

GEN. CONSTRUCTION NOTES

ANY VARIATION FROM THE SPECIFIED DESIGN, FINISH PRODUCTS OR EXTERIOR ELEVATION STYLE IS TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO CONSTRUCTION.

ANY DISCREPANCY DISCOVERED ON THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF D&Z DESIGN ASSOCIATES PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ALL WORK TO BE IN CONFORMANCE WITH
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA HISTORICAL BUILDING CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA EXISTING BUILDING CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 CALIFORNIA REFERENCED STANDARDS CODE
2022 CALIFORNIA ELECTRICAL CODE,
AS WELL AS THE STATE AND LOCAL CODES.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.

VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE PRIOR TO CONSTRUCTION AND BIDDING.

SLOPE ALL FINISH GRADES A MIN. OF 5% FOR 10'-0" "AWAY" FROM STRUCTURE FOR POSITIVE DRAINAGE @ LANDSCAPED AREAS & SLOPE GRADE 2% MIN. @ PAVED AREAS.

THE BUILDER SHALL PROVIDE THE BUILDING OWNER, MANAGER, AND THE ORIGINAL OCCUPANTS A LIST OF THE ENERGY-SAVING CONSERVATION FEATURES DEVICES, MATERIALS, AND COMPONENTS INSTALLED IN THE BUILDING, AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. SUCH FEATURES INCLUDE HEATING, COOLING, WATER HEATING AND LIGHTING SYSTEMS, AS WELL AS INSULATION, WEATHERSTRIPPING WINDOW SHADES, AND THERMAL MASS MATERIALS. THE INSTRUCTIONS SHALL BE CONSISTANT WITH SPECIFICATIONS SET FORTH BY THE EXECUTIVE DIRECTOR

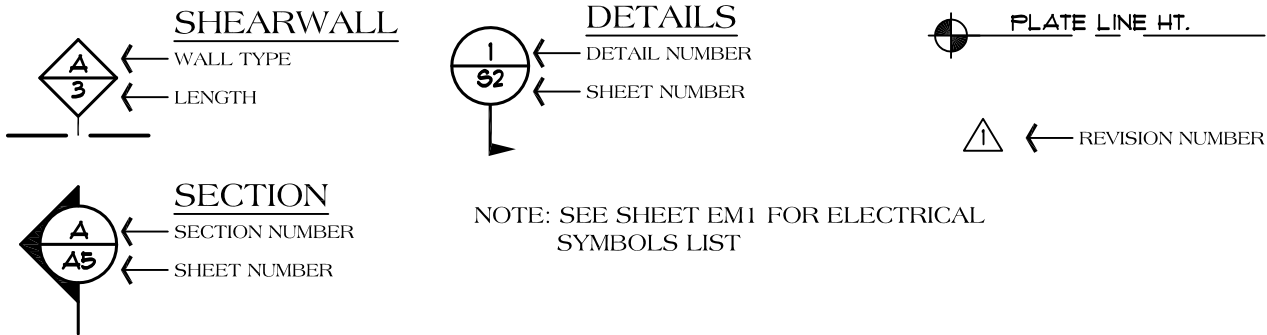
ALL WORK APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.E.C. TITLE 24 RESIDENTIAL ENERGY STANDARDS.

SEE SHEET T24 FOR ADDITIONAL ENERGY COMPLIANCE NOTES.
ENTIRE STRUCTURE INCLUDING GARAGES SHALL BE EQUIPPED WITH AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM HYDRAULICALLY DESIGNED PER NFPA 13D WITH GILROY AMENDMENT SPRINKLER SYSTEM THROUGHOUT THE STRUCTURE INCLUSIVE OF THE GARAGE.
A STATE OF CALIFORNIA LICENSED FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETE PERMIT APPLICATION AND APPROPRIATE FEES TO THE GILROY FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO ANY WORK RELATED TO THE SPRINKLER SYSTEM.

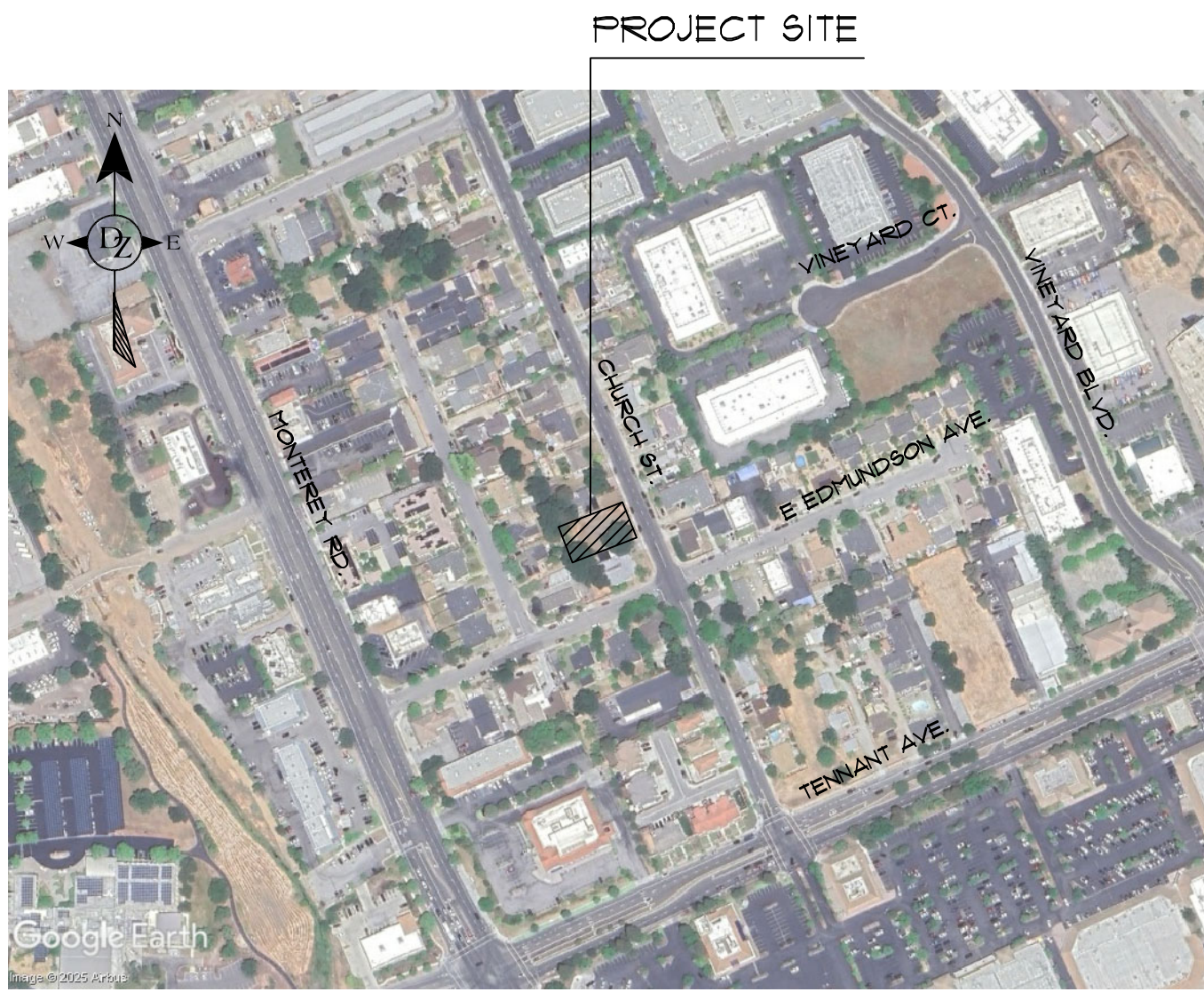
A SEPERATE PERMIT FOR THE SPRINKLER SYSTEM SHALL BE APPLIED FOR WITH THE GILROY FIRE DEPARTMENT. THE FIRE SPRINKLER PLANS & CALCULATIONS SHALL BE A DEFERRED SUBMITTAL & SHALL BE APPROVED AND A PERMIT ISSUED PRIOR TO INSTALLATION.

SPRINKLER SYSTEMS SHALL BE DESIGNED TO PROVIDE A MINIMUM DENSITY OF 0.05 GPM/S.F. (2.04 MM/MIN) OVER THE AREA OF THE GARAGE/AND OR CARPORT, BUT NOT TO EXCEED TWO SPRINKLERS FOR HYDRAULIC CALCULATION PURPOSES.

SYMBOLS



VICINITY MAP



CONSULTANTS

ARBORIST

San Jose Tree Service Inc.
Arborist: Robert Apolar
P.O. Box 8552
San Jose, Ca 95155
(408) 422-1313
Report dated: May 5, 2025

CIVIL ENGINEER

Hanna Brunetti
7654 Egleberry Street
Gilroy, California 95020
408-842-2173

LANDSCAPE DESIGN

Aitken Associates
8262 Rancho Real
Gilroy, California 95020
408-842-0245

SCOPE OF WORK

Proposal of a 2-story Multi-Family Residential building unit on an existing vacant residential parcel to be divided into 4 lots per proposed tentative map. 4-Plex building to include:
(4) 3-bedroom 2-story units with attached 1 car garages.
Scope to include grading, drainage, paving and landscaping.

Design permit requested for SB1123 review.
Project is located in Flood zone 'X'.

ABBREVIATIONS

A.B.	ANCHOR BOLT	LAVS	LAVATORIES
A.C.	ASPHALTC CONCRETE	LIN	LINE
A/C	AIR CONDITIONING	LT	LIGHT
ALUM.	ALUMINUM	MAT	MATERIAL
APPROX.	APPROXIMATE	MAX	MAXIMUM
ARCH.	ARCHITECTURAL	M.B.	MACHINE BOLT
ASPH.	ASPHALT	MCH.	MECHANICAL
		M.C.	MEDICINE CABINET
BD	BOARD	MFR	MANUFACTURER
BLDG.	BUILDING	MSM	MISCELLANEOUS
BLKG.	BLOCKING	MTD	MOUNTED
BM	BEAM		
BOTT.	BOTTOM	NO	NEW
		N.C.	NOT IN CONTRACT
CAB.	CABINET	N.O.	NOT TO SCALE
CEM.	CEMENT	N.O.	NOT TO SCALE
C.T.	CERAMIC TILE	N.O.	NOT TO SCALE
CL	CAST IRON	O.C.	ON CENTER
CLO.	CLOSET	O.C.	ON CENTER
CLR	CLEAR	O.P.	OUTSIDE FACE OF STUD
CLG	CILING	OPP.	OPPOSITE
C.M.U.	CONCRETE MASONRY UNIT	O.D.	OUTSIDE DIAMETER
C.O.	CLEAN OUT		
COL.	COLUMN		
COMP.	COMPOSITION	E	PLATE
CONN.	CONNECTION	P.A.	PROPERTY LINE
CONN.	CONNECTION	PLAS.	PLASTER
CONST.	CONSTRUCTION	PLY	PLYWOOD
CONT.	CONTINUOUS	PNL	PANEL
CSMT.	CASEMENT	PAS	POLE & SHELF
C.V.	COLD WATER	PT	POINT
		PR	PAIR
DBL	DOUBLE		
DET	DETAIL	R.A.	RETURN AIR
DR	DRILL	RD	ROUND
DM	DIMENSION	RD	ROUND
D.S.	DOWNSPOUT	REC	RECESSED
DYR	DRYER	REF	REFRIGERATOR
DW	DISH WASHER	RENF	REINFORCED/ENG
DWG	DRAWING	RES	RESIDENT
		RM	ROOM
EA	EACH	ROA	ROCK OIL OPENING
ELEC.	ELECTRICAL	REQ	REQUIRED
ELEV	ELEVATION	R.W.	RIGHT OF WAY
ENCL.	ENCLOSURE	RWD	REDWOOD
EQ	EQUAL	R.W.L.	RAIN WATER LEADER
EST	ESTIMATE		
EXP	EXPANSION	SCHED	SCHEDULE
EXT	EXISTING	S.C.	SOLID CORE
EXT	EXTERIOR	SECT.	SECTION
		S.F.	SQUARE FEET
FBRGL	FIBERGLASS	SH	SHEET
FD	FLOOR DRAIN	SHR	SHOWER
FND	FOUNDATION	SLD	SILDER
FF	FINISH FLOOR	SLD	SILDER
FG	FINISH GRADE	SLD GL DR	SILDER GLASS DOOR
FLR	FLOOR	SQ	SQUARE
FLU	FLUORESCENT	SQ	SQUARE
FOC	FACE OF CONCRETE	SQ	SQUARE
FOS	FACE OF STUD	SQ	SQUARE
FR DR	FRENCH DRAIN	STD	STANDARD
FT	FOOT	STL	STEEL
FTG	FOOTING	STR	STRUT
		STR	STRUCTURAL
GA	Gauge	SS	STAINLESS STEEL
GALV	GALVANIZED	SYM	SYMMETRICAL
GL	GALVANIZED		
GL	GROUND FAULT INTERRUPTER		
GLD	GLASS	TEMP	TEMPERED
GND	GROUND	THRESH	THRESHOLD
GYP. BD.	GYP. BOARD	T&G	TONGUE AND GROOVE
H.C.	HOLLOW CORE	T.O.F.	TOP OF FOOTING
H.D.	HOLD DOWN	T.O.P.	TOP OF PLATE
HDR	HEADER	T.O.S.	TOP OF SLAB
HDRD	HARDWOOD	T.O.W.	TOP OF WALL
HORIZ	HORIZONTAL	TP	TYPICAL
HR	HOLE		
HRS	HOLE BORE		
HT	HIGHT		
HC	HANDICAP		
HVAC	HEATING VENTILATION AND AIR CONDITIONING		
HW	HOT WATER		
ID	INSIDE DIAMETER		
INSUL	INSULATION		
INT	INTERIOR		
J.B.	JUNCTION BOX		
JUST	JUST		
KIT	KITCHEN		
KP	KICKER POST		
NS	NO STUD		

DRAWING INDEX

T1 Title Sheet

CIVIL

1 of 6 Cover Sheet
2 of 6 Existing Site Conditions
3 of 6 Vesting Tentative Map
4 of 6 Preliminary Grading Plan
5 of 6 Utility Plan
6 of 6 Erosion Control Plan

DESIGN

A1 Site Plan
A2.1 Entry Level Floor Plans
A2.2 Upper Level Floor Plans
A3.1 Exterior Elevations
A3.2 Exterior Elevations & Streetscape
A4 Cross Sections
A5 Roof Plan

LANDSCAPE

L-1 Planting Plan
L-2 Irrigation Plan
L-3 Planting & Irrigation Details

PROJECT DATA

OWNER:

AD92, LLC.
P.O. Box 7
Morgan Hill, California 95038
(408) 310-1360

LOT DATA:

APN: 817-03-028
Zoning: RAL 3000
Incorporated

Lot Size: 9754.5 sq. ft. (.22 ac.)

Building Coverage: 5203 sq. ft. 41%

Paving Coverage: ±2588 sq. ft. 27%

Landscaping: ±1959 sq. ft. 20%

Off Street Parking: 4 Covered Stalls

Occupancy Group: R3

Type of Construction: VB

Multi-Family Building:

Unit A

661 sq. ft. Entry Level
796 sq. ft. Upper Level
1457 sq. ft. Total Living Area
281 sq. ft. Garage
62 sq. ft. Covered Porch

Unit B

629 sq. ft. Entry Level
796 sq. ft. Upper Level
1425 sq. ft. Total Living Area
281 sq. ft. Garage
65 sq. ft. Covered Porch

Unit C

629 sq. ft. Entry Level
799 sq. ft. Upper Level
1428 sq. ft. Total Living Area
281 sq. ft. Garage
65 sq. ft. Covered Porch

Unit D

661 sq. ft. Entry Level
799 sq. ft. Upper Level
1460 sq. ft. Total Living Area
281 sq. ft. Garage
62 sq. ft. Covered Porch

2580 sq. ft. Total Entry Living Area
3190 sq. ft. Total Upper Living Area
5770 sq. ft. Total Building Living Area

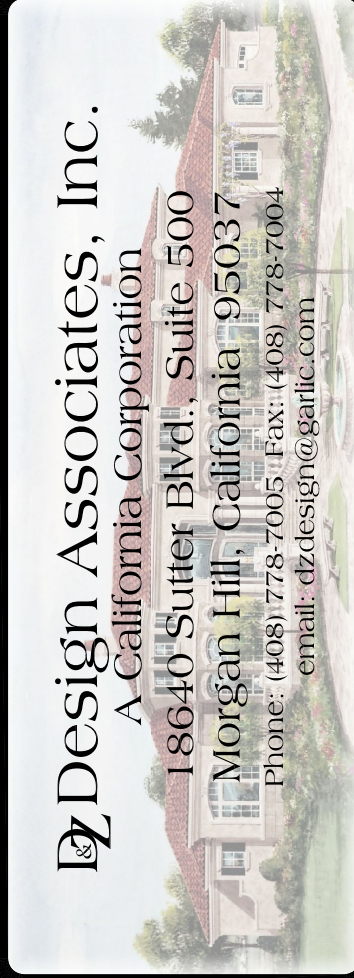
Gilroy, California

AD92 Homes

16165 Church Street

NO.	DATE/	REVISION

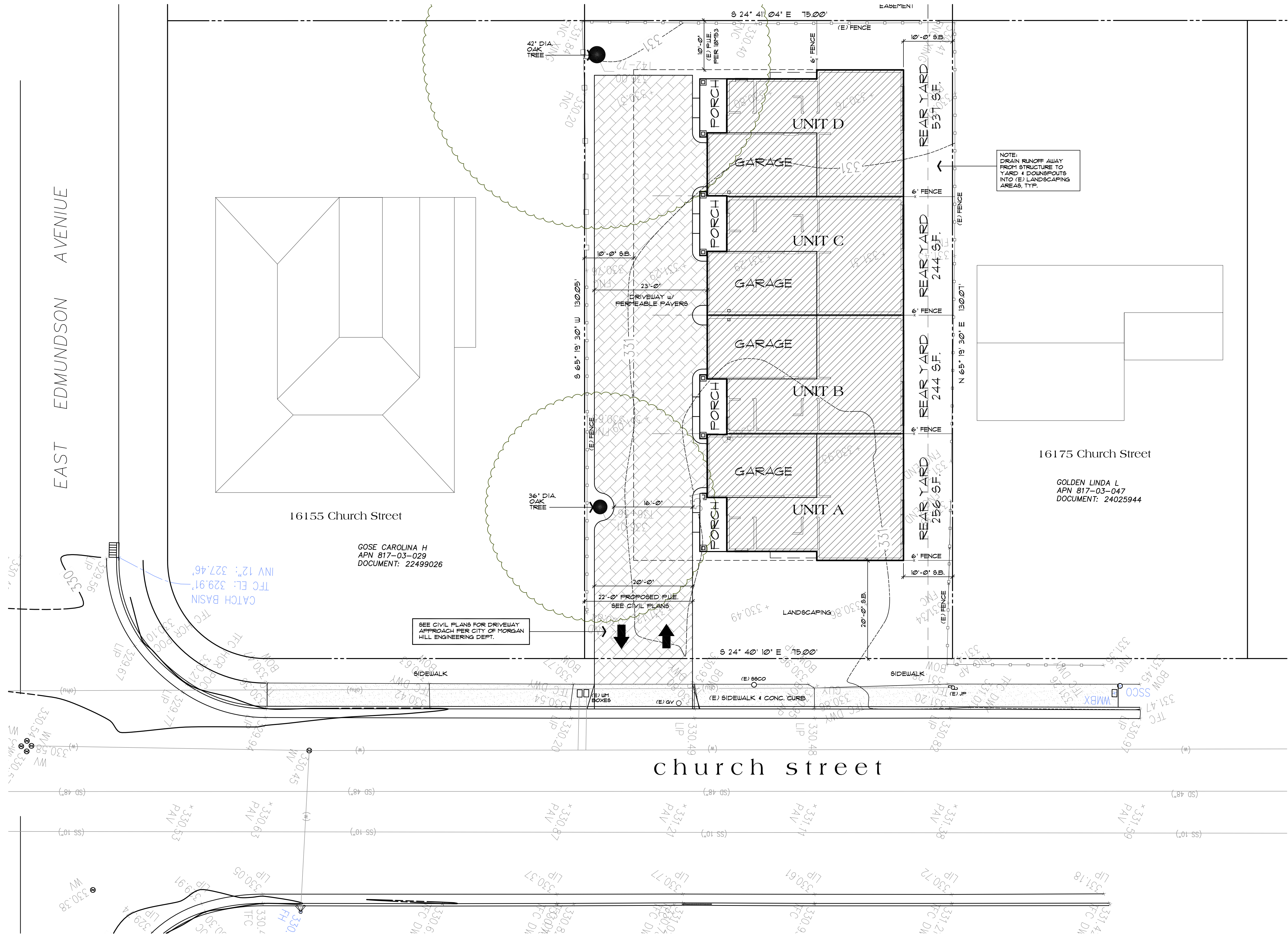
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DRAWING TITLE	Title Sheet
JOB TITLE	AD92 Homes
JOB ADDRESS	16165 Church Street Morgan Hill, California

DATE	OCT. 20 2025
SCALE	NONE
PROJECT MANAGER	SCOTT ZAZUETA
DRAWN	DZ
JOB NO.	DZ1025
SHEET	T1

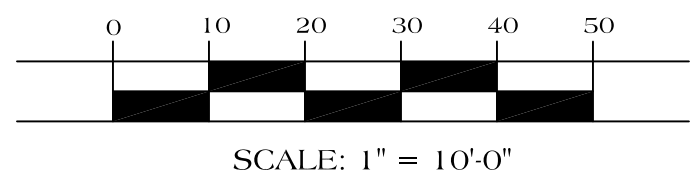
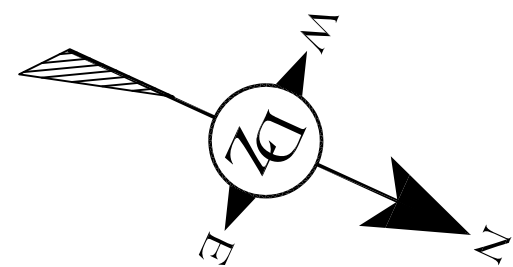
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PRELIMINARY SITE DEVELOPMENT PLAN

APN: 817-03-028
Lot Size: 9754.5 sq. ft. (.22 ac.)

scale: 1"=10'-0"



NO./ DATE/ REVISION

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DRAWING TITLE
Site Plan
JOB TITLE
AD92 Homes
JOB ADDRESS
16165 Church Street Morgan Hill, California

DATE
OCT. 20, 2025
SCALE
1"=10'-0"
PROJECT MANAGER
SCOTT ZAZULETA
DRAWN
SEZ
JOB NO.
DZ025
SHEET

A1

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Entry Level Floor Plan

AD92 Homes

16165 Church Street
Morgan Hill, California

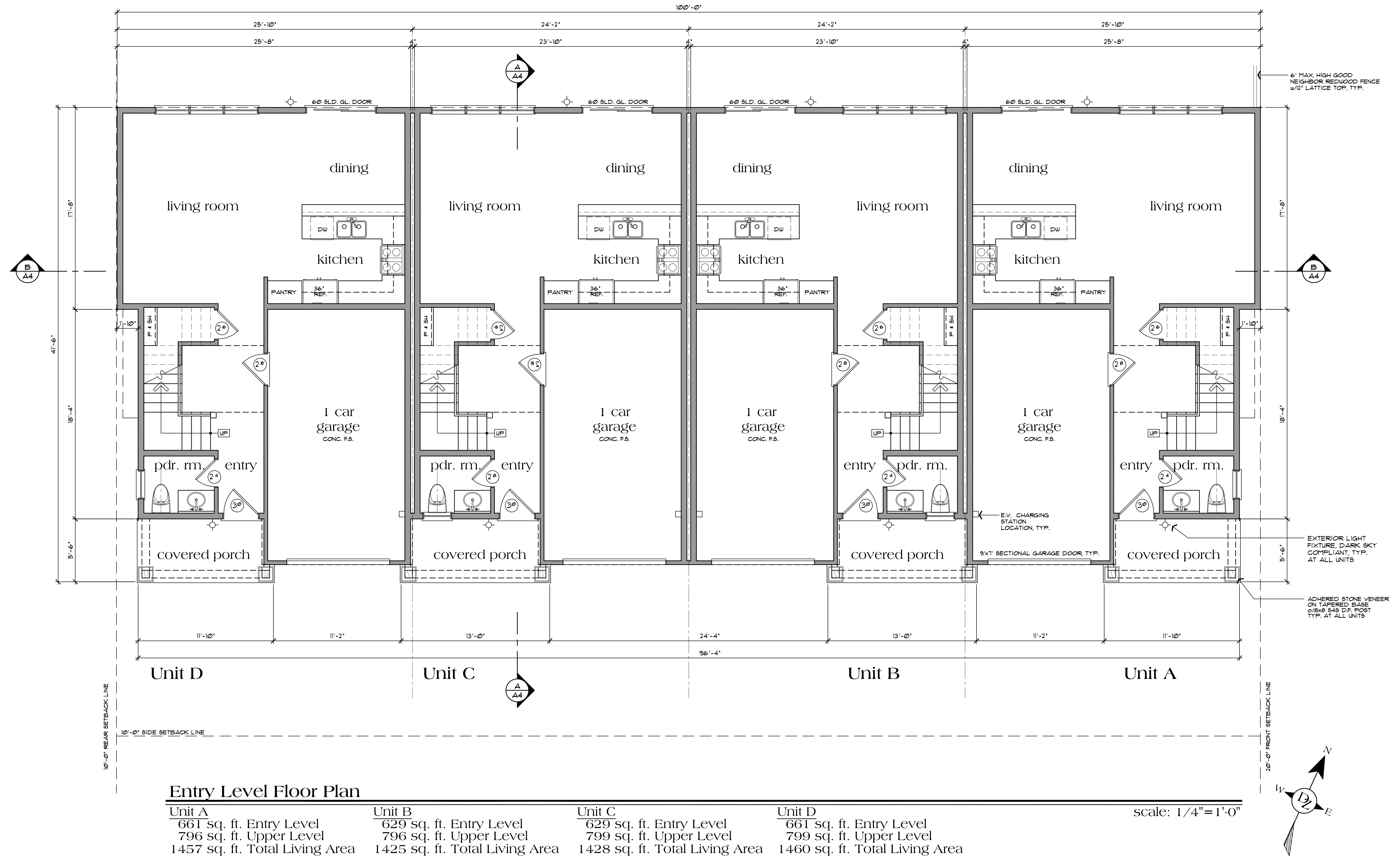
THE

JOB TITLE

JOB ADDRESS

DATE
OCT. 20, 2025
SCALE
1/4" = 1'-0"
PROJECT MANAGER
SCOTT ZAZUETA
DRAWN
FM
JOB NO.
DZ1025
SHEET

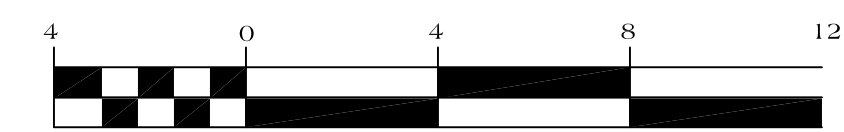
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Entry Level Floor Plan

Unit A	Unit B	Unit C	Unit D
661 sq. ft. Entry Level	629 sq. ft. Entry Level	629 sq. ft. Entry Level	661 sq. ft. Entry Level
796 sq. ft. Upper Level	796 sq. ft. Upper Level	799 sq. ft. Upper Level	799 sq. ft. Upper Level
1457 sq. ft. Total Living Area	1425 sq. ft. Total Living Area	1428 sq. ft. Total Living Area	1460 sq. ft. Total Living Area
281 sq. ft. Garage	281 sq. ft. Garage	281 sq. ft. Garage	281 sq. ft. Garage
62 sq. ft. Covered Porch	65 sq. ft. Covered Porch	65 sq. ft. Covered Porch	62 sq. ft. Covered Porch

scale: 1/4"=1'-0"



SCALE: 1/4"=1'-0"



south elevation



16155 Church Street



16178 Church Street



16165 Church Street (project site)



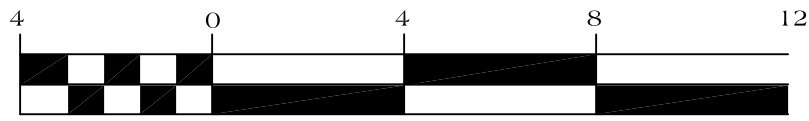
16160 Church Street



Church Street (corner across)



east elevation (church street)



SCALE: 1/4"=1'-0"

NO./ DATE/ REVISION

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DAZ Design Associates, Inc.
A California Corporation
18646 Sutter Blvd., Suite 500
Morgan Hill, California 95037
Phone: (408) 778-7045 Fax: (408) 778-7004
Email: dazdesign@barracuda.com

Exterior Elevations
AD92 Homes
16165 Church Street
Morgan Hill, California

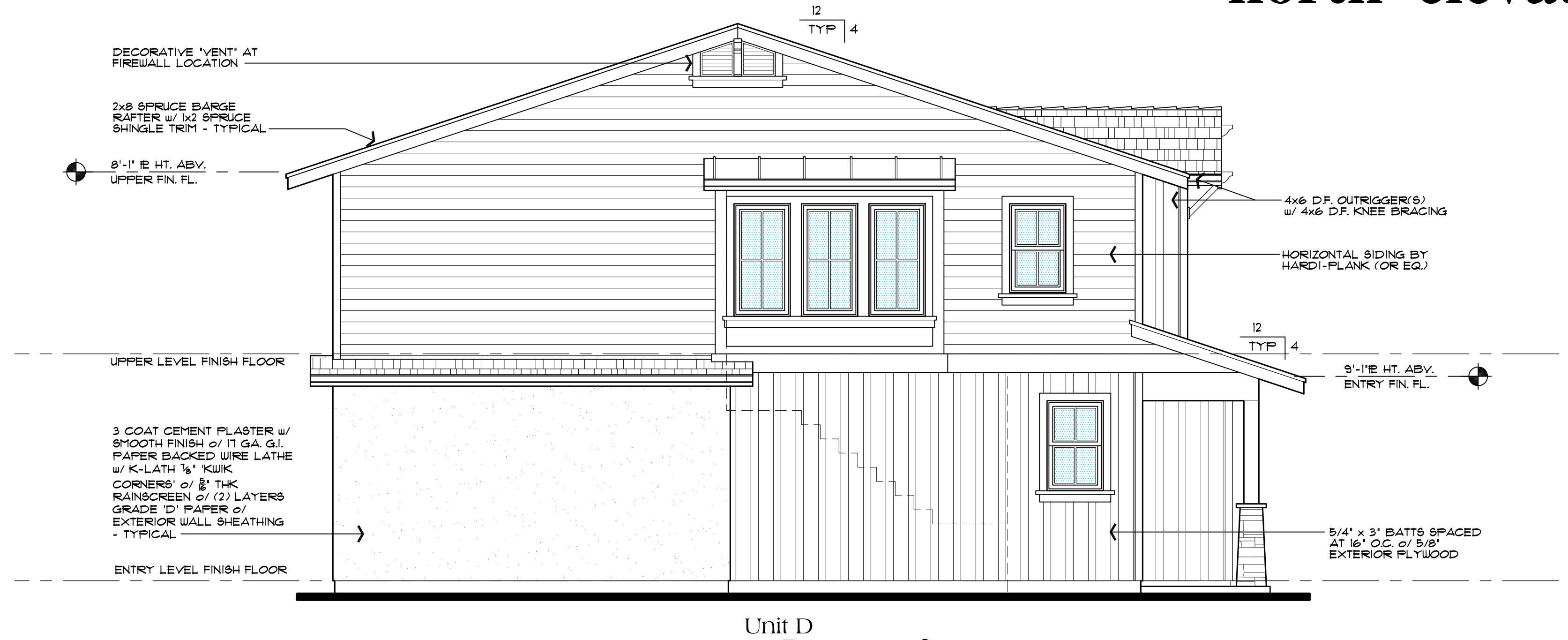
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OCT. 20, 2025
SCALE
PROJECT MANAGER
SCOTT ZAZULETA
DRAWN
JESSE
JOB NO.
DZ1025
SHEET

A3.1

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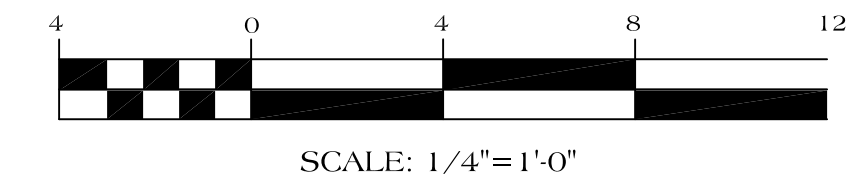
north elevation



west elevation

Material Specs.

1. ROOF MATERIAL (TYP.)
COMPOSITION SHINGLES
CERTAINTED LANDMARK TL SOLARIS
'COUNTRY GRAY'
 2. ROOF MATERIAL (TYP.)
STANDING SEAM METAL ROOF
ACS BUILDING PRODUCTS
'WEATHERED COPPER' LRV 11
 3. OVERALL WALL COLOR (UNIT A), POP-OUT (UNIT B & D)
SHERWIN WILLIAMS
'SHOW WHITE' SWU042, LRV 14
 4. OVERALL COLOR (UNIT B & C)
SHERWIN WILLIAMS
'ANONYMOUS' SWU046, LRV 20
 5. OVERALL COLOR (UNIT D), POP-OUT (UNIT A & C)
SHERWIN WILLIAMS
'ACCESSIBLE BEIGE' SWU036, LRV 36
 6. WINDOW & SLIDING DR. FRAMES (TYP.)
MILGARD WINDOWS & DOORS
'DARK BRONZE'
 7. RAFTER TAILS & GUTTERS (TYP.)
SHERWIN WILLIAMS
'SMOKEHOUSE' SWU040, LRV 36
 8. TRIM/COLUMNS/BELLYBAND
SHERWIN WILLIAMS
'MARSHMALLOW' SWU001, LRV 82
 9. DOOR COLOR (UNIT A & D)
SHERWIN WILLIAMS
'ARTICHOKE' SWU178, LRV 21
 10. DOOR COLOR (UNIT B & C)
SHERWIN WILLIAMS
'CLARY SAGE' SWU178, LRV 42
 11. STONE VENEER (TYP.)
EL DORADO STONE
FIELDLEDGE 'PADOVA'
- BUILDING ADDRESS NOTE:
SHALL BE PLACED ON ALL NEW BUILDINGS IN
SUCH A POSITION TO BE PLAINLY VISIBLE &
LEGIBLE FROM THE STREET OR ROAD
FRONTING THE PROPERTY. NUMBERS SHALL
CONTRAST WITH THEIR BACKGROUND & BE
MINIMUM OF 4" IN HEIGHT.



NO.	DATE	REVISION

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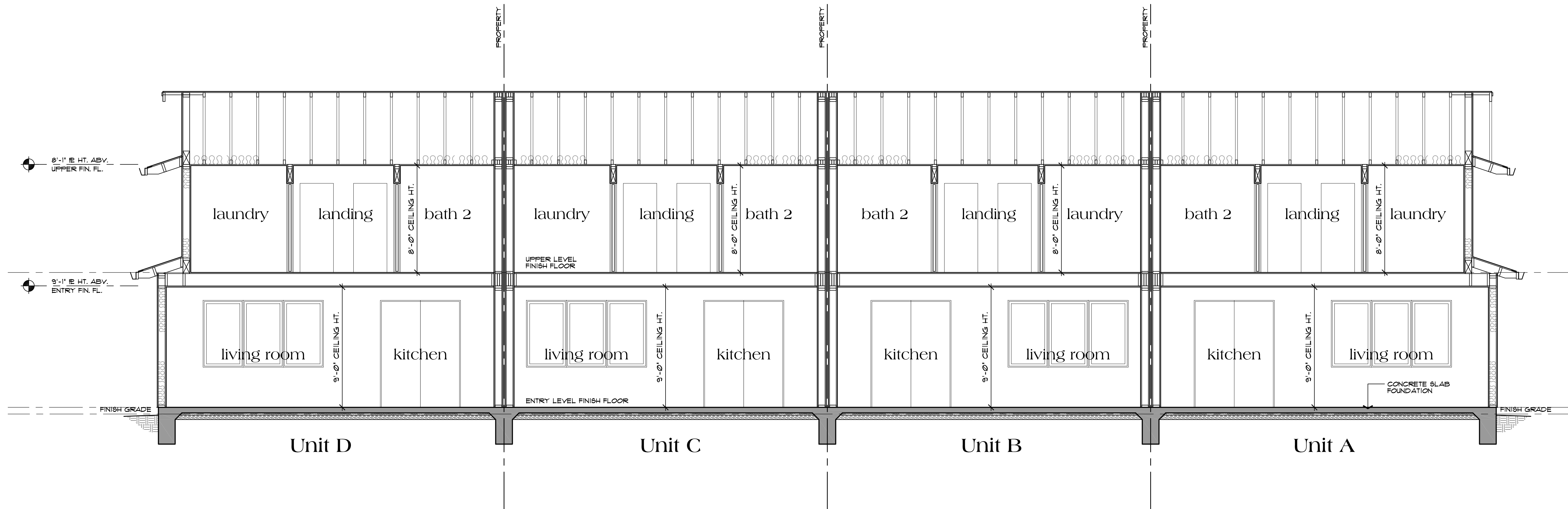
Design Associates, Inc.
A California Corporation
18646 Sutter Blvd., Suite 500
Morgan Hill, California 95037
Phone: (408) 778-7045 Fax: (408) 778-7004
Email: info@da-inc.com

DRAWING TITLE	Exterior Elevations & Streetscape
JOB TITLE	AD92 Homes
JOB ADDRESS	16165 Church Street Morgan Hill, California

DATE	OCT. 20, 2025
SCALE	1/4" = 1'-0"
PROJECT MANAGER	SCOTT ZAZULETA
DRAWN	SEZ/FM
JOB NO.	DZ025
SHEET	

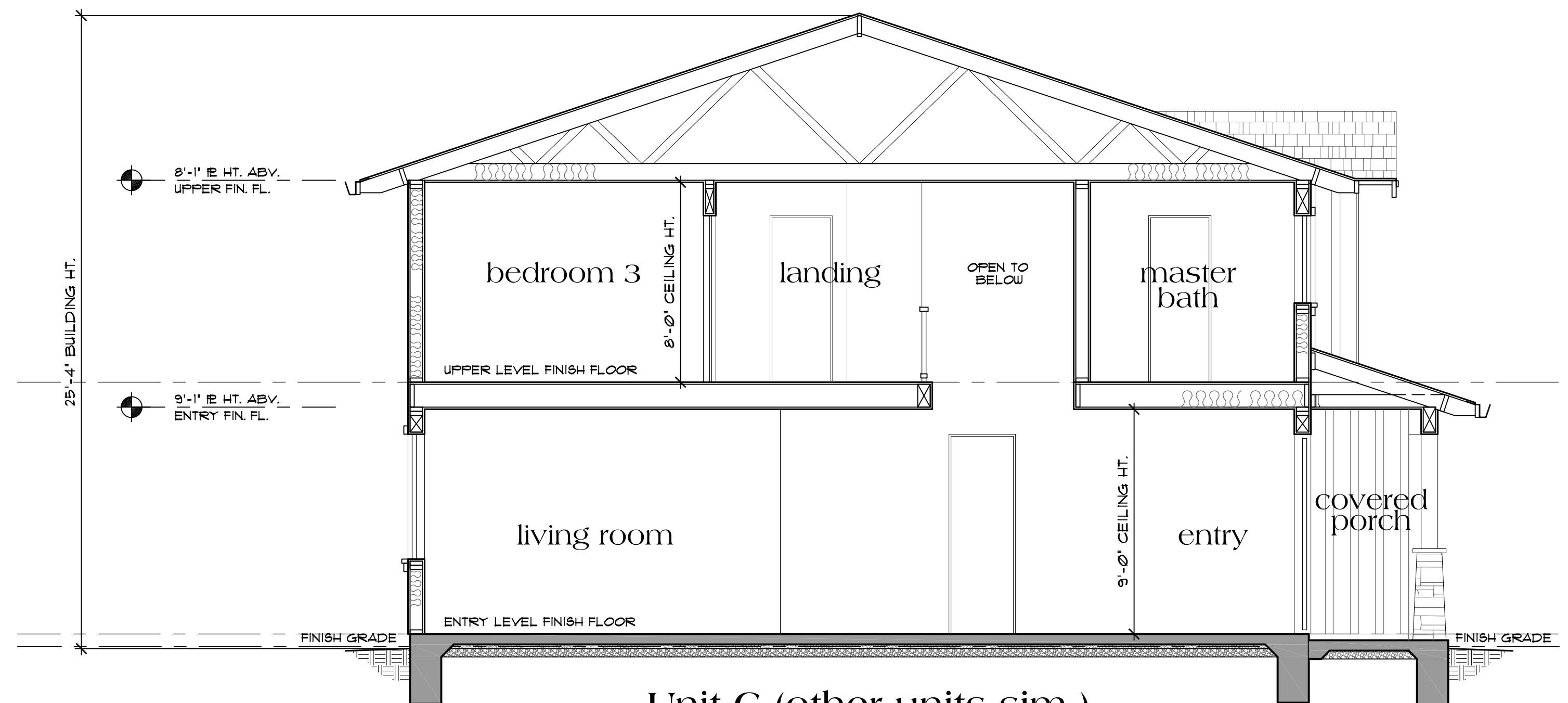
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B Cross Section

1/4" = 1'-0"



A Cross Section

1/4" = 1'-0"

NO./ DATE/ REVISION

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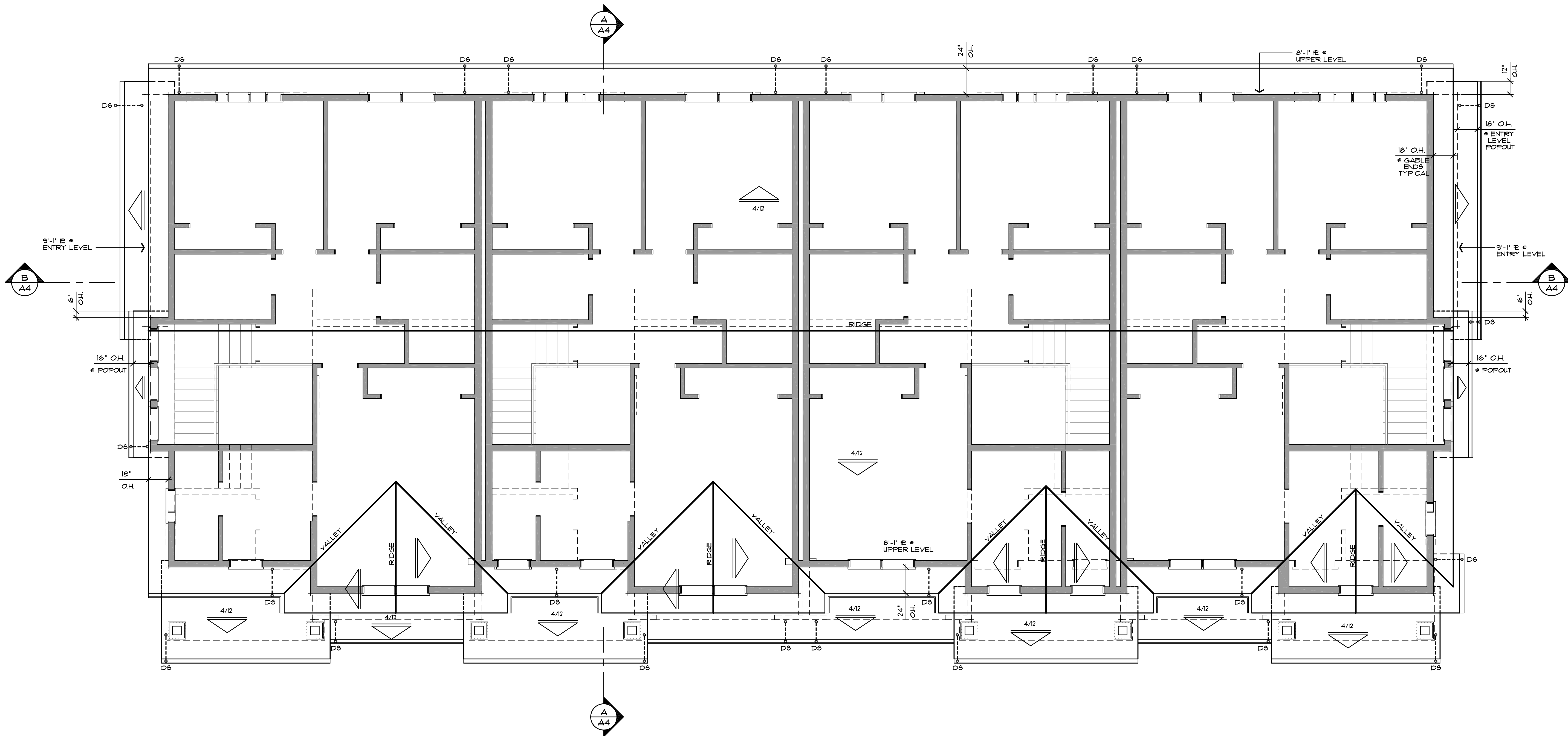


DRAWING TITLE	Cross Sections
JOB TITLE	AD92 Homes
JOB ADDRESS	16165 Church Street Morgan Hill, California

DATE	OCT. 20, 2025
SCALE	1/4" = 1'-0"
PROJECT MANAGER	SCOTT ZAZULETA
DRAWN	FM
JOB NO.	DZ1025
SHEET	

A4

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Roof Plan

ROOF PLAN NOTES:

ROOF SLOPE IS TO BE 4/12.

ARROWS INDICATE DIRECTION OF ROOF SLOPE.

MAIN LEVEL PLATE HEIGHT IS TO BE 9'-0\"/>

UPPER LEVEL PLATE HEIGHT IS TO BE 9'-0\"/>

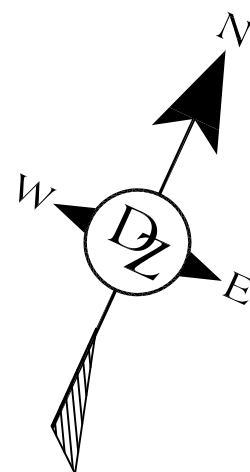
OVERHANGS ARE TO BE 24' AT EAVES & 18' AT RAKES / GABLE ENDS (UNO.)

PROVIDE EAVE VENTS FOR ATTIC VENTILATION PER CBC TYPICAL.

INSTALL G.I. MATERIAL ROOF JACKS FOR PLUMBING VENTS, ETC. AS REQUIRED.

PROVIDE 5\"/>

scale: 1/4"=1'-0"



NO./ DATE/ REVISION

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DRAWING TITLE
Roof Plan

JOB TITLE
AD92 Homes

JOB ADDRESS
16165 Church Street
Morgan Hill, California

DATE
OCT. 20, 2025
SCALE
1/4"=1'-0"
PROJECT MANAGER
SCOTT ZAZULETA
DRAWN
SEN
JOB NO.
DZI025
SHEET

A5