PLAN 2B

EV ONE LEVEL 2 EV READY SPACE & ONE LEVEL 1 EV READY SPACE @ EACH PRIVATE GARAGE



First Floor

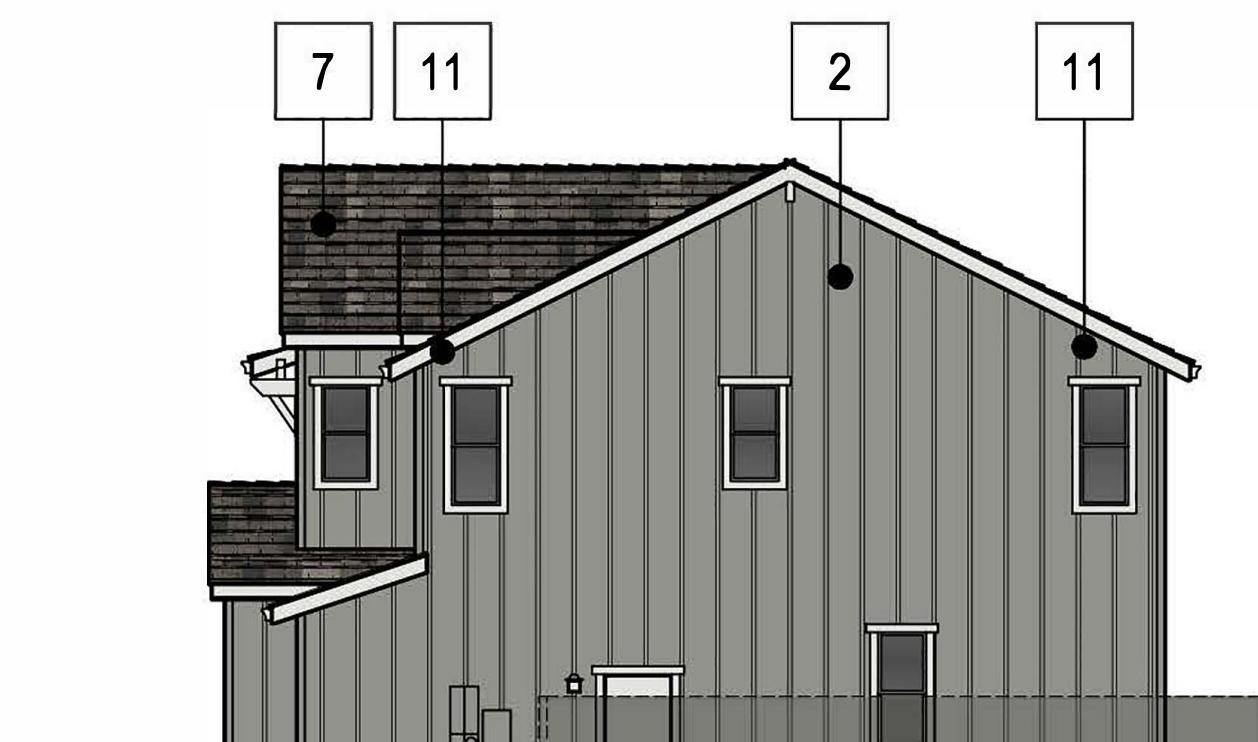
1096 SQ. FT.



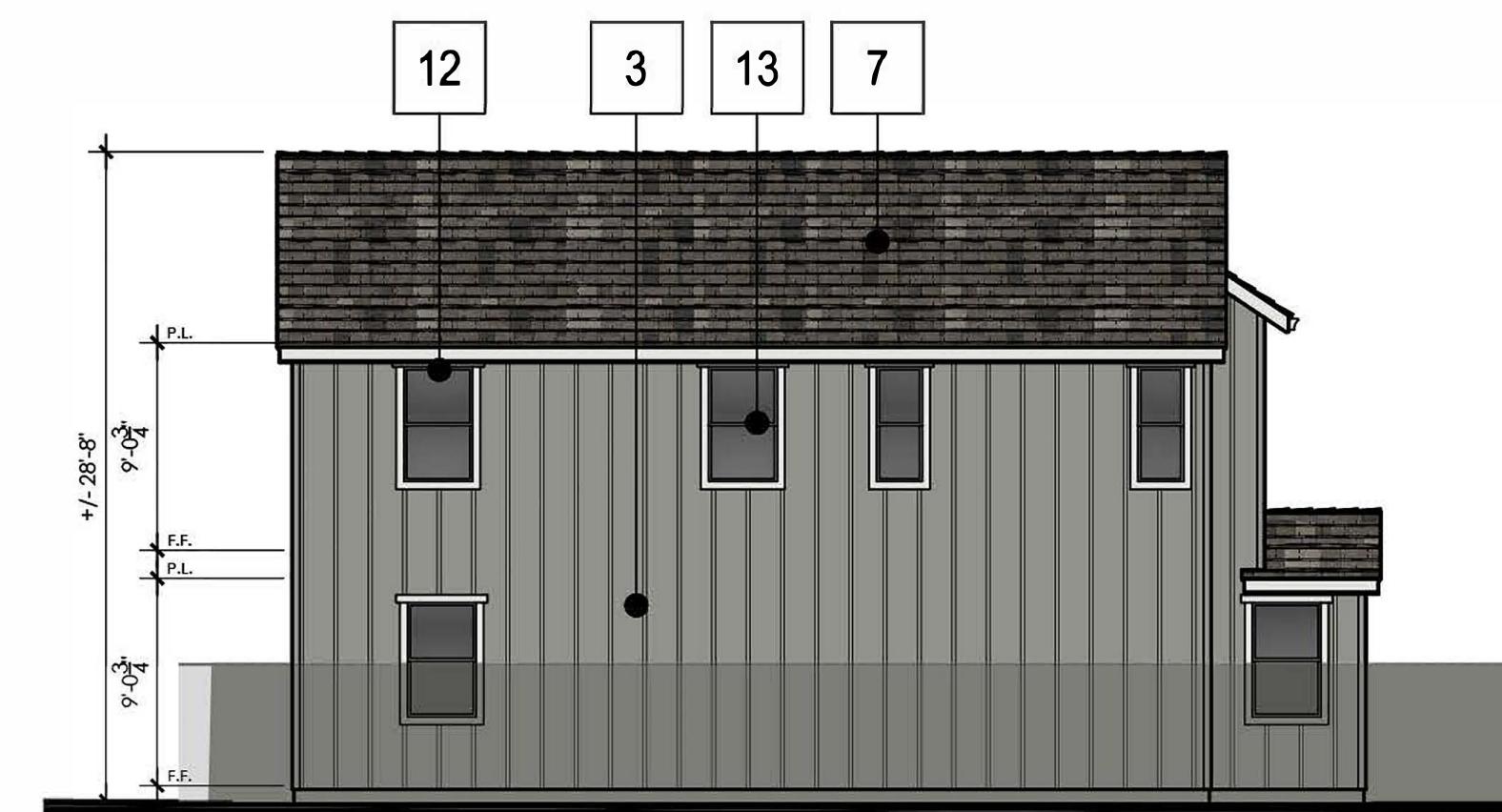
Front Elevation 2A

Scheme 2

0 2 4 8



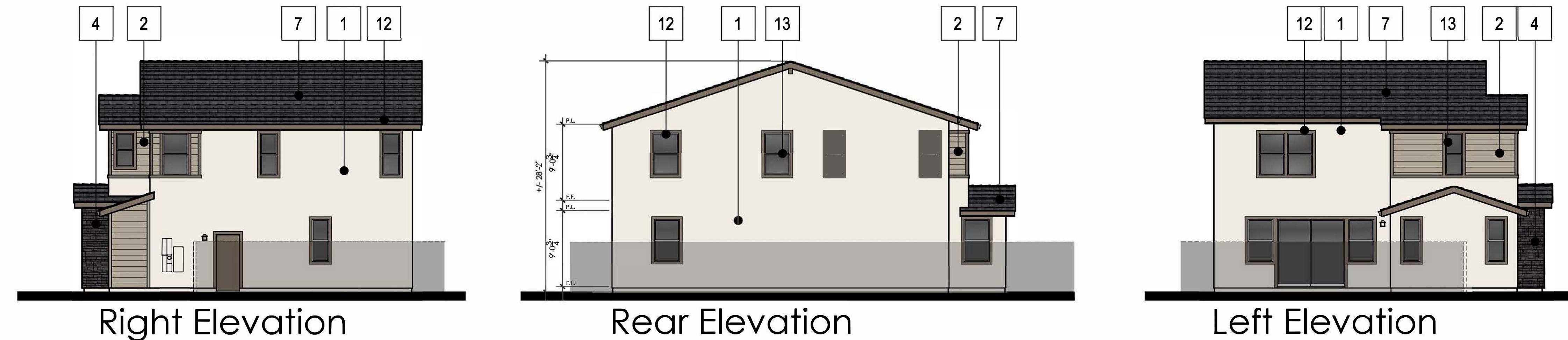
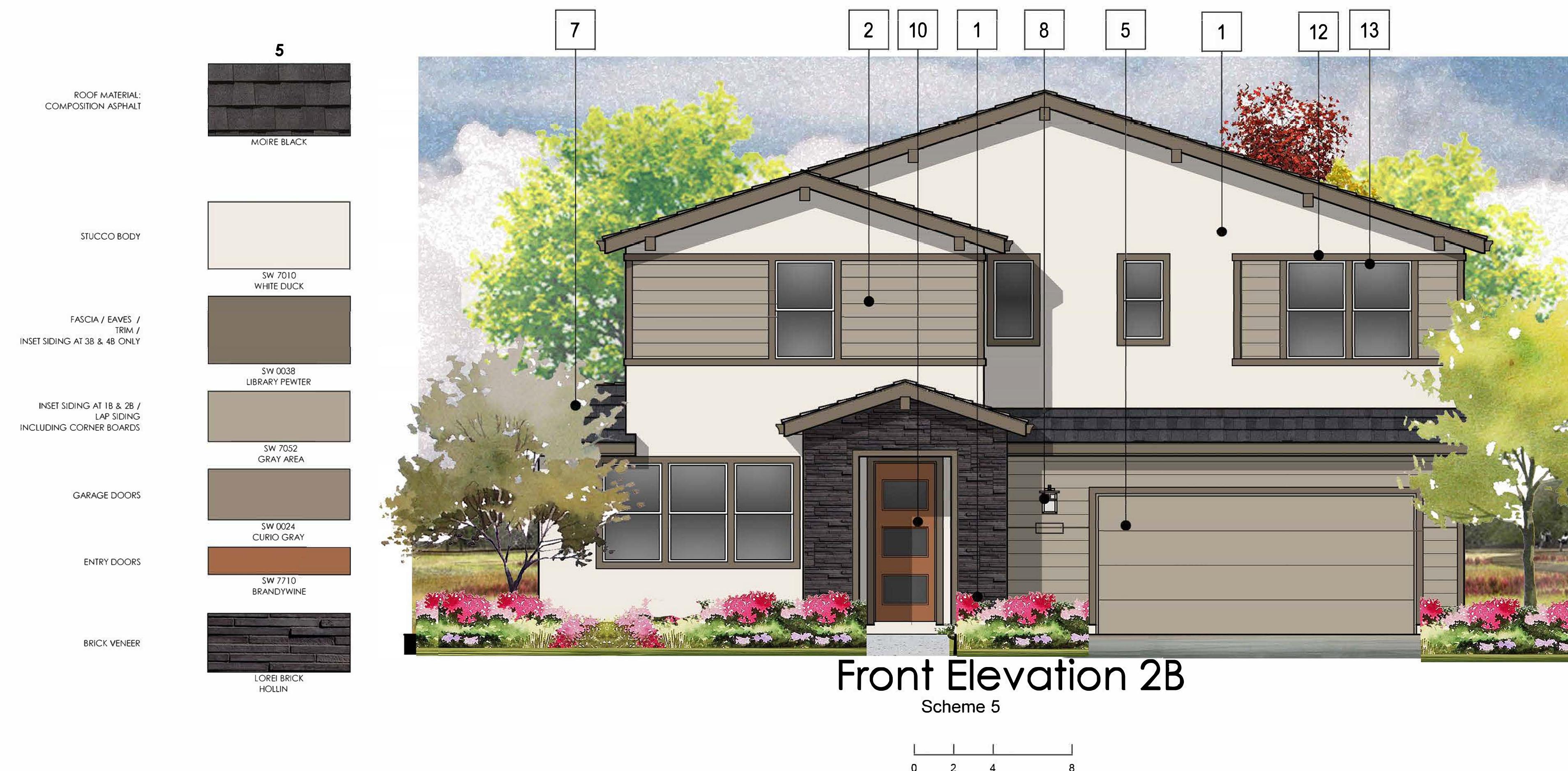
Right Elevation

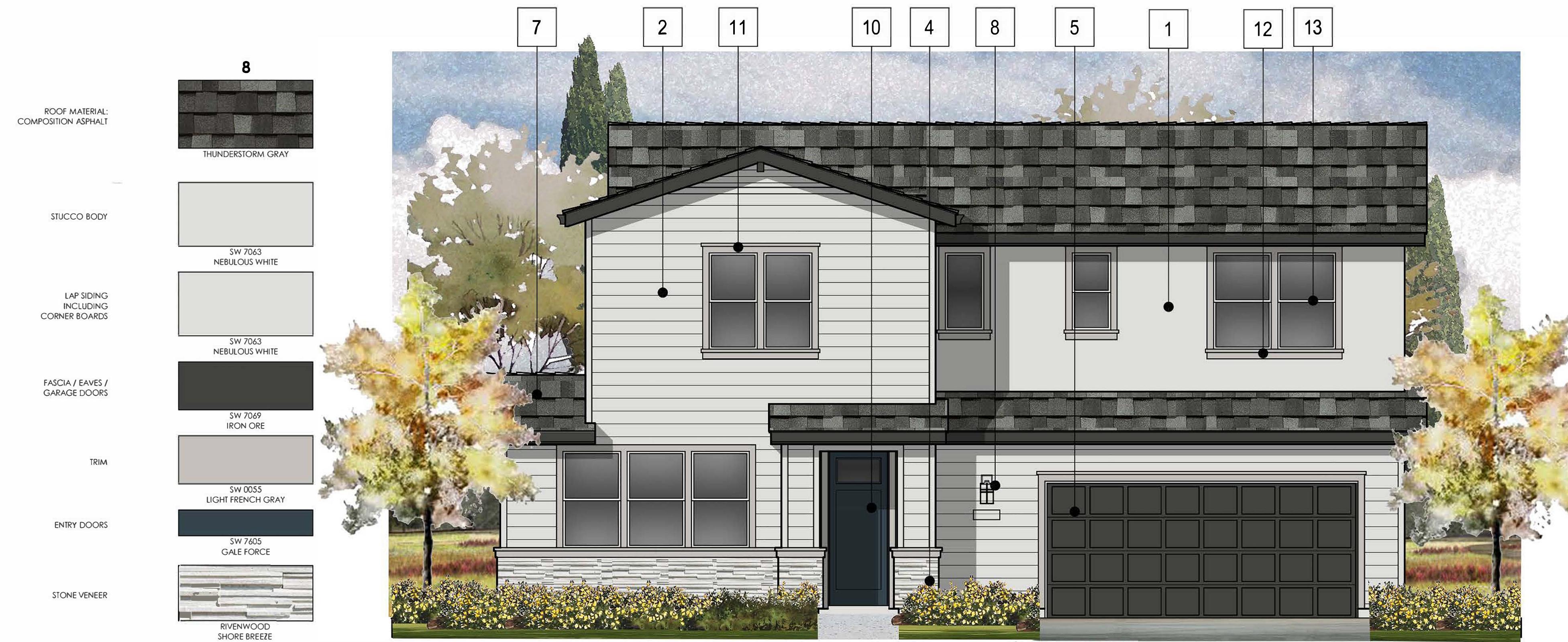


Rear Elevation

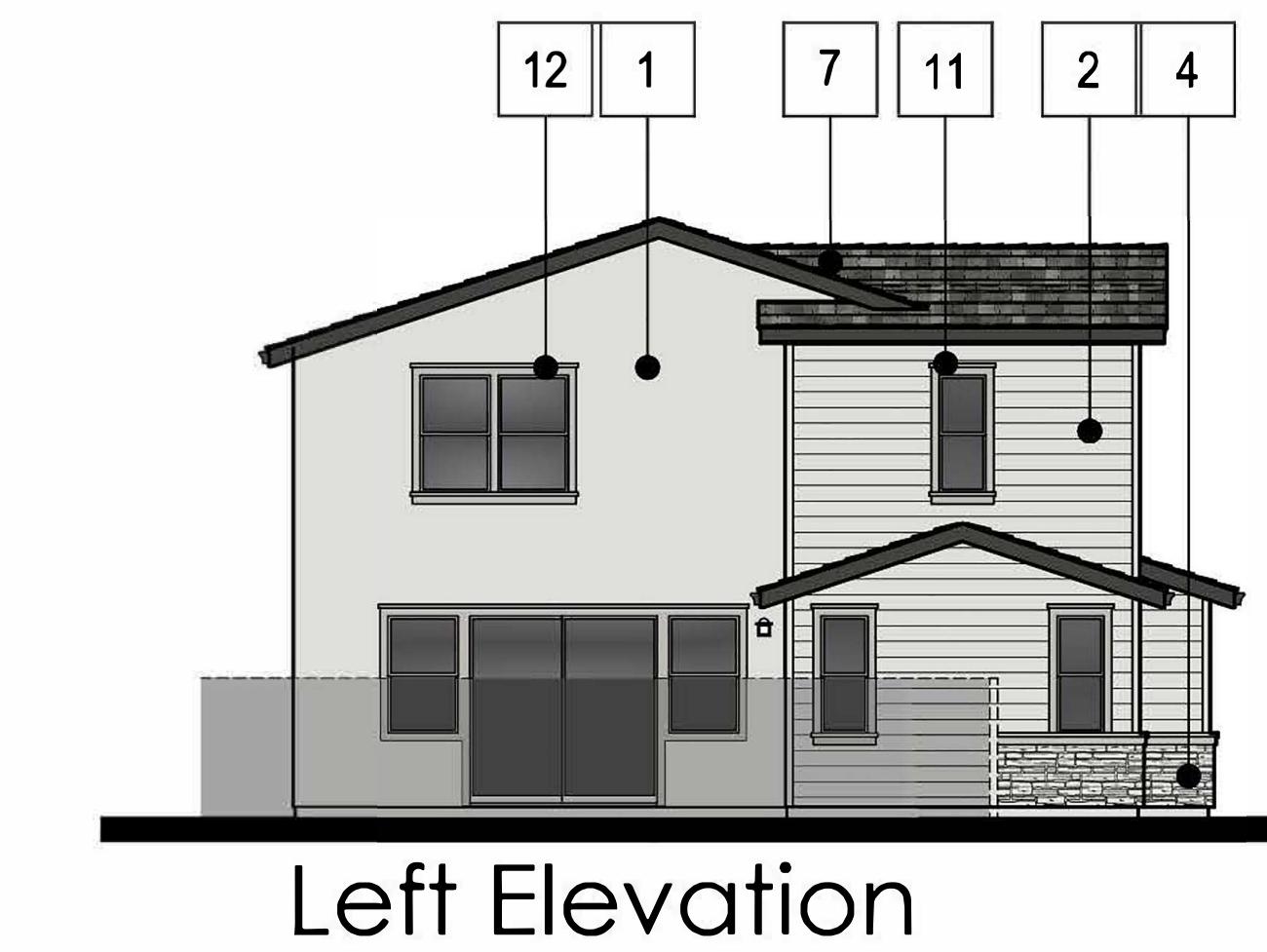
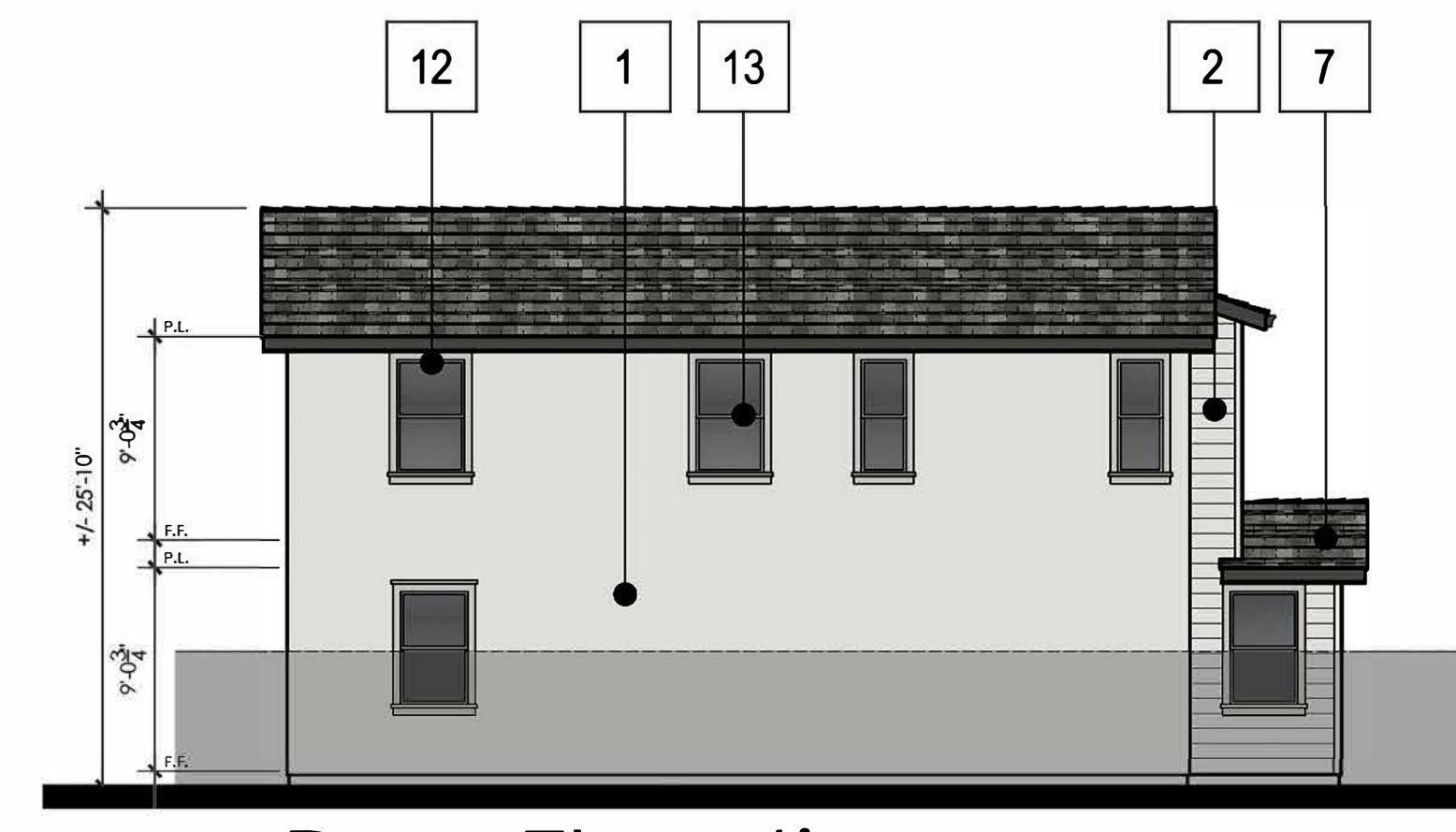
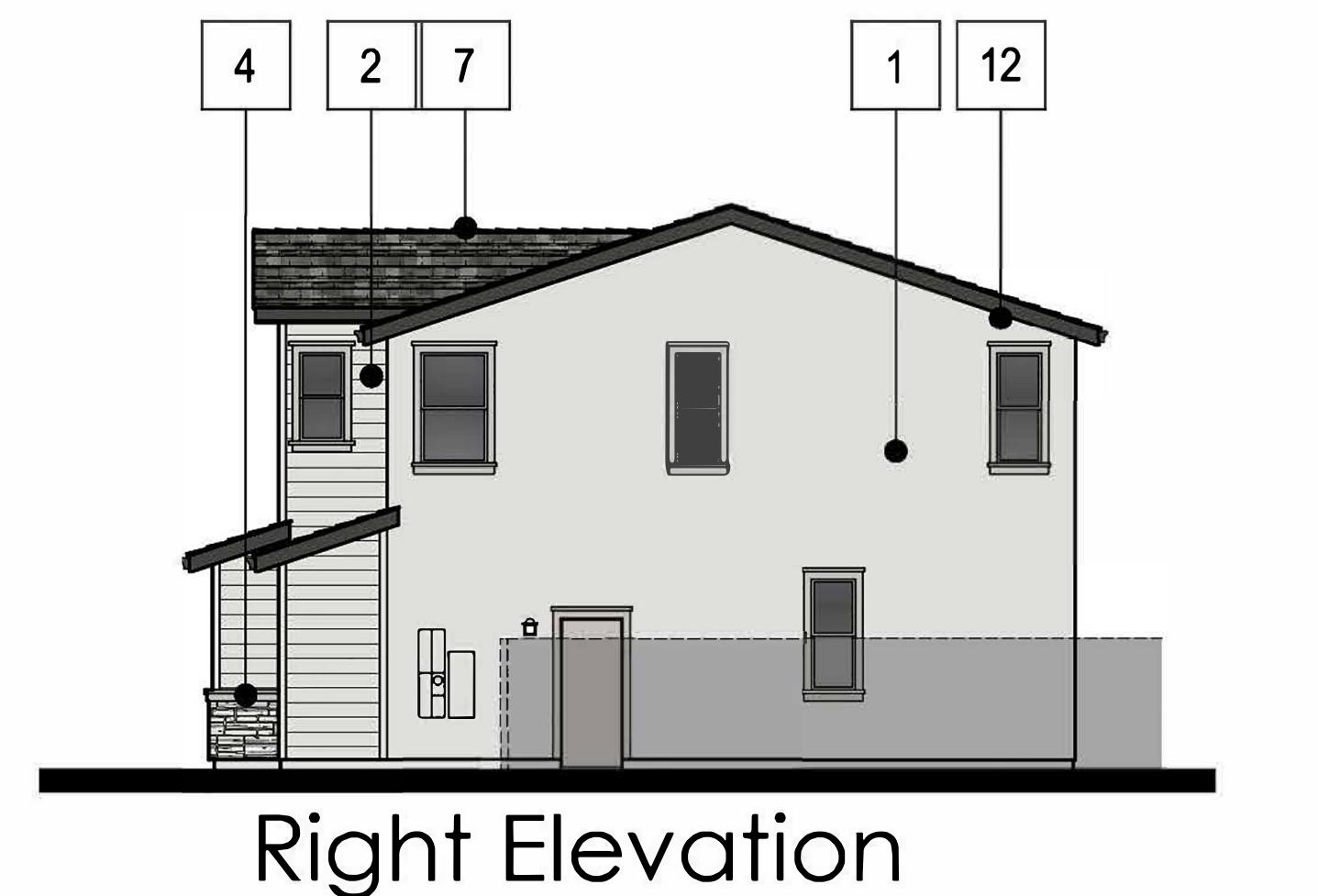


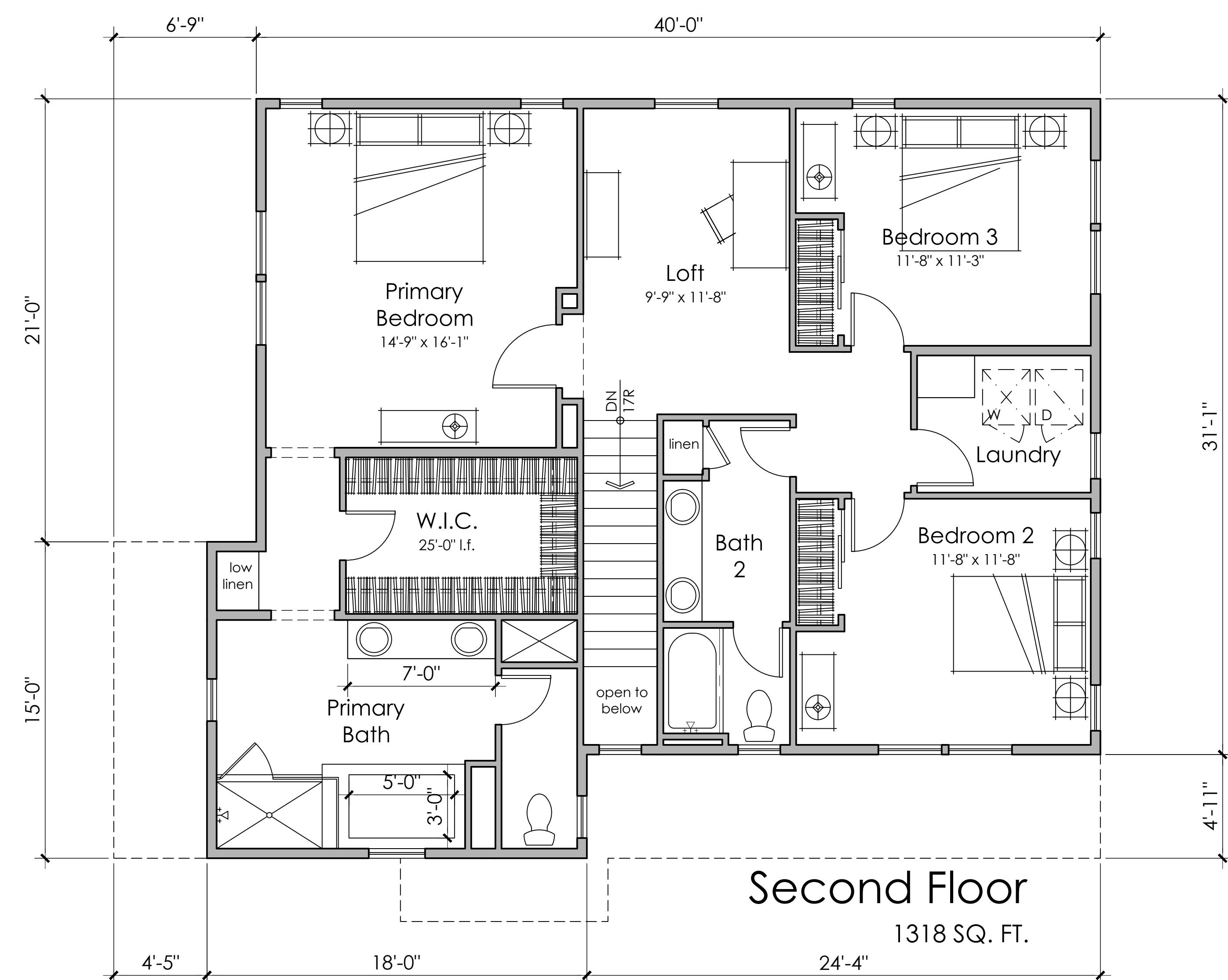
Left Elevation



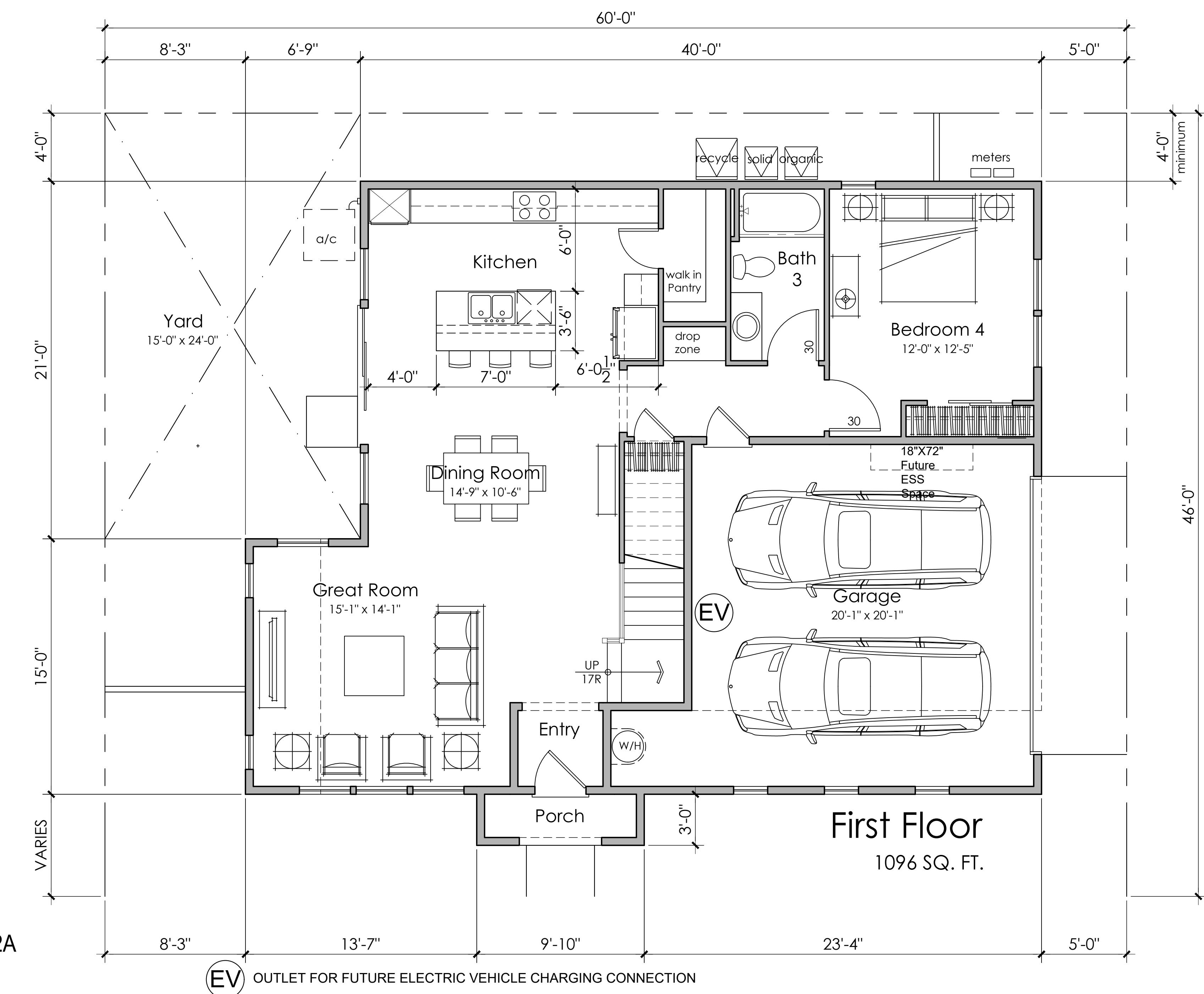


0 2 4 8





PLAN 2A



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510.272.2910
ktgy.com



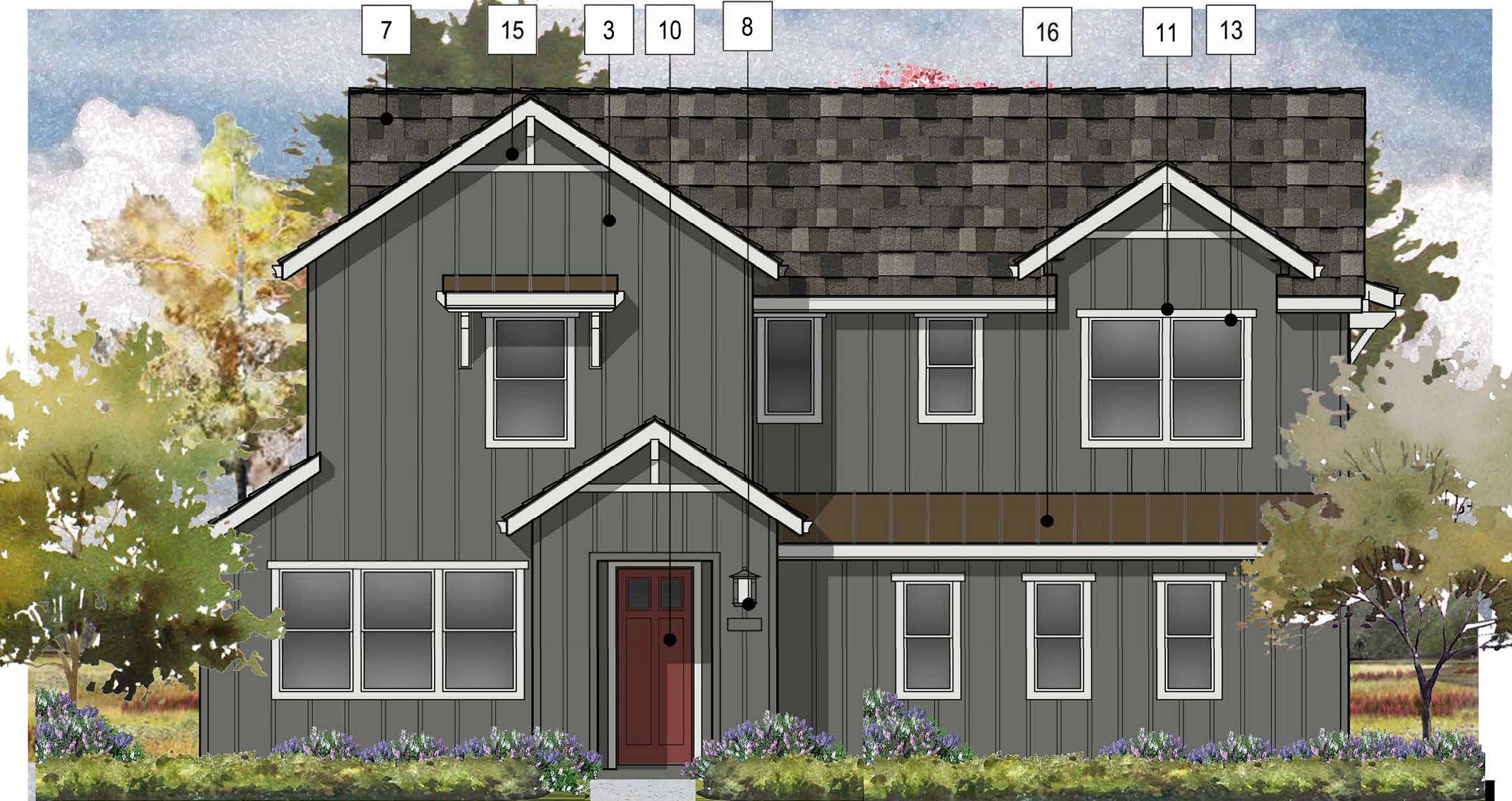
DePaul Residences
MORGAN HILL # 2023-0661

DESIGN PERMIT
APPLICATION - SB330
APRIL 1, 2024

Scale: 1/4" = 1'-0"
0 2 4 8

4 BEDROOMS
LOFT
3 BATHS
2,414 S.F.
GARAGE 445 S.F.
SINGLE FAMILY -
PLAN 2ALT FLOOR PLAN

A2-2.5



MATERIAL LEGEND

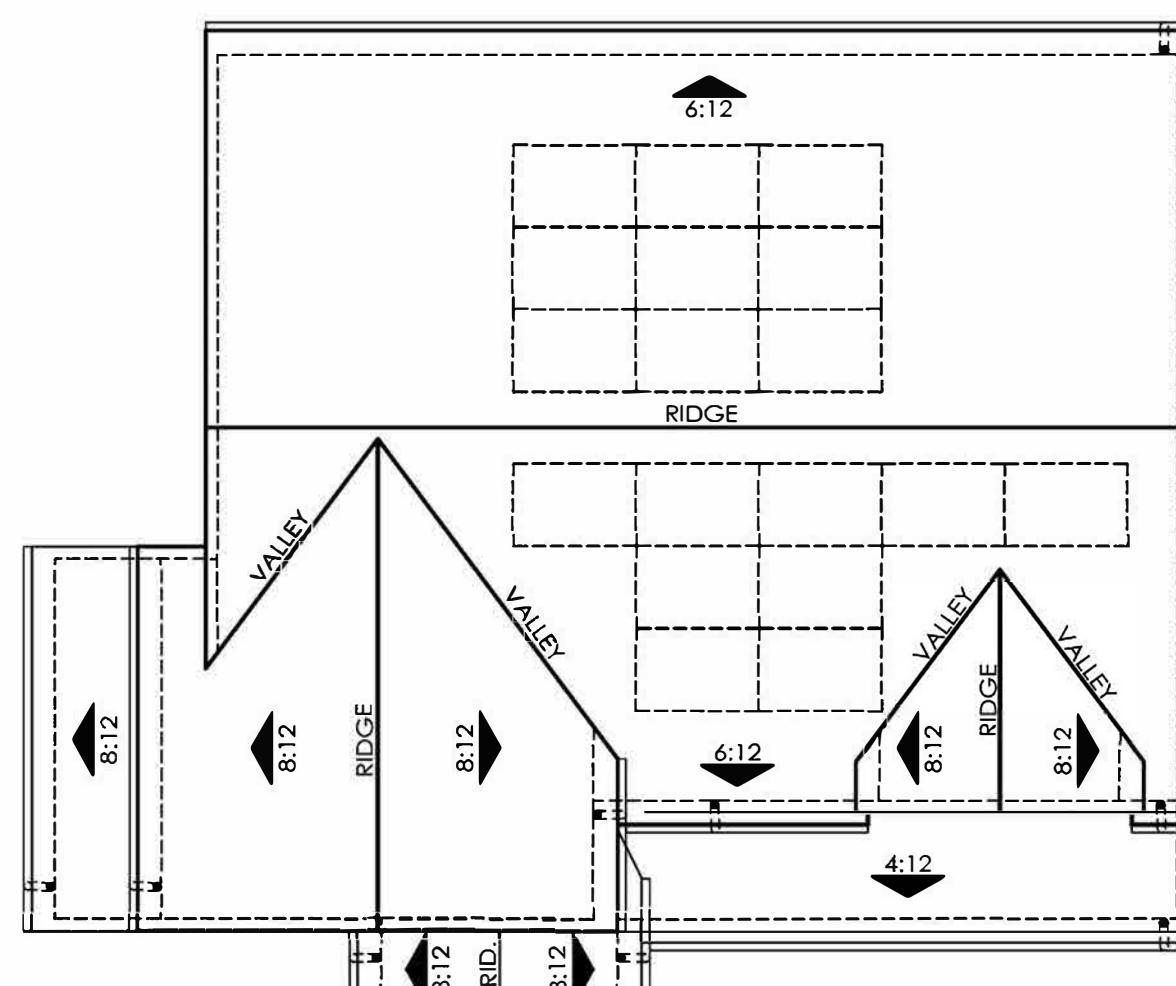
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2. FIBER CEMENT LAP SIDING
3. FIBER CEMENT BOARD AND BATTEN SIDING
4. STONE VENEER
5. METAL GARAGE DOOR
6. CONCRETE S PROFILE ROOF TILE
7. COMPOSITION SHINGLE ROOF
8. LIGHT FIXTURE
9. UNIT ADDRESS
10. ENTRY DOOR
11. FIBER CEMENT TRIM
12. HIGH DENSITY FOAM TRIM
13. VINYL WINDOW
14. WOOD POST
15. FIBER CEMENT PANEL
16. METAL ROOFING
17. METAL AWNING

Front Elevation 2A Alt

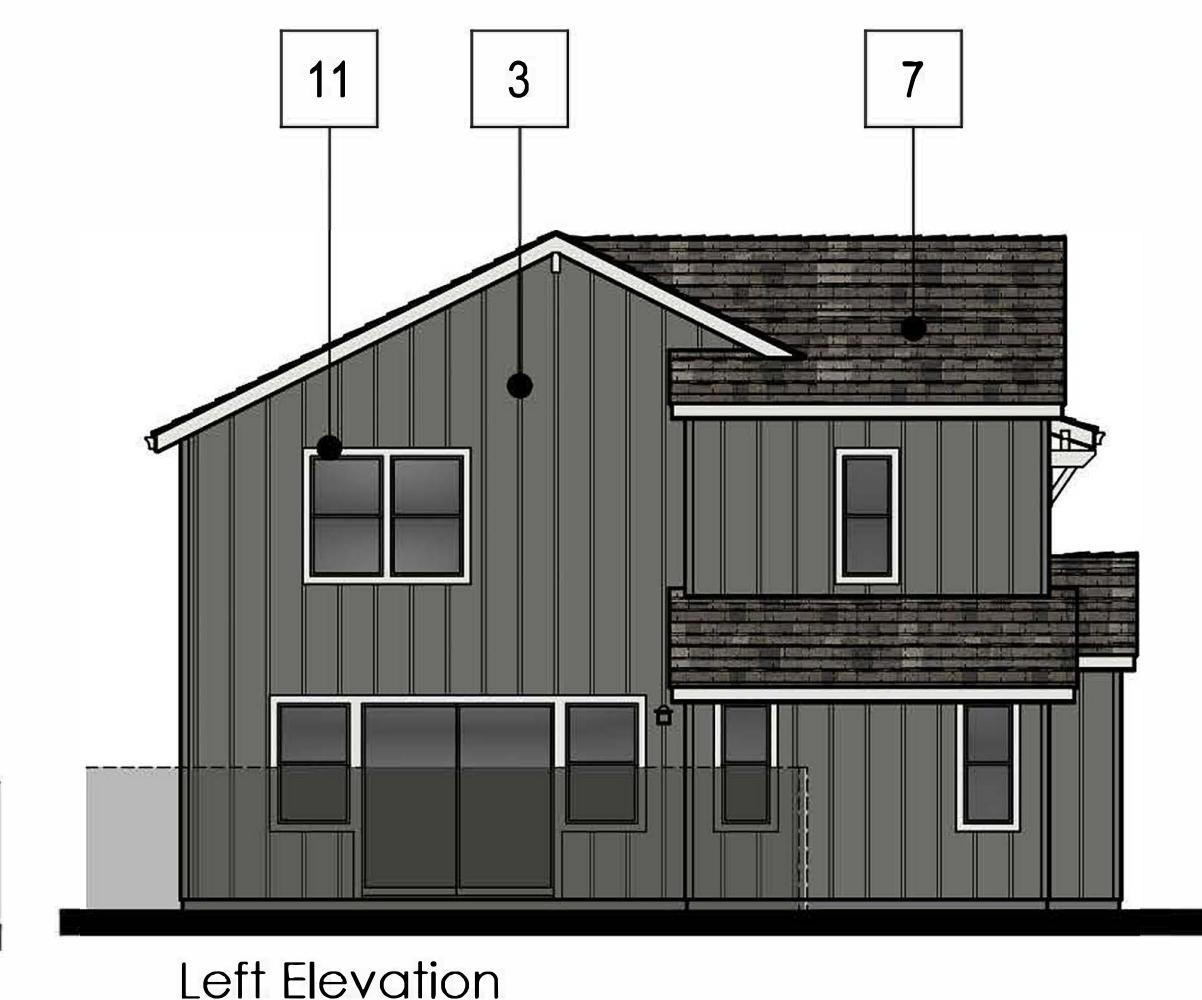
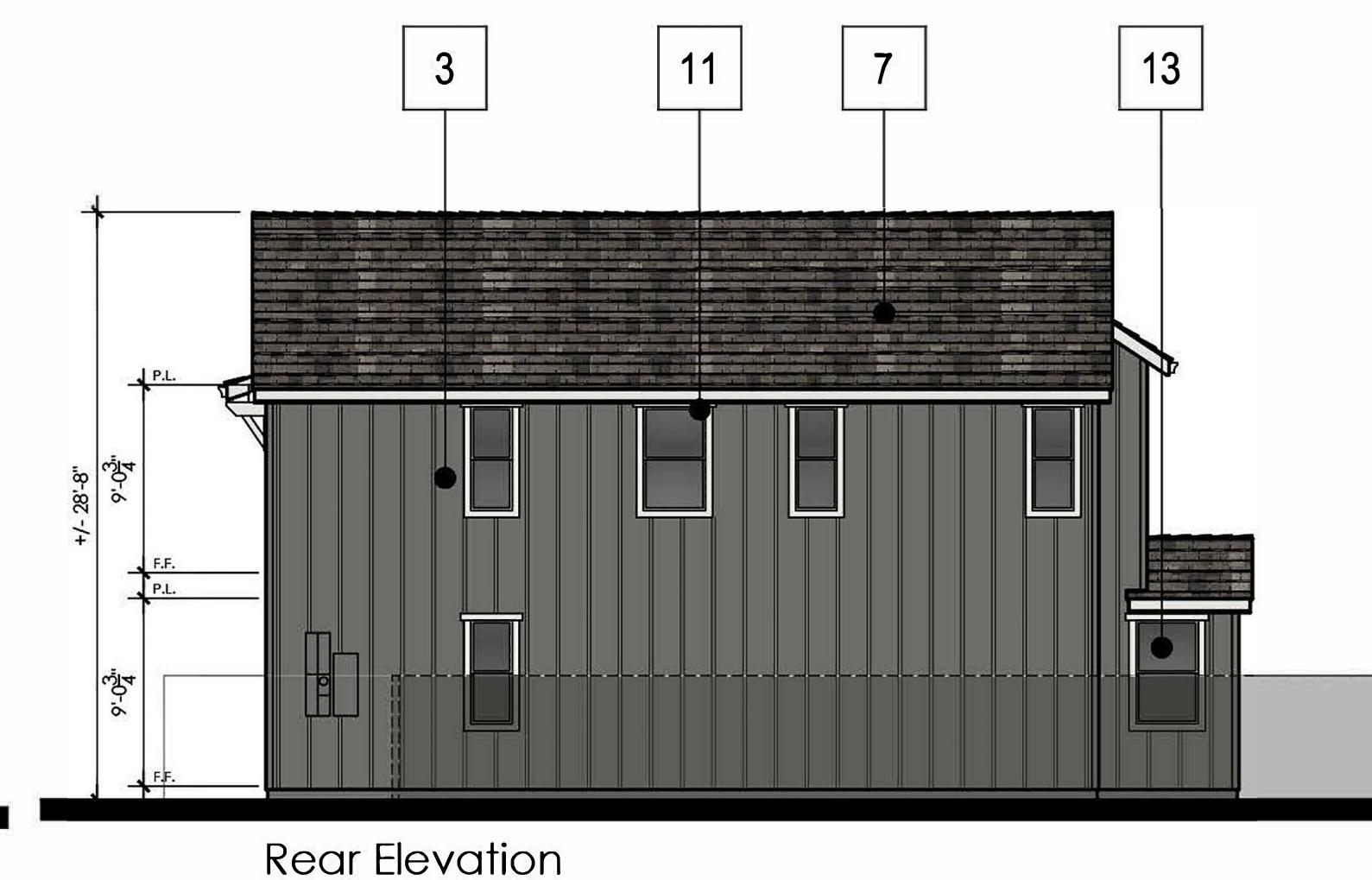
Scheme 2

(Right Side)

0 4 8 16



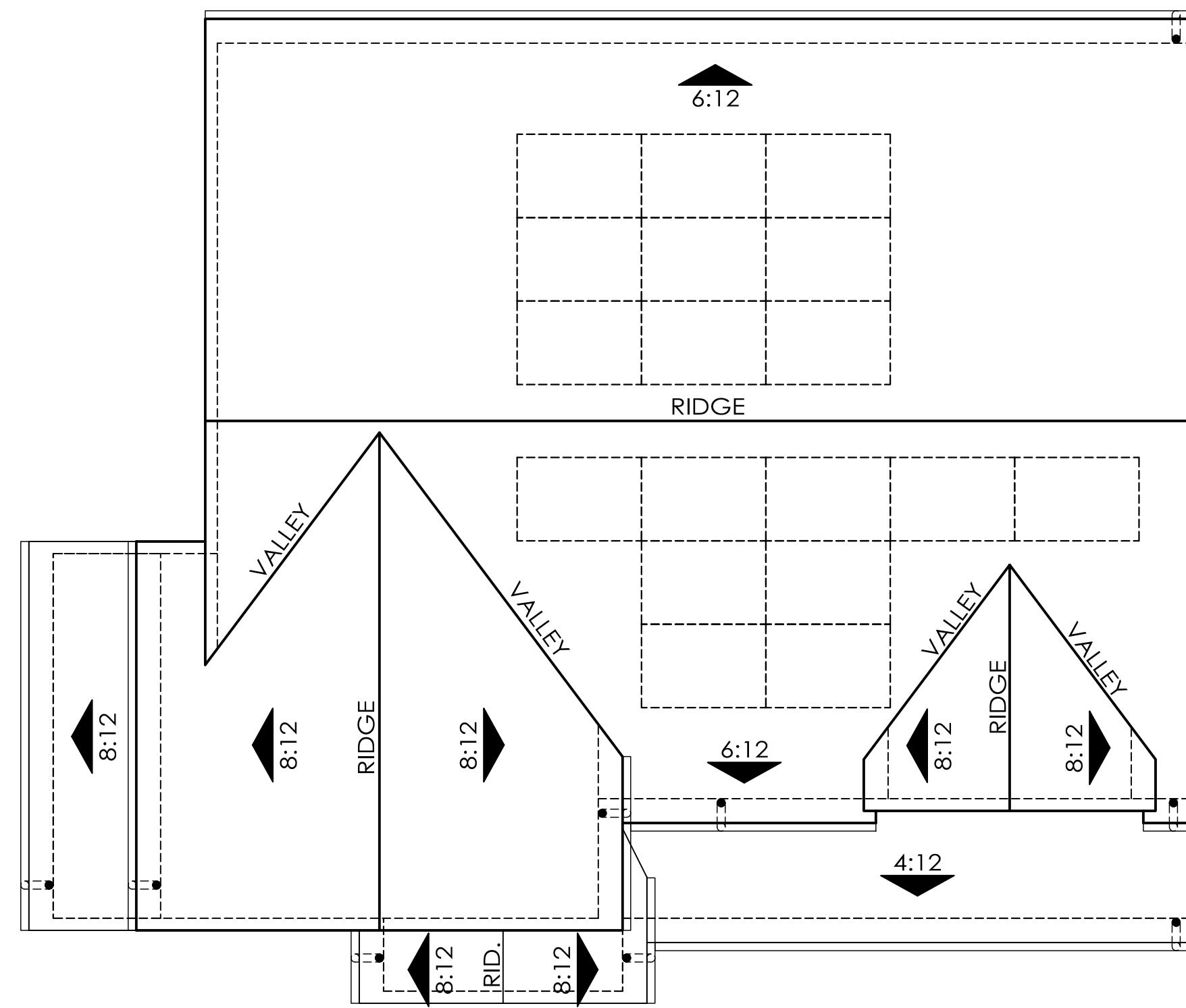
ROOF PLAN 2A
OVERHANG : 12"
RAKE : 6:
ROOF PITCH : 6:12 U.N.O



NOTE:

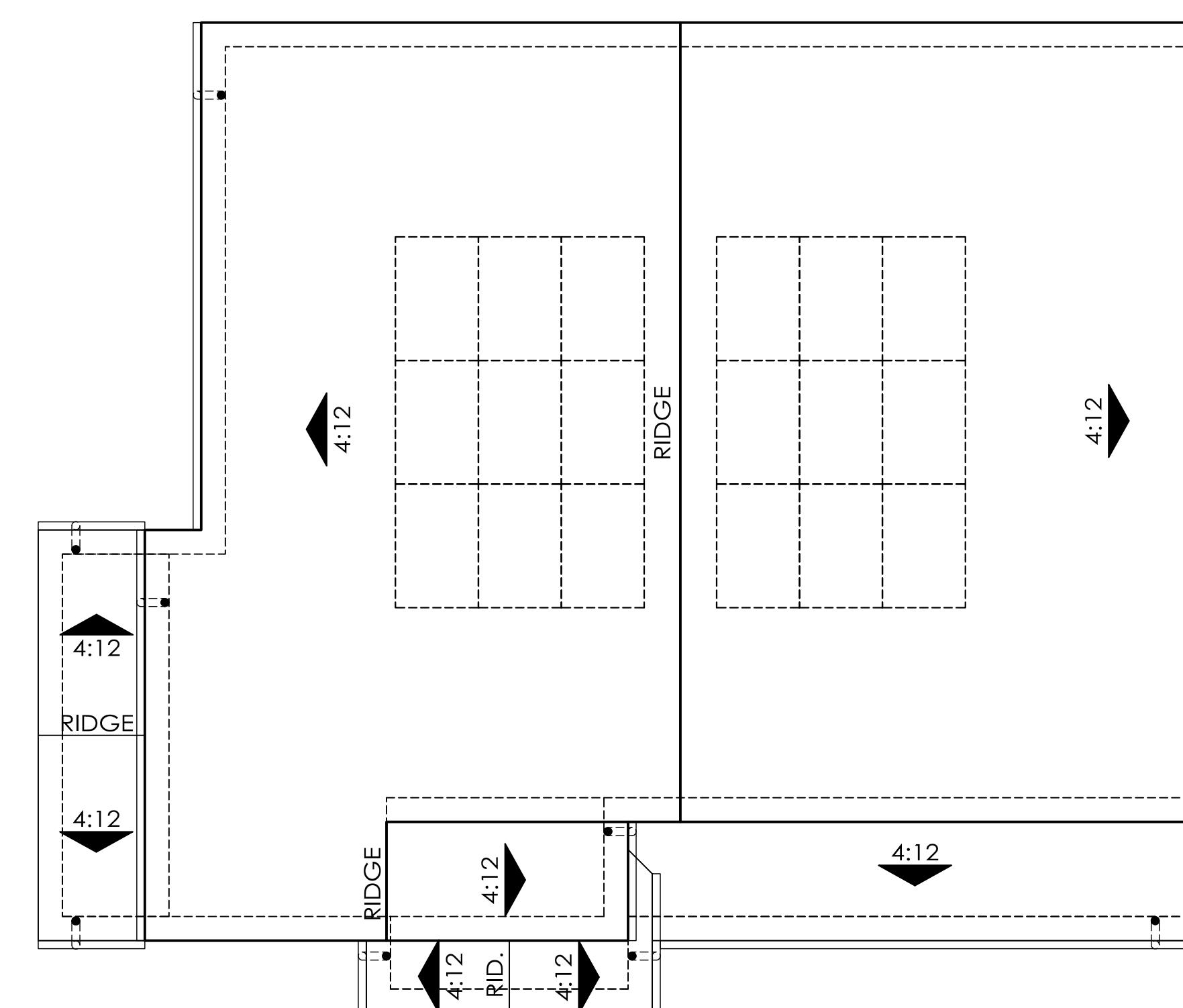
Solar panels shown are for illustrative purposes.
Solar will be confirmed with solar consultant during building submittal process.
Location, quantity and orientation may change.

No roof mounted mechanical equipment.



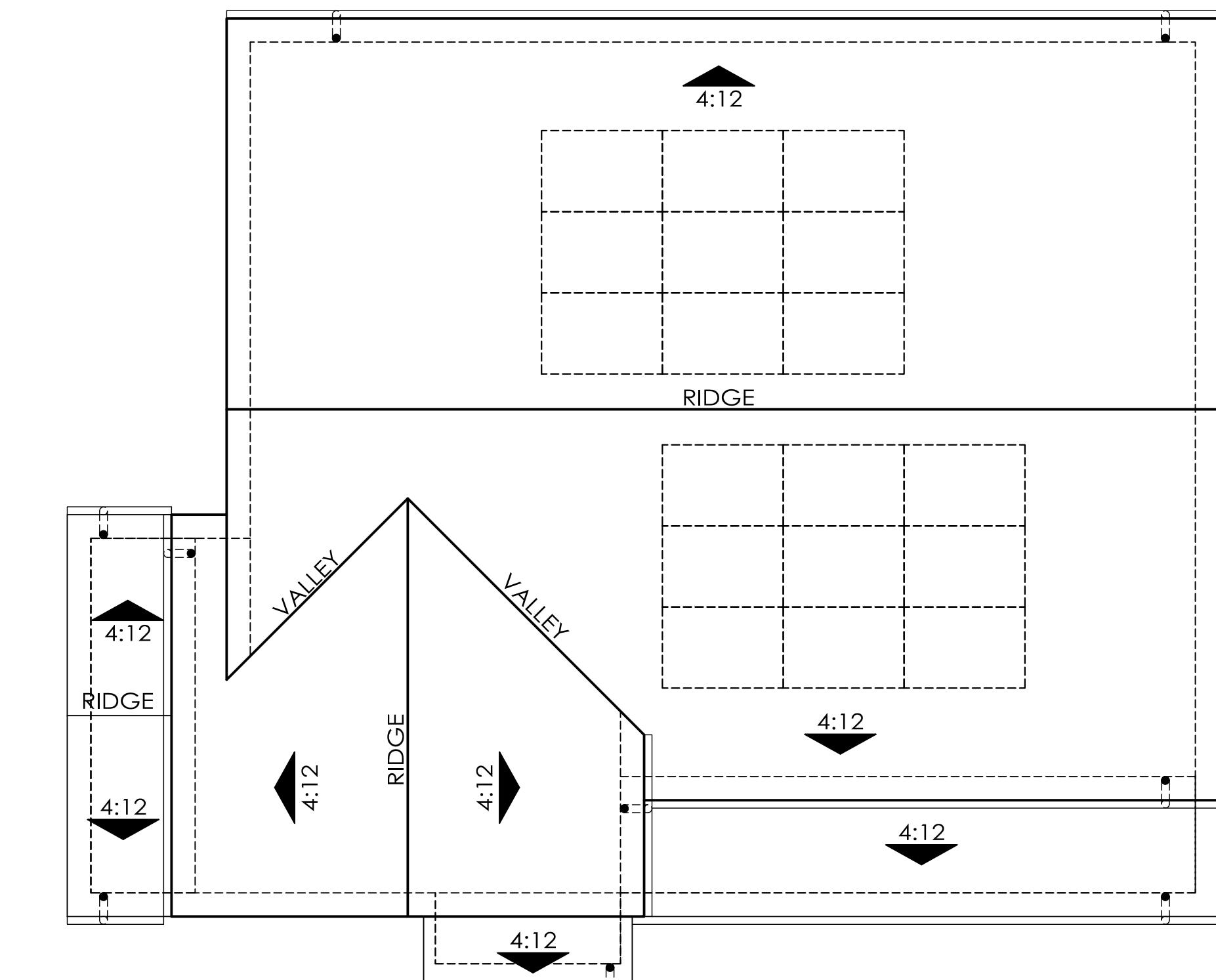
ROOF PLAN 2A

OVERHANG : 12"
RAKE : 6"
ROOF PITCH : 6:12 U.N.O



ROOF PLAN 2B

OVERHANG : 12"
RAKE : 12"
ROOF PITCH : 4:12 U.N.O



ROOF PLAN 2C

OVERHANG : 12"
RAKE : 12"
ROOF PITCH : 4:12 U.N.O

NOTE:

Solar panels shown are for illustrative purposes.
Solar will be confirmed with solar consultant during
building submittal process.
Location, quantity and orientation may change.

No roof mounted mechanical equipment.



Front Elevation 3A

Scheme 3



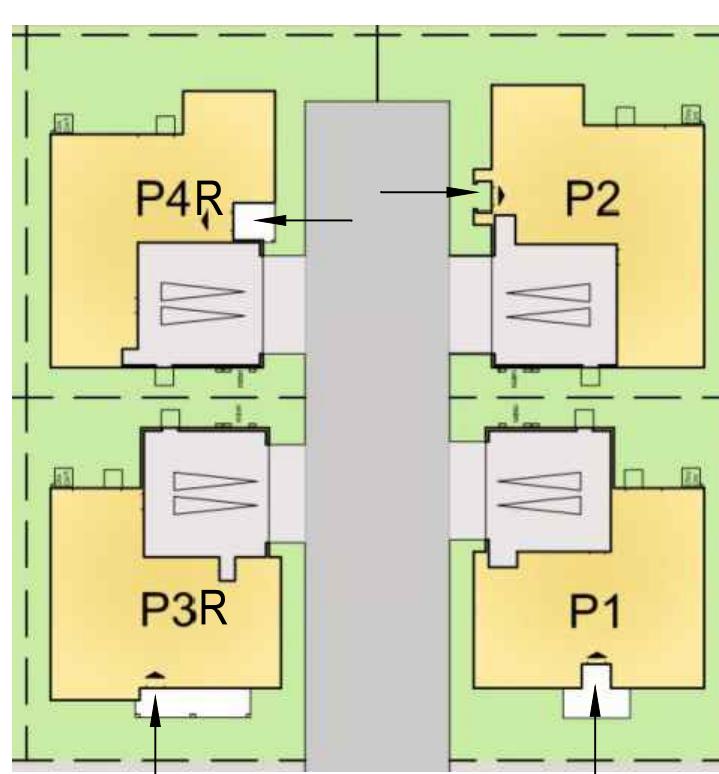
Front Elevation 3B

Scheme 6

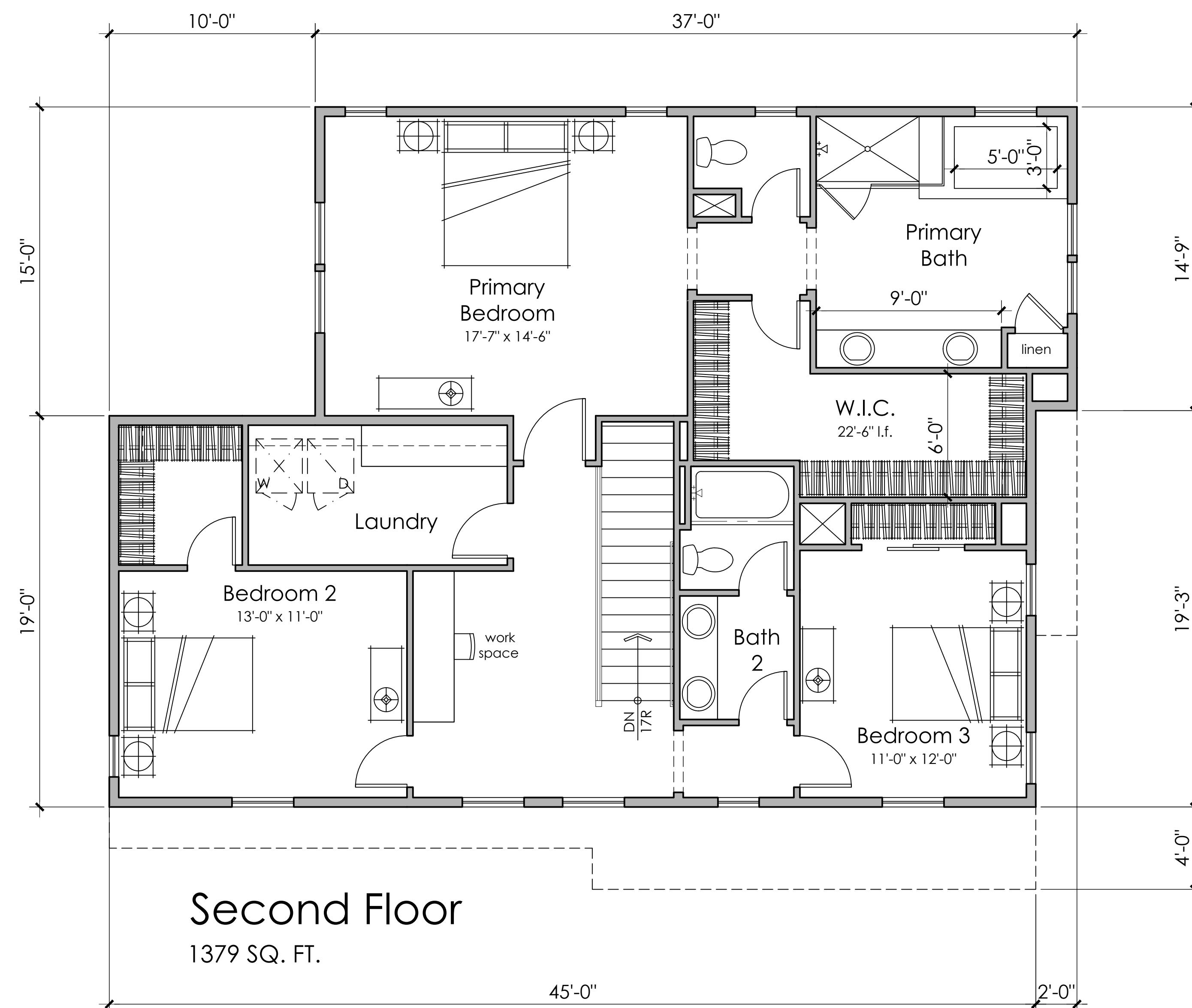


Front Elevation 3C

Scheme 9



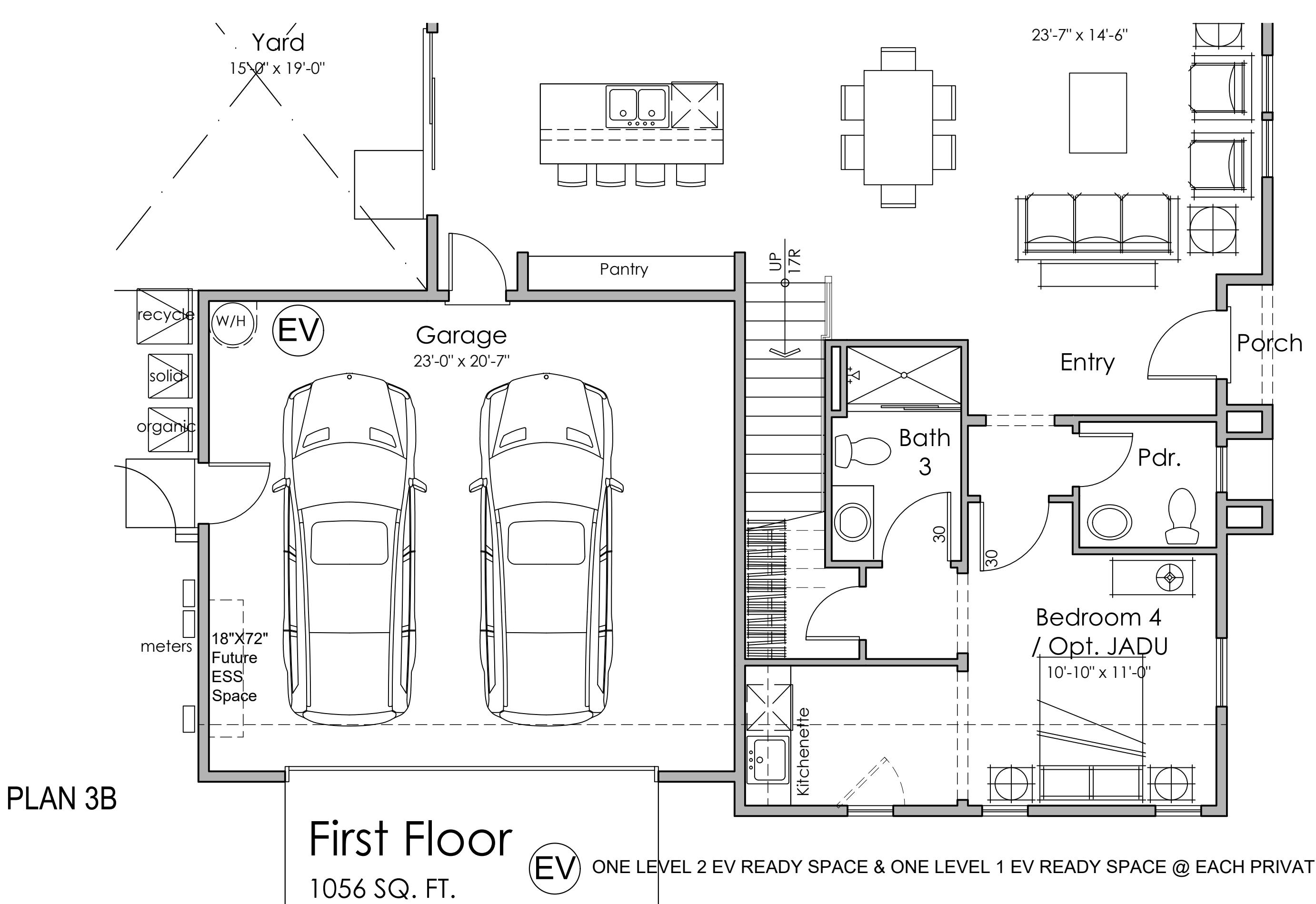
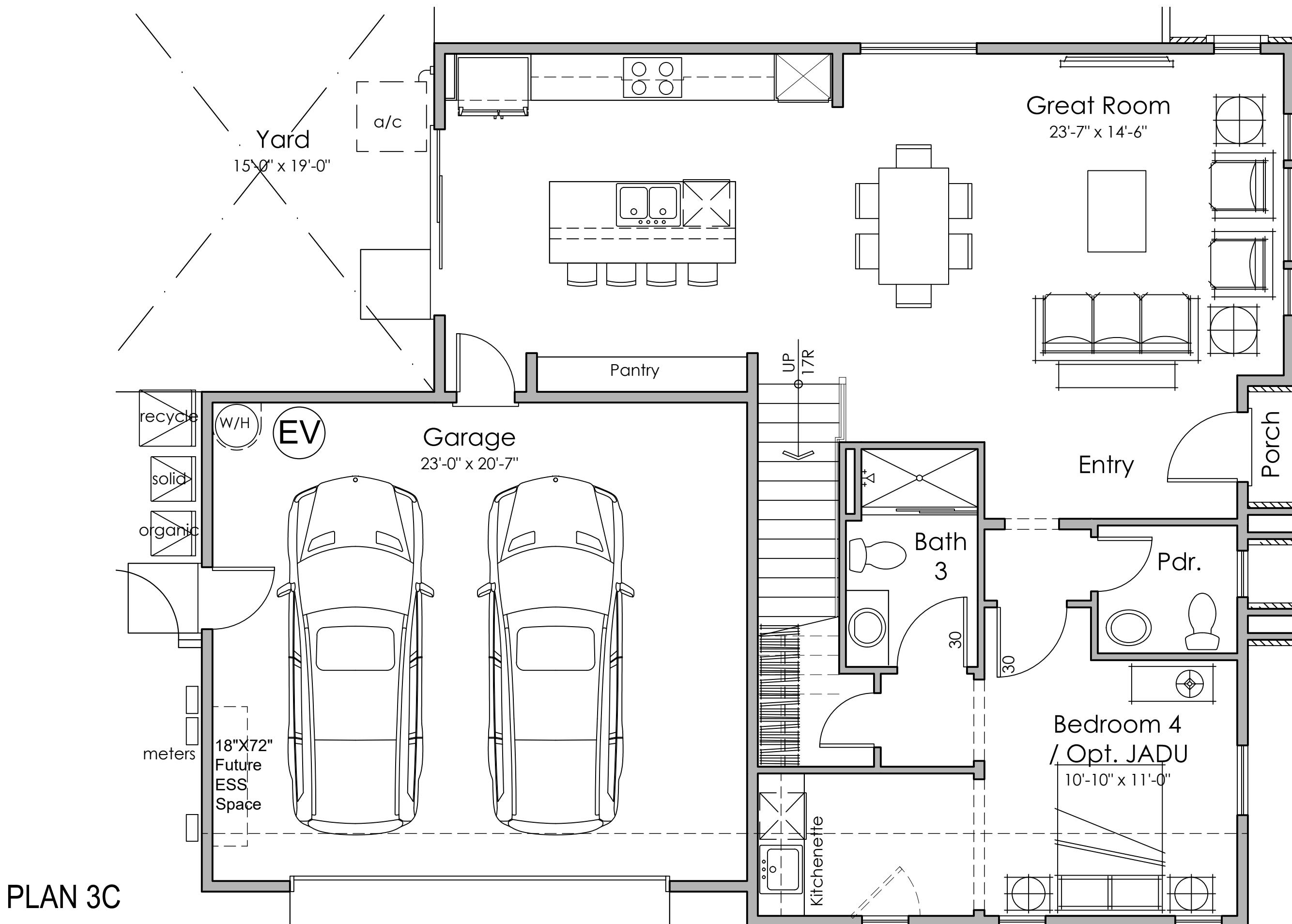
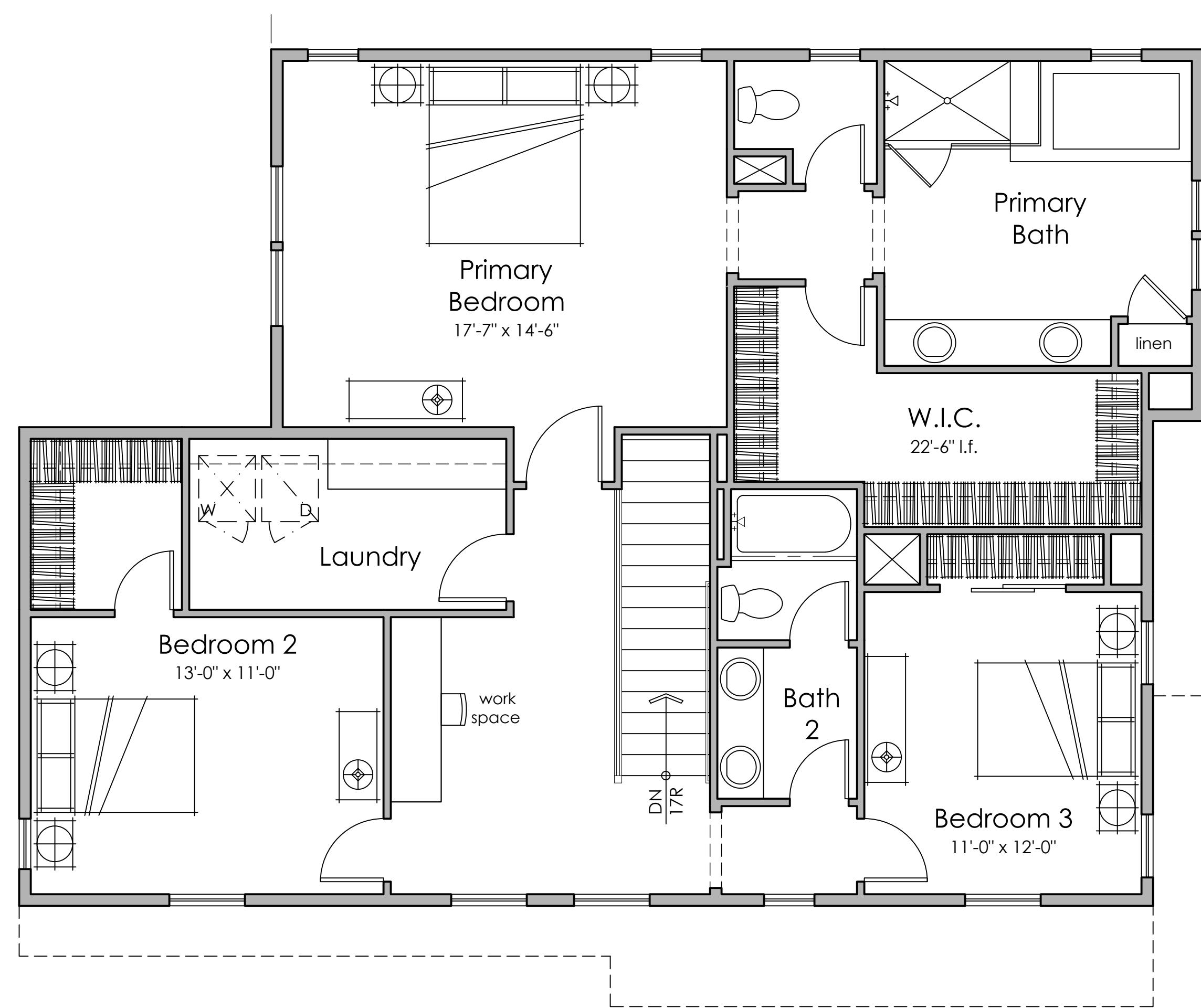
Key Map



PLAN 3A



EV ONE LEVEL 2 EV READY SPACE & ONE LEVEL 1 EV READY SPACE @ EACH PRIVATE GARAGE





MATERIAL LEGEND

1. STUCCO
2. FIBER CEMENT LAP SIDING
3. FIBER CEMENT BOARD AND BATTEN SIDING
4. STONE VENEER
5. METAL GARAGE DOOR
6. CONCRETE S PROFILE ROOF TILE
7. COMPOSITION SHINGLE ROOF
8. LIGHT FIXTURE
9. UNIT ADDRESS
10. ENTRY DOOR
11. FIBER CEMENT TRIM
12. HIGH DENSITY FOAM TRIM
13. VINYL WINDOW
14. WOOD POST
15. FIBER CEMENT PANEL
16. METAL ROOFING
17. METAL AWNING

Front Elevation 3A

Scheme 3

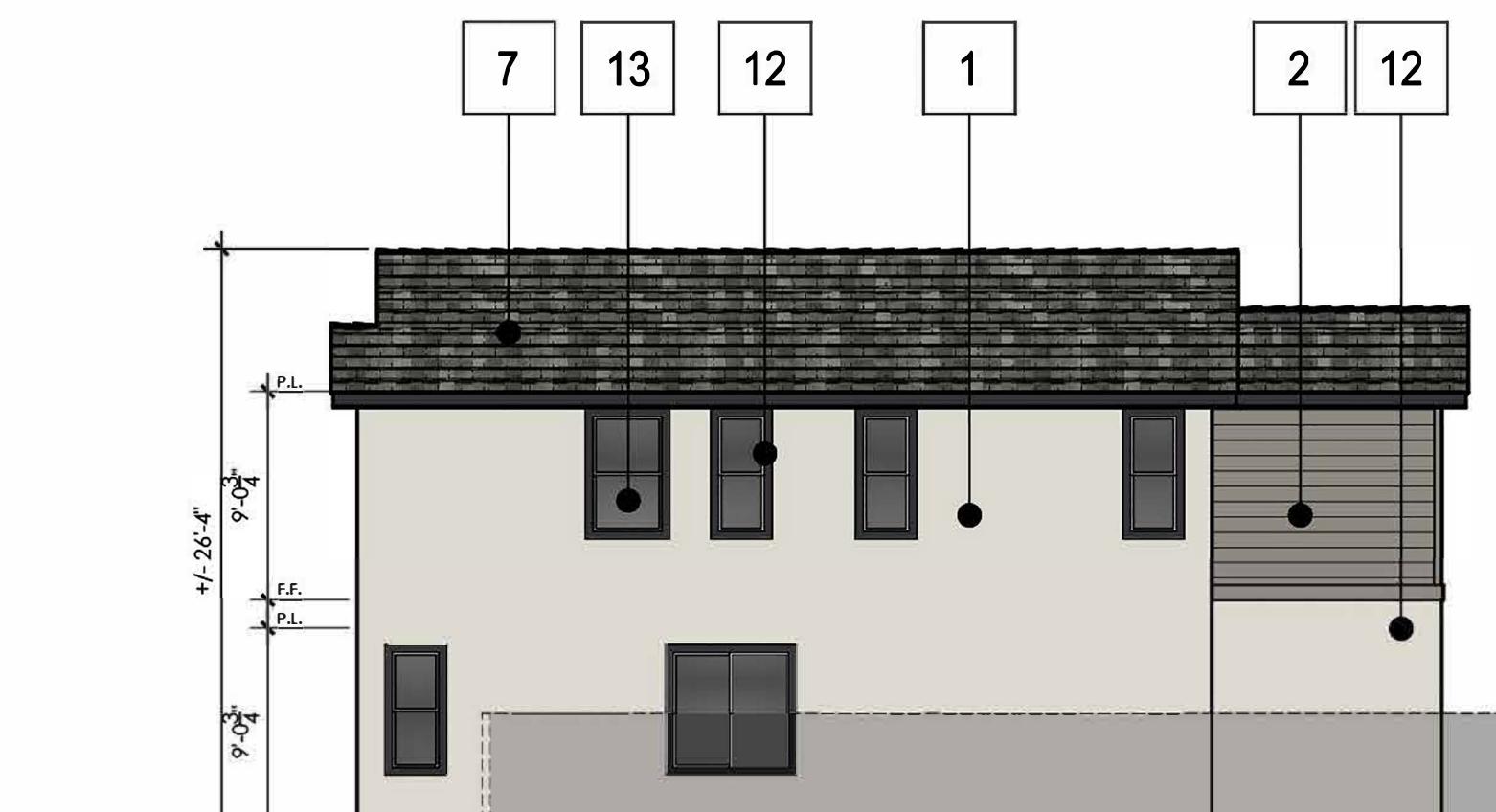
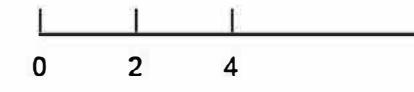
0 2 4 8





Front Elevation 3B

Scheme 6



Right Elevation



Rear Elevation

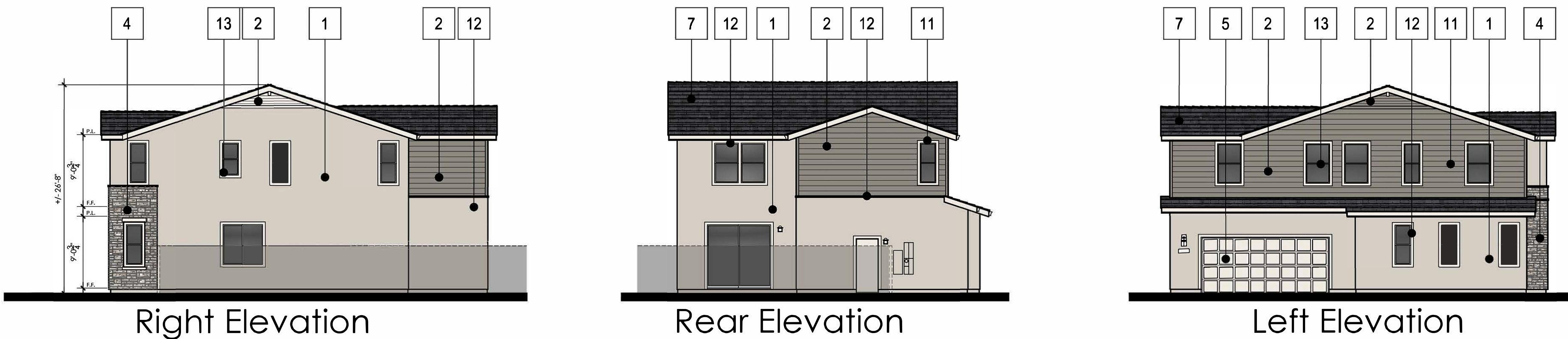


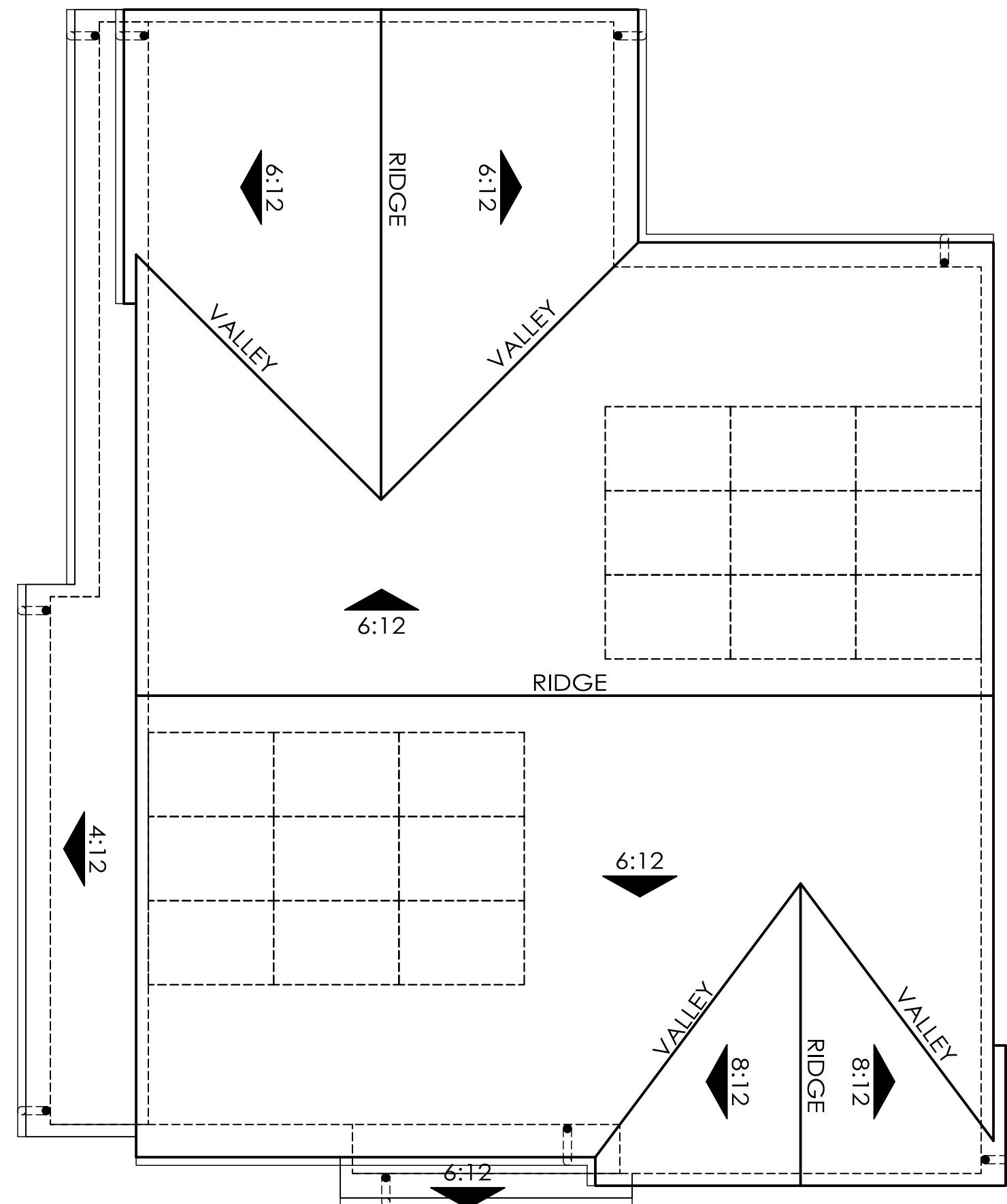
Left Elevation



MATERIAL LEGEND

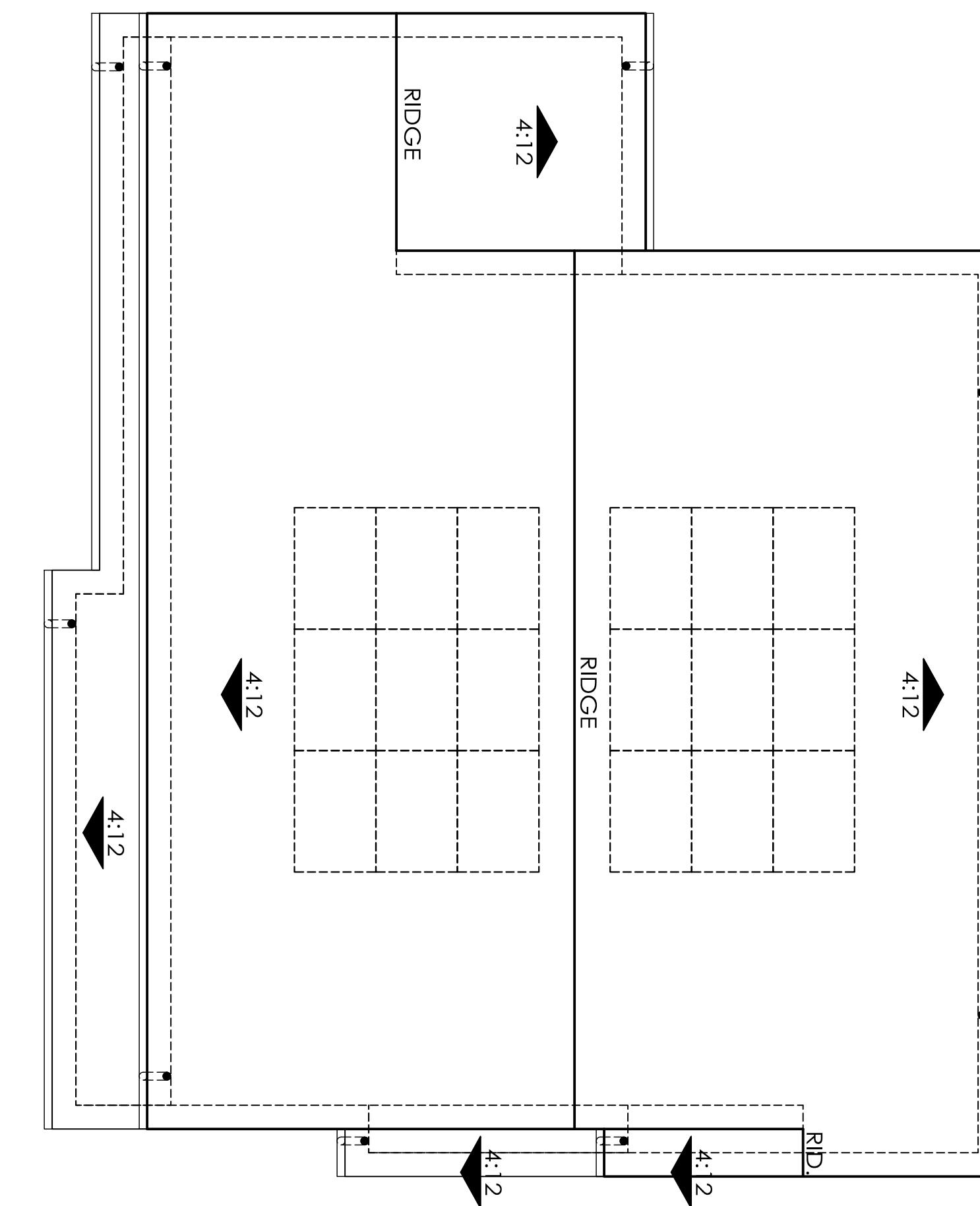
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2. FIBER CEMENT LAP SIDING
3. FIBER CEMENT BOARD AND BATTEN SIDING
4. STONE VENEER
5. METAL GARAGE DOOR
6. CONCRETE S PROFILE ROOF TILE
7. COMPOSITION SHINGLE ROOF
8. LIGHT FIXTURE
9. UNIT ADDRESS
10. ENTRY DOOR
11. FIBER CEMENT TRIM
12. HIGH DENSITY FOAM TRIM
13. VINYL WINDOW
14. WOOD POST
15. FIBER CEMENT PANEL
16. METAL ROOFING
17. METAL AWNING





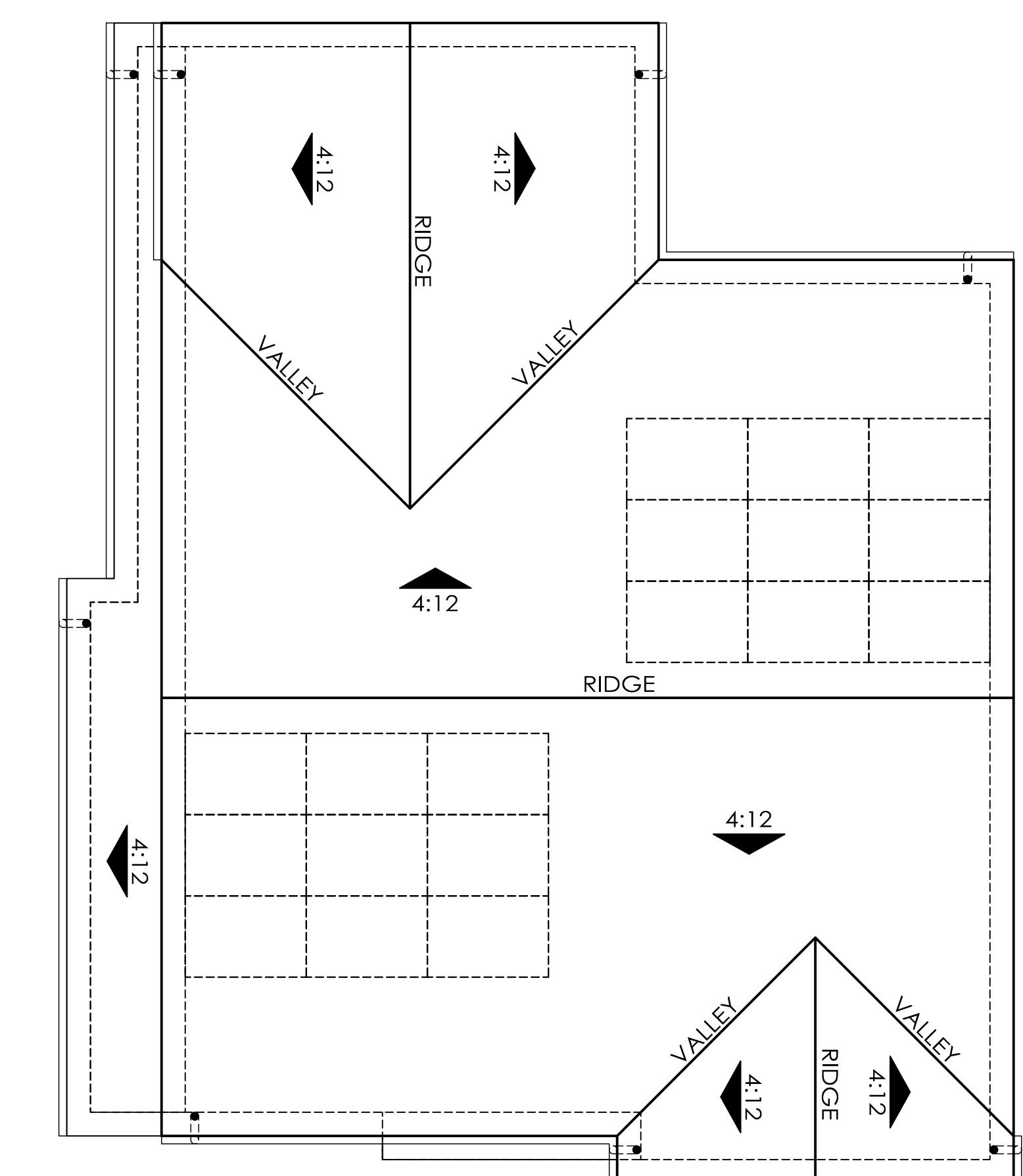
ROOF PLAN 3A

OVERHANG : 12"
RAKE : 6"
ROOF PITCH : 6:12 U.N.O



ROOF PLAN 3B

OVERHANG : 12"
RAKE : 12"
ROOF PITCH : 4:12 U.N.O



ROOF PLAN 3C

OVERHANG : 12"
RAKE : 12"
ROOF PITCH : 4:12 U.N.O

NOTE:

Solar panels shown are for illustrative purposes.
Solar will be confirmed with solar consultant during
building submittal process.
Location, quantity and orientation may change.

No roof mounted mechanical equipment.



Front Elevation 4A

Scheme 1



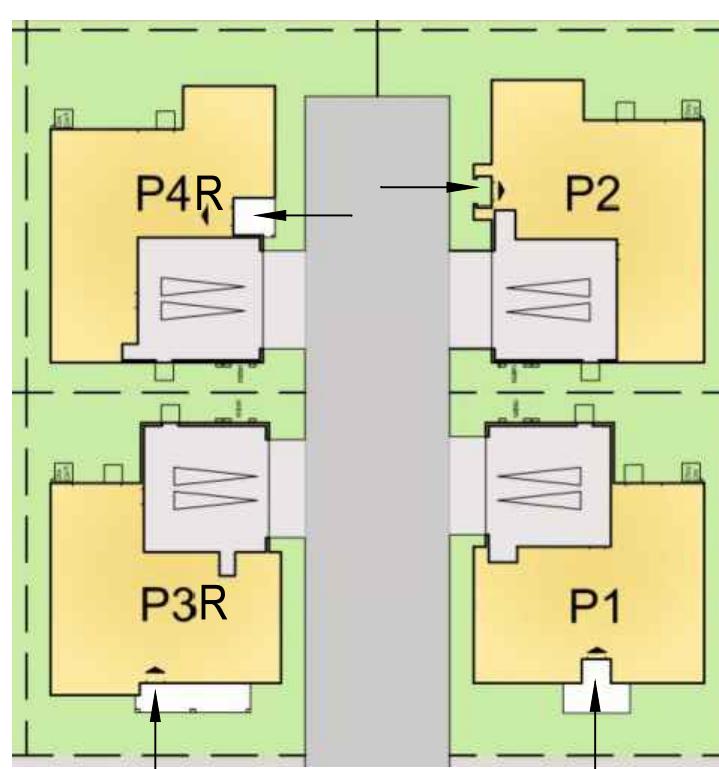
Front Elevation 4B

Scheme 4

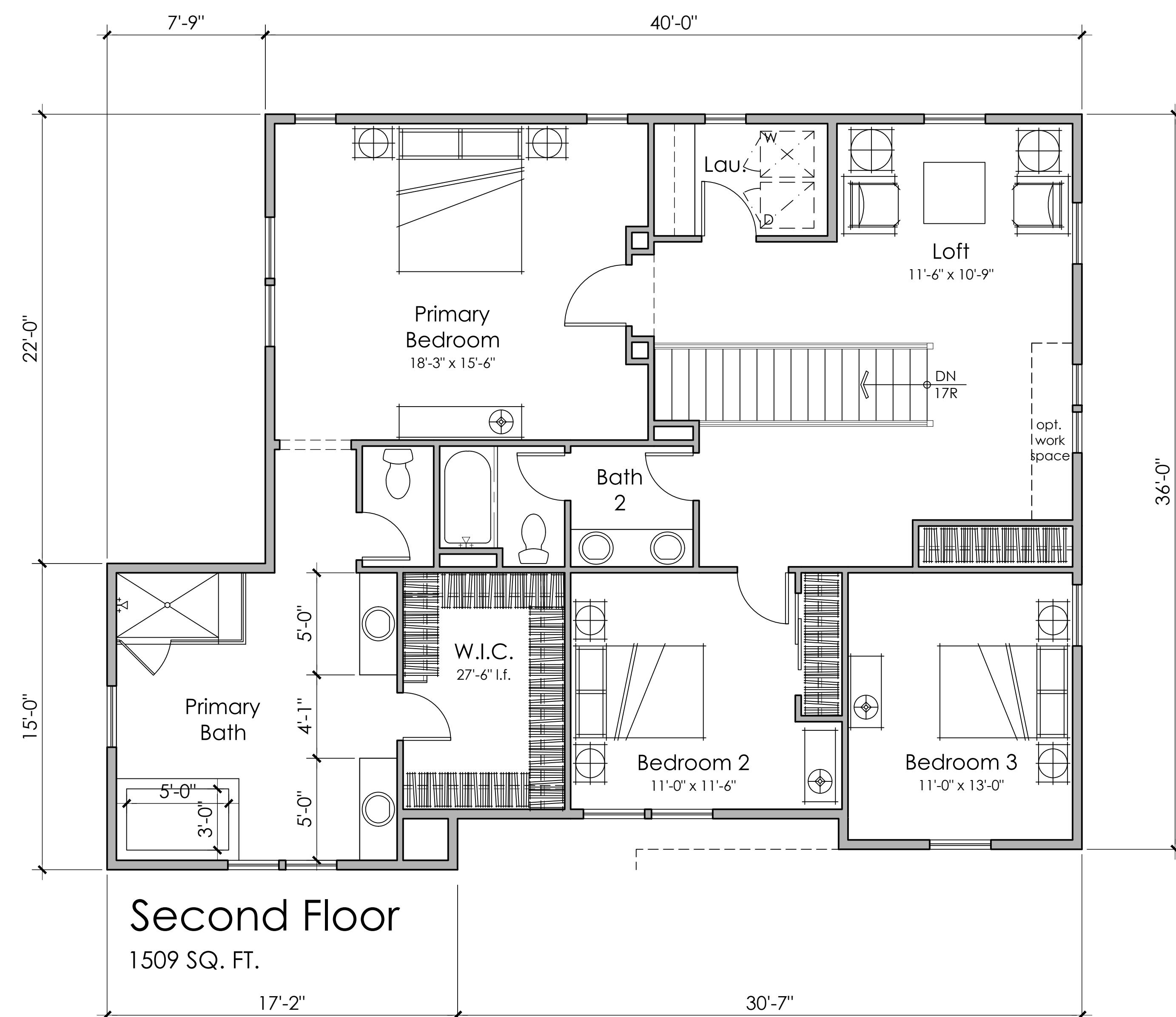


Front Elevation 4C

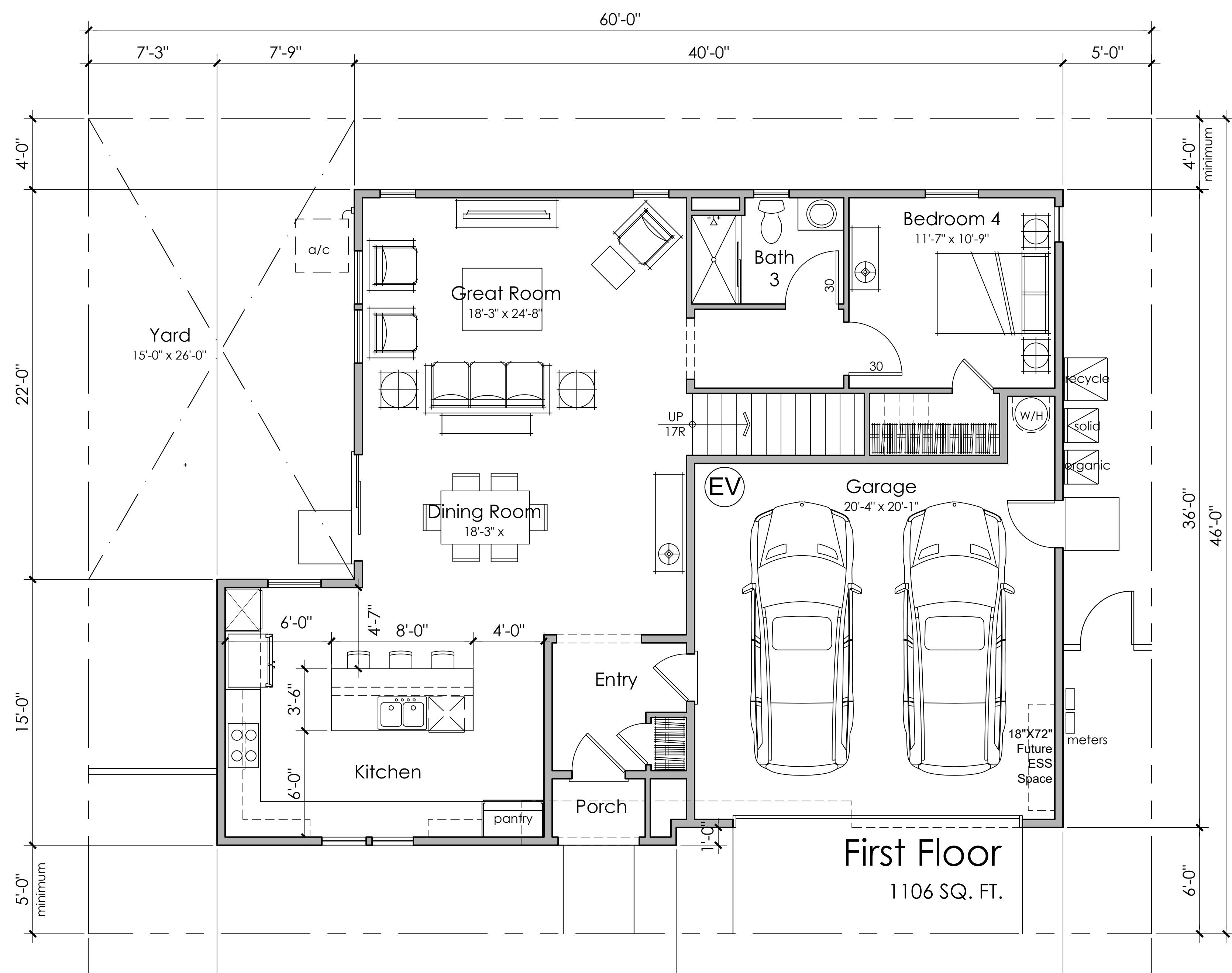
Scheme 7



Key Map



PLAN 4



EV ONE LEVEL 2 EV READY SPACE & ONE LEVEL 1 EV READY SPACE @ EACH PRIVATE GARAGE

Kitgym

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MORGAN HILL # 2023-0661

DESIGN PERMIT APPLICATION - SB330

Scale: $1/4" = 1'-0"$

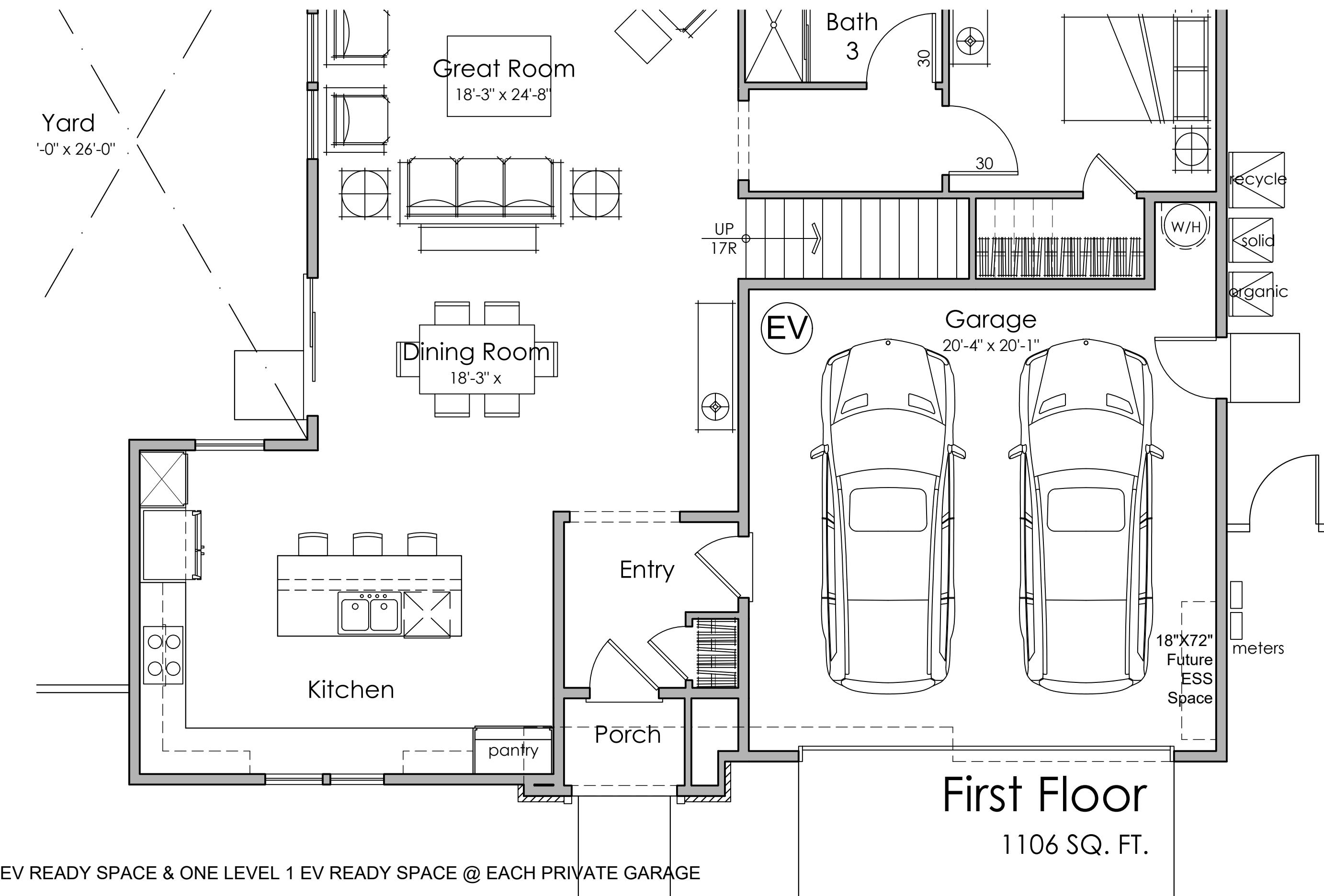
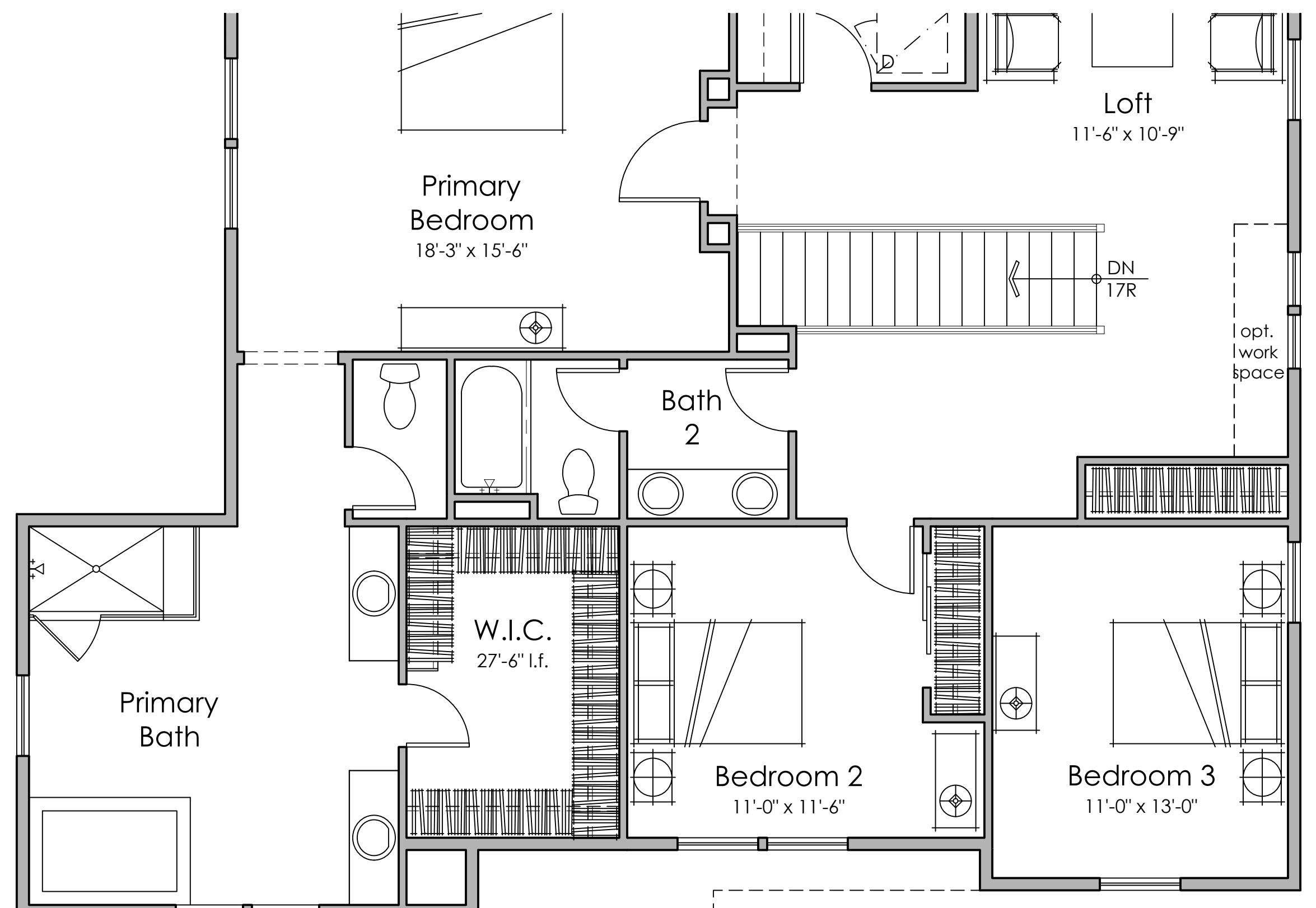
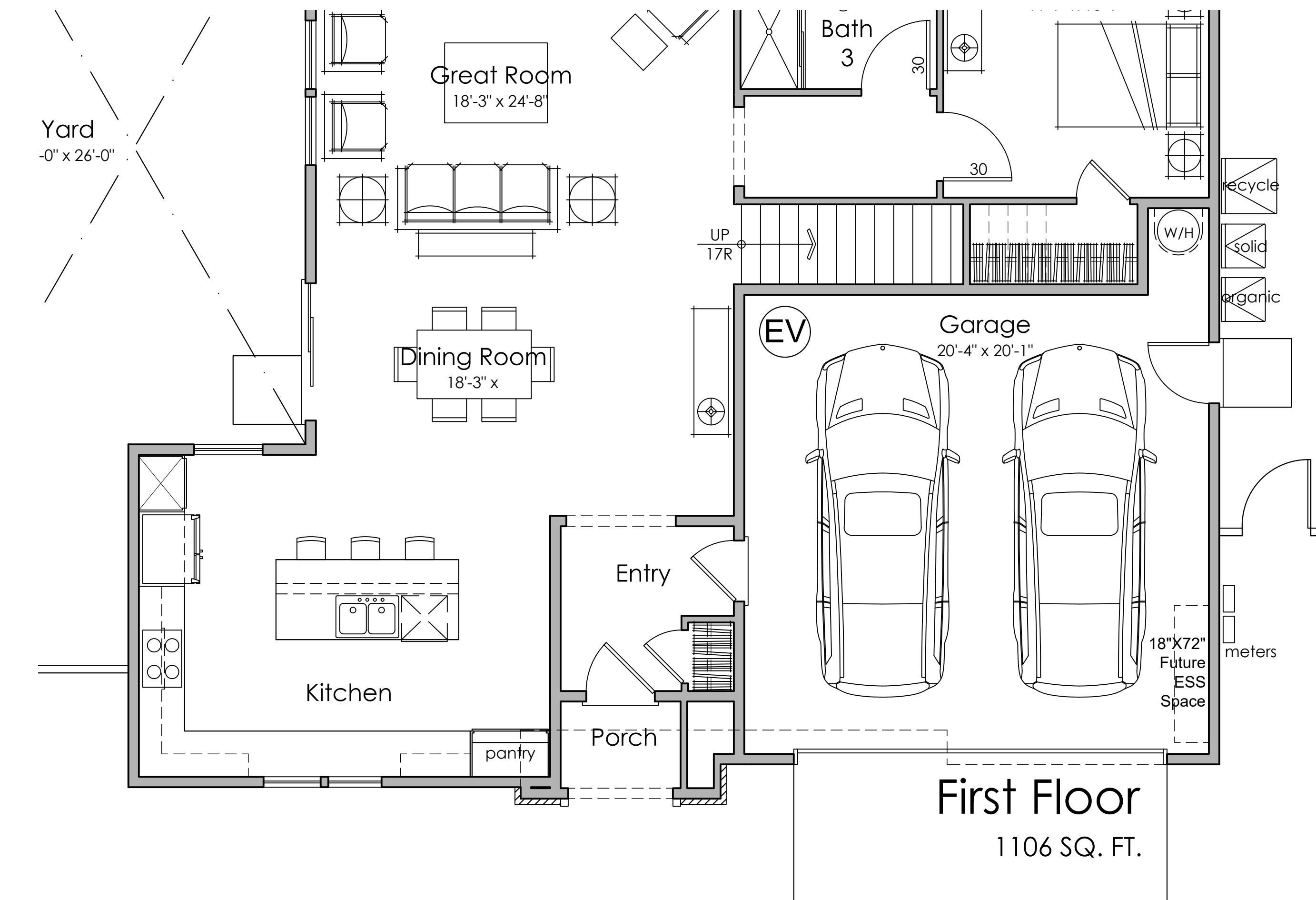
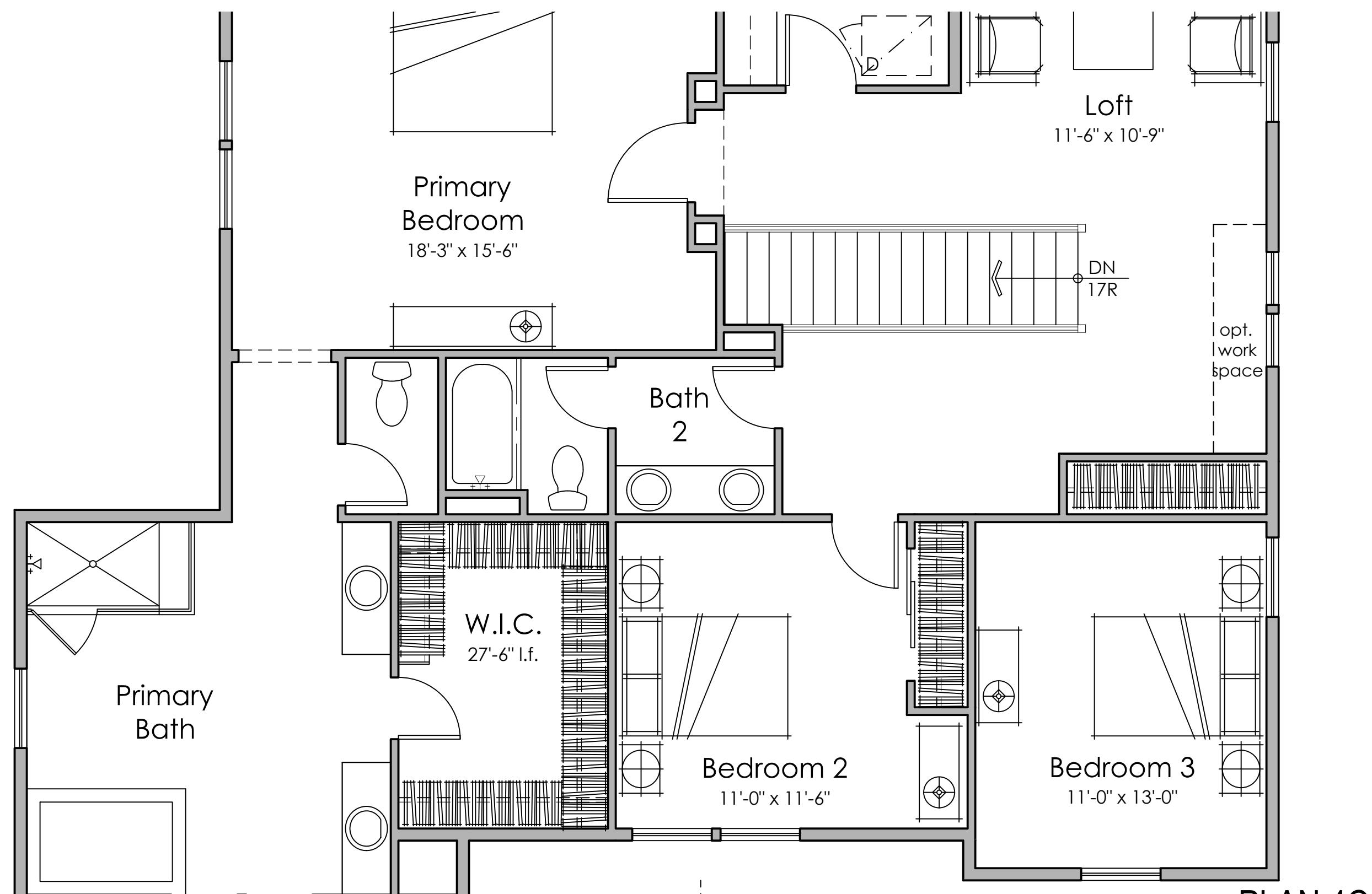


A scale bar with tick marks at 0, 2, 4, and 8 inches. The distance between 0 and 2 is labeled $1/4"$. The distance between 0 and 4 is labeled $1'-0"$.

4 BEDROOMS
LOFT
3 BATHS
2,619 S.F.
GARAGE 440 S.F.

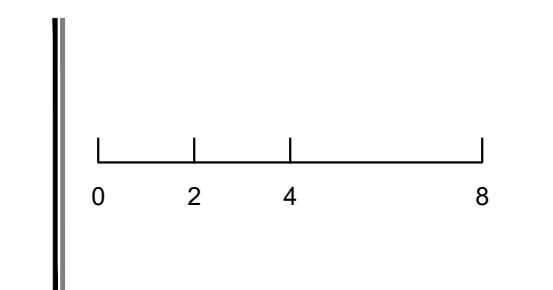
SINGLE FAMILY - PLAN 4 FLOOR PLAN

A2-4.1



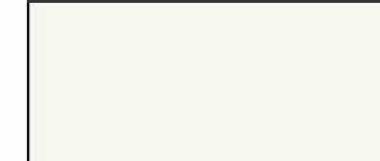
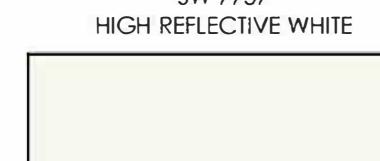
EV ONE LEVEL 2 EV READY SPACE & ONE LEVEL 1 EV READY SPACE @ EACH PRIVATE GARAGE

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APRIL 1, 2024



FLOOR PLAN 4 ADDENDA

A2-4.1.1

| | |
|---|--|
| 1 | ROOF MATERIAL: COMPOSITION ASPHALT  |
| 2 | METAL ROOF  |
| 3 | BATTEN BOARD SIDING  |
| 4 | FASCIA / EAVES  |
| 5 | TRIM  |
| 6 | GARAGE DOORS  |
| 7 | ENTRY DOORS  |

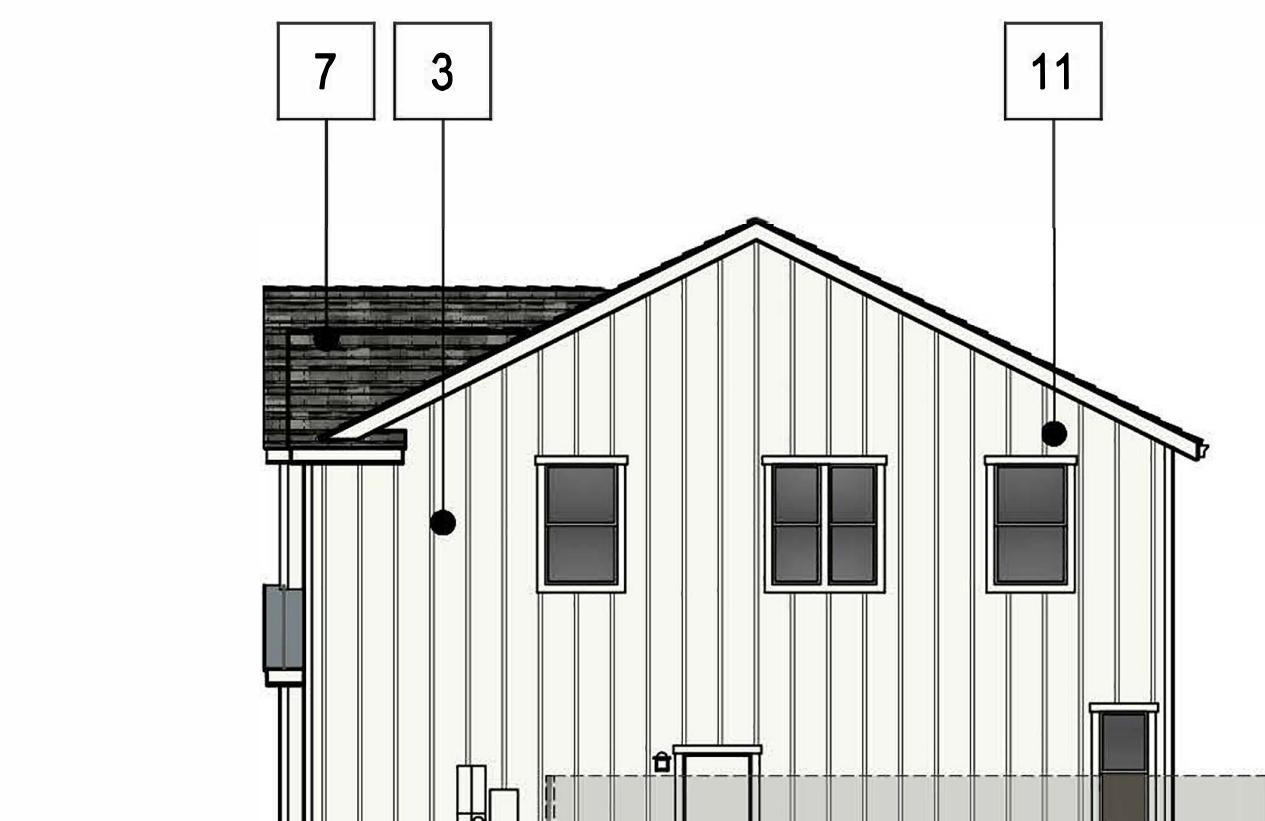
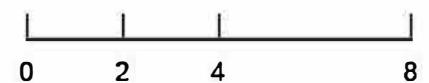


MATERIAL LEGEND

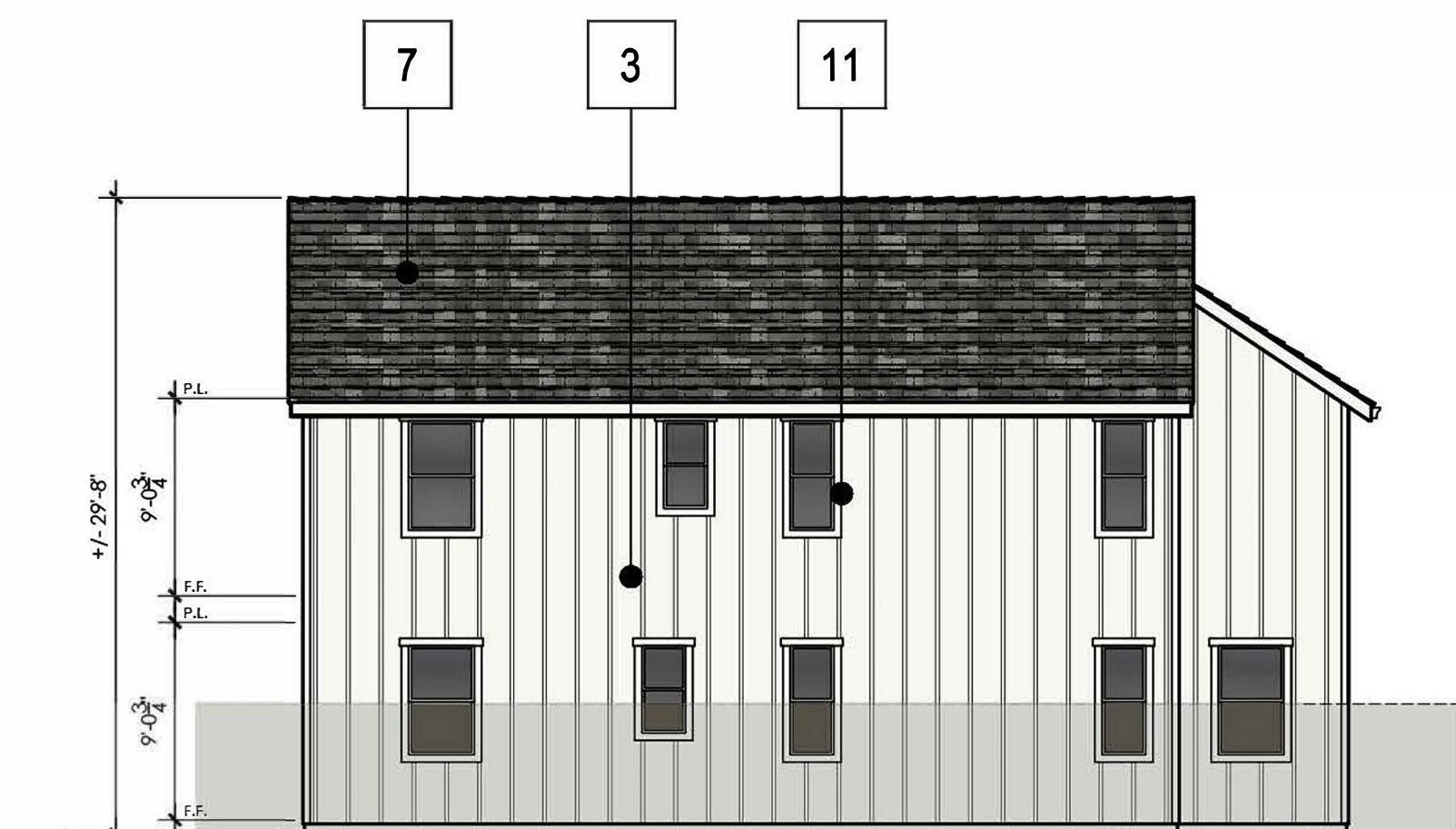
1. STUCCO
2. FIBER CEMENT LAP SIDING
3. FIBER CEMENT BOARD AND BATTEN SIDING
4. STONE VENEER
5. METAL GARAGE DOOR
6. CONCRETE S PROFILE ROOF TILE
7. COMPOSITION SHINGLE ROOF
8. LIGHT FIXTURE
9. UNIT ADDRESS
10. ENTRY DOOR
11. FIBER CEMENT TRIM
12. HIGH DENSITY FOAM TRIM
13. VINYL WINDOW
14. WOOD POST
15. FIBER CEMENT PANEL
16. METAL ROOFING
17. METAL AWNING

Front Elevation 4A

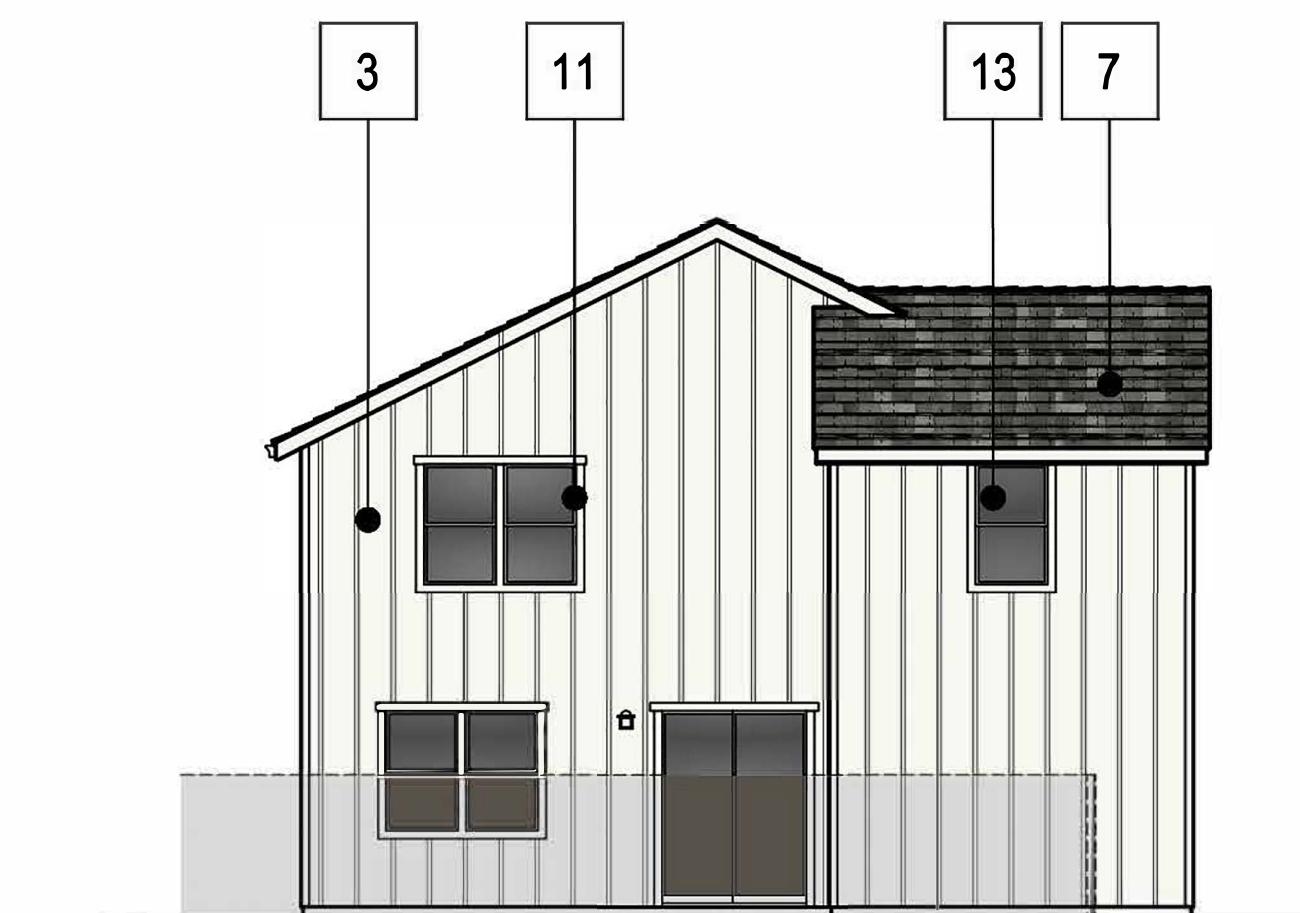
Scheme 1



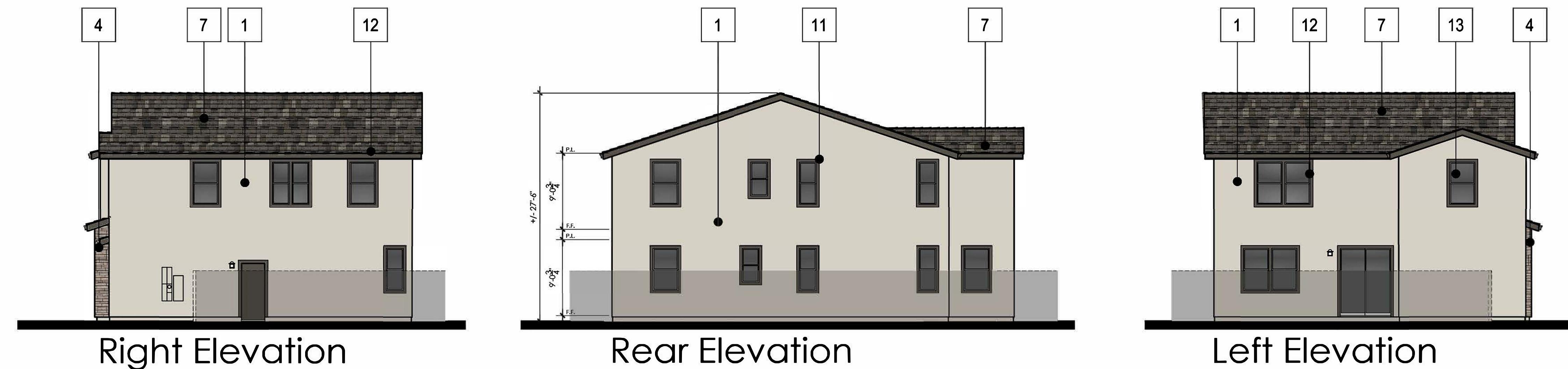
Right Elevation

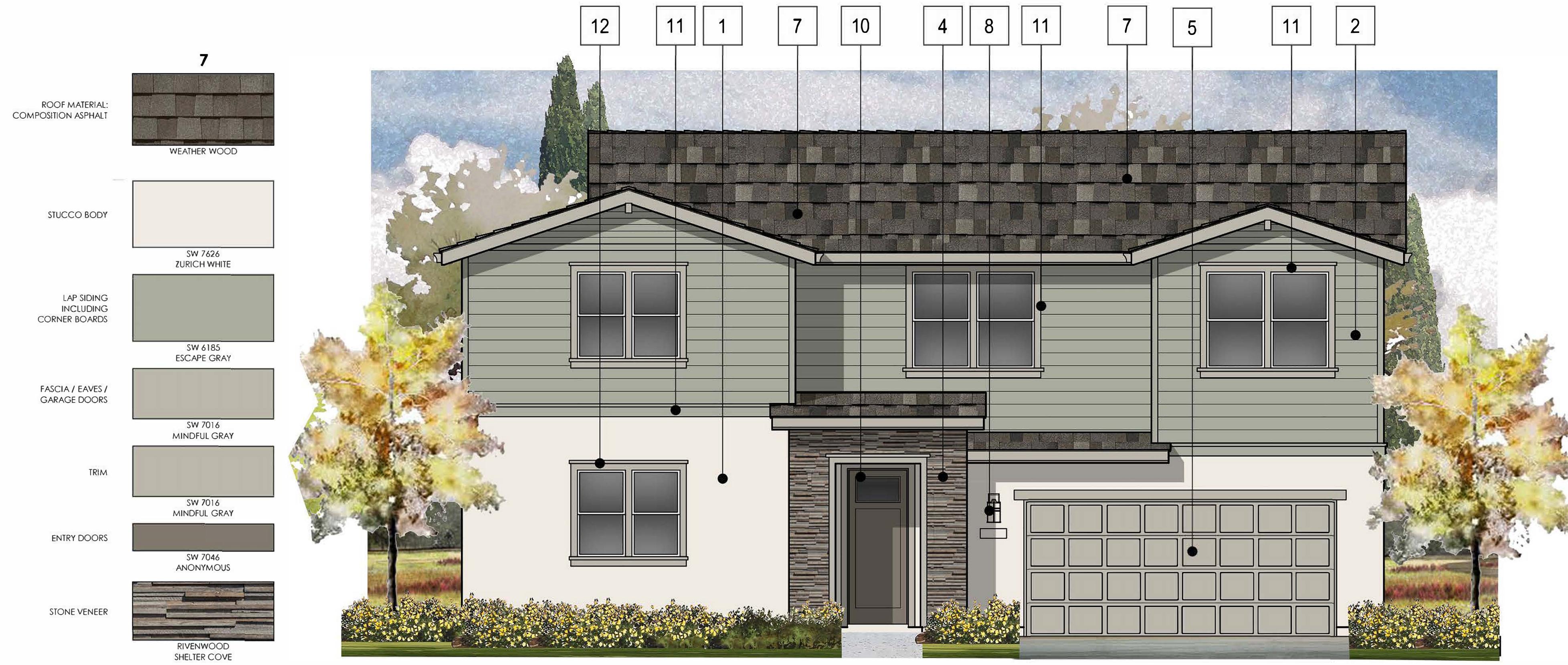


Rear Elevation



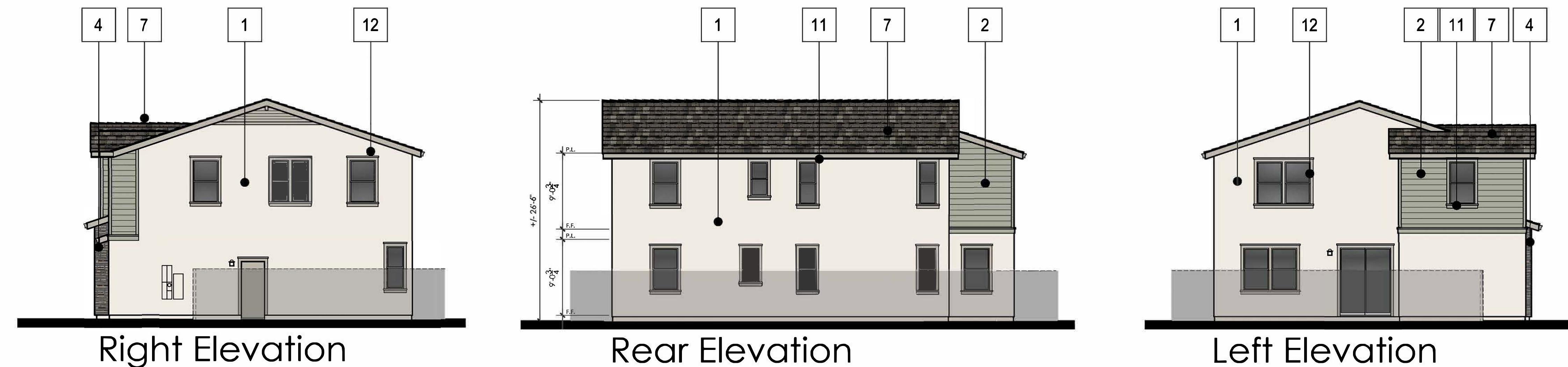
Left Elevation

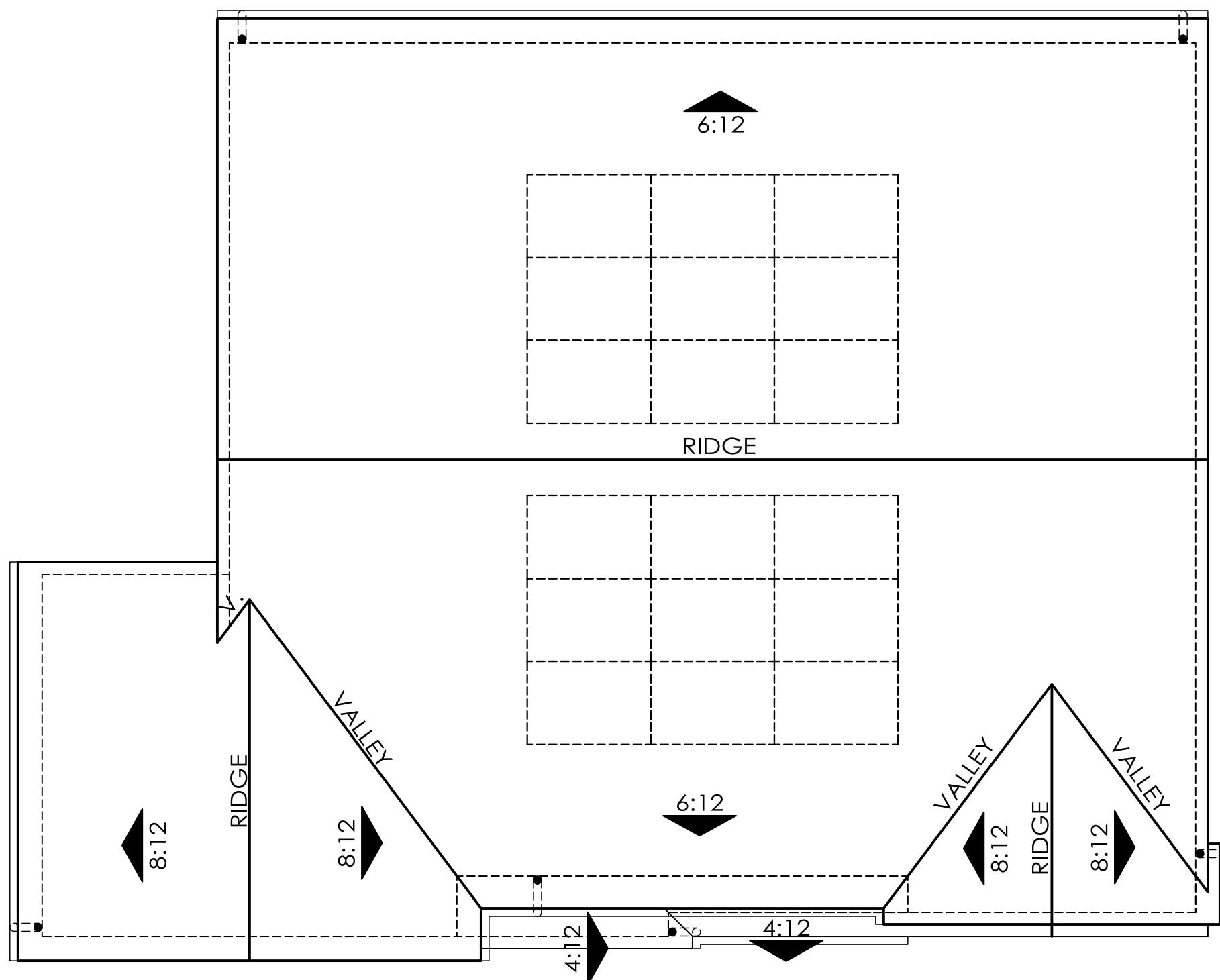




Front Elevation 4C

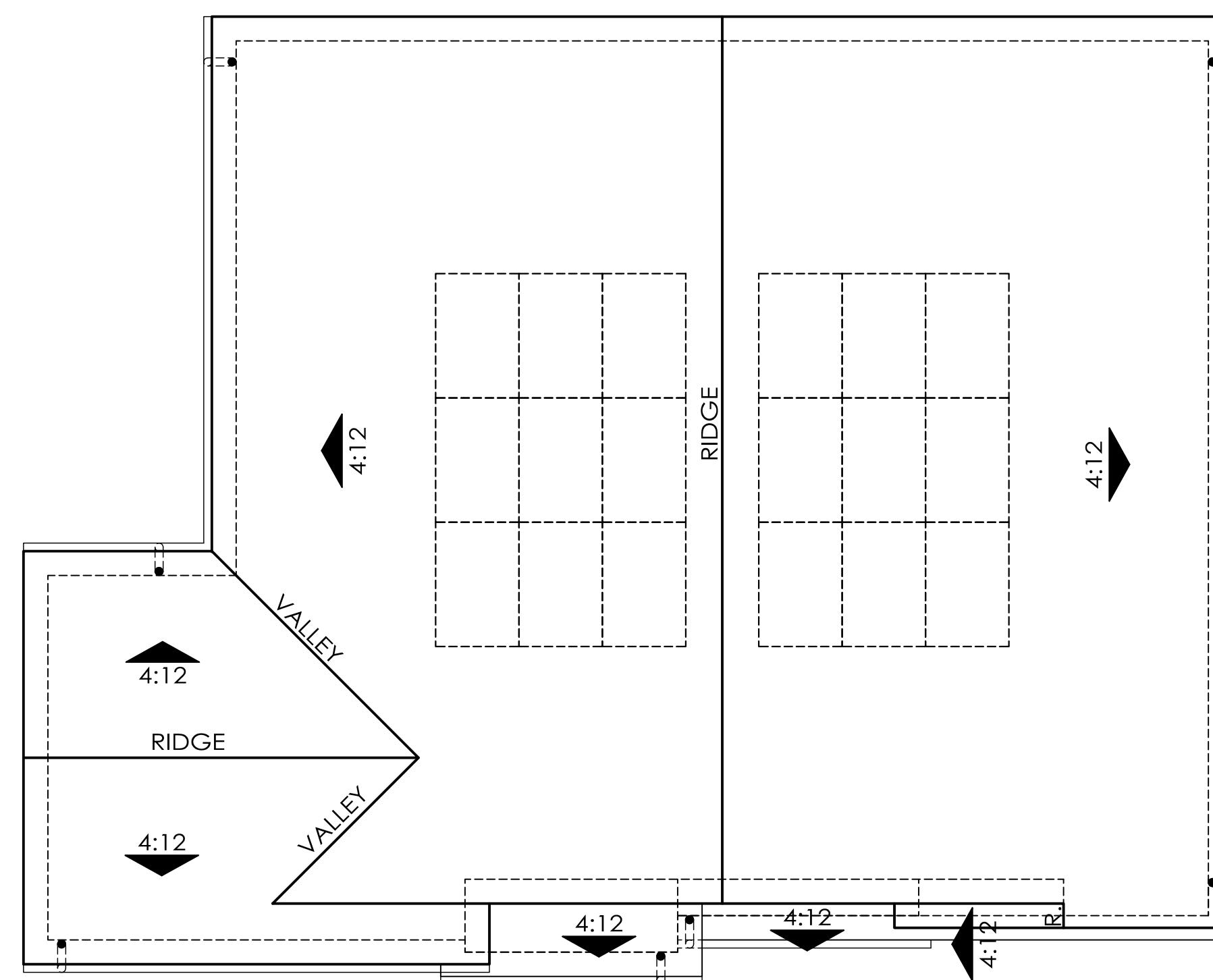
Scheme 7
0 2 4 8





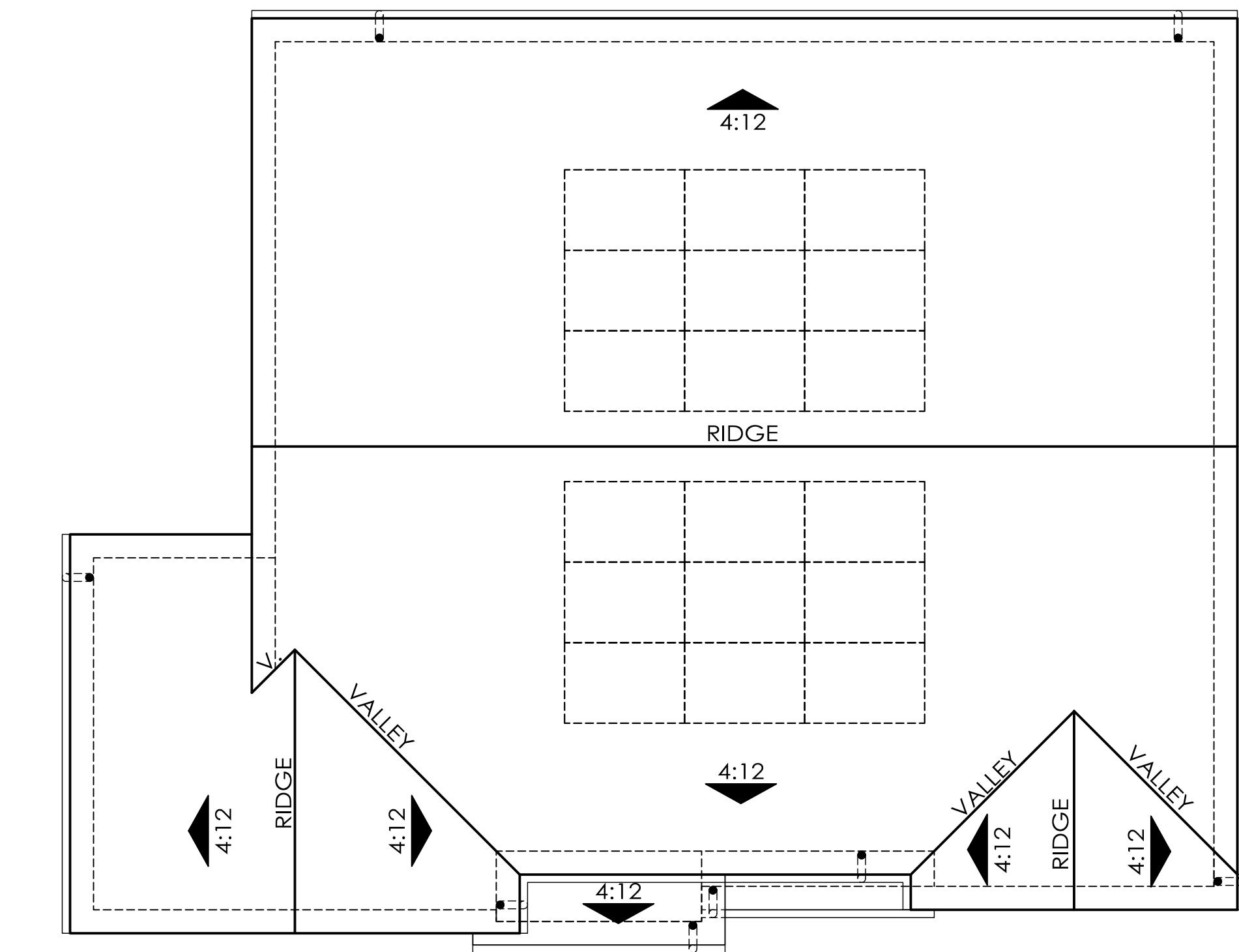
ROOF PLAN 4A

OVERHANG : 12"
RAKE : 6" U.N.O
ROOF PITCH : 6:12 U.N.O



ROOF PLAN 4B

OVERHANG : 12"
RAKE : 12"
ROOF PITCH : 4:12 U.N.O



ROOF PLAN 4C

OVERHANG : 12"
RAKE : 12"
ROOF PITCH : 4:12 U.N.O

NOTE:

Solar panels shown are for illustrative purposes.
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building submittal process.
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No roof mounted mechanical equipment.

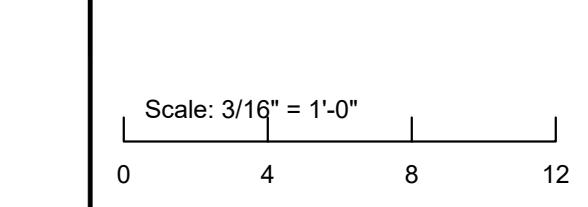


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PLAN 4 ROOF PLANS

A2-4.5

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1

ROOF MATERIAL:
COMPOSITION ASPHALT



THUNDERSTORM GRAY

2



WEATHER WOOD

3



MOIRE BLACK

METAL ROOF



ZINC GREY



MEDIUM BRONZE



CHARCOAL GRAY

BATTEN BOARD SIDING



SW 7757
HIGH REFLECTIVE WHITE



SW 9164
ILLUSIVE GREEN



SW 0055
LIGHT FRENCH GRAY

FASCIA / EAVES



SW 7757
HIGH REFLECTIVE WHITE

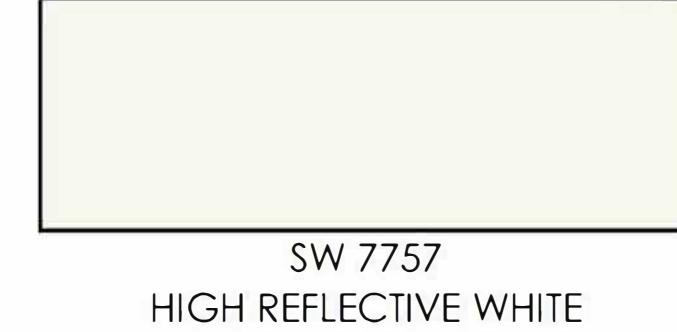


SW 6252
ICE CUBE

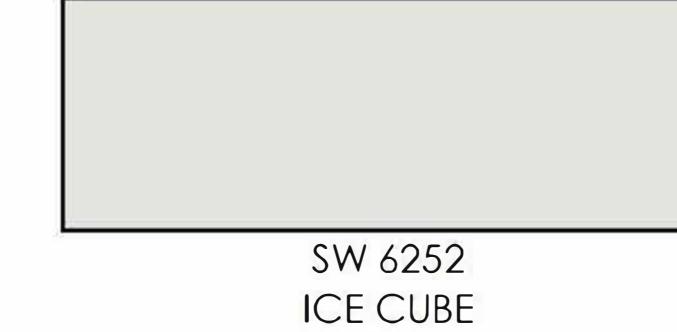


SW 7625
MOUNT ETNA

TRIM



SW 7757
HIGH REFLECTIVE WHITE



SW 6252
ICE CUBE

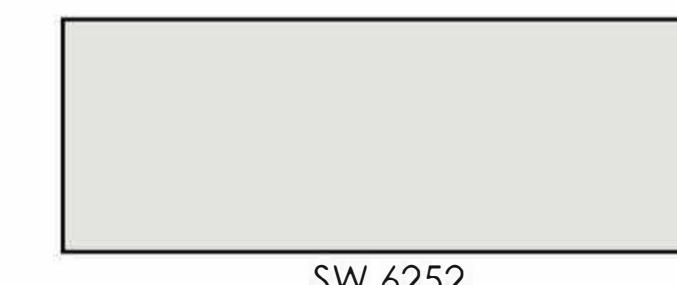


SW 6168
MODERNE WHITE

GARAGE DOORS



SW 7659
GRIS



SW 6252
ICE CUBE

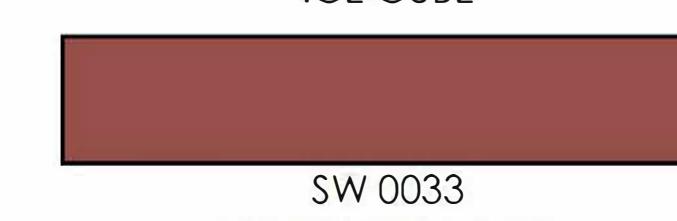


SW 7625
MOUNT ETNA

ENTRY DOORS



SW 6229
TEMPE STAR



SW 0033
REMBRANDT RUBY



SW 6991
BLACK MAGIC

STUCCO / PAINT: SHERWIN WILLIAMS
COMPOSITION ROOF: CERTAINTED ROOFING - LANDMARK
STONE VENEER: EL DORADO STONE VENEER
METAL ROOF: BERRIDGE METALS

'A' - ELEVATIONS



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COLOR / MATERIAL BOARD

A2-5.0

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4

ROOF MATERIAL:
COMPOSITION ASPHALT



WEATHER WOOD

5



MOIRE BLACK

6



THUNDERSTORM GRAY

STUCCO BODY



SW 7641
GRECIAN IVORY

FASCIA / EAVES /
TRIM /
INSET SIDING AT 3B & 4B ONLY



SW 7645
THUNDER GRAY

INSET SIDING AT 1B & 2B /
LAP SIDING
INCLUDING CORNER BOARDS



SW 2848
ROYCROFT PEWTER

GARAGE DOORS



SW 0077
CLASSIC FRENCH GRAY

ENTRY DOORS



SW 9038
CUCUZZA VERDE

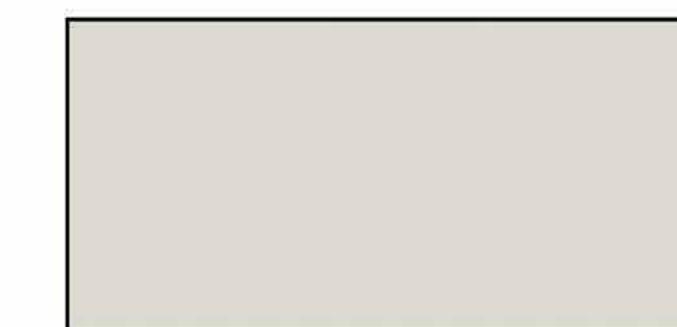
BRICK VENEER



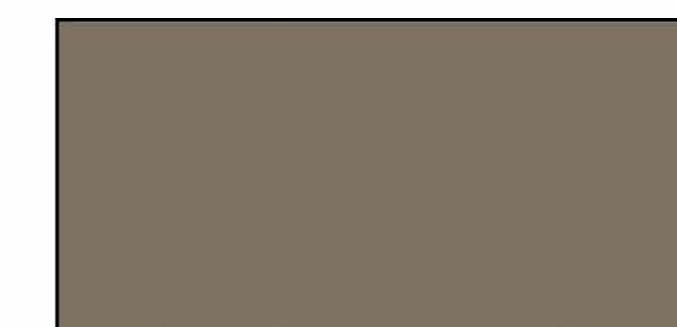
LOREI BRICK
FAROLA



SW 7010
WHITE DUCK



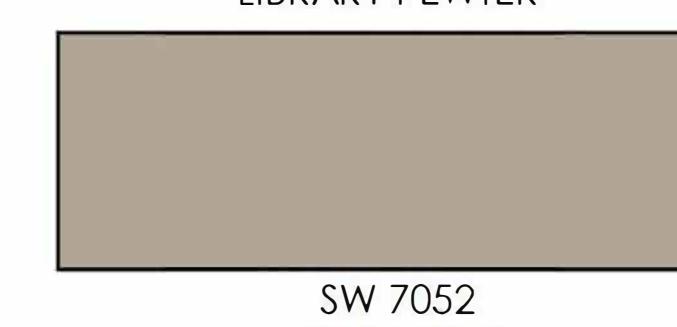
SW 6183
CONSERVATIVE GRAY



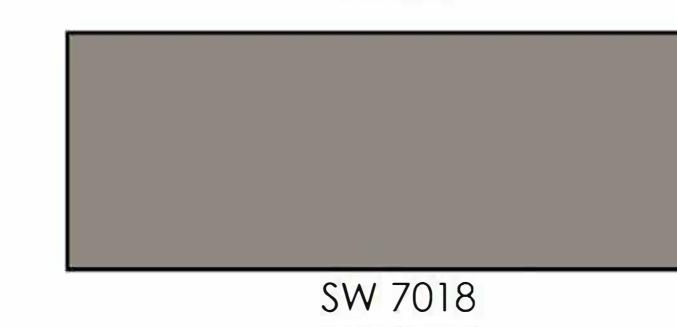
SW 0038
LIBRARY PEWTER



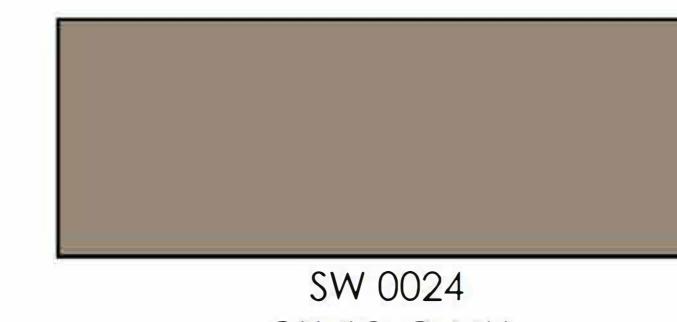
SW 6989
DOMINO



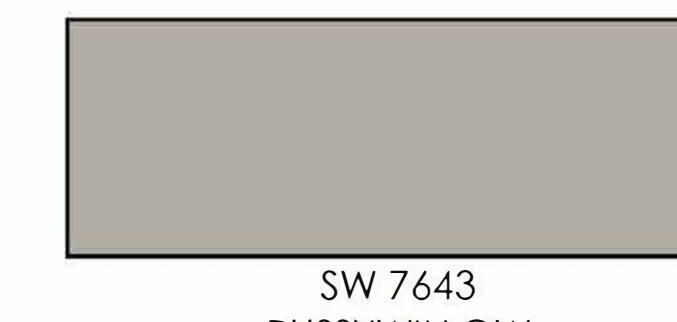
SW 7052
GRAY AREA



SW 7018
DOVETAIL



SW 0024
CURIO GRAY



SW 7643
PUSSYWILLOW



SW 7710
BRANDYWINE



SW 9024
VINTAGE GOLD



LOREI BRICK
HOLLIN



LOREI BRICK
LILIA

STUCCO / PAINT: SHERWIN WILLIAMS
COMPOSITION ROOF: CERTAINTEED ROOFING - LANDMARK
STONE VENEER: EL DORADO STONE VENEER
METAL ROOF: BERRIDGE METALS

'B' - ELEVATIONS



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COLOR / MATERIAL BOARD

A2-5.1

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7

ROOF MATERIAL:
COMPOSITION ASPHALT



WEATHER WOOD

8



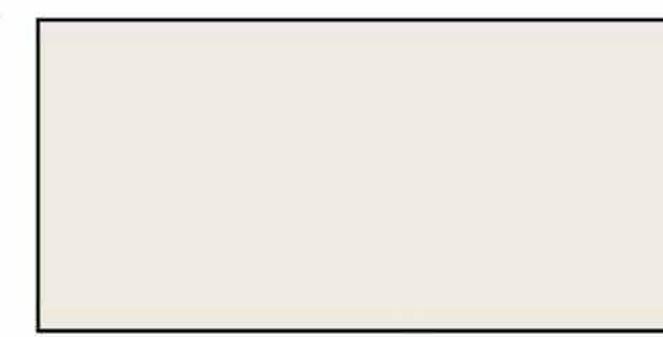
THUNDERSTORM GRAY

9



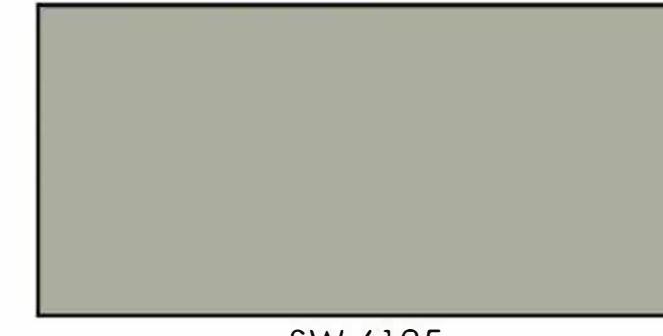
MOIRE BLACK

STUCCO BODY



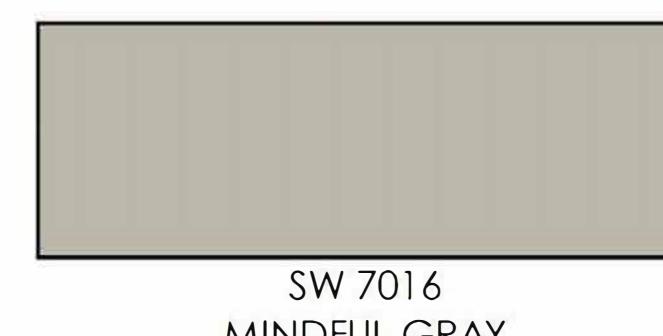
SW 7626
ZURICH WHITE

LAP SIDING
INCLUDING
CORNER BOARDS



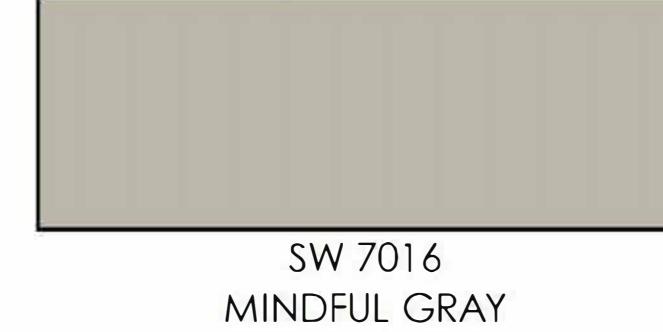
SW 6185
ESCAPE GRAY

FASCIA / EAVES /
GARAGE DOORS



SW 7016
MINDFUL GRAY

TRIM



SW 7016
MINDFUL GRAY

ENTRY DOORS



SW 7046
ANONYMOUS

STONE VENEER



RIVENWOOD
SHELTER COVE



SW 7063
NEBULOUS WHITE



SW 7063
NEBULOUS WHITE



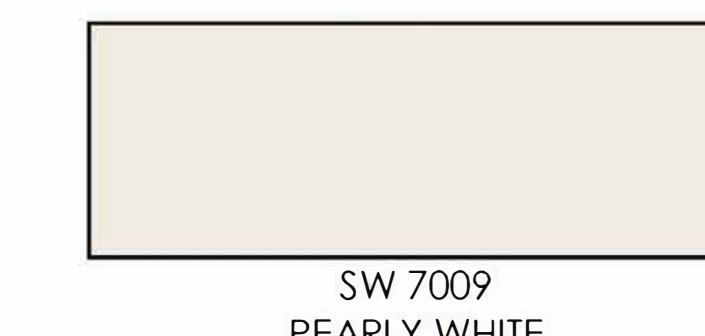
SW 7069
IRON ORE



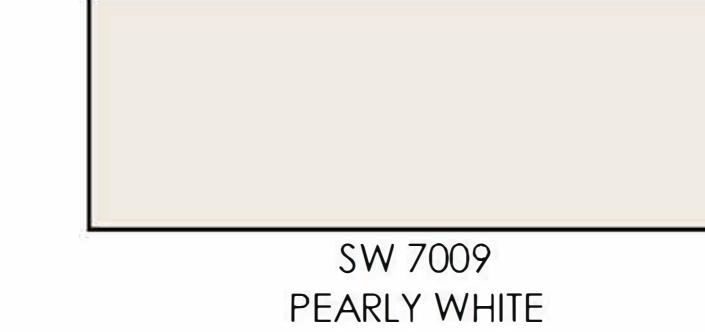
SW 7632
MODERN GRAY



SW 7018
DOVETAIL



SW 7009
PEARLY WHITE



SW 7009
PEARLY WHITE



SW 7630
RAISIN



LEDGECUT 33
WHITE CAP

'C' - ELEVATIONS

STUCCO / PAINT: SHERWIN WILLIAMS
COMPOSITION ROOF: CERTAINTEED ROOFING - LANDMARK
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A2-5.2