CHEVRON GAS STATION

17905 MONTEREY RD
MORGAN HILL, CA. 95037

ABBREVIATIONS

&	AND
∠	ANGLE
@	AT
℄	CENTERLINE
ø	DIAMETER OR ROUND
#	POUND OR NUMBER
A	
ACOUS.	ACOUSTICAL
ADJ.	ADJUSTABLE
AGGR.	AGGREGATE
AL.	ALUMINUM
APPROX.	APPROXIMATE
ARCH.	ARCHITECTURAL
ASB.	ASBESTOS
ASPH.	ASPHALT
A.C.	ASPHALTIC CONC.
A.B.	AGGREGATE BASE
B	
BD.	BOARD
BITUM.	BITUMINOUS
BLDG.	BUILDING
BLK.	BLOCK
BM.	BEAM
BOT.	BOTTOM
C	
C.C.	CENTER TO CENTER
CAB.	CABINET
C.B.	CATCH BASIN
CEM.	CEMENT
CER.	CERAMIC
C.I.	CAST IRON
C.G.	CORNER GUARD
CLG.	CEILING
CLG..	CAULKING
CLO.	CLOSET
CLR.	CLEAR
CMU	CONC. MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECTION
CONSTR.	CONSTRUCTION
CONT.	CONTINUOUS
CORR.	CORRIDOR
CTSK.	COUNTERSUNK
CNTR.	COUNTER
CTR.	CENTER
D	
DBL.	DOUBLE
DEPT.	DEPARTMENT
D.F.	DOUGLAS FUR
DET.	DETAIL
DIA.	DIAMETER
DIM.	DIMENSION
DISP.	DISPENSER
DKF.	DRINKING FOUNTAIN
DN.	DOWN
D.O.	DOOR OPENING
DR.	DOOR
DWR.	DRAWER
DS.	DOWN SPOUT
D.S.P.	DRY STANDPIPE
DWG.	DRAWING
E	
(E)	EXISTING
E.	EAST
EA.	EACH
E.J.	EXPANSION JOINT
EL.	ELEVATION
ELEC.	ELECTRICAL
ELEV.	ELEVATOR
EMER.	EMERGENCY
ENCL.	ENCLOSURE
E.P.	ELECTRICAL PANEL BOARD
EPS	EXTERIOR PAINT SYSTEM
EQ.	EQUAL
EQPT.	EQUIPMENT
E.W.C.	ELECTRIC WATER COOLER
EXPO.	EXPOSED
EXP.	EXPANSION
EXT.	EXTERIOR
F	
F.A.	FIRE ALARM
F.B.	FLAT BAR
F.D.	FLOOR DRAIN
FDN.	FOUNDATION
F.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTINGUISHER CAB.
F.H.C.	FIRE HOSE CABINET
FIN.	FINISH
FL.	FLOOR
FLASH.	FLASHING
FLUOR.	FLUORESCENT
F.O.C.	FACE OF CONCRETE
F.O.F	FACE OF FINISH
F.O.S.	FACE OF STUDS
FS	FLOOR SINK
FT.	FOOT OR FEET
FTG.	FOOTING
FURR.	FURRING
FUT.	FUTURE
G	
GA.	GAUGE
GALV.	GALVANIZED
G.B.	GRAB BAR
GC.	GENERAL CONTRACTOR
GL.	GLASS
GND.	GROUND
GR.	GRADE
GYP.	GYPSUM
H	
H.B.	HOSE BIBB
H.C.	HOLLOW CORE
HDWD.	HARDWOOD
HDWE.	HARDWARE
HGT.	HEIGHT
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HR.	HOUR
HS	HAND SINK
I	
I.D.	INSIDE DIAMETER(DIM.")
INSUL.	INSULATION
INT.	INTERIOR
IPS	INTERIOR PAINT SYSTEM
J	
JAN.	JANITOR
JT.	JOINT
K	
KIT.	KITCHEN
L	
LAB.	LABORATORY
LAM.	LAMINATE
LAV.	LAVATORY
LKR.	LOCKER
LT.	LIGHT
M	
MAX.	MAXIMUM
M.C.	MEDICINE CABINET
MECH.	MECHANICAL
MEMB.	MEMBRANE
MTL.	METAL
MFR.	MANUFACTURER
MH.	MANHOLE
MIN.	MINIMUM
MIR.	MIRROR
MISC.	MISCELLANEOUS
M.O.	MASONRY OPENING
MS	MOP SINK
MTD.	MOUNTED
MUL.	MULLION
N	
(N)	NEW
N.	NORTH
N.I.C.	NOT IN CONTRACT
NO. OR #	NUMBER
NOM.	NOMINAL
N.T.S.	NOT TO SCALE
O	
O.A.	OVERALL
OBS.	OBSCURE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OFF.	OFFICE
OPNG.	OPENING
OPP.	OPPOSITE
O.S.B.	ORIENTED STRAND BOARD
P	
P.F.	PER FOOT
PRCST.	PRECAST
PL.	PLATE
P.LAM.	PLASTIC LAMINATE
PLAS.	PLASTER
PLYWD.	PLYWOOD
PR.	PAIR
PT.	POINT
P.T.D.	PAPER TOWEL DISPENSER
P.T.D.F.	PRESSURE TREATED DOUGLAS FUR
P.T.D./R.	COMBINATION PAPER TOWEL DISPENSER & RECEPTACLE
PTN.	PARTITION
P.T.R.	PAPER TOWEL RECEPTACLE
Q	
Q.T.	QUARRY TILE
R	
R.	RISER
RAD.	RADIUS
R.D.	ROOF DRAIN
REF.	REFERENCE
REFR.	REFRIGERATOR
REGTR.	REGISTER
REINF.	REINFORCED
REQ.	REQUIRED
RESIL.	RESILIENT
RM.	ROOM
R.O.	ROUGH OPENING
RWD.	REDWOOD
R.W.L.	RAIN WATER LEADER
S	
S.	SOUTH
S.C.	SOLID CORE
S.C.D	SEAT COVER DISPENSER
SCHED.	SCHEDULE
S.D.	SOAP DISPENSER
SECT.	SECTION
SH.	SHELF
SHR.	SHOWER
SHT.	SHEET
SIM.	SIMILAR
S.N.D.	SANITARY NAPKIN DISPENSER
S.N.R.	SANITARY NAPKIN RECEPTACLE
SPEC.	SPECIFICATION
SQ.	SQUARE
S.S.	STAINLESS STEEL
S.SK.	SERVICE SINK
STA.	STATION
STD	STANDARD
STL.	STEEL
STOR.	STORAGE
STRL.	STRUCTURAL
SUSP.	SUSPENDED
SYM.	SYMMETRICAL
T	
TRD.	TREAD
T.B.	TOWEL BAR
T.O.C.	TOP OF CURB
TEL.	TELEPHONE
TER.	TERRAZZO
T.&G.	TONGUE AND GROOVE
T.O.P.	TOP OF PAVEMENT
T.P.D.	TOILET PAPER DISPENSER
T.V.	TELEVISION
T.O.W.	TOP OF WALL
TYP.	TYPICAL
U	
UNF.	UNFINISHED
U.O.N.	UNLESS OTHERWISE NOTED
UR.	URINAL
V	
VERT.	VERTICAL
VEST.	VESTIBULE
W	
W.	WEST
W/	WITH
W.C.	WATER CLOSET
WD.	WOOD
W/O	WITHOUT
WP.	WATERPROOF
WSCT.	WAINSCOT
WT.	WEIGHT

GENERAL NOTES

1. Scope: Provide all items, articles, materials and operations including labor, materials, equipment and incidentals necessary for a complete job.
2. Materials and equipment shall be installed, applied, or erected in accordance with manufactures recommendations or requirements, unless the drawings exceed those requirements or recommendations.
3. By executing the contract, the General Contractor affirms he has visited the site and is familiar with the conditions under which the work is to be performed.
4. Responsible supervision shall be at the site during all phases of construction.
5. Contractor to verify all conditions and dimensions at the site. All inconsistencies shall be brought to the attention of the Architect before proceeding with the work.
6. Conform to the current edition of all adopted building codes and ordinances.
7. **DO NOT SCALE DRAWINGS, VERIFY AT SITE.**
8. Details not specifically shown shall be similar to adjacent details.
9. The Contractor shall coordinate the work of all trades and verify all dimensions.
10. No structural work shall be cut, notched or otherwise penetrated, unless approved in writing by the Architect in advance, unless detailed on the drawings.
11. The Contractor shall be responsible for the safety of the building and the occupants during construction, and shall provide adequate protection. Shoring and bridging shall be adequate for the construction. The Contractor shall comply with applicable safety requirements and codes.
12. Contractor shall provide debris box and keep premises clean daily.
13. Provide construction dust barriers as required by governing authority.
14. Provide adequate blocking for all fixtures.
15. Prior to excavation, determine and verify location of utility services in all areas to be excavated.
16. Contractor shall comply with all pertinent laws, codes, regulations, C.B.C., governing agencies and manufactures specifications, unless greater requirements are indicated, and/or are necessary for the safety of the project.
17. The owner shall pay for all standard permits required for the construction documents.
18. The General Contractor shall provide owner with a construction schedule prior to starting the work, and shall provide a qualified superintendent throughout the work.
19. Unless stated otherwise in the scope of work summary, the General Contractor shall install all other procedures, testing and materials.
20. Local jurisdiction business licenses are/may be required for all Contractors and Subcontractors providing work on the building or site.
21. The General Contractor shall provide barricades and safety signs per O.S.H.A. requirements, and provide testing of the petroleum system and controls (including a systems Petrotite test), and of all new and modified air, water and electrical systems.
22. Construction activities shall be limited to the following hours of operations (failure to comply with following hours of operations would result in withholding of inspection):

    6:00 a.m. to 7:00 p.m. Monday thru Friday
    9:00 a.m. to 6:00 p.m. Saturday
    No construction on Sunday
23. Mitigate impacts that could be triggered from construction. The Contractor will shield unwanted glare from machines or temporary use of equipment.
24. The prime Contractor awarded the construction work will be required to have State Hazardous Substance Removal Certification in addition to their State Contractor's license.
25. Any excavated material that is of a suspicious nature will be stockpiled on-site; samples will be taken by the consultant and tested for the presence of contaminants. Any excavated material that does not meet the requirements of the responsible regulatory agencies will be hauled off-site to an approved landfill. Any material that meets the requirements of the regulatory agencies will be placed back in the work area and/or disposed off-site to a normal disposal/recycling facility.
26. Any stockpiled material will be placed on plastic sheeting and covered with plastic sheeting to prevent spreading and mixing of the material.
27. Utility companies responsible for the relocation of facilities as part of the construction work in accordance with franchise agreements with the local jurisdiction will be required to provide their own monitoring program for the presence of hazardous materials during construction in accordance with all regulatory agencies.
28. If necessary, a technical report will be prepared by the local jurisdiction approved environmental consultant documenting conditions witnessed during the excavation work and any other tasks performed.
29. Particularly loud noises shall not occur before 8:00 a.m. on weekdays and not at all on weekends. The Assistant local jurisdiction Manager upon a determination that unusually loud construction activities are significantly impacting the neighbors may modify the hours of construction. Failure to comply with the above-described hours of operation may result in withholding inspections and possible construction prohibitions, subject to the review and approval of the Engineer.
30. Sidewalks, parking lots and other paved areas must be swept regularly to prevent the accumulation of litter and debris. If pressure washed, debris must be trapped and collected to prevent entry into the storm drain system. No cleaning agent may be discharged to the storm drain.
31. Landscaping shall be properly maintained and shall be designed with efficient irrigation practices to reduce runoff, promote surface filtration and minimize the use of fertilizers and pesticides, which can contribute to runoff pollution. Dead and dying plants shall be replaced.
32. All new building, canopy and site signage requires separate sign permits. Contact the planning department for submittal requirements.
33. Provide a continuous 6" high, 6" wide concrete curbing shall be provided around all planter areas within or adjacent to the parking lot and driveways.

CONSULTANTS

CIVIL ENGINEER

Stukam Engineering Consultants, Inc
11344 Coloma Road, Suite 235C
Gold River, CA 95670
916-835-5791
Contact: Fareed Siddiqui

LANDSCAPING:

Perry Design
Landscape Architecture Irrigation Design
2421 Cascade Trail
Cool, CA 95614
P: (530) 823-2621
Contact: Carol Brown

SCOPE OF WORK

WORK PROPOSED IN THIS PERMIT SET IS LIMITED TO:

- NEW PATH OF TRAVEL FROM EXISTING BUILDING TO PUBLIC RIGHT OF WAY
- TENANT IMPROVEMENT OF EXISTING CONVENIENCE STORE CONSISTING OF SELECTIVE DEMOLITION WORK AND ADDITION OF NEW SLAB ON GRADE AND NEW NON LOAD BEARING INTERIOR AND EXTERIOR PARTITIONS AND NEW FLOOR,WALL,CEILING FINISHES.

NEW TOILET ROOM TO MEET ACCESSIBILITY CODES. SITE TO BE IN FULL COMPLIANCE

ADD A NEW FUEL DISPENSER FOR A TOTAL OF 4 DISPENSERS.

REMOVE AND REPLACE THE FUEL CANOPY TO MEET CURRENT CODE REQUIREMENTS AND DESIGN GUIDE LINES.

BRANDING OF THE FUEL WILL CHANGE FROM VALERO TO CHEVRON.

REPLACE THE UNDERGROUND FUEL TANKS TO DOUBLE WALL TANKS AS REQUIRED BY CODE.

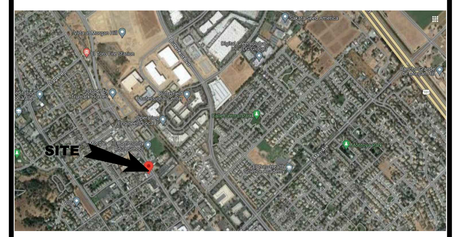
IT SHOULD BE NOTED THAT THE EXISTING STORAGE ROOM IS BELOW THE REQUIRED FLOOD FINISH FLOOR ELEVATION. THE EXISTING STORAGE ROOM IS BEING REMOVED AND REBUILT WITH THE REQUIRED FINISH FLOOR ELEVATION.

THERE WIL BE A NEW ENTRANCE MODIFED TO MEET THE DESIGN GUIDELINES.

SYMBOLS

- XX / XX / XX — INDICATES INTERIOR ELEVATIONS
- REVISION INDICATOR
- XX — EXTERIOR ELEVATION
- 3 / A601 — DETAIL NUMBER / SHEET NUMBER
- 05 — DOOR SYMBOL, SEE A203
- 5 — WINDOW SYMBOL, SEE A204
- 20 / A601 — BUILDING OR WALL SECTION DETAIL NUMBER / SHEET NUMBER
- 4 — KEYNOTE
- N — NORTH SYMBOL
- 5 — EQUIPMENT

VICINITY MAP



SCALE: N.T.S.

PROJECT DATA

ASSESSOR'S PARCEL NUMBER(S): 764-12-020

ZONING: FORM BASED CORRIDOR (FB-C)

PROJECT SITE AREA (GROSS): 17,424 S.F. (0.4 ACRES)

EXISTING BUILDING DATA:

STRUCTURE	CBC OCCUP.	TYPE OF CONST.	AREA
CONVENIENCE STORE	M	V B	1,594.8 SF
CONVENIENCE STORE	M	V B	415.4 SF
AUTO SERVICE BAYS	M	V B	789.4 SF
STORAGE (IN BACK)	M	V B	390 SF
FUEL CANOPY	M	IIB	1,254 SF

IMPROVEMENT BUILDING DATA:

STRUCTURE	CBC OCCUP.	TYPE OF CONST.	AREA
CONVENIENCE STORE	M	V B	1,594.4 SF
FUEL CANOPY	M	IIB	2,511 SF

FIRE SPRINKLERS: YES FIRE ALARM: YES

PARKING:

REQUIRED FOR NEW USE: 1 PER 200 SF = 8

ACTUAL PARKING : 5 STANDARD + 8 AT THE PUMPS = 13

PER AB 2097 NO PARKING IS REQUIRED GIVEN PROXIMITY TO TRANSIT.

FLOOD BFE= 353.6' TO 353.9' MIN. FLOOR ELEVATION TO BE 354.9'

BUILDING CODE ANALYSIS

DESIGN CODE: 2022 CBC, CFC, CMC, CPC, CEC, CGBSC, CA ENERGY CODE

FOR OCCUPANCY AND BUILDING USE: SEE PROJECT DATA

TYPE OF CONSTRUCTION: SEE PROJECT DATA

FIRE RATING: OHR (PER TABLE 601 & 602) FSD 10≤20≤ 30

FIRE SPRINKLERS: NO, BUT WILL BE REQUIRED

FIRE ALARM: NO

FLOOD PLANE: BFE: 253.6 EXISTING FINSH FLOOR: 254.85

HIGH FIRE HAZARD SEVERITY ZONE: NO
SEISMIC JOINTS: NO
EMERG. RESPONDER RADIO COVERAGE: NO

DRAWING INDEX

ARCHITECTURAL

A001	PROJECT COVER SHEET
A101	DEMOLITION SITE PLAN
A102	IMPROVED SITE PLAN
A103	SITE PHOTOS
A201	DEMOLITION AND NEW FLOOR PLANS
A301	DEMOLITION ELEVATIONS
A302	NEW ELEVATIONS
A801	CANOPY FLOOR AND REFLECTED CEILING PLAN
A802	CANOPY ELEVATIONS

CIVIL

C-1	EXISTING SITE CONDITIONS
C-2	PRELIMINARY GRADING / UTILITY PLAN
C-3	STORMWATER CONTROL PLAN

LANDSCAPING

L00	WELO DOCUMENTS, COVER SHEET
LP-1	PRELIMINARY PLANTING PLAN
LHP-1	HYDROZONE PLANTING PLAN
LI-1	PRELIMINARY IRRIGATION PLAN
LI-2	IRRIGATION NOTES
LI-3	IRRIGATION DETAILS

PHOTOMETRIC

PT1	SITE PHOTOMETRICS

CITY OF MORGAN HILL
PLAN APPROVED
THIS PLAN WAS APPROVED BY THE PLANNING DIVISION
ON January 9, 2026
UP2025-0002, SR2025,-0006: Monterey- Singreddy
FILE NUMBER
Richard Bruikema
PLANNING OFFICIAL

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CONSULTANTS:

STAMPS

PROJECT:

CHEVRON

17905 MONTEREY RD
MORGAN HILL CA. 95037

DEVELOPER:

NINGA SINGIREDDY
17905 Monterey Rd
Morgan Hill, CA 95037

REVISIONS:

PROFESSIONAL SEALS:

LICENSED ARCHITECT KURT WAGENKNECHT C-14729 NOV., 2025 GENERAL PRACTICE STATE OF CALIFORNIA

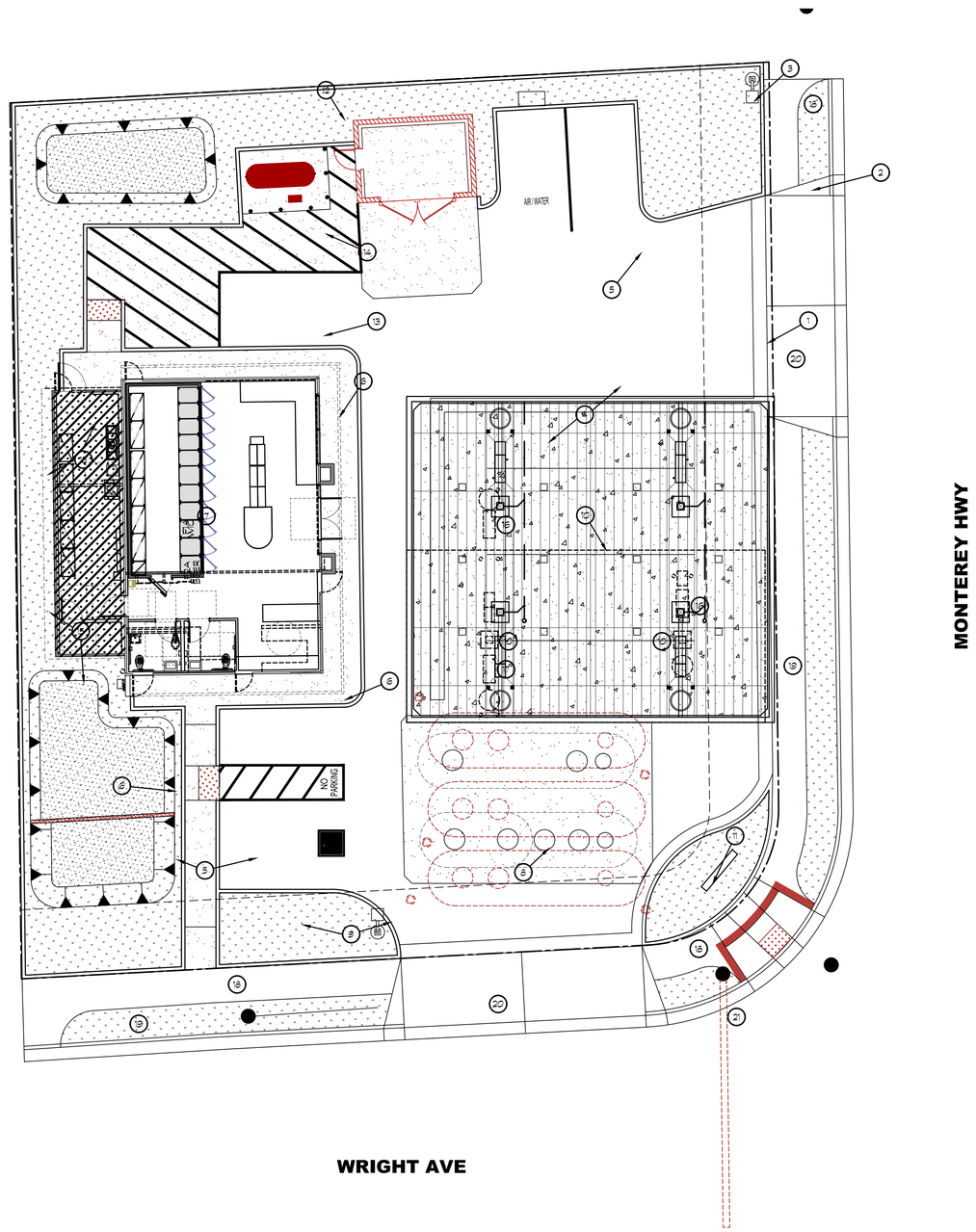
PROJECT NUMBER:	PROJECT DATE:
23-024	8-18-25

SHEET CONTENTS:

COVER SHEET

SHEET NUMBER:

A001



20 **DEMOLITION SITE PLAN**

SCALE: 1"=10'-0"

SITE PLAN KEYNOTES

1. PROPERTY LINE
2. EXISTING PUBLIC RIGHT-AWAY SIDEWALK TO REMAIN, TYP.
3. EXISTING SITE YARD LIGHT TO REMAIN, TYP.
4. EXISTING AC PAVEMENT TO REMAIN, TYP.
5. EXISTING TRAFFIC PAINT TO BE REMOVED, TYP.
6. EXISTING RAISED CONC. WALK TO BE REMOVED. SEE NEW SITE PLAN
7. FOR BUILDING DEMOLITION, SEE SHEET A201
8. EXISTING USTS TO BE REMOVED
9. EXISTING CONCRETE APRON TO BE REMOVED
10. EXISTING FUEL CANOPY AND ALL COMPONENTS TO BE REMOVED
11. EXISTING CURB/PLANTER TO BE REMOVED
12. EXISTING AIR/WATER MACHINE TO BE REMOVED
13. EXISTING CHAIN LINK ROLLING GATE TO BE REMOVED
14. EXISTING CHAIN LINK FENCE TO BE REMOVED
15. REMOVE EXISTING WALL AND REBUILD, INCLUDING CONCRETE SLAB.
16. REMOVE AND RELOCATE MPD TO NEW LOCATION.
17. REMOVE MPD TO NEW MPD AT THIS LOCATION LOCATION.
18. EXISTING POWER POLE
19. REMOVE EXISTING DRIVEWAY, NEW SIDEWALK
20. EXISTING DRIVEWAY LOCATION TO REMAIN
21. EXISTING STREET LIGHT TO REMAIN

CITY OF MORGAN HILL

PLAN APPROVED

THIS PLAN WAS APPROVED BY THE PLANNING DIVISION

ON January 9, 2026

UP2025-0002, SR2025,-0006: Monterey- Singreddy

FILE NUMBER

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PROFESSIONAL SEALS:

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KURT WAGENKNECHT
C-14729
NOV., 2025
REGISTERED PROFESSIONAL ARCHITECT
STATE OF CALIFORNIA

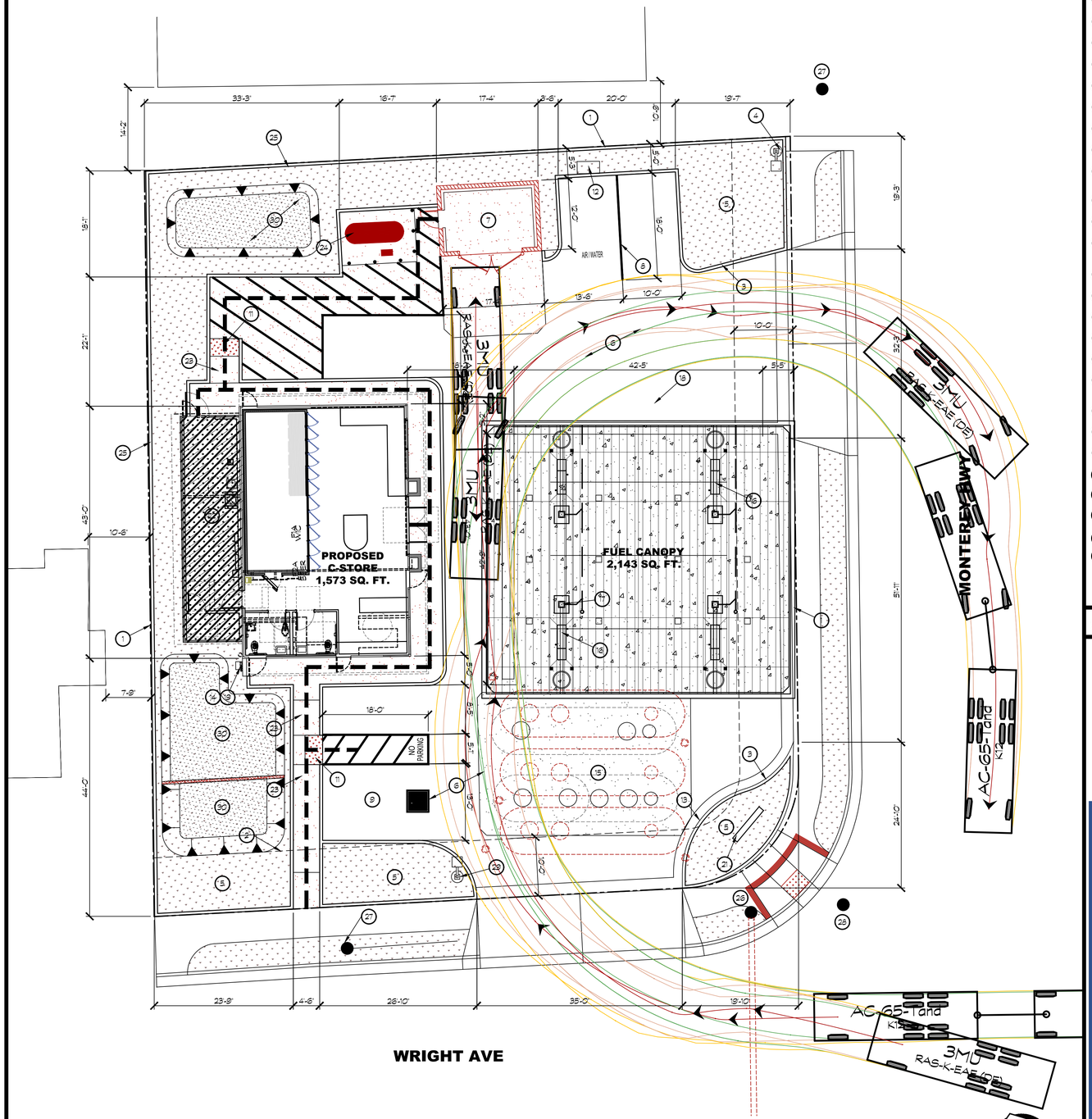
PROJECT NUMBER:	PROJECT DATE:
24-012	8-18-25

SHEET CONTENTS:

DEMOLITION SITE PLAN

SHEET NUMBER:

A101



SITE PLAN KEYNOTES

1. PROPERTY LINE
2. DASHED LINE OF 10'-0' SETBACK
3. CONCRETE CURB- 6' HIGH.
4. SITE YARD LIGHT. WITH CONCRETE BASE SHALL HAVE A DRY SACK FINISH. TYPICAL., HEIGHT 15' WITH SHIELDS TO STOP LIGHT FROM GOING OVER PROPERTY LINE.
5. LANDSCAPING, SEE LANDSCAPING DRAWINGS.
6. AC PAVING
7. TRASH ENCLOSURE AND CONC. APPROACH SLAB.
8. 4" WIDE PAINT STRIPING, WHITE, UNLESS NOTED OTHERWISE.
9. ACCESSIBLE VAN PARKING STALL. SEE DETAIL AS INDICATED
10. 4" WIDE PAINT STRIPING, WHITE, AT 3'-0' O.C. TYP.
11. TRUNCATED DOMES - WIDTH OF ACCESS x 36" DEEP. SEE DETAIL AS INDICATED
12. AIR & WATER SERVICE ON CONCRETE PAD. SEE DETAIL AS INDICATED
13. DASHED LINE INDICATES RED PAINTED CURB WITH "NO PARKING-FIRE LANE" STENCILED IN WHITE LETTERS, PER CITY FIRE DEPT. STANDARDS.
14. VENT RISERS.
15. INSTALL UNDERGROUND STORAGE TANKS
16. INSTALL MULTI-PRODUCT FUEL DISPENSER. SEE FS SHEETS FOR FUEL DRAWINGS.
17. CANOPY COLUMN
18. DASHED LINE OF CANOPY ABOVE.
19. EMERGENCY SHUT-OFF AND OVERFILL ALARM.
20. FUEL EMERGENCY SHUT OFF SWITCH
21. GAS PRICE MONUMENT SIGN.
22. RAISE FLOOR SLAB TO EXISTING FINISH FLOOR, WITH NEW EXTERIOR WALLS & ROOF TO REPLACE EXISTING
23. ACCESSIBLE CURB RAMP
24. 500 GALLON PROPANE TANK
25. NEW 7' HIGH MASONRY WALL, ALONG NORTH AND WEST PROPERTY LINES.
26. EXISTING TRAFFIC LIGHT POLE TO REMAIN
27. EXISTING POWER POLE-MAYBE REMOVED IF UNDERGROUNDED.
28. EXISTING POWER POLE MAYBE REMOVED IF UNDERGROUNDED, IF NOT IT WOULD HAVE TO BE RELOCATED.
29. NEW AREA LIGHT. HEIGHT 20'
30. STORM WATER DETENTION AREA

SITE LEGEND

- EXISTING CONCRETE DRIVE SLAB
- NEW CONCRETE
- NEW LANDSCAPE. SEE LANDSCAPE DRAWINGS

ALL WALKWAYS AND SIDEWALKS ALONG ACCESSIBLE ROUTES OF TRAVEL (1) ARE CONTINUOUSLY ACCESSIBLE, (2) HAVE A MAXIMUM 1/2" CHANGE IN ELEVATION, (3) ARE MINIMUM 48" IN WIDTH, [illegible] (4) WHERE NECESSARY TO CHANGE ELEVATION A [illegible] COMPLYING WITH 2022 CBC, SECTION 11B-405 OR 11B-406 AS APPROPRIATE. WHERE A WALK CROSSES OR ADJOINS A VEHICULAR WAY, AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, RAILINGS OR OTHER BARRIERS, THE [illegible] SHALL BE DEFINED BY A [illegible] COMPLYING 2022 CBC, SECTION 11B-705.1.2.5.

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY THE PLANNING DIVISION

ON January 9, 2026

UP2025-0002, SR2025,-0006: Monterey- Singreddy

FILE NUMBER

Richard Buikema

PLANNING OFFICIAL

20 IMPROVED SITE PLAN

SCALE: 1"=10'-0"

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NINGA SINGIREDDY
17905 Monterey Rd
Morgan Hill, CA 95037

REVISIONS:

PROFESSIONAL SEALS:

LICENSED ARCHITECT KURT WAGENKNECHT C-14729 NOV. 2025 RENEWAL DATE STATE OF CALIFORNIA

PROJECT NUMBER:	PROJECT DATE:
23-024	8-18-25

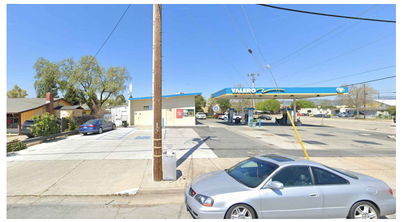
SHEET CONTENTS:

IMPROVED SITE PLAN

SHEET NUMBER:

A102

1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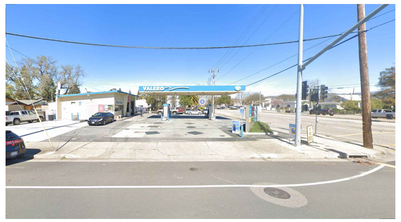
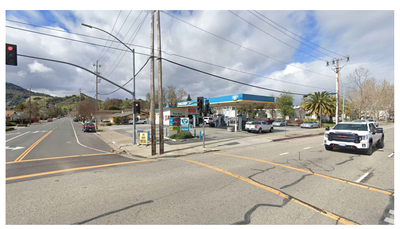

3

4

5

6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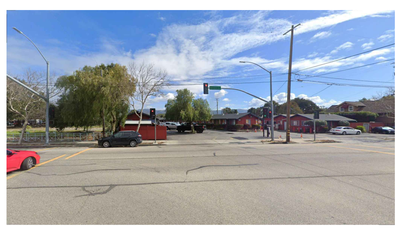
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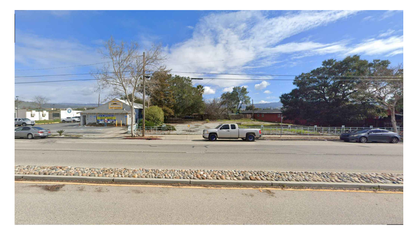
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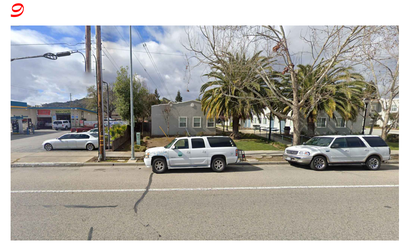
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12

SITE PHOTOGRAPHS

SCALE: N.T.S.

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RENEWAL DATE
STATE OF CALIFORNIA

PROJECT NUMBER: 24-012

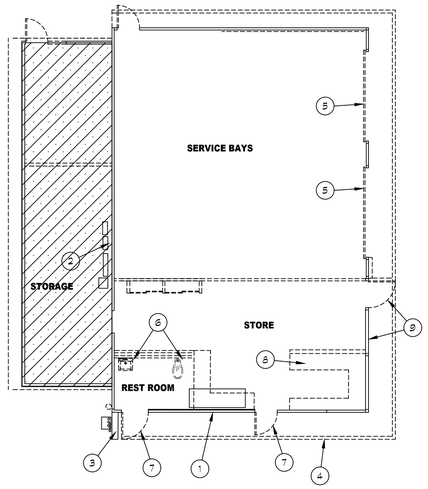
PROJECT DATE: 01-02-2024

SHEET CONTENTS:

SITE PHOTOS

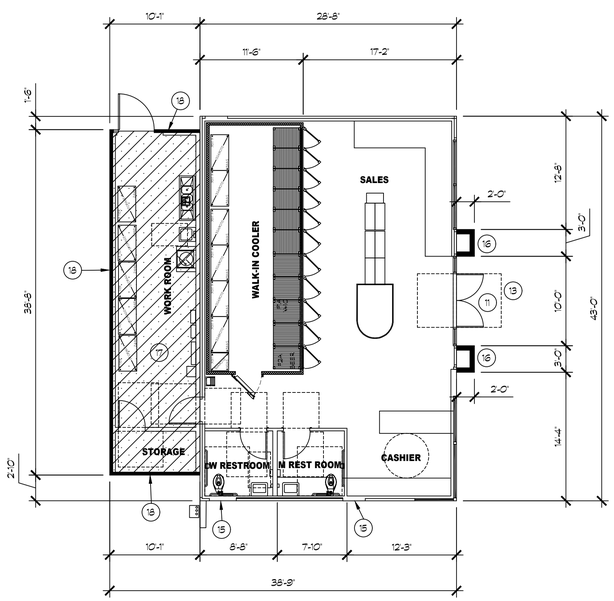
SHEET NUMBER:

A103



18 DEMOLITION FLOOR PLAN

SCALE: 1/8" = 1'-0"



20 IMPROVEMENT FLOOR PLAN

SCALE: 1/8" = 1'-0"

KEY NOTES

1. EXISTING METAL PANEL WALL TO REMAIN,TYP.
2. EXISTING ELECTRICAL PANELS TO REMAIN
3. EXISTING FUEL VENTS TO REMAIN
4. DASHED LINE OF ROOF OVERHANG ABOVE.
5. EXISTING OVERHEAD DOOR TO BE REMOVED
6. EXISTING PLUMBING FIXTURES AND ACCESSORIES TO BE REMOVED, TYP.
7. EXISTING DOOR TO BE REMOVED
8. EXISTING CASEWORK AND EQUIPMENT TO BE REMOVED
9. EXISTING STOREFRONT SYSTEM TO BE REMOVED, SEE DEMOLITION ELEVATIONS
10. NEW STOREFRONT SYSTEM, 4-1/2" ANODIZED ALUMINUM NARROW STYLE W/ DUAL GLAZING. PROVIDE SHOP DRAWINGS SHOWING ACTUAL DESIGN, SUPPORT, SECTIONS, SIZES AND REINFORCING. 9'-0" A.F.F.
11. DOUBLE 3'-0" X 7'-0" STOREFRONT DOOR
12. WALL/GLASS MOUNTED INTERNATIONAL SYMBOL OF ACCESSIBILITY DECAL LOCATED ADJACENT TO LATCH SIDE OF DOOR OR TO THE RIGHT OF DOUBLE DOOR ENTRY, TYP. MOUNT AT 5'-0" A.F.F.
13. DASHED LINE OF 5'-0" X 5'-0" FRONT APPROACH MANEUVERING CLEARANCE AT DOOR
14. DASHED LINE OF 4'-0" X 4'-0" FRONT APPROACH MANEUVERING CLEARANCE AT DOOR
15. NEW METAL PANEL AT OPENING
16. NEW FRAMED COLUMS TO SUPPORT NEW ENTRY TOWER.
17. REBUILD STORAGE ROOM IN SAME LOCATION, RAISE FLOOR TO C-STORE FLOOR HEIGHT. (CROSS HATCHED AREA)
18. NEW EXTERIOR WALLS

GENERAL NOTES

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY THE PLANNING DIVISION

ON January 9, 2026

UP2025-0002, SR2025,-0006: Monterey- Singreddy

FILE NUMBER

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C-14729
NOV., 2025
RENEWAL DATE
STATE OF CALIFORNIA

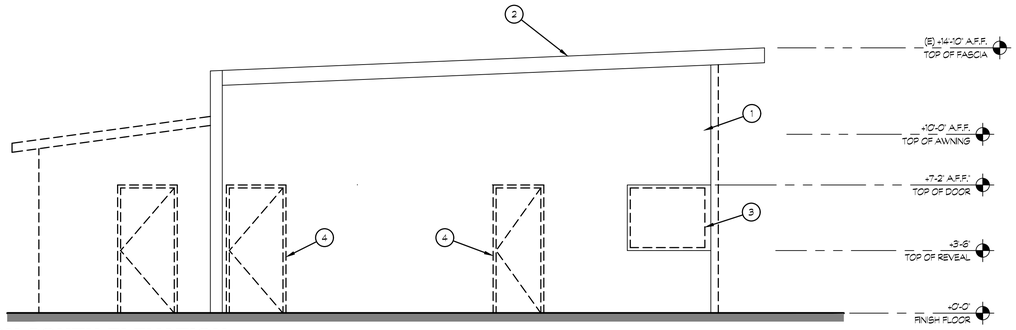
PROJECT NUMBER: **23-024**
PROJECT DATE: **8-18-25**

SHEET CONTENTS:

DEMOLITION & NEW FLOOR PLANS

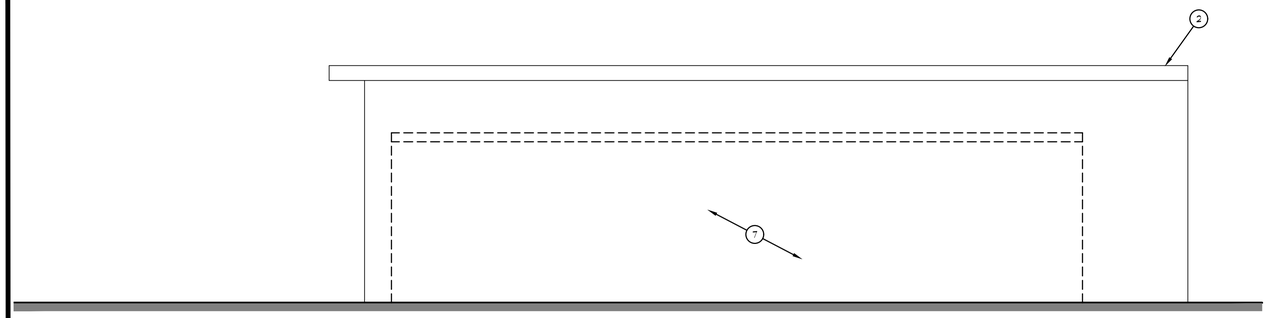
SHEET NUMBER:

A201



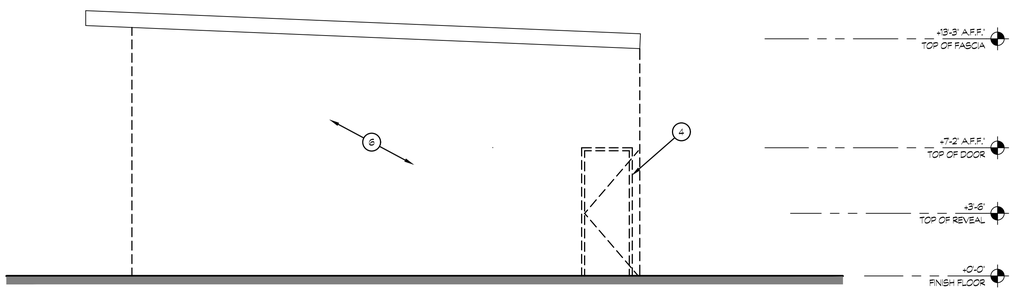
13 DEMOLITION SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



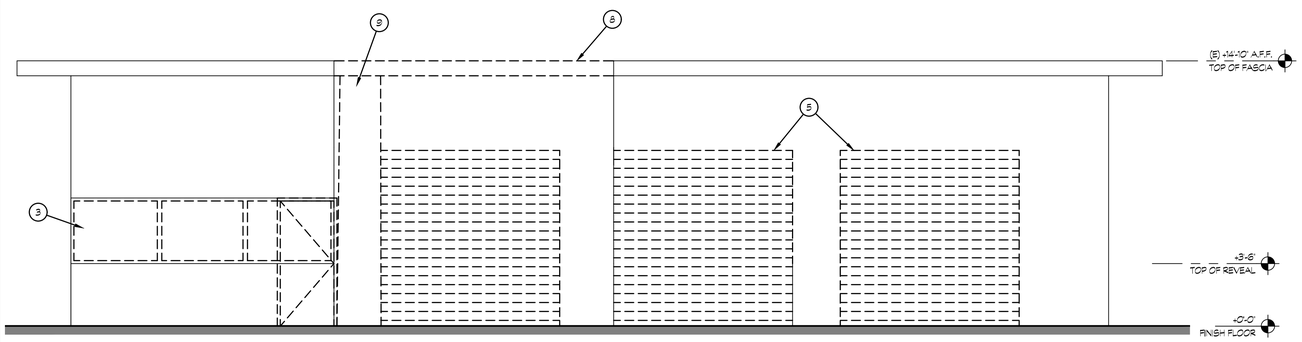
14 DEMOLITION WEST ELEVATION

SCALE: 1/4" = 1'-0"



15 DEMOLITION NORTH ELEVATION

SCALE: 1/4" = 1'-0"



16 DEMOLITION EAST ELEVATION

SCALE: 1/4" = 1'-0"

GENERAL NOTES

A. VERIFY LOCATION OF ALL EXISTING WALL AND OPENINGS PRIOR TO ANY WORK.

B. WHERE EXISTING CONSTRUCTION IS TO BE REMOVED, MODIFIED, OR DAMAGED DURING CONSTRUCTION, ALL FINISHES (INCLUDING:WALLS, FLOORS, AND CEILINGS) ARE TO BE PATCHED, FINISHED AND PAINTED TO MATCH ADJACENT EXISTING CONSTRUCTION. TAKE NEW FINISH TO THE NEAREST BREAK POINT.

KEY NOTES

1. EXISTING METAL PANEL WALL TO REMAIN
2. EXISTING METAL FASCIA TO REMAIN
3. EXISTING STOREFRONT SYSTEM TO BE REMOVED, SHOWN DASHED
4. EXISTING DOOR TO BE REMOVED
5. EXISTING OVERHEAD DOOR TO BE REMOVED, TYP. SEE NEW ELEVATIONS A302
6. EXISTING EXTERIOR METAL PANEL WALL TO BE REMOVED. SEE NEW ELEVATIONS A302
7. EXISTING STORAGE SPACE STRUCTURE TO BE REMOVED
8. EXISTING PARTIAL ROOF FASCIA OVERHANG TO BE REMOVED
9. EXISTING PILASTER TO BE REMOVED

CITY OF MORGAN HILL
PLAN APPROVED

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ON January 9, 2026

UP2025-0002, SR2025,-0006: Monterey- Singreddy
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NOV. 2025
RENEWAL DATE
STATE OF CALIFORNIA

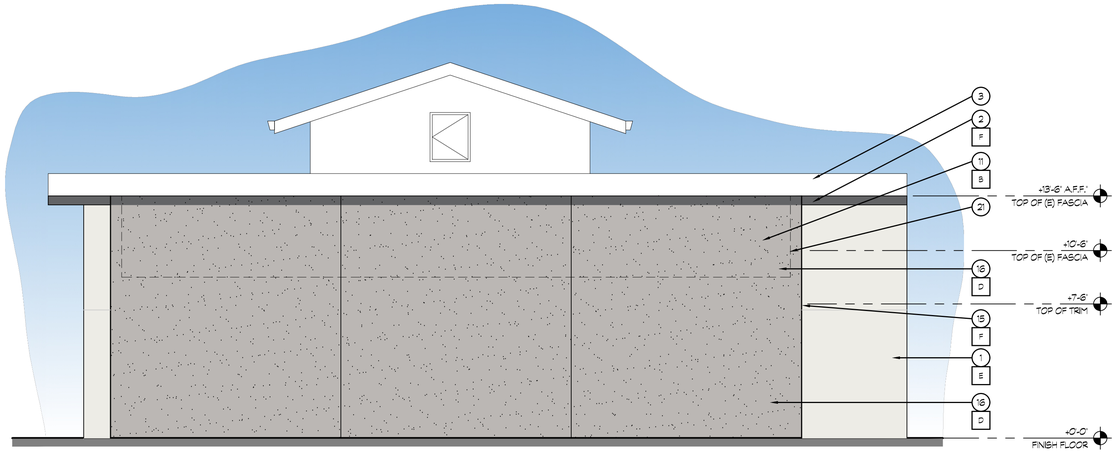
PROJECT NUMBER: **23-024**
PROJECT DATE: **10-12-2023**

SHEET CONTENTS:

DEMOLITION ELEVATIONS

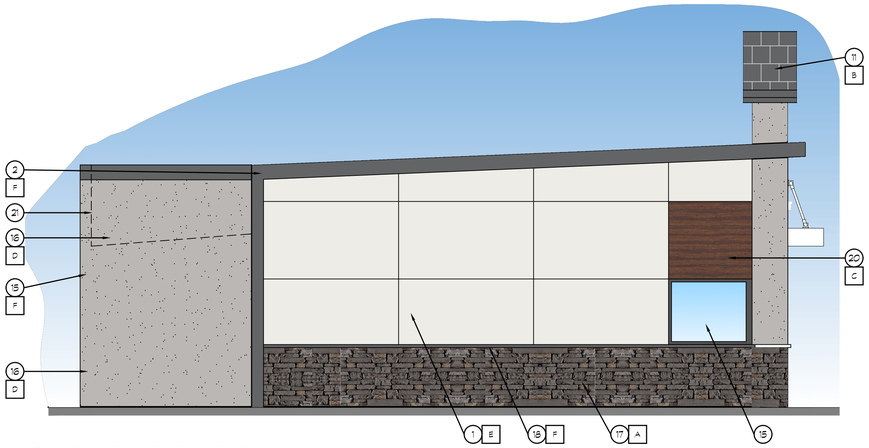
SHEET NUMBER:

A301



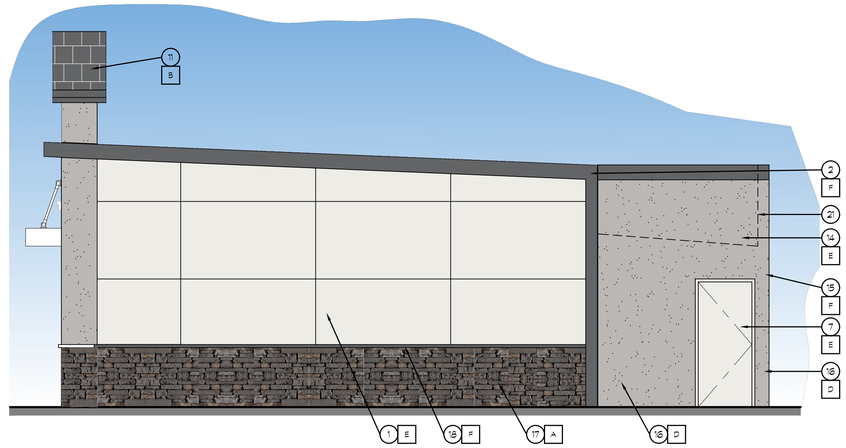
14 EAST ELEVATION

SCALE: 1/4" = 1'-0"



19 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



10 NORTH ELEVATION

SCALE: 1/4" = 1'-0"

CITY OF MORGAN HILL

PLAN APPROVED

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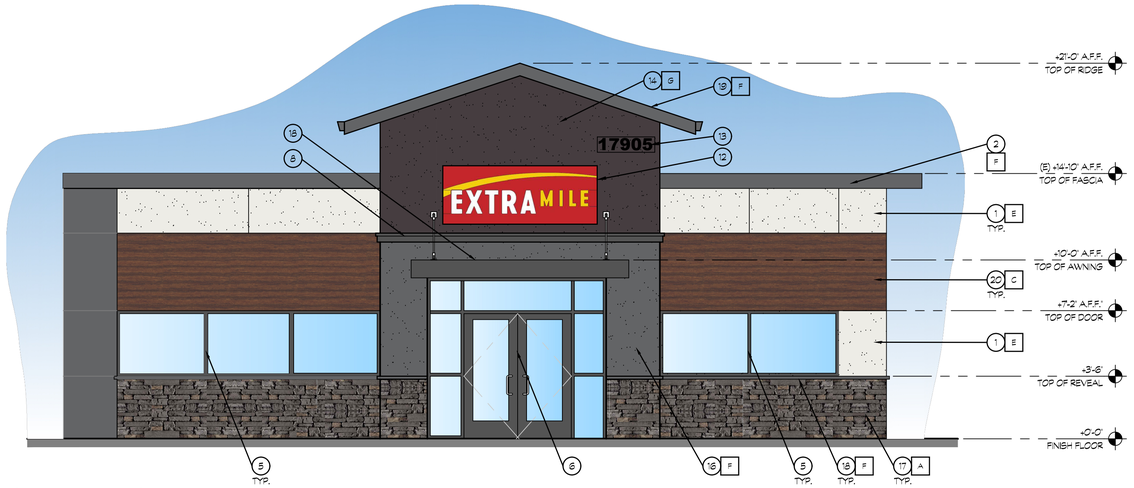
ON January 9, 2026

UP2025-0002, SR2025,-0006: Monterey- Singreddy

FILE NUMBER

Richard Buikema

PLANNING OFFICIAL



16 EAST ELEVATION

SCALE: 1/4" = 1'-0"

GENERAL NOTES

A. VERIFY LOCATION OF ALL EXISTING WALL AND OPENINGS PRIOR TO ANY WORK.

B. WHERE EXISTING CONSTRUCTION IS TO BE REMOVED, MODIFIED, OR DAMAGED DURING CONSTRUCTION, ALL FINISHES (INCLUDING:WALLS, FLOORS, AND CEILINGS) ARE TO BE PATCHED, FINISHED AND PAINTED TO MATCH ADJACENT EXISTING CONSTRUCTION. TAKE NEW FINISH TO THE NEAREST BREAK POINT.

C. PREP ALL NEW AND EXPOSED EXISTING STRUCTURE TO RECEIVE MOISTURE BARRIER AND NEW FINISHES

KEY NOTES

1. EXISTING METAL WALL PANEL WITH NEW PAINTED FINISH
2. EXISTING FASCIA WITH NEW PAINTED FINISH
3. EXISTING ROOF
4. METAL WALL PANEL WITH PAINTED FINISH
5. STOREFRONT SYSTEM W/ DUAL GLAZING
6. DBL 3'-0"X7'-0" STOREFRONT DOOR
7. 4'-0"X7'-0" EXTERIOR METAL DOOR
8. STEEL CHANNEL AWNING
9. NON-STRUCTURAL AWNING BRACKETS AND TIE ROD
10. GALVANIZED SHEET METAL PARAPET CAP
11. CONCRETE TILE ROOFING
12. C-STORE SIGNAGE
13. STREET ADDRESS, 8" MIN. HIGH LETTERS, 1-1/2" STROKE
14. FIBER CEMENT BOARD AND BATTEN SIDING
15. FIBER CEMENT BOARD TRIM
16. CEMENT PLASTER FINISH
17. ADHERED STONE VENEER
18. SHAPED FOAM TRIM WITH CEMENT PLASTER FINISH
19. WOOD FASCIA AND AND METAL COPING / GUTTER WITH PAINTED FINISH
20. WOOD LOOK METAL SIDING
21. DASHED ROOF LINE BEYOND

COLOR LEGEND

A	ADHERED STONE VENEER ELDORADO STONE : CLIFFSTONE / COLOR: BANF	
B	CONCRETE TILE ROOFING EAGLE ROOFING : BEL AIR / COLOR: 4503 SIERRA MADRE	
C	WOOD LOOK METAL SIDING	
D	PAINTED FINISH PPG0996-3 SEMI GLOSS MEDIUM GRAY	
E	PAINTED FINISH PPG0995-1 SEMI-GLOSS 'SHADED WHISPER'	
F	PAINTED FINISH PPG0996-3 'SUMMER SHADOW'	
G	SUMMER SHADOW, PPG0996-7 MATTE	

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PROFESSIONAL SEALS:

LICENSED ARCHITECT KURT WAGENKNECHT C-14729 NOV. 2025 RENEWAL DATE STATE OF CALIFORNIA

PROJECT NUMBER:	PROJECT DATE:
23-024	8-18-25

SHEET CONTENTS:

NEW ELEVATIONS

SHEET NUMBER:

A302

18 RENDERING #1

SCALE: N.T.S.

20 RENDERING #2

SCALE: N.T.S.

CITY OF MORGAN HILL

PLAN APPROVED

THIS PLAN WAS APPROVED BY THE PLANNING DIVISION

ON January 9, 2026

UP2025-0002, SR2025,-0006: Monterey- Singreddy

FILE NUMBER

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C-14729
NOV., 2025
RENEWAL DATE
STATE OF CALIFORNIA

PROJECT NUMBER:	PROJECT DATE:
23-024	8-18-25

SHEET CONTENTS:

PROJECT RENDERINGS

SHEET NUMBER:

A303

18 RENDERING #3

SCALE: N.T.S.

CITY OF MORGAN HILL
PLAN APPROVED

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ON January 9, 2026

UP2025-0002, SR2025,-0006: Monterey- Singreddy
FILE NUMBER

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PROFESSIONAL SEALS:

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C-14729
NOV., 2025
RENEWAL DATE
STATE OF CALIFORNIA

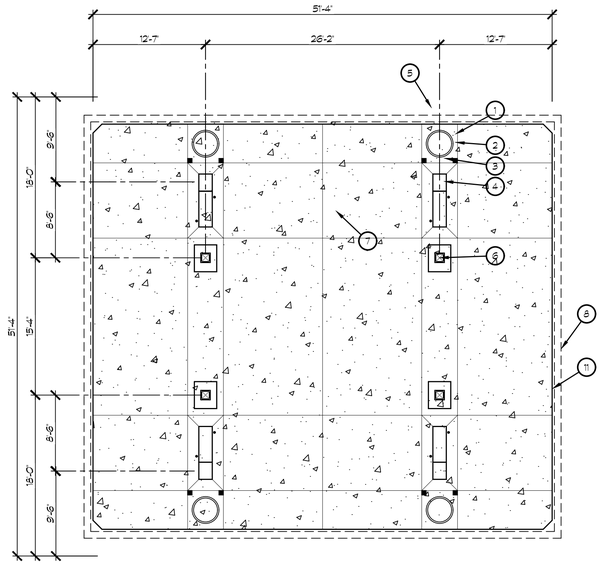
PROJECT NUMBER:	PROJECT DATE:
23-024	8-18-25

SHEET CONTENTS:

PROJECT RENDERINGS

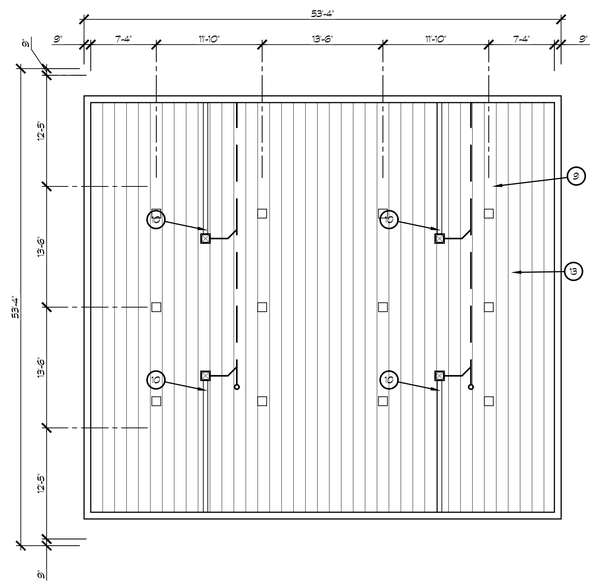
SHEET NUMBER:

A304



10 CANOPY FLOOR PLAN

SCALE: 1/8" = 1'-0"



12 CANOPY REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"

KEY NOTES

1. 6"x6" STEEL GUARD POSTS, SEE 2/A102
2. CONC. ISLAND TO HAVE 1/2" PER FOOT SLOPE AWAY FROM PUMPS, VALET, AND ANY ISLAND MOUNTED EQUIPMENT.
3. COMBO TRASH VALET / WINDSHIELD SERVICE
4. MULTI-PRODUCT FUEL DISPENSER
5. PLANTER
6. HSS COLUMN
7. CONCRETE CONTROL JOINTS, SEE 11/A102.
8. LINE OF CANOPY OVERHANG.
9. LED LIGHTS, SEE ELECTRICAL
10. GUTTER TO RWL IN COLUMN
11. EDGE OF 6" THICK CONC. FUELING SLAB.
12. 4" DIA. STORM DRAIN LINE FOR CANOPY DRAINS. SEE CIVIL.
13. STEEL CANOPY DECKING

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NOV. 2025
RENEWAL DATE
STATE OF CALIFORNIA

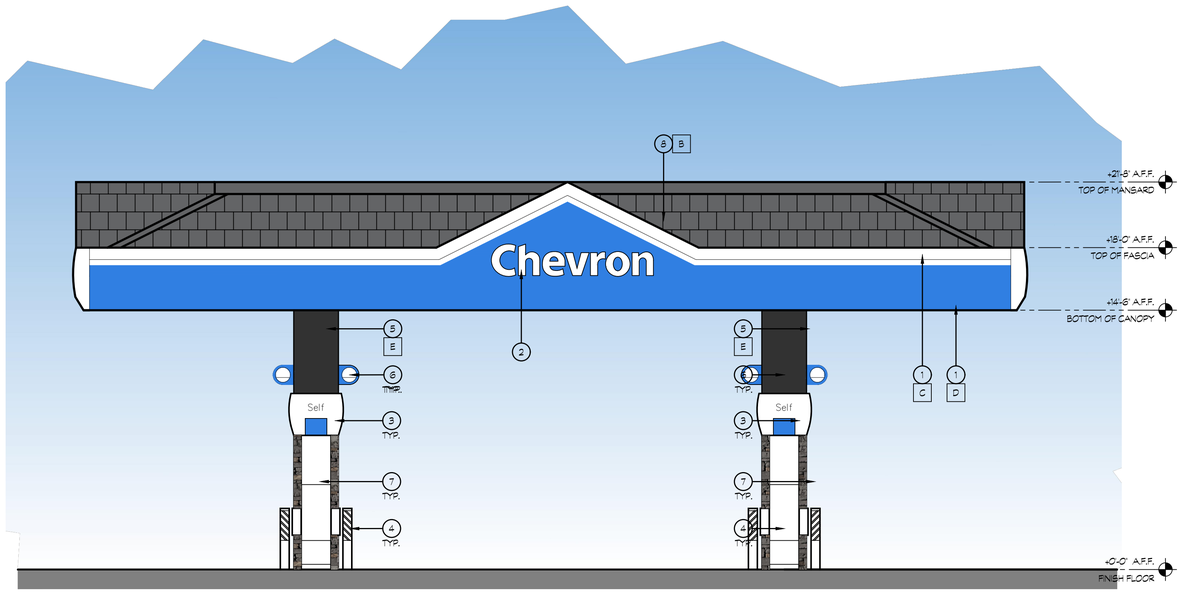
PROJECT NUMBER:	PROJECT DATE:
24-012	8-18-25

SHEET CONTENTS:

CANOPY FLOOR & REFLECTED CEILING PLANS

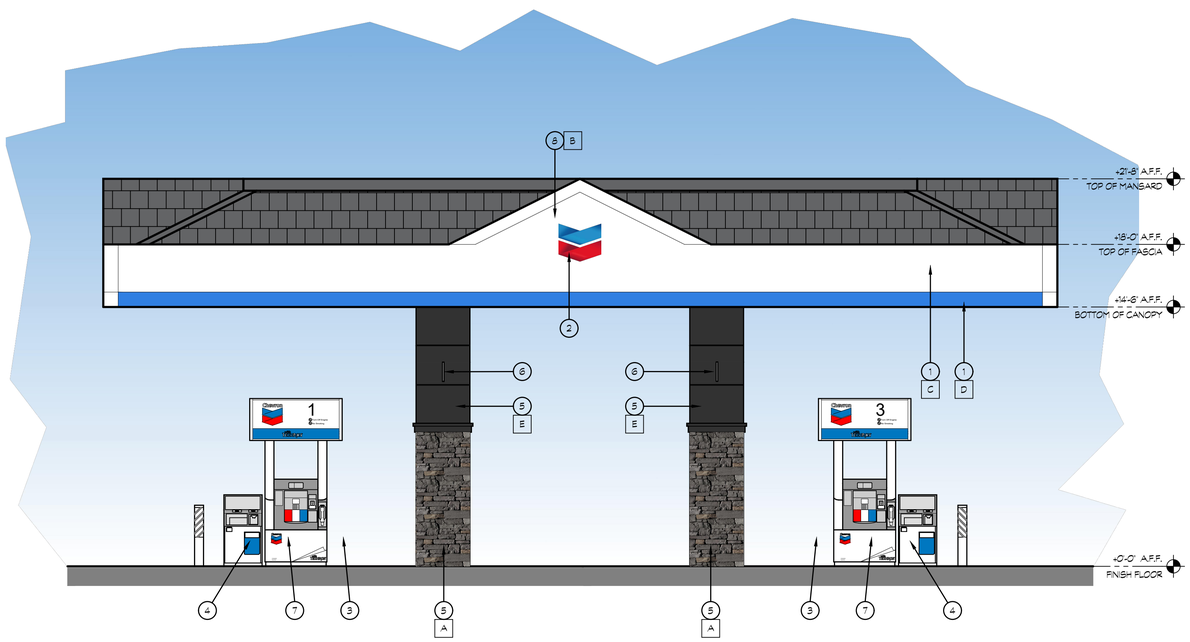
SHEET NUMBER:

A901



18 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



11 EAST ELEVATION

SCALE: 1/4" = 1'-0"

GENERAL NOTES

A. VERIFY LOCATION OF ALL EXISTING WALL AND OPENINGS PRIOR TO ANY WORK.

B. WHERE EXISTING CONSTRUCTION IS TO BE REMOVED, MODIFIED, OR DAMAGED DURING CONSTRUCTION, ALL FINISHES (INCLUDING WALLS, FLOORS, AND CEILINGS) ARE TO BE PATCHED, FINISHED AND PAINTED TO MATCH ADJACENT EXISTING CONSTRUCTION. TAKE NEW FINISH TO THE NEAREST BREAK POINT.

C. PREP ALL NEW AND EXPOSED EXISTING STRUCTURE TO RECEIVE MOISTURE BARRIER AND NEW FINISHES

KEY NOTES

1. CANOPY FASCIA
2. SIGN LOCATION
3. MULTI-PRODUCT FUEL DISPENSER
4. 6' STEEL VEHICLE BOLLARD
5. CANOPY COLUMN
6. PUMP NUMBER
7. CUSTOMER VALET
8. CONCRETE TILE ROOFING

CITY OF MORGAN HILL

PLAN APPROVED

THIS PLAN WAS APPROVED BY THE PLANNING DIVISION

ON January 9, 2026

UP2025-0002, SR2025,-0006: Monterey- Singreddy

FILE NUMBER

Richard Buikema

PLANNING OFFICIAL

COLOR LEGEND

A	ADHERED STONE VENEER ELDORADO STONE : CLIFFSTONE / COLOR: BANF	
B	CONCRETE TILE ROOFING EAGLE ROOFING : BEL AIR / COLOR: 4503 SIERRA MADRE	
C	CHEVRON - ID WHITE	
D	CHEVRON - ID BLUE NEW	
E	CHEVRON - ID GRAY	

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C-14729
NOV. 2025
RENEWAL DATE
STATE OF CALIFORNIA

PROJECT NUMBER:	PROJECT DATE:
24-012	8-18-25

SHEET CONTENTS:

CANOPY ELEVATIONS

SHEET NUMBER:

A902

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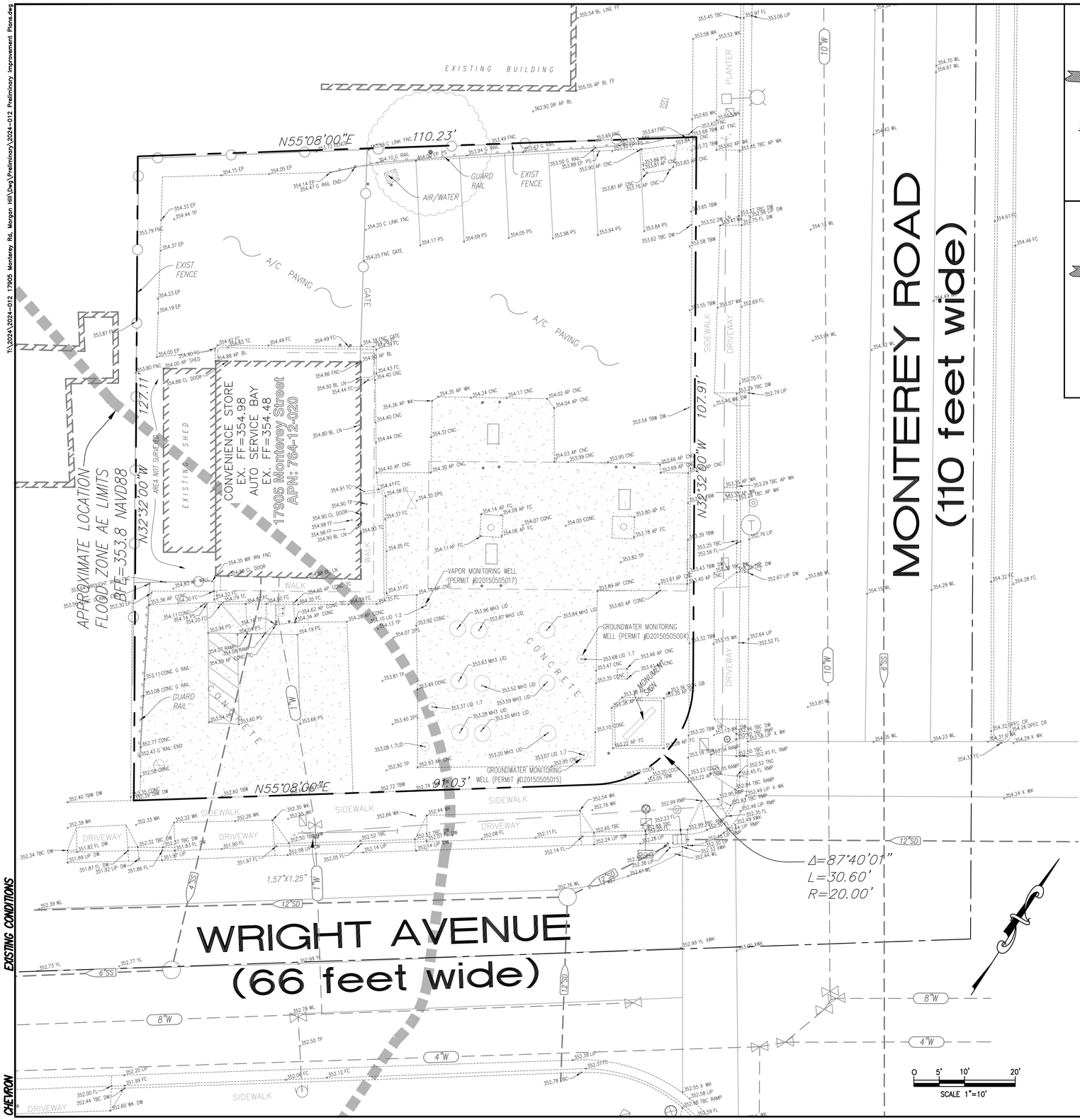
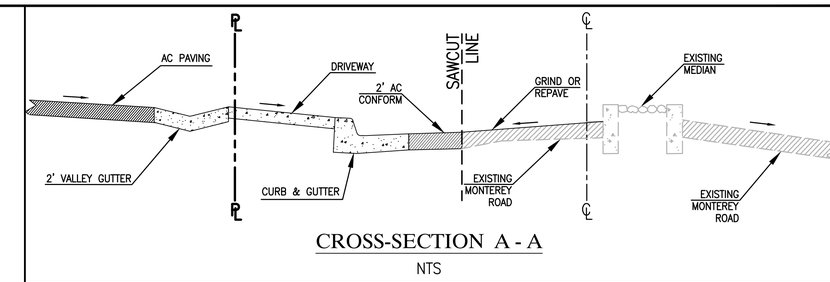
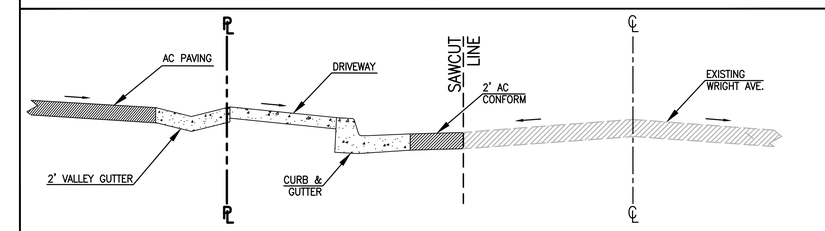




CROSS-SECTION A - A

NTS



CROSS-SECTION B - B

NTS

LEGEND

- PROPERTY LINE
- RIGHT OF WAY
- CENTER LINE
- MANHOLE
- TELEPHONE MANHOLE
- ELECTRIC MANHOLE DRAIN
- INLET
- 8"W — WATER LINE
- CTV — CABLE TV CONDUITS LINE
- 12"SD — DRAIN LINE
- 6"SS — SEWER LINE
- 18"CS — COMBINED SERVICE LINE
- FIRE HYDRANT
- WATER VALVE
- SEWER CLEANOUT
- WATER METER
- FIRE DEPT. CONNECTION
- CONCRETE CURB
- 35.25 — SPOT ELEVATION
- RIDGE — GRADE BREAK
- EDGE OF PAVEMENT
- DRAINAGE DIRECTION
- SIGNAL LIGHT
- PARKING LIGHT
- UGT — U.G. TELEPHONE LINE
- UGE — U.G. ELECTRIC LINE
- PULL BOX
- UTILITY POLE
- GAS METER
- CTV — CABLE TV BOX
- UTILITY POLE W/GUY
- PUBLIC STREET LIGHT
- SIGN
- FENCE
- WALL
- GUARD POST
- BENCH MARK
- TREE
- VAULT

BENCH MARK NGS PID HS5333

NAVD 88 EL= 349.40 1m=3.28084'

THE STATION IS LOCATED ON LINDO LANE IN THE CITY OF MORGAN HILL. TO REACH THE STATION FROM THE INTERSECTION OF MAIN STREET AND MONTEREY HIGHWAY IN MORGAN HILL, GO NORTH ON MONTEREY HIGHWAY FOR 0.32 KM (0.20 MI) TO MONTE AVENUE. GO WEST ON MONTE AVENUE FOR 0.24 KM (0.15 MI) TO 90 DEGREE BEND TO THE NORTH. CONTINUE AROUND BEND ON MONTE AVENUE TO FIRST LEFT (LINDO LANE). GO WEST ON LINDO LANE FOR 0.16 KM (0.10 MI) TO A 90 DEGREE BEND TO THE NORTH AND THE STATION. THE STATION IS A ONE INCH IRON PIN SET IN A MONUMENT BOX LOCATED AT THE INTERSECTION.

DATUM IS NAVD 88 ORTHO HEIGHT 106.5(meters) 349.(feet)

ENGINEERS STAMP

REGISTERED PROFESSIONAL ENGINEER
FAREED T. SIDDIQUI
No.56122
CIVIL
STATE OF CALIFORNIA

DATE: 8/14/2025

EXISTING CONDITIONS
CHEVRON

DRAWN	ASW	DESIGN	FTS
CHECKED		DATE	
APPROVED		DATE	

HOR 1"=10'
VERT N/A
JOB NUMBER 2024-012

SCOTT CREER - CITY ENGINEER
R.C.E. #58879 EXP. 06-30-2025

City of Morgan Hill
Public Works Department
CITY OF MORGAN HILL
17575 Peak Avenue Morgan Hill, CA 95037 (408)778-6480, Fax (408)779-7236

NO.	DESCRIPTION	DATE	BY
Revisions			

CITY FILE NUMBER:

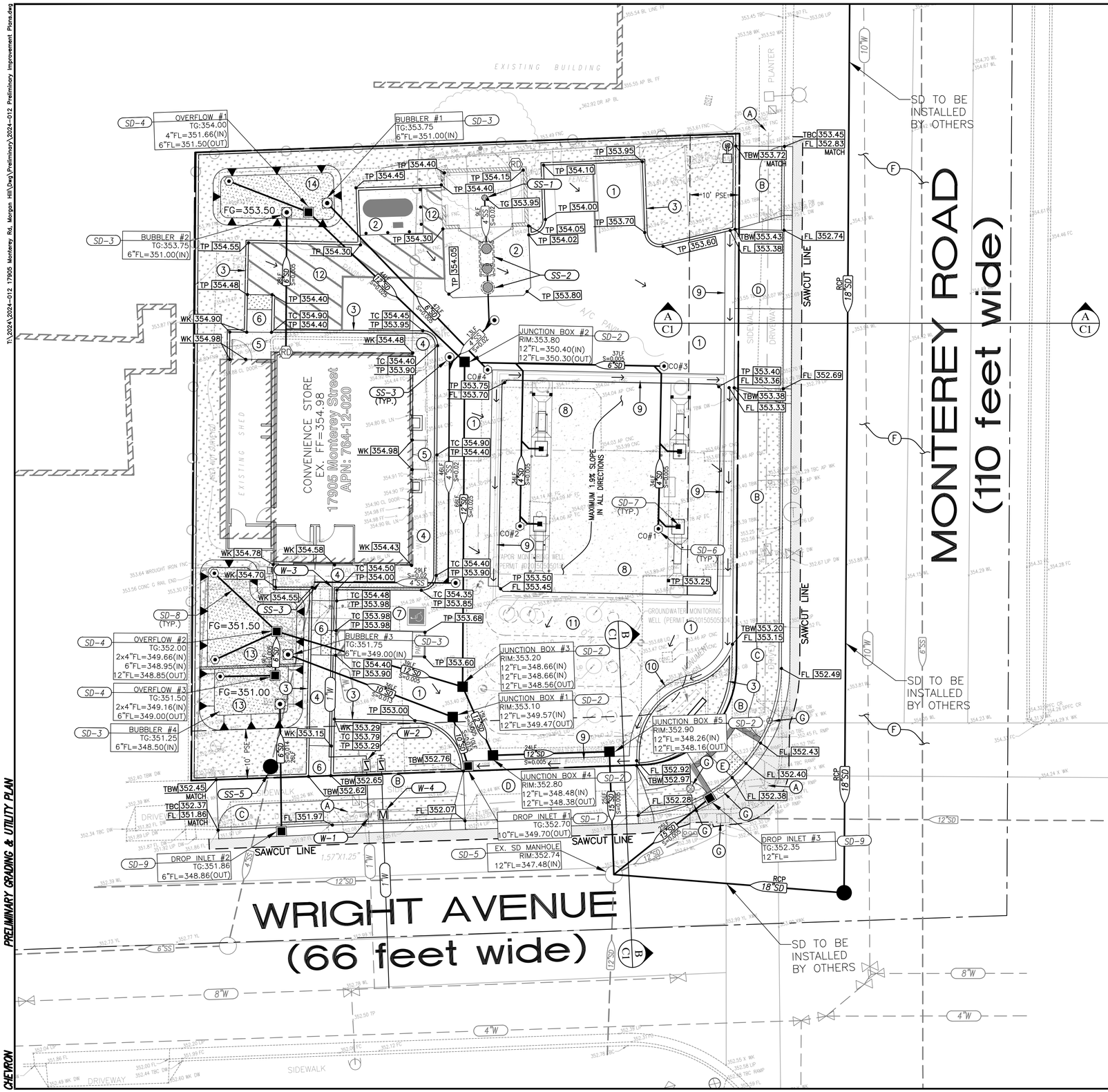
PRINT DATE: 8/14/2025

SHEET NUMBER: C1 / 3

FOR PLAN CHECK ONLY

EXISTING CONDITIONS

CHEVRON



PROPOSED ONSITE IMPROVEMENT NOTES:

1. PLACE AC PAVEMENT.
2. PLACE PCC PAVEMENT.
3. CONSTRUCT 6" VERTICAL CURB.
4. CONSTRUCT PCC SIDEWALK. SLOPE 4.8% (MAX) IN DIRECTION OF TRAVEL AND 1.9% (MAX) CROSS-SLOPE.
5. CONSTRUCT PCC SIDEWALK. SLOPE 1.9% (MAX) IN ALL DIRECTIONS.
6. CONSTRUCT CURB RAMP. SLOPE 8.33% (MAX) IN DIRECTION OF TRAVEL AND 1.9% (MAX) CROSS-SLOPE.
7. CONSTRUCT ADA PARKING. PLACE PCC PAVEMENT. SLOPE 1.9% (MAX) IN ALL DIRECTIONS.
8. CONSTRUCT PCC DRY SLAB. SLOPE 1.9% (MAX) IN ALL DIRECTIONS.
9. CONSTRUCT 2' VALLEY GUTTER WITH ¾" LIP BETWEEN VALLEY GUTTER AND PCC DRY SLAB.
10. CONSTRUCT 1.5' GUTTER AND 6" VERTICAL CURB.
11. PLACE PCC PAVEMENT FOR FUEL TANKS.
12. ADA PATHWAY. SLOPE 1.9% (MAX) IN ALL DIRECTIONS.
13. CONSTRUCT BIORETENTION POND USING SIDES SLOPED AT 3:1, SEE DETAIL ON SHEET C3. SEPARATE PONDS USING STRUCTURAL WALL.
14. CONSTRUCT BIORETENTION POND USING SIDES SLOPED AT 3:1, SEE DETAIL ON SHEET C3.

PROPOSED OFFSITE IMPROVEMENT NOTES:

- (A) UNDERGROUND UTILITIES FROM POLE ALONG SITE FRONTAGE. FULL SCOPE OF UNDERGROUNDING TBD.
- (B) REMOVE SIDEWALK, CURB AND GUTTER AND REPLACE WITH DETACHED SIDEWALK, PLANTING STRIP, CURB AND GUTTER PER CITY STANDARDS. PROTECT AND ADJUST EXISTING UTILITIES TO GRADE. REMOVE DRAIN PIPES THAT ARE NO LONGER IN USE.
- (C) REMOVE DRIVEWAY AND REPLACE WITH DETACHED SIDEWALK, PLANTING STRIP, CURB AND GUTTER PER CITY STANDARDS.
- (D) RECONSTRUCT EXISTING DRIVEWAY PER CITY STANDARDS.
- (E) CONSTRUCT CORNER RAMP PER CITY STANDARDS.
- (F) GRIND OR REPAVE MONTEREY ROAD ALONG SITE FRONTAGE TO REDUCE CROSS-SLOPE BETWEEN MEDIAN AND LIP OF GUTTER TO LESS THAN 8%. PAVEMENT CORING AT VARIOUS LOCATIONS DEMONSTRATING THE DEPTH OF THE EXISTING ROADWAY SECTION, INCLUDING DEPTHS OF ASPHALT CONCRETE, AGGREGATE BASE, AND ANY OTHER MATERIAL.
- (G) RELOCATE UTILITY OR ADJUST TO GRADE.

STORM DRAIN NOTES:

- (SD-1) PLACE PCC PRECAST DROP INLET WITH HEEL-PROOF, H20 TRAFFIC RATED GRATE. TOP OF GRATE AND CONNECTIONS AS SHOWN. INSTALL TRASH CAPTURE DEVICE IN DROP INLET.
- (SD-2) PLACE PCC PRECAST DROP INLET WITH SOLID METAL COVER AS JUNCTION BOX. RIM AND CONNECTIONS AS SHOWN.
- (SD-3) PLACE PCC PRECAST DROP INLET WITH PEDESTRIAN RATED GRATE AS BUBBLER. TOP OF GRATE AND CONNECTIONS AS SHOWN.
- (SD-4) PLACE PCC PRECAST DROP INLET WITH PEDESTRIAN RATED GRATE AS OVERFLOW. TOP OF GRATE AND CONNECTIONS AS SHOWN.
- (SD-5) CONNECT ONSITE STORM DRAIN SYSTEM TO STORM DRAIN MANHOLE IN WRIGHT AVENUE.
- (SD-6) PLACE STORM DRAIN CLEANOUT TO GRADE.
- (SD-7) CONNECT FUEL CANOPY TO ONSITE STORM DRAIN SYSTEM.
- (SD-8) INSTALL 6" PERFORATED PIPE IN GRAVEL LAYER OF BIORETENTION PLANTER. TERMINATE PIPE WITH CLEANOUT TO GRADE.
- (SD-9) INSTALL CITY STANDARD DROP INLET IN GUTTER. TOP OF GRATE AND CONNECTIONS AS SHOWN. INSTALL TRASH CAPTURE DEVICE IN DROP INLET.

WATER NOTES:

- (W-1) REUSE AND ADJUST THE EXISTING WATER METER TO GRADE.
- (W-2) RELOCATE EXISTING BACK FLOW PREVENTER AND PROTECTIVE CAGE BEHIND SIDEWALK. PLACE BACK FLOW PREVENTER ON CONCRETE PAD WITH GRADE MATCHING THE TOP OF CURB BEHIND THE SIDEWALK. DO NOT OBSTRUCT BIORETENTION PLANTER.
- (W-3) EXTEND WATER SERVICE FROM BACK FLOW PREVENTER AND CONNECT TO EXISTING WATER SERVICE BEFORE IT ENTERS THE BUILDING.
- (W-4) INSTALL 1" WATER SERVICE, 1" WATER METER AND 1" BACK FLOW PREVENTER FOR IRRIGATION.

SEWER NOTES:

- (SS-1) INSTALL ZURN TAMPER-PROOF DRAIN IN TRASH ENCLOSURE AND CONNECT TO GREASE INTERCEPTOR.
- (SS-2) INSTALL 1000-GAL GREASE INTERCEPTOR WITH SAMPLE BOX AND CONNECT TO SEWER SERVICE.
- (SS-3) CONNECT SEWER SERVICE TO EXISTING SEWER SERVICE BEFORE BUILDING.
- (SS-4) INSTALL CLEANOUT TO GRADE.
- (SS-5) INSTALL INSPECTION MANHOLE ON EXISTING SEWER LATERAL BEHIND PROPERTY LINE.

SCALE 1"=10'

EARTHWORK QUANTITIES:

CUT = 120 CY
FILL = 0 CY
NET = 120 CY

CONTRACTOR SHALL CALCULATE THEIR OWN EARTHWORK QUANTITIES AND BID THE EARTHWORK COMPLETE IN PLACE WITH IMPORT OR EXPORT AS REQUIRED. ALL FILL AREAS ARE TO BE COMPACTED TO THE GEOTECHNICAL ENGINEER'S SPECIFICATION. CONTRACTOR MUST CONTACT DEVELOPER FOR GEOTECHNICAL REPORT AND MUST FOLLOW ALL RECOMMENDATIONS CONTAINED THEREIN.

ENGINEERS STAMP

REGISTERED PROFESSIONAL ENGINEER
FARED T. SIDDIQUI
No.56122
CIVIL
STATE OF CALIFORNIA

DATE: 8/14/2025

PRELIMINARY GRADING / UTILITY PLAN
CHEVRON

DRAWN	ASW	DESIGN	FTS
CHECKED		DATE	
APPROVED		DATE	

HOR. 1"=10' VERT. N/A
JOB NUMBER 2024-012

SCOTT CREER - CITY ENGINEER
R.C.E. #58879 EXP. 06-30-2025

City of Morgan Hill
Public Works Department
CITY OF MORGAN HILL
17575 Peak Avenue Morgan Hill, CA 95037 (408)778-6480, Fax (408)779-7236

NO.	DESCRIPTION	DATE	BY
	Revisions		

CITY FILE NUMBER:

PRINT DATE: 8/14/2025
SHEET NUMBER: C2 / 3

FOR PLAN CHECK ONLY

PRELIMINARY GRADING & UTILITY PLAN

CHEVRON

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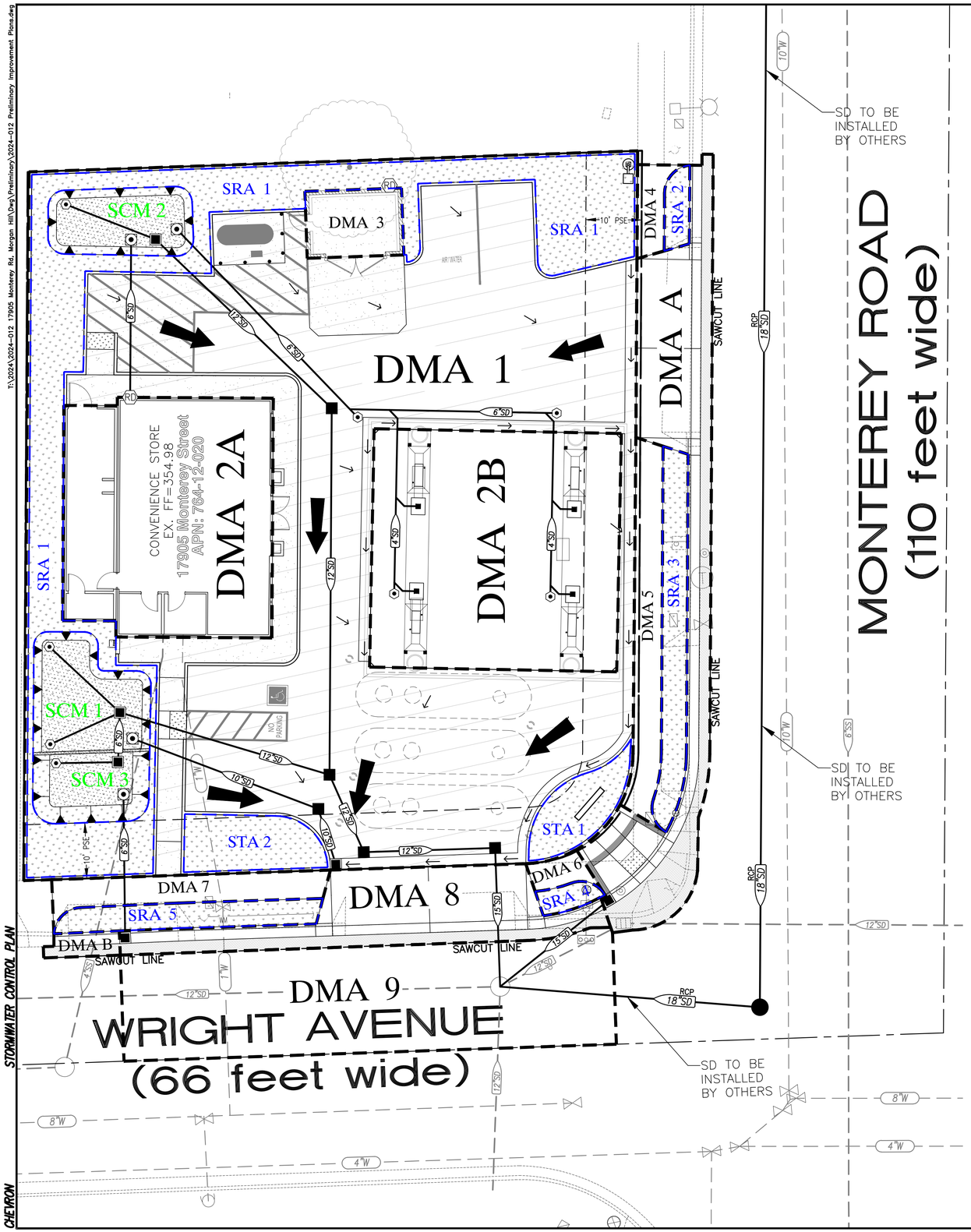


LEGEND

DMA 1	DRAINAGE MANAGEMENT AREA (DMA) LABEL
	DMA BOUNDARY
STA 1	SELF-TREATING AREA (STA) LABEL
	STA / SRA BOUNDARY
SCM 1	STORMWATER CONTROL MEASURE (SCM) LABEL
←	DIRECTION OF FLOW
	OVERLAND RELEASE

PRE/POST CONSTRUCTION SURFACE TABLE

PRE/POST	SURFACE	AREA (SF.)
PRECONSTRUCTION	IMPERVIOUS	12,908
	PERVIOUS	1,014
POSTCONSTRUCTION	IMPERVIOUS	10,668
	PERVIOUS	3,254
TOTAL:		13,922

IMP NAME: SCM 1

IMP TYPE: BIO-RETENTION PLANTER
SOIL TYPE:C

DMA NAME	DMA AREA (SQ. FT.)	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP SIZING			
					IMP SIZING FACTOR	RAIN ADJUST-MENT FACTOR	MINIMUM AREA	PROPOSED AREA
DMA 1	6,992	PAVING & SIDEWALK	1.00	6,992				
			TOTAL:	6,992	0.04	1.00	280	290

IMP NAME: SCM 2

IMP TYPE: BIO-RETENTION PLANTER
SOIL TYPE:C

DMA NAME	DMA AREA (SQ. FT.)	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP SIZING			
					IMP SIZING FACTOR	RAIN ADJUST-MENT FACTOR	MINIMUM AREA	PROPOSED AREA
DMA 2A	1,573	ROOF	1.00	1,573				
DMA 2B	1,895	ROOF	1.00	1,895				
			TOTAL:	3,468	0.04	1.00	138	203

IMP NAME: SCM 3

IMP TYPE: BIO-RETENTION PLANTER
SOIL TYPE:C

DMA NAME	DMA AREA (SQ. FT.)	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP SIZING			
					IMP SIZING FACTOR	RAIN ADJUST-MENT FACTOR	MINIMUM AREA	PROPOSED AREA
DMA 8	743	PAVING & SIDEWALK	1.00	743				
DMA 9*	1,701	PAVING	1.00	1,701				
			TOTAL:	2,444	0.04	1.00	98	139

*NOTE: DMA IS A PORTION OF WRIGHT AVENUE UP TO THE CENTERLINE STREET WHICH IS EXISTING TO REMAIN, AND IS BEING TREATED IN-LIEU OF DMA A AND B, WHICH IS UNCAPTURABLE. DMA A AREA = 1156 SQ FT, DMA B AREA = 55 SQ FT.

IMP NAME: SRA 1

IMP TYPE: SELF-RETAINING AREA
SOIL TYPE:C

DMA NAME	DMA AREA (SQ. FT.)	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP SIZING			
					IMP SIZING FACTOR	RAIN ADJUST-MENT FACTOR	MINIMUM AREA	PROPOSED AREA
DMA 3	208	ROOF	1.00	208				
			TOTAL:	208	0.50	1.00	104	1,770

IMP NAME: SRA 2

IMP TYPE: SELF-RETAINING AREA
SOIL TYPE:C

DMA NAME	DMA AREA (SQ. FT.)	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP SIZING			
					IMP SIZING FACTOR	RAIN ADJUST-MENT FACTOR	MINIMUM AREA	PROPOSED AREA
DMA 4	84	ROOF	1.00	84				
			TOTAL:	84	0.50	1.00	42	61

IMP NAME: SRA 3

IMP TYPE: SELF-RETAINING AREA
SOIL TYPE:C

DMA NAME	DMA AREA (SQ. FT.)	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP SIZING			
					IMP SIZING FACTOR	RAIN ADJUST-MENT FACTOR	MINIMUM AREA	PROPOSED AREA
DMA 5	337	ROOF	1.00	337				
			TOTAL:	337	0.50	1.00	169	302

IMP NAME: SRA 4

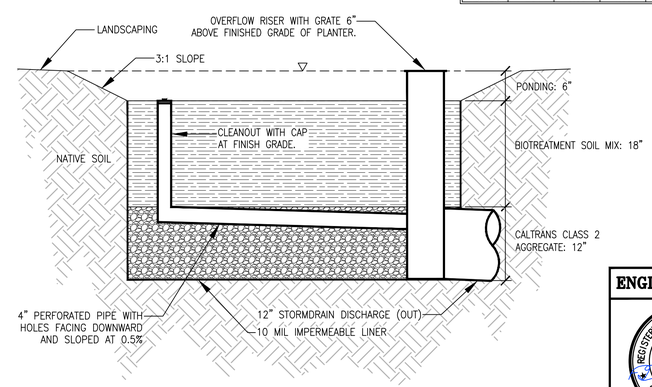
IMP TYPE: SELF-RETAINING AREA
SOIL TYPE:C

DMA NAME	DMA AREA (SQ. FT.)	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP SIZING			
					IMP SIZING FACTOR	RAIN ADJUST-MENT FACTOR	MINIMUM AREA	PROPOSED AREA
DMA 6	55	ROOF	1.00	55				
			TOTAL:	55	0.50	1.00	28	47

IMP NAME: SRA 5

IMP TYPE: SELF-RETAINING AREA
SOIL TYPE:C

DMA NAME	DMA AREA (SQ. FT.)	POST PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP SIZING			
					IMP SIZING FACTOR	RAIN ADJUST-MENT FACTOR	MINIMUM AREA	PROPOSED AREA
DMA 7	254	ROOF	1.00	254				
			TOTAL:	254	0.50	1.00	127	210



BIORETENTION POND DETAIL
NTS

0 5' 10' 20'
SCALE 1"=10'

ENGINEERS STAMP

REGISTERED PROFESSIONAL ENGINEER
FARZED T. SUDDUTH
No.56122
CIVIL
STATE OF CALIFORNIA

DATE: 8/14/2025

STORMWATER CONTROL PLAN
CHEVRON

DRAWN	ASW	DESIGN	FTS
CHECKED		DATE	
APPROVED		DATE	

HOR. 1"=20' VERT. N/A
JOB NUMBER 2024-012

SCOTT CREER - CITY ENGINEER
R.C.E. #58879 EXP. 06-30-2025

City of Morgan Hill
Public Works Department
CITY OF MORGAN HILL
17575 Peak Avenue Morgan Hill, CA 95037 (408)778-6480, Fax (408)779-7236

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CITY FILE NUMBER:

PRINT DATE: 8/14/2025
SHEET NUMBER: C3 / 3

FOR PLAN CHECK ONLY

STORMWATER CONTROL PLAN
CHEVRON

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PROJECT INFORMATION

DATE:

PROJECT APPLICANT:

PROJECT ADDRESS:

TOTAL LANDSCAPE AREA (SF):

PROJECT TYPE:
(NEW, REHABILITATED, PUBLIC, PRIVATE)

WATER SUPPLY TYPE:
(POTABLE/ RECYCLED/ WELL)

LOCAL WATER PURVEYOR:

LANDSCAPE DOCUMENTATION PACKAGE

* L0.0 WELO DOCUMENTATION COVER SHEET
* LP.1 LANDSCAPE DESIGN PLAN
  INCLUDING HYDROZONE MAP AND SOIL REPORT
* LI.1 IRRIGATION DESIGN PLAN
* GRADING DESIGN PLAN BY CIVIL. SEE PROJECT PACKAGE

LANDSCAPE DESIGN PLAN

THE LANDSCAPE IS DESIGNED TO COMPLEY WTIH WELO, THE STATE OF CALIFORNIA WATER EFFICIENT LANDSCAPE ORDINANCE.

1. THE DESIGN IS DROUGHT RESILIENT AND FIRE RESISTANT
2. TURF DOES NOT EXCEED 25% OF THE TOTAL LANDSCAPE AREA
3. SPECIES ARE SELECTED WITH CONSIDERATION OF THEIR WATER USE
4. PLANTS ARE PLACE IN APPROPRIATE MICROCLIMATES
5. PLANTS ARE GROUPED IN HYDROZONES BASED ON SIMILAR WATER NEEDS AND EXPOSURES
6. HYDROZONES ARE DELINEATED AND LABELLED

IRRIGATION DESIGN PLAN

THE IRRIGATION SYSTEM IS DESIGNED TO COMPLEY WTIH WELO, THE STATE OF CALIFORNIA WATER EFFICIENT LANDSCAPE ORDINANCE.

1. THE DESIGN OF THE IRRIGATION SYSTEM CONFORMS TO THE HYDROZONES OF THE LANDSCAPE PLAN.
2. THE SYSTEM IS DESIGNED TO REDUCE WATER USE TO THE MINIMUM AMOUNT TO SUSTAIN HEALTHY PLANT GROWTH AND TO PREVENT RUNOFF, LOW HEAD DRAINAGE AND OVERSPRAY.
3. BACKFLOW PROTECTION IS INSTALLED AT THE PONT OF CONNECTION.
4. A SEPARATE DEDICATED WATER METER OR SUBMETER IS PROVIDED.
5. A SMART CONTROLLER WITH NON-VOLATILE MEMORY AND UTILIZING. EVAPOTRANSPIRATION OR SOIL MOISTURE DATA FOR SCHEDULING IS .INSTALLED WEATHER SENSORS ARE PROVIDED
6. STATIC WATER PRESSURE AT THE POINT OF CONNECTION IS PROVIDED.
7. PRESSURE REGULATION IS PROVIDED.
8. A MASTER SHUT-OFF VALVE IS INSTALLED.
9. A FLOW SENSOR IS INSTALLED.
10. MANUAL SHUT-OFF VALVES ARE PROVIDED AT THE PONT OF CONNECTIONS.
11. SEPARATE VALVES ARE USED TO IRRIGATE EACH HYROZONE.
12. PROVIDE A SCHEDULE:
    A. FOR ZONES WITH DEEP ROOTED TREES SCHEDULE THE STATIONS TO RUN AT A LOW FREQUENCY AND LONG DURATION.
    B. FOR ZONES WITH MEDIUM ROOTED SHRUBS SCHEDULE THE STATIONS TO RUN AT A MEDIUM FREQUENCY AND MEDIUM DURATION.
    C. FOR ZONES WITH SHALLOW ROOTED GROUNDCOVERS SCHEDULE THE STATIONS TO RUN AT A HIGH FREQUENCY AND SHORT DURATION.

WATER EFFICIENT WORKSHEET

RAIN BIRD

California Water Efficient Landscape Worksheet

Reference Evapotranspiration (ET_o)		49.5		Project Type	Non-Residential		0.45
Hydrozone # / Planting Description[a]	Plant Factor (PF)	Irrigation Method[b]	Irrigation Efficiency (IE)[c]	ETAF (PF/IE)	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU)[d]
Regular Landscape Areas							
C1 Low Shrubs & GC	0.25	Drip	0.81	0.31	239	74	2264
C2 Medium Turf Drip	0.55	Drip	0.81	0.68	1,013	688	21110
C3 Low Shrubs & GC	0.25	Drip	0.81	0.31	1,652	510	15648
C4 Tree Bubblers	0.35	Drip	0.81	0.43	140	60	1857
			0.75	0.00		0	0
			0.75	0.00		0	0
			0.75	0.00		0	0
			0.75	0.00		0	0
			0.75	0.00		0	0
				Totals	3044	1332	40878
Special Landscape Areas							
				1		0	0
				1		0	0
				1		0	0
				1		0	0
				Totals	0	0	0
						ETWU Total	40878
						Maximum Allowed Water Allowance (MAWA)[e]	42039

ETAF Calculations

Regular Landscape Areas

Total ETAF x Area	1332
Total Area	3044
Average ETAF	0.44

All Landscape Areas

Total ETAF x Area	1332
Total Area	3044
Average ETAF	0.44

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

SOIL MANAGEMENT REPORT

1. PER WELO, IF SIGNIFICANT MASS GRADING IS PLANNED.
2. CONTRACTOR SHALL TEST SOIL AND PROVIDE SOIL ANALYSIS REPORT TO DESIGNER AND OWNER AFTER CONSTRUCTION IS COMPLETE AND BEFORE PLANTING IS INSTALLED.
3. CONDUCT SOIL SAMPLING IN ACCORDANCE WITH ALL LABORATORY PROTOCOLS.
4. THE SOIL TEST SHALL INCLUDE: SOIL TEXTURE, INFILTRATION RATE, PH, TOTAL SOLUBLE SALTS, SODIUM, PERCENT ORGANIC MATTER AND RECOMMENDATIONS FOR ORGANIC AMENDMENTS AND COMPOST.
5. SUBMIT SOIL TEST REPORT BY ACCREDITED SOILS LAB SOIL PLANT LAB. TAKE SAMPLES FROM A MINIMUM OF 3 LOCATIONS (FRONT, MIDDLE AND BACK) OF SITE. FOLLOW SAMPLING INSTRUCTIONS FROM LAB. REQUEST ORGANIC AMENDMENTS.
6. COMPOST: PER THE WATER EFFICIENT LANDSCAPE ORDINANCE, A MINIMUM OF FOUR CUBIC YARDS OF COMPOST PER 1,000 SQUARE FEET OF PERMEABLE AREA TO A DEPTH OF SIX INCHES SHALL BE APPLIED FOR THE PURPOSE OF REDUCING EVAPORATION, SUPPRESSING WEEDS, MODERATING SOIL TEMPERATURE AND PREVENTING SOIL EROSION.
7. SOIL PREPARATION:
   A TOPDRESS PLANTING AREAS WITH A MINIMUM OF 6CY/1000 SF OF ORGANIC COMPOST TO THE ENTIRE PLANTING AREA.
   B. DO NOT TILL. TILLING DAMAGES SOIL STRUCTURE AND RELEASES CARBON INTO THE ATMOSPHERE.
8. MOISTURE CONTENT: DO NOT WORK ON OR AROUND THE SOIL WHEN MOISTURE CONTENT IS SO GREAT THAT COMPACTION WILL OCCUR, NOR WHEN IT IS SO DRY THAT DUST WILL FORM, OR WHEN SOIL CLODS WILL NOT BREAK READILY. APPLY WATER IF NECESSARY TO BRING SOIL TO OPTIMUM MOISTURE CONTENT TO COMPLETE THE SPECIFIED WORK.
9. MULCH: PER THE WATER EFFICIENT LANDSCAPE ORDINANCE, A MINIMUM 3-INCH LAYER OF ORGANIC MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES FOR THE PURPOSE OF REDUCING EVAPORATION, SUPPRESSING WEEDS, MODERATING SOIL TEMPERATURE AND PREVENTING SOIL EROSION.
10. CONTRACTOR SHALL SUBMIT DOCUMENTATION VERIFYING IMPLEMENTATION OF SOIL ANALYSIS REPORT RECOMMENDATIONS TO THE LOCAL AGENCY WITH CERTIFICATE OF COMPLETION.

APPLICABILITY

THIS PLAN SHEET IS FOR USE BY
1) NEW LANDSCAPES ≥ 500 SF. (IF BETWEEN 500-2500 SF MAY COMPLY WITH PRESCRIPTIVE MEASURES IN APPENDIX D.)
2) REHABILITATED LANDSCAPES ≥ 2,500 SF.

TITLE 24, PART 11, CALIFORNIA GREEN BUILDING CODE (CAL GREEN)

STATE MODEL WATER EFFIENT LANDSCAPE ORDINANCE:

PHASE 1: PRE-CONSTRUCTION SIGNATURES

LANDSCAPE DOCUMENTATION PACKAGE

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

APPLICANT SIGNATURE DATE

LANDSCAPE DESIGN PLAN

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

July 2025
SIGNATURE DATE

* LICENSED LANDSCAPE ARCHITECT, LICENSED LANDSCAPE CONTRACTOR OR OTHER AUTHORIZED PERSON

IRRIGATION DESIGN PLAN

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

July 2025
SIGNATURE DATE

* LICENSED LANDSCAPE ARCHITECT, CERTIFIED IRRIGATION DESIGNER, LICENSED LANDSCAPE CONTRACTOR, OR OTHER AUTHORIZED PERSON

PHASE 2: POST-CONSTRUCTION SIGNATURES & ATTACHMENTS:

CERTIFICATE OF COMPLETION

I CERTIFY THAT THE LANDSCAPE HAS BEEN INSTALLED PER THE APPROVED LANDSCAPE DOCUMENTATION PACKAGE.

July 2025
SIGNATURE DATE

* LICENSED LANDSCAPE ARCHITECT, LICENSED LANDSCAPE CONTRACTOR OR OTHER AUTHORIZED PERSON

IRRIGATION SCHEDULING

ATTACH PARAMETERS FOR SETTING THE IRRIGATION SCHEDULE ON CONTROLLER

MAINTENANCE

ATTACH SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE

AUDIT

LOCAL AGENCY OR THIRD PARTY CERTIFIED IRRIGATION AUDITOR SHALL PERFORM AUDIT. ATTACH LANDSCAPE IRRIGATION AUDIT REPORT.

LANDSCAPE INSPECTION

ATTACH LANDSCAPE INSPECTION CHECKLIST DOCUMENT

SOIL MANAGEMENT REPORT

ATTACH SOIL ANALYSIS REPORT
ATTACH DOCUMENTATION VERIFYING IMPLEMENTATION OF RECOMMENDATIONS FROM SOIL ANALYSIS REPORT

AGENCY STAMP

	REVISIONS	BY

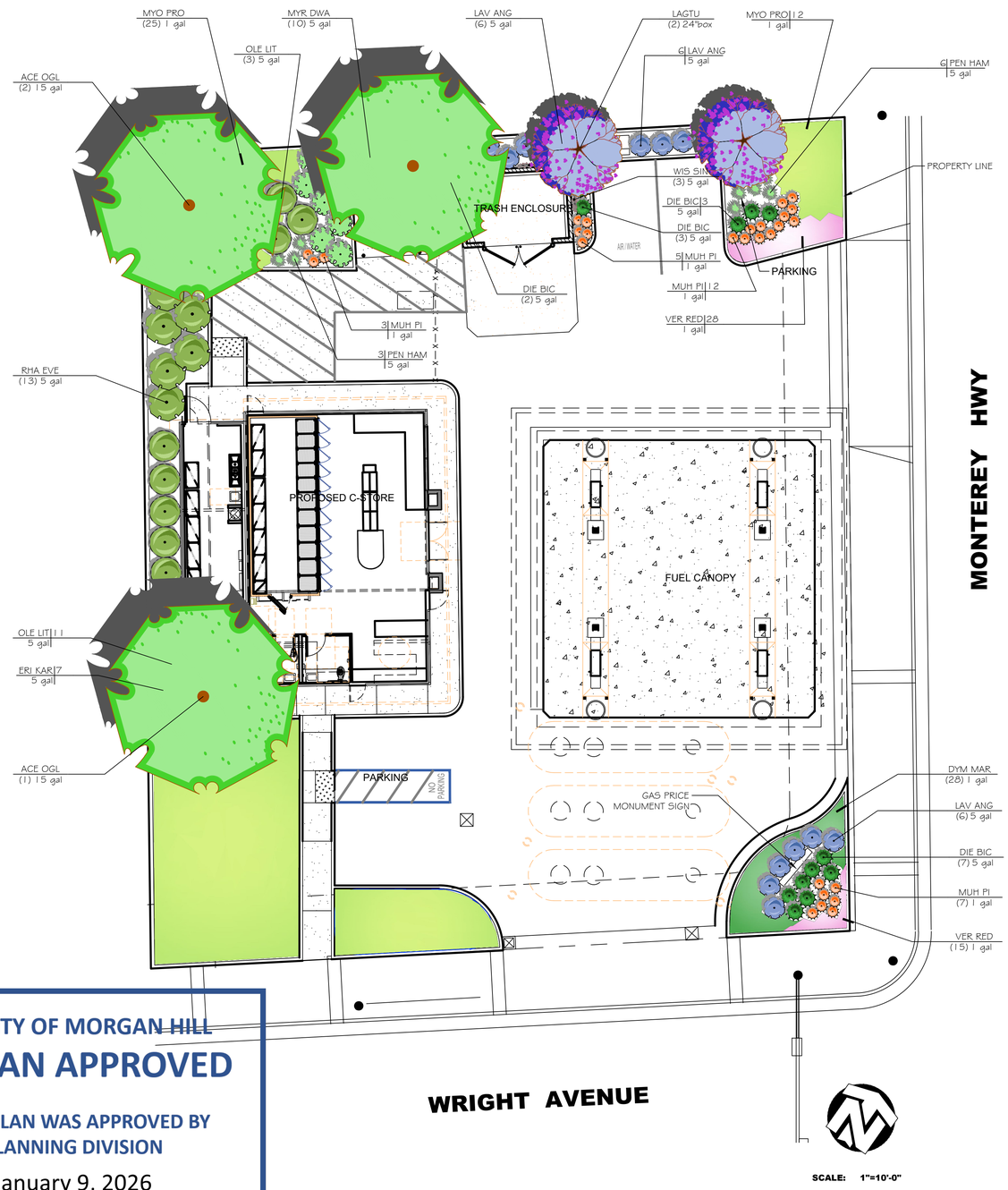
CAROL PERRY BROWN
Landscape Architecture
Irrigation Design
Certified Irrigation Designer CID Irrigation Association
530 823 2621
perrydesign@att.net
RLA 3941 CID 002624
PERRY ❖ DESIGN

TENANT IMPROVEMENT
17905 Monterey Rd.
Morgan Hill, CA 95037
SINGIREDDY NINGA & LAKSHMI TRUSTEE

LICENSED LANDSCAPE ARCHITECT
CAROL PERRY BROWN
No. 3941
REN. 11-30-23
Signature
11-22-23
Date
STATE OF CALIFORNIA

WATER EFFICIENT LANDSCAPE ORDINANCE DOCUMENTATION

Date	February 2024
Scale	1"=10'-0"
Drawn	CPB
Job	
Sheet	L0-0
Of	Sheets



PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT		QTY
TREES				
	Acer rubrum 'October Glory' / October Glory Red Maple Medium Water / WUCOLS	15 gal		3
	Lagerstroemia indica x fauriei 'Tuscarora' / Tuscarora Crape Myrtle Low Water / WUCOLS	24"box		2
SYMBOL	BOTANICAL / COMMON NAME	SIZE		QTY
SHRUBS				
	Dietes bicolor / Fortnight Lily Low Water / WUCOLS	5 gal		15
	Engeron karvinskianus / Santa Barbara Daisy Low Water / WUCOLS	5 gal		6
	Lavandula angustifolia `Twickel Purple` / English Lavender Low Water / WUCOLS	5 gal		18
	Muhlenbergia capillaris `Pink Cloud` / Pink Muhly Low Water / WUCOLS	1 gal		27
	Myrtus communis `Compacta` / Dwarf Myrtle Low Water / WUCOLS	5 gal		10
	Olea europaea 'Montra' / Little Ollie® Olive Low Water / WUCOLS	5 gal		14
	Pennisetum alopecuroides 'Hameln' / Hameln Fountain Grass Low Water / WUCOLS	5 gal		9
	Rhamnus californica 'Eve Case' / Eve Case Coffeeberry Low Water / WUCOLS	5 gal		6
VINE/ESPALIER				
	Wistenia sinensis / Chinese Wistena Medium Water / WUCOLS	5 gal		3
SYMBOL	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
GROUND COVERS				
	Dymondia margaretae / Silver Carpet Dymondia Low Water / WUCOLS	1 gal	24" o.c.	24
	Myoporum parvifolium `Prostratum` / Prostrate Trailing Myoporum Low Water / WUCOLS	1 gal	48" o.c.	41
	Verbena peruviana `Red Devil` / Peruvian Verbena Low Water / WUCOLS	1 gal	18" o.c.	39
BIOSWALE				
	`Bio Filtration' Sod / By Delta Bluegrass-Phone (800-637-8873 Medium Water / WUCOLS	sod		1,053 sf

NOTE:

TOTAL LANDSCAPE AREA IS 3,297 SQUARE FEET
THERE ARE NO EXISTING TREES OR LANDSCAPING

NOTES:

1. Landscape shall be designed per City of Morgan Hill landscape design requirements and California MWELO.
2. No groundcover or shrubs are to be planted within 3' of any tree trunk.
3. A landscape soils test shall be analyzed by a soils testing laboratory. Soils shall be amended per soil analysis report recommendations prior to Landscape Installation.
4. This project shall be irrigated by an automatic irrigation system consisting of subsurface drip for shrubs and groundcover, and deep watering bubblers for all trees all connected to a smart controller.
5. All planter areas shall receive a three-inch (3") mulch of red fir walk-on bark. All groundcover areas shall receive a two-inch (2") layer of bark mulch.

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY THE PLANNING DIVISION

ON January 9, 2026

UP2025-0002, SR2025,-0006: Monterey- Singreddy
FILE NUMBER

Richard Buikema
PLANNING OFFICIAL

	REVISIONS	BY

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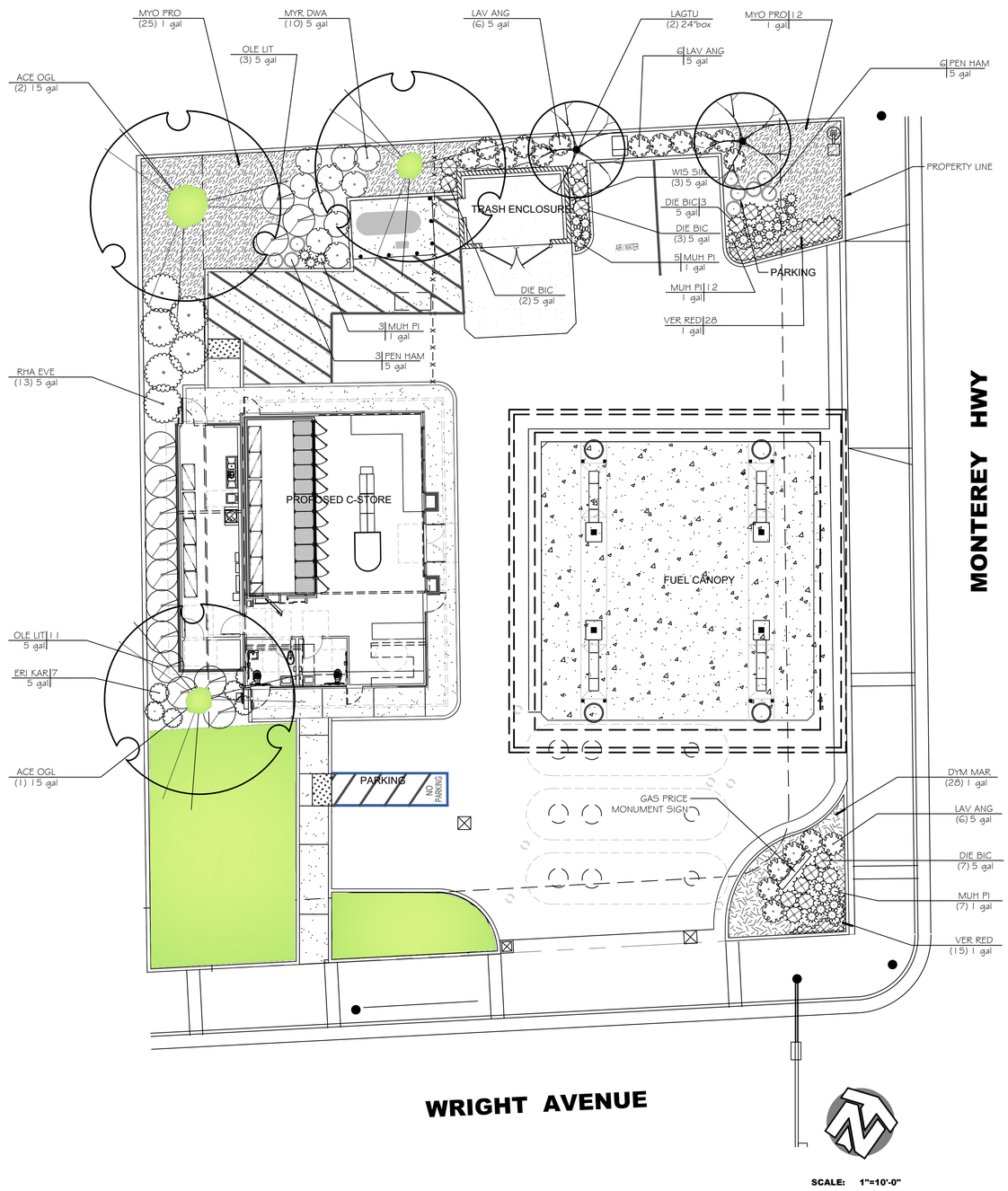
RLA 3941 CID 002624
PERRY ❖ DESIGN

TENANT IMPROVEMENT
17905 Monterey Rd.
Morgan Hill, CA 95037
SINGIREDDY NINGA & LAKSHMI TRUSTEE

LICENSED LANDSCAPE ARCHITECT
CAROL PERRY BROWN
No. 3941
REN 11-30-25
11-22-23
STATE OF CALIFORNIA

PLANTING DESIGN PLAN

Date	February 2024
Scale	1"=10'-0"
Drawn	CPB
Job	
Sheet	LP-1
Of	Sheets



SCALE: 1"=10'-0"

PLANT_SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT		QTY
TREES				
	Acer rubrum 'October Glory' / October Glory Red Maple Medium Water / WUCOLS	15 gal		3
	Lagerstroemia indica x fauriei 'Tuscarora' / Tuscarora Crape Myrtle Low Water / WUCOLS	24"box		2
SYMBOL	BOTANICAL / COMMON NAME	SIZE		QTY
SHRUBS				
	Dietes bicolor / Fortnight Lily Low Water / WUCOLS	5 gal		15
	Erigeron karvinskianus / Santa Barbara Daisy Low Water / WUCOLS	5 gal		6
	Lavandula angustifolia `Twickel Purple` / English Lavender Low Water / WUCOLS	5 gal		18
	Muhlenbergia capillaris `Pink Cloud` / Pink Muhly Low Water / WUCOLS	1 gal		27
	Myrtus communis `Compacta` / Dwarf Myrtle Low Water / WUCOLS	5 gal		10
	Olea europaea 'Montra' / Little Ollie® Olive Low Water / WUCOLS	5 gal		14
	Pennisetum alopecuroides 'Hameln' / Hameln Fountain Grass Low Water / WUCOLS	5 gal		9
	Rhamnus californica 'Eve Case' / Eve Case Coffeeberry Low Water / WUCOLS	5 gal		6
VINE/ESPALIER				
	Wistenia sinensis / Chinese Wistena Medium Water / WUCOLS	5 gal		3
SYMBOL	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
GROUND COVERS				
	Dymondia margaretae / Silver Carpet Dymondia Low Water / WUCOLS	1 gal	24" o.c.	24
	Myoporum parvifolium `Prostratum` / Prostrate Trailing Myoporum Low Water / WUCOLS	1 gal	48" o.c.	41
	Verbena peruviana `Red Devil` / Peruvian Verbena Low Water / WUCOLS	1 gal	18" o.c.	39
BIOSWALE & ACER RUBRUM				
	MEDIUM WATER USE	sod		1,053 sf

NOTE:

TOTAL LANDSCAPE AREA IS 3,044 SQUARE FEET
THERE ARE NO EXISTING TREES OR LANDSCAPING

NOTES:

1. Landscape shall be designed per City of Morgan Hill landscape design requirements and California MWELO.
2. No groundcover or shrubs are to be planted within 3' of any tree trunk.
3. A landscape soils test shall be analyzed by a soils testing laboratory. Soils shall be amended per soil analysis report recommendations prior to Landscape Installation.
4. This project shall be irrigated by an automatic irrigation system consisting of subsurface drip for shrubs and groundcover, and deep watering bubblers for all trees all connected to a smart controller.
5. All planter areas shall receive a three-inch (3") mulch of red fir walk-on bark. All groundcover areas shall receive a two-inch (2") layer of bark mulch.

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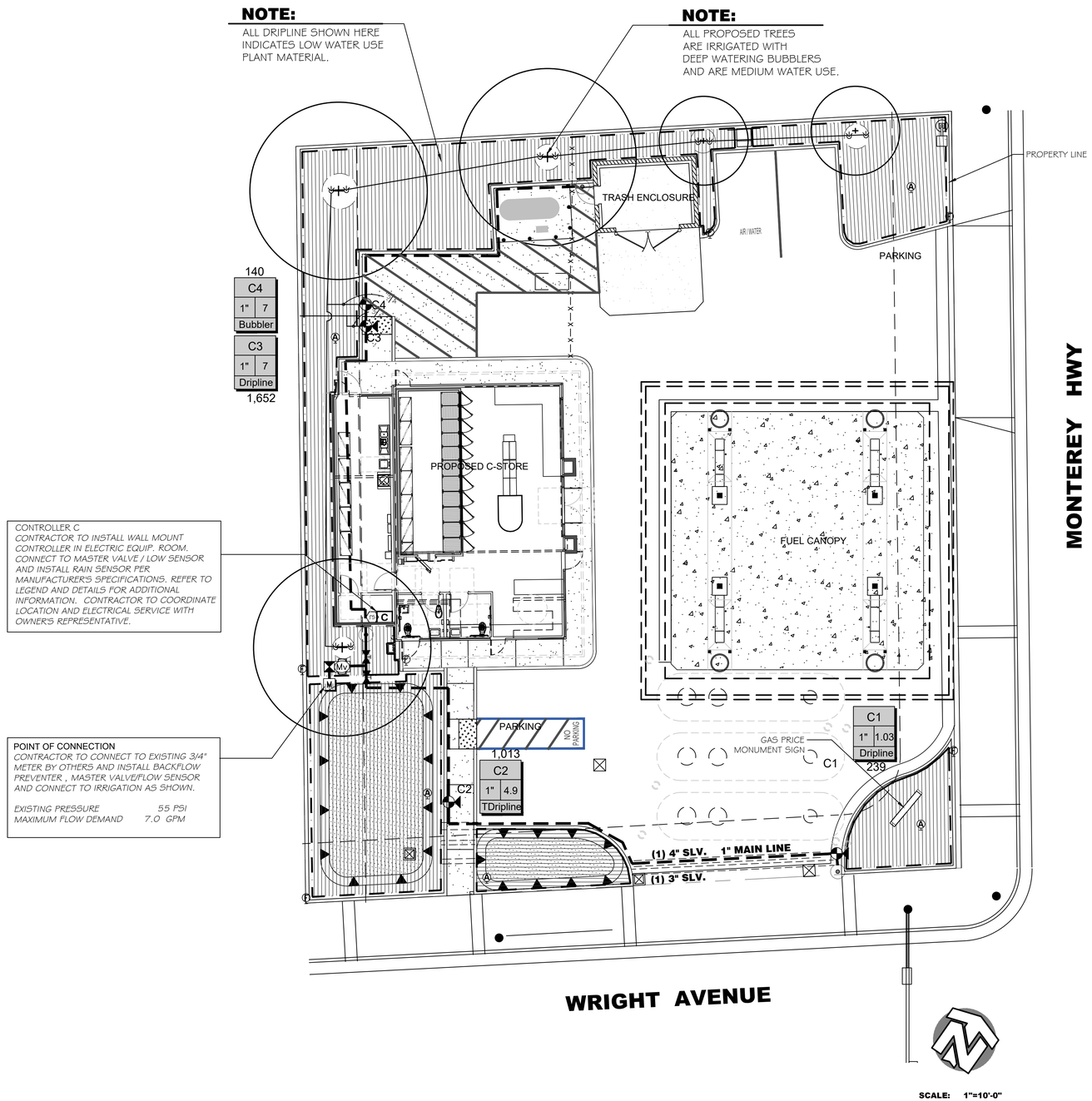
LICENSED LANDSCAPE ARCHITECT
CAROL PERRY BROWN
No. 3941
REN 11-30-23
Signature
11-22-23
Date
STATE OF CALIFORNIA

HYDROZONE PLANTING PLAN

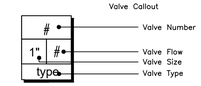
Date	February 2024
Scale	1"=10'-0"
Drawn	CPB
Job	
Sheet	LHP-1
Of	Sheets



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
1402	Rain Bird RWS-B-C Root Watering System with 4.0" diameter x 36.0" long with locking grate, semi-rigid mesh tube, and check valve. Rain Bird bubbler option as indicated: 1401 0.25 gpm.	10	30
SYMBOL	**MANUFACTURER/MODEL/DESCRIPTION**	**QTY**	
	Rain Bird XCZ-100-PRB-COM Wide Flow Drip Control Kit for Commercial Applications. 1" Ball Valve with 1" PESB Valve and 1" Pressure Regulating 40psi Quick-Check Basket Filter. 0.3 GPM-20 GPM	3	
	Rain Bird MDCFCAP/ OPERIND Dripline Flush Valve cap in compression fitting coupler and install Drip System Operation Indicator at each flush valve location.	6	
	Rain Bird ARV050 1/2" Air Relief Valve, made of quality rust-proof materials, with a 6.0" drip valve box (SEB 7XB emitter box). Use with installation below soil. The valve will allow air to escape the pipeline, thus preventing water hammer or blockage.	2	
	Area to Receive Dripline Rain Bird XFCV-06-18 XFCV On-Surface Landscape Dripline with a Heavy-Duty 3.5 psi Check Valve. 0.6 GPH emitters at 18" O.C. Dripline laterals spaced at 18" apart, with emitters offset for triangular pattern. Great for elevation change. Specify XF insert fittings.	1,882 lf	
SYMBOL	**MANUFACTURER/MODEL/DESCRIPTION**	**QTY**	
	Rain Bird PESB 1" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Scrubber Technology for Reliable Performance in Dirty Water Irrigation Applications. Install pvc shut-off valve for each valve.	1	
	Rain Bird 44-LRC 1" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, and 2-Piece Body.	3	
	Nibco T-113 Class 125 bronze gate shut off valve with wheel handle, same size as mainline pipe diameter at valve location. Size Range - 1/4" - 3"	2	
Mv	Hunter ICV101-G/HC Flow Meter 1" 1" Plastic Electric Master Valve, Globe Configuration, with NPT Threaded Inlet/Outlet combined with HC Flow Meter.	1	
	Febco 825Y Reduced Pressure Backflow Preventer	1	
C	Hunter HPC-400 4 Station Outdoor Wi-Fi enabled, full-functioning controller with touchscreen. Plastic Cabinet	1	
rs	Hunter WRF-CLIK Rainfreeze Sensor, install within 1000 ft of controller, in line of sight. 22-28 VAC/VDC 100 mA power from timer transformer. Mount as noted. Includes Gutter Mount.	1	
M	Water Meter 3/4"	1	
	Irrigation Lateral Line: PVC Class 200 SDR 21	198.1 lf	
	Irrigation Mainline: PVC Schedule 40	251.6 lf	
	Pipe Sleeve: PVC Schedule 40 All sleeves shall be twice the diameter of all lines being sleeved. Controller conduit not shown.	82.6 lf	

Valve Callout



PIPE SIZING GUIDE

SCHEDULE 40 PVC LATERALS

GPM	SIZE	GPM	SIZE
0–6	3/4"	24–33	1–1/2"
7–12	1"	34–55	2"
13–23	1–1/4"	56–70	2–1/2"

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No. 3941
REN. 11-30-24
Signature
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Date
STATE OF CALIFORNIA

IRRIGATION DESIGN PLAN

Date	February 2024
Scale	1"=10'-0"
Drawn	CPB
Job	
Sheet	LI-1
Of	Sheets

IRRIGATION NOTES

1. IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES, BY LICENSED CONTRACTORS AND EXPERIENCED WORKMEN. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND FEES RELATING TO HIS WORK.

2. CONTRACTOR IS TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES PRIOR TO PERFORMING ANY EXCAVATIONS. CONTACT UNDERGROUND SERVICE ALERT (USA) AT 800/642.2444 FOR UTILITY MARKING. CONTRACTOR IS TO REPAIR ANY DAMAGE CAUSED BY, OR DURING THE PERFORMANCE OF, HIS WORK AT NO ADDITIONAL COST TO THE OWNER.

3. TRENCHING IS TO BE OF SUFFICIENT DEPTH TO PROVIDE 18" OF COVER OVER IRRIGATION MAIN LINES, CONTROL WIRE, AND BUBBLER HEAD LATERAL LINES AND 12" OF COVER OVER ALL OTHER LATERAL LINES. ALL LINES UNDER PAVING SHALL BE BURIED WITH 24" OF COVER.

4. THE IRRIGATION PLAN IS DIAGRAMMATIC. ALL REQUIRED OFFSETS MAY NOT BE SHOWN. PARALLEL PIPES MAY BE INSTALLED IN A COMMON TRENCH. PIPES SHALL HAVE A MINIMUM 3" HORIZONTAL SEPARATION AND ARE NOT TO BE INSTALLED DIRECTLY ABOVE ONE ANOTHER.

5. INSTALL BACKFLOW PREVENTER IN LOCATION SHOWN AS DETAILED OR NOTED. BACKFLOW PREVENTER IS TO BE INSTALLED PLUMB AND IN ALIGNMENT WITH ADJACENT PAVEMENT EDGES OR ARCHITECTURAL FEATURES. VERIFY EXACT LOCATION AND ALIGNMENT WITH OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH WORK. BACKFLOW PREVENTER SHALL BE INSTALLED IN AN INSULATED TYPE CAGE ENCLOSURE, MODEL NO. PWEIAW-S. ENCLOSURE SHALL BE AVAILABLE FROM PLACER WATER WORKS, INC., TELEPHONE: 916/773.2959.

6. INSTALL QUICK COUPLING VALVES WITHIN A 10" ROUND PLASTIC VALVE BOX WITH BOLT-DOWN LID. TOP OF QCV SHALL BE 2" BELOW RIM OF BOX.

7. FLUSH MAIN LINES PRIOR TO THE INSTALLATION OF REMOTE CONTROL VALVES OR QUICK COUPLING VALVES. FLUSH LATERAL LINES PRIOR TO THE INSTALLATION OF IRRIGATION HEADS.

8. PRESSURE TEST IRRIGATION MAIN LINE IN THE PRESENCE OF THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. PERFORM THE TEST AS FOLLOWS:

   A. HYDROSTATIC PRESSURE TESTING PROCEDURE SHALL CONFORM TO SECTION 22, AWWA STANDARD C600-54T.

   B. PRIOR TO BACKFILLING, AND AFTER ALL REMOTE CONTROL VALVES HAVE BEEN INSTALLED, INSTALL TWO 0-200 PSI PRESSURE GAUGES ON MAIN LINE (AT BOTH ENDS).

   C. APPLY CONTINUOUS HYDROSTATIC PRESSURE OF 125 PSI FOR A TWO HOUR PERIOD. A PRESSURE DROP IS NOT ACCEPTABLE. REPAIR LEAKS AND RE-TEST AS REQUIRED UNTIL THE TEST HAS PASSED.

9. PRESSURE TEST LATERAL LINES UNDER OPERATING PRESSURE PRIOR TO BACKFILLING.

10. IRRIGATION CONTROL WIRE SHALL BE NO. 14-1 AWG UF (UL) APPROVED FOR DIRECT BURIAL. WIRE COLORS FOR THIS PHASE OF THE WORK SHALL BE AS FOLLOWS: COMMON WIRE - WHITE, PILOT WIRES - RED. NO EXCEPTIONS! ALL WIRE SPLICES ARE TO BE MADE WITHIN A VALVE BOX. SPLICES ARE TO BE MADE WITH A COPPER CRIMP TYPE CONNECTOR AND INSTALLED WITHIN A '3-M' NO. DBY SEALING PACK.

11. REMOTE CONTROL VALVE BOXES ARE TO BE INSTALLED 1/2" ABOVE FINISH GRADE IN SHRUB AND GROUNDCOVER AREAS. ALIGN VALVE BOXES WITH ADJACENT PAVEMENT EDGES, ARCHITECTURAL FEATURES, OR ADJACENT VALVE BOXES, AS APPLICABLE FOR A NEAT APPEARANCE. VALVE BOXES ARE TO CONFORM WITH FINISH GRADES (NOT NECESSARILY LEVEL).

12. ALL EXCAVATIONS ARE TO BE BACKFILLED TO 85% COMPACTION (95% UNDER PAVING).

13. THE SYSTEM IS DESIGNED FOR THE MINIMUM OPERATING PRESSURE OF 55 PSI AND THE MAXIMUM DEMAND OF 12.5 GPM. THE CONTRACTOR SHALL VERIFY THE EXISTING WATER PRESSURE ON SITE PRIOR TO CONSTRUCTION. REPORT TO THE LANDSCAPE ARCHITECT ANY DIFFERENCE BETWEEN THE WATER PRESSURE SHOWN ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE POINT OF CONNECTION. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.

14. CONTRACTOR SHALL PROVIDE LANDSCAPE ARCHITECT WITH AN ACCURATE AS-BUILT SET OF DRAWINGS OF THE IRRIGATION SYSTEM PRIOR TO FINAL ACCEPTANCE OF THE WORK. AS-BUILT DRAWINGS SHALL BE DELINEATED ON A REPRODUCIBLE VELLUM TO BE SUPPLIED BY THE LANDSCAPE ARCHITECT.

15. PRIOR TO FINAL INSPECTION OF THE IRRIGATION SYSTEM, CONTRACTOR SHALL PROVIDE A CONTROLLER CHART FOR EACH CONTROLLER SUPPLIED. THE CHART SHALL BE A REDUCED COPY OF THE AS-BUILT DRAWING ON A BLACK LINE PRINT, WITH THE AREA OF THE CONTROLLER STATION COVERAGE IDENTIFIED IN A DIFFERENT COLOR. THE CHART SHALL BE REDUCED TO A SIZE THAT FITS ON THE ENCLOSURE DOOR, HERMETICALLY SEALED BETWEEN 2 PIECES OF 10 MIL. CLEAR PLASTIC AND SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.

16. OPERATE IRRIGATION CONTROLLERS BETWEEN THE HOURS ON 10:00 PM AND 7:00 AM.

17. ALL REMOTE CONTROL VALVES SHALL HAVE A PERMANENT VALVE TAG (AS MANUFACTURED BY T. CHRISTY OR APPROVED EQUAL) ATTACHED TO THE VALVE INDICATING THE CONTROLLER STATION NUMBER.

18. INSTALL ADDITIONAL IN-LINE CHECK VALVES AS REQUIRED IN ALL LOCATIONS AS REQUIRED TO PREVENT LOW HEAD DRAINAGE.

19. THE CONTRACTOR SHALL INSTALL TWO (2) SPARE PILOT WIRES (ONE OF THEM NO. 18), PLUS COMMON STARTING FROM CONTROLLER C, LOOPED TO EACH VALVE BOX AND TO BOTH ENDS OF THE MAIN LINE, WITHOUT SPLICES. THE COLOR OF ALL SPARE WIRES SHALL BE DIFFERENT THAT THE COLORS USED FOR ACTIVE WIRES.

20 REFER TO IRRIGATION SPECIFICATIONS 02810 ON SHEET LI.5 FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

21. CONTRACTOR IS RESPONSIBLE FOR CALLING THE COUNTY WATER DISTRICT FOR THE INSPECTION OF THE SERVICE CONNECTION AND THE SETTING OF THE WATER METER, THE CONTRACTOR SHALL CONTACT THE AUTHORIZED COUNTY REPRESENTATIVE. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR ALL OTHER LANDSCAPE INSTALLATION INSPECTIONS. ALL INSPECTIONS REQUIRE 48 HOURS IN ADVANCE TO ARRANGE FOR INSPECTIONS. INSPECTIONS WILL NEED TO TAKE PLACE AT THE FOLLOWING POINTS DURING CONSTRUCTION:

   A. SERVICE CONNECTION (BY SAN JOAQUIN COUNTY WATER AGENCY)
   B. BACKFLOW PREVENTION TEST AND CERTIFICATION (BY CERTIFIED TESTER)
   C. IRRIGATION INSTALLATION. (PRIOR TO BACKFILLING) (BY LANDSCAPE ARCHITECT/TOWN OF MANTECA)
   D. IRRIGATION MAIN LINE PRESSURE TEST CHECK (BY LANDSCAPE ARCHITECT/TOWN OF MANTECA)
   E. UPON INSTALLATION OF PLANTING (BY LANDSCAPE ARCHITECT/TOWN OF MANTECA)
   F. PRE-MAINTENANCE PERIOD (BY LANDSCAPE ARCHITECT/TOWN OF MANTECA)
   G. END OF MAINTENANCE PERIOD, FINAL INSPECTION (BY LANDSCAPE ARCHITECT/TOWN OF MANTECA)

22. CONTRACTOR SHALL PROVIDE PERMANENT BLACK STENCILED MARKINGS ON VALVE BOX LIDS. REMOTE CONTROL VALVES SHALL BE LABELED WITH STATION NUMBER, QUICK COUPLERS WITH 'QCV', AND GATE VALVES WITH 'GV'.

23. BACKFLOW PREVENTER SHALL BE TESTED AND CERTIFIED OPERATIONAL BY CERTIFIED BACKFLOW PREVENTION DEVICE TESTER PRIOR TO OPERATION AND FINAL ACCEPTANCE.

24. ALL IRRIGATION RUN TIMES ON THE CONTROLLER SHALL OCCUR ONLY AFTER 7:00 PM AND BEFORE 9:00 AM.

SUBSURFACE IRRIGATION NOTES

1. FOR ALL SHRUB AND GROUND COVER AREAS NOTED ON PLAN TO HAVE RAIN BIRD XFS SUB-SURFACE DRIPLINE IRRIGATION INSTALLED, CONTRACTOR SHALL FOLLOW MANUFACTURER'S SPECIFICATIONS, DETAILS, AND THESE NOTES.

2. PRIOR TO INSTALLATION SOILS SHALL BE RIPPED AND TILLED AT A UNIFORM EIGHT TO TWELVE INCHES DEPTH REFER TO SOIL PREPARATION AND BACKFILL SPECIFICATIONS FOR ADDITIONAL INFORMATION.

3. THIS PLAN IS DIAGRAMMATIC AND DOES NOT SHOW EXACT LOCATION OF RAIN BIRD XFS DRIPLINE, FLUSH VALVES, OR AIR RELIEF VALVES, OR INDICATORS. CONTRACTOR SHALL FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION PROCEDURES. ALL DRIPLINE SHALL BE INSTALLED AT A UNIFORM DEPTH OF 4" AND WIDTH OF ALL PERIMETER DRIPLINE LOCATED NO FURTHER THAN 6" FROM CONFINING EDGE. PLACE PERIMETER DRIP LINE OVER HEADERS IF NECESSARY. THE REMAINING INTERIOR LATERALS SHALL BE EQUALLY SPACED AND MINIMUM 18".

4. ALL RAIN BIRD XFS DRIPLINE SHALL TIE BACK INTO EITHER ADJACENT DRIP LINE OR SUPPLY OR EXHAUST MAINTAINING A CLOSED SYSTEM.

5. ALL SUBSURFACE IRRIGATION PRODUCTS AND SPECIFICATIONS ARE AVAILABLE THROUGH THE RAIN BIRD CORPORATION, (www.rainbird.com).

6. CONTRACTOR SHALL USE RAIN BIRD XFS DRIPLINE FITTINGS FOR ALL DRIPLINE CONNECTIONS.

7. INSTALLATION STEPS:

   1. ASSEMBLE AND INSTALL FILTER, REMOTE CONTROL VALVE AND PRESSURE REGULATOR VALVE ASSEMBLY ACCORDING TO DETAIL ON SHEET LI.3.

   2. ASSEMBLE AND INSTALL SUPPLY HEADERS ACCORDING TO DETAILS ON SHEET LI.3 TEFLON TAPE OR PLUG ALL OPEN CONNECTIONS TO PREVENT DEBRIS CONTAMINATION.

   3. ASSEMBLE AND INSTALL EXHAUST HEADERS IN ACCORDANCE WITH DETAILS ON SHEET SHEET LI.3, TEFLON TAPE AND PLUG ALL OPEN CONNECTIONS TO PREVENT CONTAMINATION.

   4. INSTALL RAIN BIRD XFS DRIPLINE LATERALS. TAPE OR PLUG ALL OPEN ENDS WHILE INSTALLING THE RAIN BIRD XFS DRIPLINE TO PREVENT DEBRIS CONTAMINATION.

   5. THOROUGHLY FLUSH SUPPLY HEADERS AND CONNECT DRIP LINE LATERALS WHILE FLUSHING.

   6. THOROUGHLY FLUSH EXHAUST HEADERS AND INSTALL LINE FLUSHING VALVES ACCORDING TO DETAIL ON SHEET LI.3. INSTALL (1) FLUSH CAP FOR EVERY 15 GPM OF FLOW FOR EACH ZONE(VALVE) AND ON THE LOWEST ELEVATION.

8. CONTRACTOR SHALL PRESSURE TEST THE SYSTEM PRIOR TO COVERING TRENCHES, AND REPAIR ANY LEAKS PRIOR TO PLANTING.

9. CONTRACTOR SHALL COORDINATE PLANTING INSTALLATION WITH SUBSURFACE DRIP INSTALLATION.

10. THE SUB-SURFACE RAIN BIRD XFS DRIPLINE SHOWN ON IRRIGATION PLANS IS DIAGRAMMATIC. FOR ALL SLOPES WITHIN SUB-SURFACE AREA, CONTRACTOR SHALL INSTALL RAIN BIRD XFS DRIPLINE PERPENDICULAR (ACROSS) SLOPES. CONTRACTOR SHALL IN THE UPPER 2/3 OF SLOPE SPACE RAIN BIRD XFS DRIPLINE PER LEGEND. IN THE LOWER 1/3 OF THE SLOPE INCREASE THE SPACING BETWEEN ROWS BY 25% FOR SLOPES GREATER THAN 4 TO 1 THAT INCLUDES THE DRAINAGE SWALES.

11. PROVIDE RCVS, FILTER, AND PRESSURE REGULATOR FOR RAIN BIRD SYSTEMS AS PER DETAILS.

12. PROVIDE SUPPLY HEADER (CL 200) PVC AS PER RAIN BIRD DETAILS. SEE SHEET LI.3.

13. PROVIDE EXHAUST HEADER (CL 200) PVC AS PER RAIN BIRD DETAILS. SEE SHEET LI.3.

14. INSTALL AIR VACUUM RELIEF VALVE AT THE HIGHEST POINT ON THE CIRCUIT & PER RAIN BIRD MANUFACTURER'S RECOMMENDATIONS & PER DETAIL ON LI.3.

15. EACH SUB-SURFACE STATION SHALL HAVE A DRIP SYSTEM OPERATION INDICATOR, 6" POP-UP, INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND DETAIL ON SHEET LI.3.

IRRIGATION SCHEDULE:

CONTROLLER C SQFT 3,044

STATION	GPM	AREA SQ.FT.	PLANT TYPE	Kc	IE	PR	WATER DAYS/ WEEK	ESTABLISHMENT PERIOD JAN	FEB	MAR	APR	MAY	JUN	JULY	AUG	SEP	OCT	NOV	DEC	MAINTENANCE PERIOD JAN	FEB	MAR	APR	MAY	JUN	JULY	AUG	SEP	OCT	NOV	DEC	TOTAL ETWU GALLONS PER YEAR
								MONTHLY ETO												MONTHLY ETO												
								1	1.05	3.25	4.7	3.25	7.7	8.45	7.25	5.45	3.75	1.75	0.95	1	1.05	3.25	4.7	3.25	7.7	8.45	7.25	5.45	3.75	1.75	0.95	
								TIME IN MINUTES/DAY												TIME IN MINUTES/DAY												
C1	1.03	239	DRIPLINE	0.25	0.81	0.43	3	0	8	13	26	31	49	54	47	34	22	11	7	0	7	11	22	25	42	47	40	30	10	8	5	2,264
C2	4.9	1,013	TDRIPLINE	0.55	0.81	0.43	3	8	10	26	38	26	61	67	57	45	30	14	7	7	8	22	32	22	51	56	48	37	25	12	6	21,110
C3	7	1,652	DRIPLINE	0.25	0.81	0.43	3	0	8	13	26	31	49	54	47	34	22	11	7	0	7	11	22	25	42	47	40	30	10	8	5	15,648
C4	7	140	BUBBLER	0.25	0.81	2.70	3	3	7	9	10	9	14	15	13	11	9	4	3	2	6	7	8	7	12	13	12	10	7	3	2	1,857

TOTAL ESTIMATED WATER USE = 40,878 GALLONS

I HAVE COMPLIED WITH THE CRITERIA OF WELO AND APPLIED THEM THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

01/15/2024

CAROL P. BROWN, LANDSCAPE ARCHITECT — DATE

NOTES:

1. RUN TIME IN MINUTES/DAY SHALL OCCUR ON EACH WATERING DAY PER WEEK.
   RUN TIME = WEEKLY ETO*60/(PR*IE)*WATERING DAYS

2. ANY IRRIGATION VALVE WHOSE PRECIPITATION RATE (PR) EXCEEDS THE SOIL INFILTRATION RATE (SIR), SHALL BE PROGRAMMED USING CYCLE AND SOAK FEATURE. RUN TIMES IN MINUTES PER DAY SHALL BE DIVIDED INTO THE NECESSARY AMOUNT OF CYCLES TO AVOID RUNOFF. DO NOT EXCEED MAX CYCLE TIME OF 14 MINUTES.

3. CONTROLLERS NEED TO BE PROGRAMMED USING MULTIPLE PROGRAM FEATURES IN ORDER TO OBTAIN THE MAXIMUM FLOW DEMAND. IF NECESSARY, PROGRAM MULTIPLE VALVES TO RUN SIMULTANEOUSLY SO THE THE MAXIMUM FLOW DEMAND IN MET.

4. ESTABLISHMENT PERIOD IS 3 MONTHS.

	REVISIONS	BY

CAROL PERRY BROWN
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Landscape Architecture
Irrigation Design
Certified Irrigation Designer CID Irrigation Association
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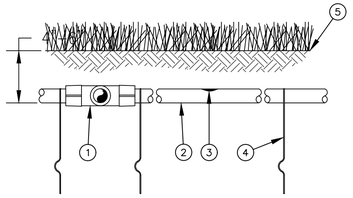
SINGIREDDY NINGA & LAKSHMI TRUSTEE

LICENSED LANDSCAPE ARCHITECT — CAROL PERRY BROWN — No. 3941 — REN. 11-30-24 — Signature — 11-22-23 Date — STATE OF CALIFORNIA

IRRIGATION DESIGN NOTES

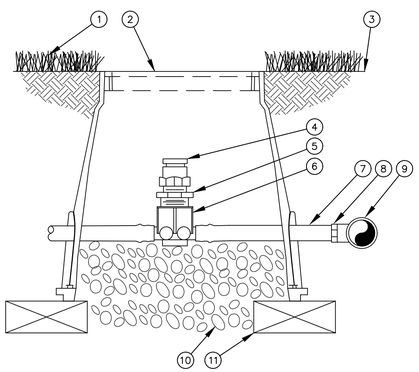
Date	February 2024
Scale	1"=10'-0"
Drawn	CPB
Job	
Sheet	LI-2
Of	Sheets



1. EASY FIT COMPRESSION TEE: RAIN BIRD MDCFTEE
2. SUB-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE POTABLE: XFS DRIPLINE NON-POTABLE: XFSP DRIPLINE
3. INLINE DRIP EMITTER
4. TIE DOWN STAKE: RAIN BIRD TDS-050 WITH BEND (TYPICAL)
5. TURF/FINISH GRADE OR SHRUB BED WITH MULCH

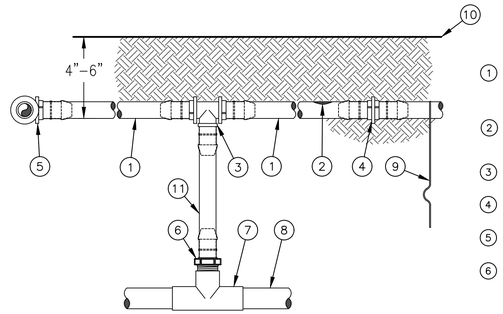
NOTES:
1. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.
3. INSERTION PLOW AND TRENCHED INSTALLATIONS DO NOT REQUIRE TIE DOWN STAKES.

A XFS SUB-SURFACE DRIPLINE BURIAL
N.T.S.



1. TURF GRASS
2. SUBTERRANEAN EMITTER BOX: RAIN BIRD SEB 7XB
3. FINISH GRADE
4. ½" AIR RELIEF VALVE: RAIN BIRD ARV-12 TO BE INSTALLED AT HIGH POINTS IN DRIP ZONE
5. ½" X ¾" PVC REDUCER BUSHING
6. BARB X FEMALE THREAD CONNECTOR: RAIN BIRD XFD-TFA FITTING
7. ½" BLANK DRIPLINE TUBING: RAIN BIRD XF SERIES
8. BARB X MALE THREAD CONNECTOR: RAIN BIRD XFD-MA FITTING
9. PVC TEE CONNECTED TO PVC HEADER PIPE
10. 3" MINIMUM DEPTH OF ¾" WASHED GRAVEL
11. BRICK (1 OF 2)

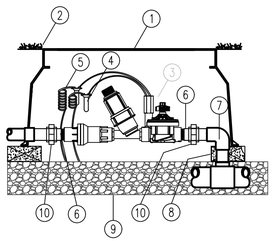
B XFS DRIPLINE AIR RELIEF VALVE
N.T.S.



1. ON-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE POTABLE: XFS DRIPLINE NON-POTABLE: XFSP DRIPLINE
2. INLINE DRIP EMITTER OUTLET, SEE PLANS FOR DRIPLINE OUTLET SPACING.
3. BARB TEE 17x17x17mm RAIN BIRD XFF-TEE
4. BARB COUPLING 17x17mm RAIN BIRD XFF-COUP
5. BARB ELBOW 17x17mm RAIN BIRD XFF-ELBOW
6. BARB MALE ADAPTER 17mm X 1/2" MPT RAIN BIRD XFF-MA-050 17mm X 3/4" MPT RAIN BIRD XFF-MA-075
7. PVC TEE SxSxT
8. PVC LATERAL SUPPLY HEADER
9. TIE DOWN STAKE: RAIN BIRD TDS-050 WITH BEND (TYPICAL)
10. FINISH GRADE
11. RAIN BIRD XF SERIES BLANK TUBING LENGTH AS REQUIRED

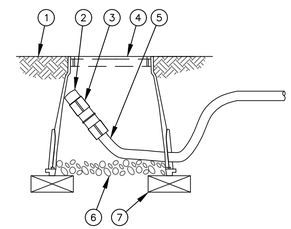
NOTES:
1. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.
3. SAVE YOUR HANDS. USE THE RAIN BIRD FITTINS-TOOL XF INSERTION TOOL FOR FITTING ASSEMBLY.

D XFS SUB-SURFACE DRIPLINE RISER ASSEMBLY
SCALE



1. JUMBO VALVE BOX
2. FINISH GRADE
3. DRIP ZONE KIT MODEL ICZ-101-XX WITH FILTER (TIP 45 DEGREES) REGULATOR 25 OR 40 PSI
4. WATERPROOF CONNECTORS (2)
5. 18-24" COILED WIRE
6. SCH 80 T.O.E. NIPPLE
7. MAIN LINE PIPE & FITTINGS
8. BRICK SUPPORTS (4)
9. 3/4" MINUS WASHED GRAVEL
10. PVC SLIP UNIONS (2)

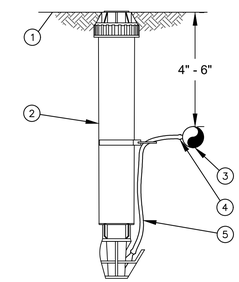
G DRIP CONTROL VALVE ASSEMBLY
NOT TO SCALE



1. FINISH GRADE
2. FLUSH CAP FOR EASY FIT COMPRESSION FITTINGS: POTABLE:RAIN BIRD MDCFCAP NON-POTABLE: RAIN BIRD MDCFPCAP
3. EASY FIT COUPLING: RAIN BIRD MDCFCOUP
4. SUBTERRANEAN EMITTER BOX: RAIN BIRD SEB 7XB
5. SUB-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE POTABLE: XFS DRIPLINE NON-POTABLE: XFSP DRIPLINE
6. 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
7. BRICK (1 OF 2)

NOTE:
1. ALLOW A MINIMUM OF 6-INCHES OF DRIPLINE TUBING IN VALVE BOX IN ORDER TO DIRECT FLUSHED WATER OUTSIDE VALVE BOX.

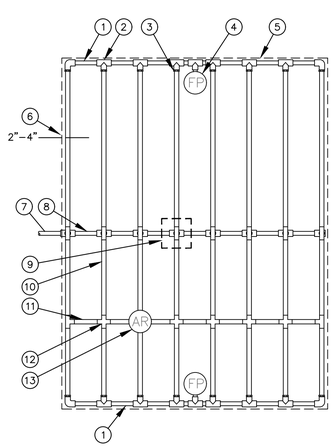
E XFS SUB-SURFACE DRIPLINE FLUSH POINT
N.T.S.



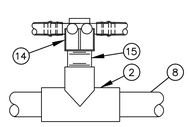
1. FINISH GRADE/TURF
2. MICRO-SPRAY POP-UP: RAIN BIRD XERI-POP XP-600X WITH 4-VAN NOZZLE
3. SUB-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE POTABLE: XFS DRIPLINE NON-POTABLE: XFSP DRIPLINE
4. ¼" BARB TRANSFER FITTING: RAIN BIRD XBFCONN
5. ¼" DISTRIBUTION TUBING: RAIN BIRD XQ TUBING (LENGTH AS REQUIRED)

NOTE:
1. USE XERIMAN TOOL XM-TOOL TO INSERT BARB TRANSFER FITTING DIRECTLY INTO DRIPLINE TUBING.

H XFS SUB-SURFACE OPERATION INDICATOR
SCALE



1. PVC EXHAUST HEADER
2. PVC SCH 40 TEE OR EL (TYPICAL)
3. BARB X MALE FITTING: RAIN BIRD XFD-MA FITTING (TYPICAL)
4. FLUSH POINT (TYPICAL) SEE RAIN BIRD DETAIL "XFS FLUSH POINT" OR "XFS FLUSH POINT WITH BALL VALVE"
5. PERIMETER OF AREA
6. PERIMETER DRIPLINE PIPE TO BE INSTALLED 2"-4" FROM PERIMETER OF AREA
7. PVC SUPPLY PIPE FROM RAIN BIRD CONTROL ZONE KIT (SIZED TO MEET LATERAL FLOW DEMAND)
8. PVC SUPPLY MANIFOLD
9. CONNECTION FROM SUPPLY MANIFOLD TO DRIPLINE (TYPICAL)- SEE INSET A
10. SUB-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE (TYPICAL) POTABLE: XFS DRIPLINE NON-POTABLE: XFSP DRIPLINE
11. ½" POLYETHYLENE BLANK TUBING: RAIN BIRD XF SERIES BLANK TUBING
12. BARB X BARB INSERT TEE OR CROSS: RAIN BIRD XFD-TEE OR RAIN BIRD XFD-CROSS (TYPICAL)
13. AIR RELIEF VALVE: RAIN BIRD AR VALVE KIT SEE RAIN BIRD DETAIL "XFS AIR RELIEF VALVE KIT" OR "XFS AIR RELIEF VALVE KIT IN PVC HEADER"
14. BARB X FEMALE FITTING: RAIN BIRD XFD-TFA-075 FITTING
15. ¾" PVC NIPPLE, LENGTH AS NECESSARY

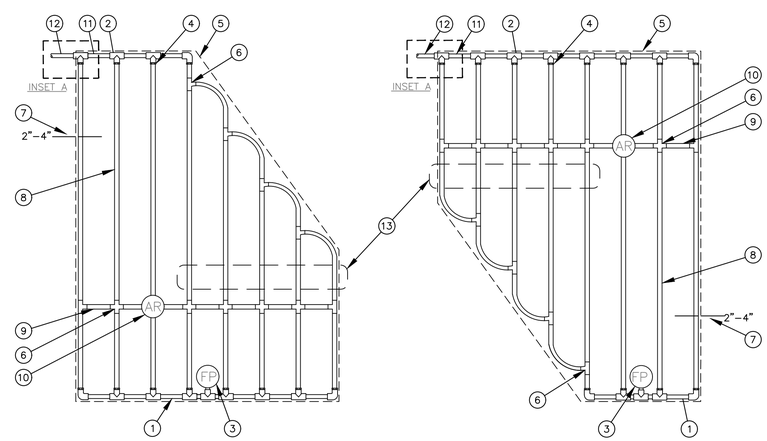


INSET A

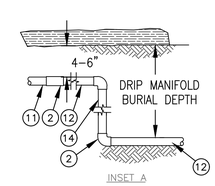
NOTES:
1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE RAIN BIRD XF-SDI DRIPLINE INSTALLATION GUIDE FOR SUGGESTED SPACINGS.
2. LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM LENGTH SHOWN IN THE ACCOMPANYING TABLE.
3. AIR RELIEF VALVE TO BE INSTALLED AT HIGH POINT OF AREA.

Inlet Pressure	XFS Dripline Maximum Lateral Lengths (Feet)					
	12" Spacing		18" Spacing		24" Spacing	
	Nominal Flow (GPH)		Nominal Flow (GPH)		Nominal Flow (GPH)	
psi	0.6	0.9	0.6	0.9	0.6	0.9
15	255	194	357	273	448	343
20	291	220	408	313	514	394
30	350	266	494	378	622	478
40	396	302	560	428	705	541
50	434	333	614	470	775	594

C XFS SUB-SURFACE DRIPLINE CENTER FEED LAYOUT
N.T.S.



NOTES:
1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE RAIN BIRD XFS DRIPLINE INSTALLATION GUIDE FOR SUGGESTED SPACINGS.
2. LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM LENGTH SHOWN IN THE ACCOMPANYING TABLE.
3. AIR RELIEF VALVE TO BE INSTALLED AT HIGH POINT OF AREA.



INSET A

1. PVC EXHAUST HEADER
2. PVC SCH 40 TEE OR EL (TYPICAL)
3. FLUSH POINT (TYPICAL) SEE RAIN BIRD DETAIL "XFS FLUSH POINT" OR "XFS FLUSH POINT WITH BALL VALVE"
4. BARB X MALE FITTING: RAIN BIRD XFD-MA FITTING (TYPICAL)
5. PERIMETER OF AREA
6. BARB X BARB INSERT TEE OR CROSS: RAIN BIRD XFD-TEE OR RAIN BIRD XFD-CROSS (TYPICAL)
7. PERIMETER DRIPLINE PIPE TO BE INSTALLED 2"-4" FROM PERIMETER OF AREA
8. SUB-SURFACE DRIPLINE: RAIN BIRD XF SERIES DRIPLINE (TYPICAL) POTABLE: XFS DRIPLINE NON-POTABLE: XFSP DRIPLINE
9. ½" POLYETHYLENE BLANK TUBING: RAIN BIRD XF SERIES BLANK TUBING
10. AIR RELIEF VALVE: RAIN BIRD AR VALVE KIT SEE RAIN BIRD DETAIL "XFS AIR RELIEF VALVE KIT"
11. PVC SUPPLY MANIFOLD
12. PVC SUPPLY PIPE FROM RAIN BIRD CONTROL ZONE KIT (SIZED TO MEET LATERAL FLOW DEMAND)
13. TOTAL LENGTH OF SELECTED DRIPLINE SHOULD NOT EXCEED LENGTH SHOWN IN TABLE
14. PVC SCH 40 RISER PIPE

Inlet Pressure	XFS Dripline Maximum Lateral Lengths (Feet)					
	12" Spacing		18" Spacing		24" Spacing	
	Nominal Flow (GPH)		Nominal Flow (GPH)		Nominal Flow (GPH)	
psi	0.6	0.9	0.6	0.9	0.6	0.9
15	255	194	357	273	448	343
20	291	220	408	313	514	394
30	350	266	494	378	622	478
40	396	302	560	428	705	541
50	434	333	614	470	775	594

F XFS SUB-SURFACE DRIPLINE IRREGULAR SHAPED LAYOUT
N.T.S.

REVISIONS	BY

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LICENSED LANDSCAPE ARCHITECT
CAROL PERRY BROWN
No. 3941
REN 11-30-23
11-22-23
Date
STATE OF CALIFORNIA

IRRIGATION DESIGN DETAILS

Date	February 2024
Scale	1"=10'-0"
Drawn	CPB
Job	
Sheet	LI-3
Of	Sheets

Plan View
Scale - 1" = 9ft

Schedule

Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
	C		12	Lithonia Lighting	PCNY LED ALO1 40K FPCL MVOLT DWHXD	PCNY LED ALO1 40K FPCL MVOLT DWHXD	1	13374	0.9	83.92	Max: 48895cd
	S1		1	Lithonia Lighting	DSX0 LED P3 40K 80CRI LCCO	D-Series Size 0 Area Luminaire P3 Performance Package 4000K CCT 80 CRI Left Corner Cutoff Extreme Backlight Control	1	5923	0.9	68.95	Max: 9170cd
	S2		1	Lithonia Lighting	DSX0 LED P3 40K 80CRI T3M HS	D-Series Size 0 Area Luminaire P3 Performance Package 4000K CCT 80 CRI Type 3 Medium Houseside Shield	1	6995	0.9	68.95	Max: 5817cd
	W1		3	Lithonia Lighting	WDGE2 LED P2 40K 80CRI T3M	WDGE2 LED WITH P2 - PERFORMANCE PACKAGE, 4000K, 80CRI, TYPE 3 MEDIUM OPTIC	1	2062	0.9	18.9815	Max: 1512cd

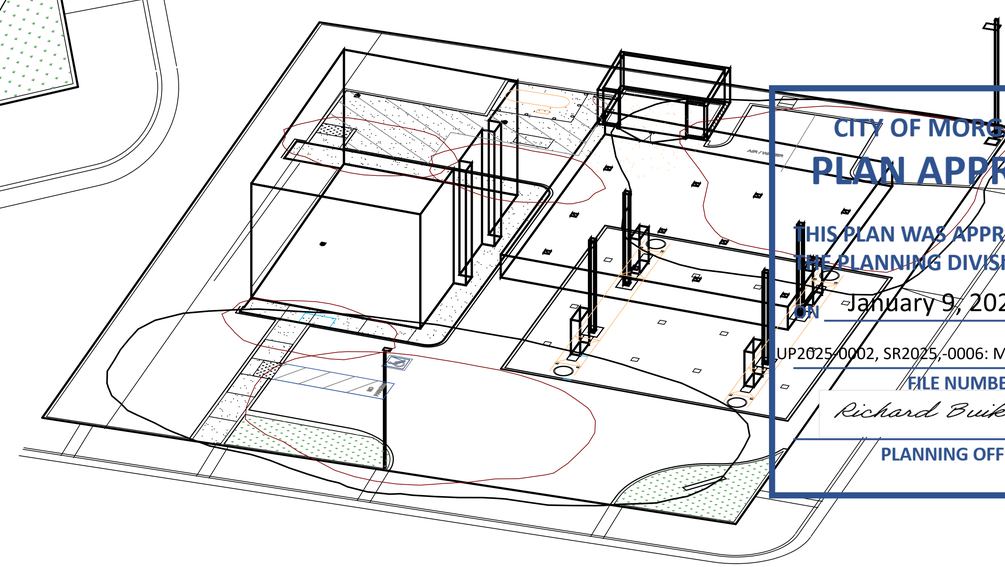
Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
NO PARKING AREA		1.4 fc	2.4 fc	0.4 fc	6.0:1	3.5:1
SIDEWALKS		3.9 fc	11.6 fc	0.8 fc	14.5:1	4.9:1
UNDER CANOPY		38 fc	60 fc	19 fc	3.2:1	2.0:1
DRIVE / PARKING		6.5 fc	27.5 fc	1.8 fc	15.3:1	3.6:1

S1 to be shielded to stop any light from going over the property line.

Luminaire Locations

Label	MH
C	16.00
S1	15.00
S2	20.00
W1	12.00



South East View

CITY OF MORGAN HILL
PLAN APPROVED
THIS PLAN WAS APPROVED BY THE PLANNING DIVISION
ON January 9, 2026
UP2025-0002, SR2025,-0006: Monterey- Singreddy
FILE NUMBER
Richard Buikema
PLANNING OFFICIAL

Disclaimer
Photometric analyses performed by CJS Lighting are intended or informational and/or estimation purposes only. Using industry-recognized software, calculations correspond to the information provided to CJS Lighting, and are subject to the limitations of the software. Assumptions may be made for information that is not provided or available. It is the responsibility of the client to verify that the input data is consistent with actual field conditions.
Due to the above considerations, CJS Lighting does not guarantee that actual light levels measured in the field will match initial calculations, and recommend that drawings be submitted to a certified electrical engineer for verification.

cjs Lighting

17905 MONTEREY RD
MORGAN HILL - SITE rev1

Designer
D. WHITLOCK
Date
02/12/2024
Revision Number
1
Revision Date
01/15/2025
Drawing No.
PT1