

DRAWING NAME: \\BKF-fs-1\vol4\2023\231724-730.D\Ana_Subdivision_Morgan_Hill\ENG-L\Planning\Sheets\02-D\DIANA_TM.dwg
PLOT DATE: 02-14-25
PLOTTED BY: conzelde



BKF ENGINEERS
1730 N. FIRST STREET
SUITE 600
SAN JOSE, CA 95112
(408) 467-9100
www.bkf.com

GENERAL NOTES

- OWNER: DIANA AVENUE INVESTORS, LLC
- DEVELOPER: DIANA AVENUE INVESTORS, LLC
385 WOODVIEW AVENUE, SUITE 100
MORGAN HILL, CA 95037
CONTACT: JOSHUA VROTSOS
(408) 779-5900
- CIVIL ENGINEER: BKF ENGINEERS
1730 N. FIRST STREET
SAN JOSE, CA 95112
CONTACT: PHONG KIET
(408) 467-9100
- PROPERTY DESCRIPTION: A NEW 23 R-1 SINGLE FAMILY HOMES PROJECT LOCATED ON A 3.05± ACRE SITE
- ASSESSORS PARCEL NO: 726-06-013, 726-06-015
- GENERAL PLAN: RESIDENTIAL DETACHED MEDIUM DENSITY
- EXISTING ZONING: RDM
- PROPOSED ZONING: RDM
- EXISTING USE: RESIDENTIAL
- PROPOSED USE: RESIDENTIAL
- GROSS AREA: 3.05± ACRES 132,905 SF
- NET AREA: 2.60± ACRES 109,233 SF
- NUMBER OF UNITS: 23
- NUMBER OF LOTS: 23 (23 DEVELOPABLE LOTS AND 1 NON-DEVELOPABLE COMMON LOT)

- UTILITIES:
 - WATER: CITY OF MORGAN HILL HOME OWNERS ASSOCIATION (HOA)
 - SANITARY SEWER: CITY OF MORGAN HILL HOME OWNERS ASSOCIATION (HOA)
 - STORM DRAIN: CITY OF MORGAN HILL HOME OWNERS ASSOCIATION (HOA)
 - GAS/ELECTRIC: PACIFIC GAS & ELECTRIC AT&T
 - TELEPHONE: COMCAST
 - CABLE TV: COMCAST
- BENCHMARK: BM 528
SANTA CLARA VALLEY WATER DISTRICT DESCRIBED AS FOLLOWS:
BRASS DISK ON TOP OF CURB; AT THE NORTH CORNER OF E. DUNNE AVENUE BRIDGE OVER HIGHWAY 101 (BRIDGE NO. 37-0334 PM16.01 1972). DISK IS LOCATED 6.5 FEET NORTHEAST FROM THE END OF CONCRETE HEADWALL; 12.8 FEET WESTERLY FROM TELEPHONE MANHOLE AND 57.0 FEET SOUTHWEST FROM ELECTROLIER. CITY OF MORGAN HILL
ELEVATION = 382.20 FEET (NAVD88, 2020.33 EPOCH)
- TOPOGRAPHY: INFORMATION SHOWN IS BASED ON AERIAL SURVEY PREPARED BY 360 AERIAL SURVEYS. (DATED 8/22/23), AND BASED ON FIELD SURVEY PREPARED BY BKF ENGINEERS (DATED JANUARY 2024).

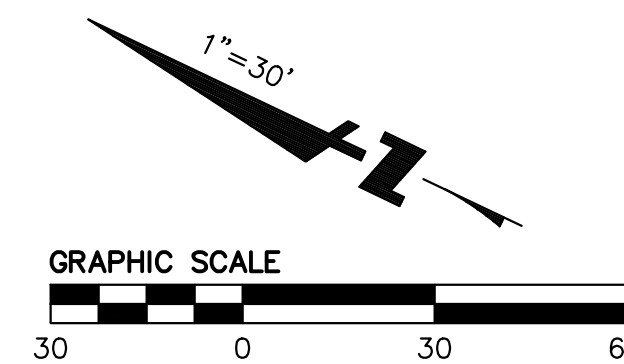
- FLOOD ZONE: THIS PROPERTY IS LOCATED WITHIN ZONE X AS SHOWN IN FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 06085C0444H, DATED MAY 18, 2009.
- LOT SIZES: COMMON LOT A = 25,686 SF (INCLUDES EVAE & PAE)
LOTS 1-23 = 83,547 SF
TOTAL = 109,233 SF
- EASEMENTS: EVAE = EMERGENCY VEHICLE ACCESS EASEMENT
PSE = PUBLIC SERVICE EASEMENT
PWE = PUBLIC WATER LINE EASEMENT
PDE = PRIVATE DRAINAGE EASEMENT
PSDE = PRIVATE STORM DRAIN EASEMENT
PIEE = PRIVATE INGRESS EGRESS EASEMENT
PSSE = PRIVATE SANITARY SEWER EASEMENT
- PRIVATE LOT UTILITIES: PSDE, PSE FOR BANKED GAS METERS, & PSE EASEMENTS FOR INDIVIDUAL LOTS FOR THE BENEFIT OF OTHER LOTS WILL BE PROVIDED ON THE FINAL MAP
- COMMON LOT: ALL COMMON LOTS ARE COVERED BY PIEE, PSE, PSDE, AND PSSE.

LEGEND

- PROJECT BOUNDARY
- ADJACENT LOT LINE
- EASEMENT LINE
- STREET CENTER LINE
- EMERGENCY VEHICLE ACCESS EASEMENT (EVAE)
- STREET MONUMENT
 - (N) 1" IRON PIPE
 - (E) 3" IRON PIPE
 - 1/2" IRON PIPE

NOTES:

- LOT NUMBERS ARE FOR IDENTIFICATION ONLY AND ARE NOT INTENDED AS FINAL.
- LOT DIMENSIONS AND LOT AREAS ARE PRELIMINARY AND SUBJECT TO CHANGE DURING FINAL DESIGN.



CITY OF MORGAN HILL PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER

Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

730 & 760 DIANA AVENUE TENTATIVE MAP

C2.0
1/22/2025

20231724-10